

AGENDA

City of Sedona Planning and Zoning Commission Meeting

5:30 PM

Tuesday, May 17, 2016

NOTICE:

Pursuant to A.R.S. 38-431.02 notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a public hearing open to the public on Tuesday, May 17, 2016 at 5:30 pm in the Vultee Conference Room.

NOTES:

- Meeting room is wheelchair accessible. American Disabilities Act (ADA) accommodations are available upon request. Please phone 928-282-3113 at least 24 hours in advance.
- Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: www.SedonaAZ.gov

GUIDELINES FOR PUBLIC COMMENT

PURPOSE:

- To allow the public to provide input to the Planning and Zoning Commission on a particular subject scheduled on the agenda.
- Please note that this is not a question/answer session.

PROCEDURES:

- Fill out a "Comment Card" and deliver it to the Recording Secretary.
- When recognized, use the podium/microphone.
- State your Name and City of Residence
- Limit comments to 3 MINUTES.
- Submit written comments to the Recording Secretary.

1. VERIFICATION OF NOTICE
2. CALL TO ORDER, PLEDGE OF ALLEGIANCE, & ROLL CALL
3. ANNOUNCEMENTS & SUMMARY OF CURRENT EVENTS BY COMMISSIONERS & STAFF
4. DISCUSSION REGARDING THE PROJECT UPDATE SUMMARY
5. APPROVAL OF THE FOLLOWING MINUTES:

a. April 19, 2016 (R)

6. PUBLIC FORUM: *(This is the time for the public to comment on matters not listed on the agenda. The Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to A.R.S. § 38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to any criticism, or scheduling the matter for further consideration and decision at a later date.)*

7. Discussion regarding a request for Development Review to construct a new 3,808 square foot commercial/warehouse building and associated site improvements at 60 Sinagua Drive. The property is zoned C-2 (General Commercial). A general description of the area affected includes but is not limited to the east side of Sinagua Drive south of Southwest Drive. APN: 408-24-319. Applicant: Larry and Denise Garnello/Dan Surber Architect Case Number: PZ16-00001 (DEV)

8. Discussion regarding existing and future lodging uses.

9. FUTURE MEETING DATES AND AGENDA ITEMS

- a. Thursday, June 2, 2016; 3:30 pm (Work Session)
- b. Tuesday, June 7, 2016; 5:30 pm (Public Hearing)
- c. Thursday, June 16, 2016; 3:30 pm (Work Session)
- d. Tuesday, June 21, 2016; 5:30 pm (Public Hearing)

10. EXECUTIVE SESSION

If an Executive Session is necessary, it will be held in the Vultee Conference Room at 106 Roadrunner Drive. Upon a public majority vote of the members constituting a quorum, the Planning and Zoning Commission may hold an Executive Session that is not open to the public for the following purposes:

- a. To consult with legal counsel for advice on matters listed on this agenda per A.R.S. § 38-431.03(A)(3).
- b. Return to open session. Discussion/possible action on executive session items.

11. ADJOURNMENT

Physical Posting: May 12, 2016 By: DJ



Scan with your mobile device to access meeting documents online

Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: www.SedonaAZ.gov or in the Community Development Office, 102 Roadrunner Drive approximately one week in advance of the meeting. Note that members of the City Council and other City Commissions and Committees may attend the Planning and Zoning Commission meeting. While this is not an official City Council meeting, because of the potential that four or more Council members may be present at one time, public notice is therefore given for this meeting and/or event.

The mission of the City of Sedona government is to provide exemplary municipal services that are consistent with our values, history, culture and unique beauty.

MEETING LOCATION:
VULTEE CONFERENCE ROOM
106 ROADRUNNER DR, SEDONA, AZ



The following updated is provided to the Planning and Zoning Commission approximately once every 3-4 months to provide an update on various projects. Changes from the previous update *are indicated by italics*. Commissioners are welcome to contact Staff directly with questions regarding project at any time.

Projects Approved by Planning and Zoning Commission

1. PZ 13-00002 (DEV); PZ14-00003 (SUB) Park Place Condominiums
 - a. Redesign for condominiums.
 - b. Development Review approved May 7, 2013 (2 year approval from approval of Plat Amendment); Plat Amendment approved May 27, 2014.
 - c. No permit applications have been submitted. Permits must be issued and the project under construction by May 27, 2016.
2. PZ 13-00014 (ZC, DEV) Sky Ranch Lodge Expansion
 - a. Zone Change and Development Review for 40 new lodging units and a 7,500 square foot meeting facility
 - b. The Planning and Zoning Commission approved the Development Review and recommended that City Council approve the zoning on February 18, 2014.
 - c. City Council approved the Zone Change and Development Agreement for this project on April 22, 2014. (2 year time frame)
 - d. No permit applications have been submitted. *Sky Ranch Lodge submitted an application for a Time Extension prior to the expiration date. That project will be coming to the Planning and Zoning Commission for consideration in the near future.*
3. PZ 13-00013 (DEV, ZC, Land Swap, Development Agreement) Sedona Rouge Expansion
 - a. Development Review for 32 new lodging units (new site plan, development under the previously approved plans is no longer being pursued)
 - b. The Planning and Zoning Commission approved the Development Review and recommended the City Council approve the zone change on April 15, 2014.
 - c. City Council approved the project on June 10, 2014.
 - d. A Temporary Certificate of Occupancy was issued on December 23, 2015. This allows the business to begin operation while the final requirements of the project are being met. Outstanding items that need to be completed include a pedestrian crosswalk across Rodeo Road and completion of paving of Goodrow in ADOT right-of-way.
4. PZ 13-00015 (SUB) Sky Ridge Subdivision
 - a. Subdivision for 19 new single family lots on the old ILX property off of Brewer Road
 - b. The Planning and Zoning Commission recommended approval of the Preliminary Plat on July 15, 2014.
 - c. City Council approved the Preliminary Plat on October 14, 2014.

-
- d. City Council approved the Final Plat on April 28, 2015. The applicant must provide the required financial assurances for the construction of the infrastructure prior to recording the Final Plat.
5. PZ 13-00016 (ZC, DEV) CVS/pharmacy
 - a. Zone Change and Development Review for new 12,913 square foot building for CVS/pharmacy at 20 Airport Road.
 - b. Planning and Zoning Commission approved the Development Review and recommended that City Council approve the Zone Change on December 16, 2014.
 - c. City Council approved this project on May 12, 2015.
 - d. Building permits have been issued and the project is under construction.
 6. PZ14-00001 (DEV) Tlaquepaque North
 - a. Development Review application for expansion of the Tlaquepaque Arts and Crafts Village on the north side of State Route 179.
 - b. The Planning and Zoning Commission approved this project on August 19, 2014.
 - c. *Construction on the building shells and site work is nearing completion. Tenant improvements have started. Expected opening dates are unknown at this time.*
 7. PZ14-00005 (ZC, DEV, Minor CPA) Sedona Marriott Courtyard
 - a. 121 room Marriott Courtyard Hotel.
 - b. The Planning & Zoning Commission approved the Development Review and recommended that the City Council approve the Zone Change and Minor Community Plan Amendment on September 29, 2014.
 - c. The City Council approved the project on October 28, 2014.
 - d. All permits have been issued and the project is under construction.
 8. PZ14-00013 (DEV) Nexus Commercial Center
 - a. Development Review for a 10,000 square foot commercial building to be built on the lot in front of City Hall (20 Roadrunner Drive).
 - b. The Planning and Zoning Commission held a Conceptual Public Hearing on December 11, 2014.
 - c. This project was approved by Planning and Zoning Commission on April 21, 2015.
 - d. Permits have been issued and the project is under construction.
 9. PZ14-00015 (CUP) Sedona Bike Park
 - a. Conditional Use Permit to operate a Bike Skills Park at Posse Ground Park.
 - b. The Bike Skills Park Work Group has been meeting over the past couple years, coming up with a design and raising funds. This item was approved by the Planning and Zoning Commission on February 17, 2015. The next step will be submittal for permits to construct the Bike Park.
 - c. *Phase I of the Bike Park is under construction.*

10. PZ15-00001 (DEV, CUP) Christ Lutheran Church
 - a. Development Review and Conditional Use Permit for church expansion
 - b. This item was approved by the Planning and Zoning Commission on March 3, 2015.
 - c. *This project is complete and will be removed from future updates.*
11. PZ15-00002 (CUP) Peach Tree Inn
 - a. This project was approved by the Planning and Zoning Commission on July 21, 2015.
 - b. *All work is complete and a Final Certificate of Occupancy has been issued. This item will be removed from future updates.*
12. PZ15-00009 (DEV) Whole Foods Façade Remodel
 - a. This project was approved by the Planning and Zoning Commission on October 20, 2015.
 - b. Permits have been issued and the project is under construction.
13. PZ15-00010 (DEV) Thai Spices
 - a. This project was approved by the Planning and Zoning Commission on November 3, 2015.
 - b. Permits have been issued and construction may begin at any time.
14. PZ15-00017 (CUP) Sedona Off-Road Adventures CUP
 - a. Conditional Use Permit for a Jeep tour office in Sinagua Plaza.
 - b. *This item was approved by the Planning and Zoning Commission on February 2, 2016. This item is complete and will be removed from future updates*

Pending Projects

1. PZ15-00013 (DEV) Super 8 Façade Remodel
 - a. Staff has completed initial review of this project and provided comments to the applicant. The Planning and Zoning Commission held a work session on this item on November 17, 2015. Staff will work with the applicant to address all comments prior to scheduling another meeting.
2. PZ16-00001 (DEV) Garnello Warehouse
 - a. Development Review for a new commercial warehouse at 60 Sinagua Drive.
 - b. *This item is on the Planning and Zoning Commission's May 17, 2016 agenda as a work session item and is tentatively scheduled for a public hearing on June 7, 2016.*
3. PZ16-00002 (DEV) 1520 Plaza
 - a. *Development Review for a new commercial building at the corner of Posse Grounds Road and State Route 89A. The Planning and Zoning Commission held a Conceptual Public Hearing for this item on April 5, 2016. Staff will continue to work with the applicant to address comments and concerns that were brought up during the Conceptual Phase of this project. The next step will be for the applicant to submit a final application packet.*
4. PZ16-00003 (TE) Sky Ranch Lodge

- a. *Time Extension request to extend the approvals for the Sky Ranch Lodge project (PZ13-00014) for an additional 2 years. City Staff is currently reviewing the request and will be bringing this project forward to the Commission in the near future.*

Long Range Planning Efforts

1. **CFA 5: Soldiers Pass**
 - a. *The Planning and Zoning Commission recommended approval of the Soldiers Pass CFA Plan on March 17, 2015. The City Council approved this plan on April 12, 2016.*
 - b. *This plan is complete and will be removed from future updates.*
2. **CFA 1/2: Western Gateway**
 - a. *The Planning and Zoning Commission recommended approval of the Western Gateway CFA Plan on January 19, 2016.*
 - b. *City Council held work sessions on this plan on February 24, 2016 and April 13, 2016. This plan is scheduled for a public hearing with the Planning and Zoning Commission on May 24, 2016.*
3. **CFA 9: Schnebly Hill Road**
 - a. *Staff is working with the Stakeholder's group to develop a Draft CFA Plan. Once the Draft Plan is complete, Staff will bring the plan forward through the Planning and Zoning Commission and City Council.*
4. **Brewer Road/Ranger Station Master Plan**
 - a. *Staff is working on developing a Master Plan for the City-owned property on Brewer Road, site of the former United States Forest Service Ranger Station. The Planning and Zoning Commission and City Council have seen the draft plan and Staff is now working on refining the plan. Once the Draft Plan is complete, Staff will bring the plan forward through the Planning and Zoning Commission and City Council.*



City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

Memorandum

Date: May 11, 2016
To: **Planning and Zoning Commission**
From: Cari Meyer, Senior Planner
Meeting Date: May 17, 2016
Subject: Work Session, Garnello Warehouse, PZ16-00001 (DEV)

The City has received an application for Development Review approval for a new warehouse building at 60 Sinagua Drive. Staff and its partner Review Agencies have completed review of the application materials and developed a list of comments. Those comments have been provided to the applicant and are included as an attachment to this memo. Prior to the public hearing (tentatively scheduled for June 7, 2016), Staff felt it was appropriate to bring this item to the Planning and Zoning Commission as a work session item to allow the Commission to ask questions of Staff and the applicant. If the Commission has significant comments that need to be addressed, the public hearing may be rescheduled to a later date.

Property Background and Proposal

The subject parcel comprises approximately 0.32 acres on the east side of Sinagua Drive (see Vicinity and Aerial Maps). The Community Plan designates this parcel as “C – Commercial” on the Future Land Use Map. The property is zoned C-2 (General Commercial).

The lot is currently vacant and was previously used as an outdoor garden nursery.

Staff and Review Agency Comments

The applicant has addressed many of the Staff and Review Agency comments. There are a handful of outstanding comments that pertain to future stages of development and will be included as conditions of approval, should the application move forward. For example, there were comments from Engineering regarding design of the drainage system that will be reviewed for compliance when building permit plans are submitted.

There was one primary Planning comment that was not addressed in the resubmittal:

5. b) Staff encourages the property owner to explore the possibility of a through connection with the lot to the east at 55 Tortilla Drive. This would allow delivery trucks to pull straight through without the need for a turnaround area on site and could be accomplished by flipping the site plan to place the building to the south and the parking to the north. If the property owner is interested in exploring this possibility, Staff is available to discuss this concept and can facilitate a meeting with the adjacent property owner.

The applicant’s response to this comment was that they would like to proceed as is. Staff believes that there is an opportunity for interconnectedness between this lot and the adjoining developed lots and we should be looking for connections between properties wherever possible. In this case, as pointed out in the Staff comment, it could also serve to aid in circulation for both the lots and less

land would be needed for turn around and maneuvering areas. When a new project comes in, one of the major review items is to examine the development patterns of the surrounding sites and, where possible, create opportunities for connections now and potential connections in the future. Staff still believes this is possible for this project and should be explored to the greatest extent possible.

In addition to the above item, a slight change was made to building that reduced the offset in the northeast corner from 6’0” to 5’8”. In order to meet the requirements of the Land Development Code, this offset must be a minimum of 6’0”. Staff has discussed this discrepancy with the architect and the architect has confirmed that this offset will be 6’0”. This may be addressed through a condition of approval.

Planning and Zoning Commission Work Session

This project is being presented to the Planning and Zoning Commission as a work session item ahead of the public hearing (tentatively scheduled for June 7, 2016). The Commission’s review should focus on what additional information is necessary to evaluate the application in order to make a decision at the public hearing.

Attachments

- 1. Vicinity Map and Aerial Map1
- 2. Applicant Submitted Materials
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 - k. Preliminary Drainage Plan35
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Vicinity Map

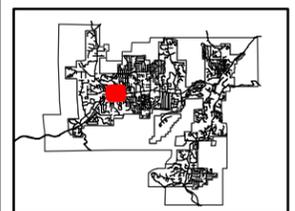
Parcel #
408-24-319
Garnello

-  Parcel #408-24-319
-  Zoning Boundary
-  Building Footprint
-  Parcel Boundary
-  Trail
-  Street Centerline



0 37½ 75 Feet

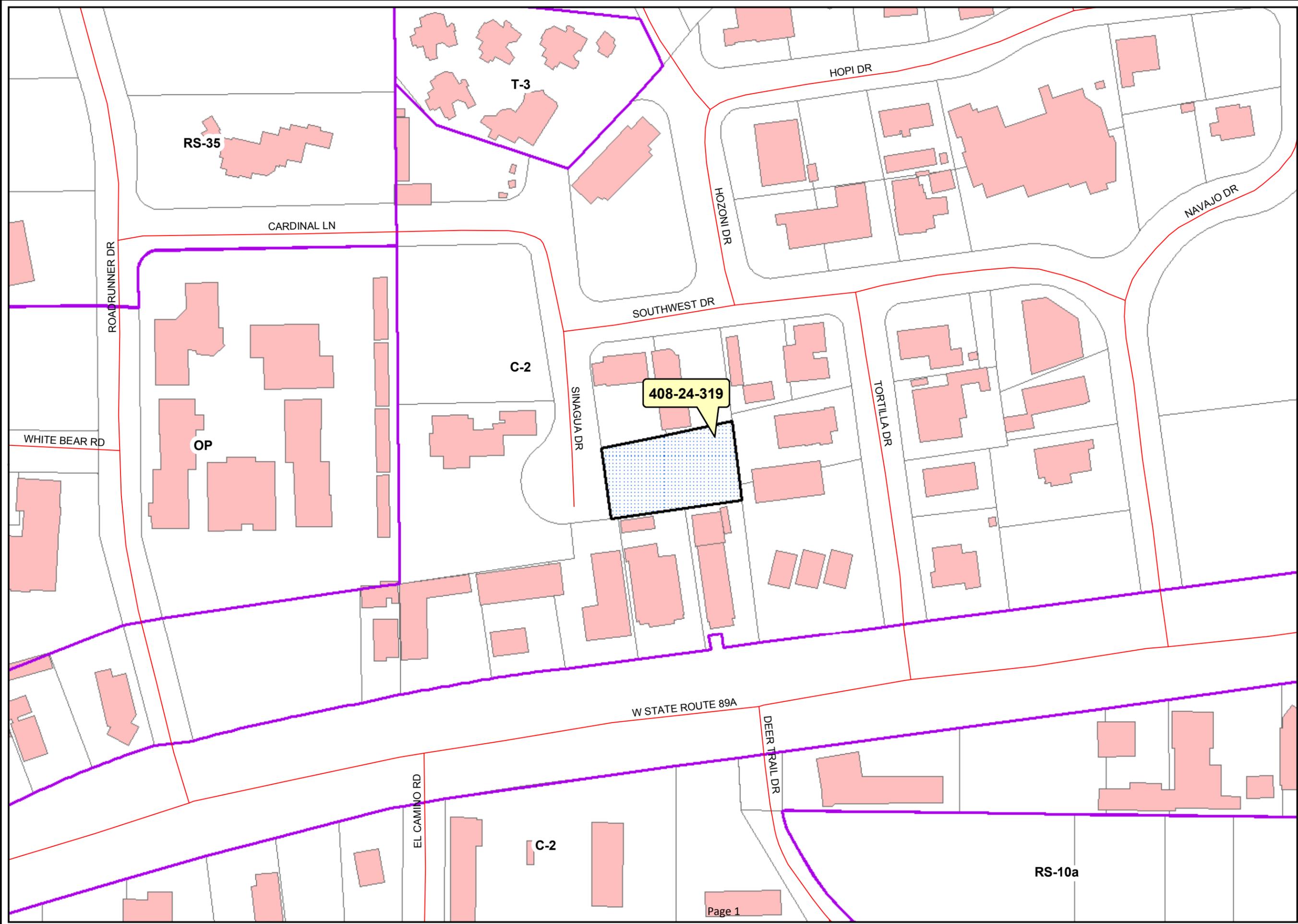
City Index



GIS, City of Sedona
09/06/2015
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This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty or fitness is implied.

The information is provided on an "as-is" basis. The City of Sedona shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with or arising from the information contained on this map.



Aerial View

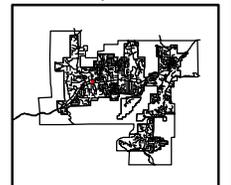
Parcel
#408-24-319
Garnello

-  Parcel #408-24-319
-  Parcel Boundary
-  Street Centerline



0 5 10 Feet

City Index



GIS, City of Sedona
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dans.urber/garnello/mxd/
408-24-319_aerial/mxd



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408-24-319

Garnello Warehouse Building
Owner/Developer:
Larry and Denise Garnello
60 Sinagua Drive
Sedona, Arizona 86336

**LETTER OF INTENT AND PROJECT INFORMATION FOR:
“NEW WAREHOUSE BUILDING”**

The applicant is proposing a new 3,808 sq.ft. Commercial/Warehouse Building with associated driveway, parking and walkways will be located on existing vacant site. The project is located at 60 Sinagua Drive, Sedona, Arizona.

The subject property/Assessors parcel # 408-24-319, is a 15,246 sq.ft. (.35 acres) parcel and is zoned C-2 (General Commercial/Warehousing).

Lot Coverage Allowed = 3,812 sq.ft. (15,246 sq.ft. x 25% = 3,812 sq.ft.)

Floor Area Ratio = 7,623 sq.ft. (15,246 sq.ft. x .5 = 7,623 sq.ft.)

The subject property is surrounded by C-2 (General Commercial). The Owners of this parcel also own and operate the businesses to the south on State Route 89-A.

It is there intent to use half of the new building for there existing business storage and workshop area.

Pursuant to the General Submittal requirements for the proposed development of the new Commercial Warehouse Building, the following describes the intent of the project.

Site Design and Building Placement:

Our goal is to develop the existing vacant property with an emphasis meeting current designated zoning and City of Sedona Land development Code while creating the opportunity for pedestrian connections and routing delivery and service traffic away from State Route 89-A. The new site layout will create a parking area for the new warehouse and also overflow employee parking for Owner’s existing business to the south.

It is there intent to explore providing a pedestrian access to the existing businesses to the east and west. The new building location and form will create an inviting focus and the massing, building materials will compliment the surrounding built environment..

Building Information:

The new building will consist of four potential warehouse bays.

Bay #1 through Bay #3 at 924 sq.ft. and Bay #4 at 1,036 sq.ft. for a total square footage of 3,808. Each bay/suite will have a defined covered front entrance.

The orientation of the building will run parallel to the longest property dimension running west to east with vehicle and pedestrian access at the west property end line.

Occupancy possibilities will be warehouse/storage, contractor office/service/storage, custom service and craft shops. All future potential occupancies shall meet C-2 Commercial District permitted uses.

Grading and Drainage:

The existing site has a slight slope from west to east and drainage is directed to the south-east corner where there is an existing surface drain. The new development will follow the existing conditions with some slight cut and fill. The drainage will be redirected, detained and metered to existing southeast drain. See civil engineers drainage report and grading and drainage plan for further explanation and detail.

Access and Parking:

A new 26'-0" Ingress and Egress asphalt paved drive will be located along the west property boundary to access the new parking area in front of the new building.

The new development requires five spaces. The applicant is proposing eleven spaces, which includes one handi-cap space with 5 foot unloading area and walkway.

The reasoning being that the new development will accommodate employee parking from owners business to the south and potential negotiated overflow parking that currently exists at the dead-end cul-de-sac at Sinagua Drive.

Vegetation and Landscaping

The existing vacant property currently has no trees or vegetation. the lot was used as a staging area for the City of Sedona drainage project located at the east property line.

There will be a new planter located at the south property line adjacent to existing masonry retaining wall to provide a buffer between the south property, the parking area and the new building. This planter will have a mixture of trees, shrubs and ground cover.

There will be extensive landscape adjacent to building at west property to soften and provide a transition from the built environment to the outdoor public realm.

See Landscape Plan for plant list and location.

Wastewater Disposal

The Owners intent is to connect to the existing City of Sedona sewer system at Sinagua Drive for potential future tenant requirements.

Exterior Lighting

Our exterior lighting will comply with the City of Sedona lighting regulations. No raised parking lights will be necessary and we intend to employ low voltage mushroom type lighting along the driveways, walkways and planter areas.

Exterior building lighting will be fully shielded wall sconces which will direct the light downward with no horizontal or upward illumination.

Utility Connections

Water: existing/currently supplied by Arizona Water Company

Gas: existing Uni-source Energy services.

Telephone: existing/currently supplied by Quest Communications

Sewer: available connection to City of Sedona sewer.

Electric: existing/currently supplied by APS

All utilities are existing and extended to site except for gas.

The new project will not require gas at this time.

Architectural Design and Details

The primary building structure will be fabricated metal building with exterior walls having colored metal siding with a red rock stone veneer wainscot and at columns. Covered entrance structures will be provided at each bay to define entrances and to create diversity in massing. The covered entrances will be supported by columns with red rock stone veneer.

Air-conditioning ground units (remote compressors) will be screened with all unit air-handlers located within the unit. There will be no roof-top units.

Colors will be in the darker natural hues and shall conform to City of Sedona Light Reflective Guidelines.

The new buildings will be designed with a logical hierarchy of masses by using materials such as red rock and masonry at the lower portion of the building to create a base and to minimize its perceived heaviness or massiveness as the building rises in elevation.

Building materials and colors will compliment the surrounding buildings and create a project that will relate to its surrounding environment, provides a potential alternative pedestrian connection and will add to the economic vitality of Sedona.

It is our intent to integrate the design of the new project by complimenting the metal building with natural materials and colors and the use of indigenous landscape.

The visual impact will be reduced by varying building heights and setbacks, using natural building materials.

New evergreen trees and complimentary low water indigenous plant material will be introduced at the parking areas and at the west and south property lines in order to create a buffer and screen from the existing developments and roadway.

We believe that the new Garnello Warehouse Development as proposed meets the City of Sedona zoning criteria and has been designed using design principles outlined in the City of Land Development Code and Sedona Design Review Manual.

The Garnello Development will create a much needed occupancy use in an aesthetically pleasing building structure and will add to the economic vitality of Sedona.

Thank you,

Dan Surber, Architect (agent)
Owner/Developer
Larry and Denise Garnello

April 14, 2016

Date

City of Sedona
Department of Community Development
Attention: Audrey Juhlin and Cari Meyer
104 Roadrunner Drive
Sedona, Arizona 86336

Citizens Participation Plan for:
Garnello Commercial Warehouse Project

An informative letter which includes site plan, floor plans and building elevations will be sent out stating our intent for the property located at 60 Sinagua Drive Sedona, Arizona- Parcel # 408-24-319

Citizens will be invited to send questions or comments via fax, mail or e-mail and we will respond to clarify or answer questions regarding the project in same fashion.

All comments, questions or dialogue will be documented and presented to the City of Sedona as part of this participation plan prior to the public meeting in the spring of 2016.

Thank you,
Dan Surber, Architect (agent)

Dan Surber Architect

P.O. Box 3764 Sedona, Arizona USA 86340

Tel: 928-204-2814 Fax: 928-204-1031 e-mail: dsurber@esedona.net

UPDATE:

We have received one letter asking for clarification on existing trees and building placement. I have attached the letter for your review.

I have contacted Nancy Mathews and have answered her questions.

Thank you,
Dan Surber

Garnello Warehouse Building

Owner/Developer:
Larry and Denise Garnello
60 Sinagua Drive
Sedona, Arizona 86336

City of Sedona

Department of Community Development
Attention: Cari Meyer
104 Roadrunner Drive
Sedona, Arizona 86336

**LETTER OF INTENT AND PROJECT INFORMATION FOR:
“GARNELLO WAREHOUSE BUILDING”**

The applicant is proposing a new 3,808 sq.ft. Commercial/Warehouse Building with associated driveway, parking and walkways will be located on existing vacant site. The project is located at 60 Sinagua Drive, Sedona, Arizona.

The subject property/Assessors parcel # 408-24-319, is a 15,246 sq.ft. (.35 acres) parcel and is zoned C-2 (General Commercial/Warehousing).

Lot Coverage Allowed = 3,812 sq.ft. (15,246 sq.ft. x 25% = 3,812 sq.ft.)

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The subject property is surrounded by C-2 (General Commercial). The Owners of this parcel also own and operate the businesses to the south on State Route 89-A.

It is there intent to use half of the new building for there existing business storage and workshop area.

We believe that the new Garnello Warehouse Development as proposed meets the City of Sedona zoning criteria and has been designed using design principles outlined in the City of Sedona Design Review Manual and Design Guidelines.

The Garnello Development will create a much needed occupancy use in an aesthetically pleasing building structure and will add to the economic vitality of Sedona.

As part of the City of Sedona Design Review process we are required to obtain feedback from our surrounding neighbors. If you have any questions or comments please feel free to contact Larry Garnello or Dan Surber.

All feedback is welcome and will be presented to the City of Sedona.

You are also invited to attend the City of Sedona Planning and Zoning Hearing which will be noticed at a later date.

Thank you,

Dan Surber Architect P.O. Box 3764 Sedona, Arizona USA 86340

Tel: 928-204-2814 Fax: 928-204-1031 e-mail: dsurber78@esedona.net

Larry Garnello, Owner: e-mail- crystalmagicsda@gmail.com

Outdoor Lighting Application Part 1



City Of Sedona Community & Economic Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 • Fax: (928) 204-7124

Applicant Name:	DAN SURBER ARCHITECT	Phone:	928-204-2814	Permit # B	
Address:	P.O. BOX 3764 SEDONA, AZ. 86340	Cell Phone:	928-821-2182	Date Rec'd	
E-mail:	dsurber28@gmail.com	Fax:	928-204-6031	Staff Initials	

The following is for COMMERCIAL only.

Approved: Yes No

2. Site Identification

Parcel #:	408-24-319
Building Site Location:	60 SINAGUA DRIVE SEDONA, AZ. 86336
Business Name (if applicable):	GARNELLO WAREHOUSE BUILDING

3. Lumen Information for Non-residential and Multi-family Use Only: - Commercial only

Gross acres of entire site:	.35		
Acres for Public Right-of-Way:	—		
Net Acreage of Site:	.35	X 100,000* =	35,000

4. Type of Shielding and Lumens Proposed: - Commercial only -See Lumen Calculation Table (page 2)

Fully Shielded Fixtures - Lumens Proposed:	8,350
Partially Shielded Fixtures - Lumens Proposed:	
TOTAL LUMENS PROPOSED: (fully + partially shielded fixtures)	8,350

*Total outdoor light output shall not exceed 100,000 lumens per net acre for all development except single-family residential uses. This cap is not intended to be achieved in all cases or as a design goal. Instead, design goals should be the lowest levels of lumens necessary to meet the lighting requirements of the site. Partially shielded light fixtures are limited to a maximum of 5,500 lumens per net acre and are counted towards the 100,000 lumens per net acre cap.

Outdoor Lighting Application

Part 2 – Inventory

Lighting Inventory and Lumen Calculation Table

- Refer to page 3 for an example of a plan view diagram and completed table.
- List all new or proposed lighting first, then any existing light.
- Include any lighting proposed for external illumination of signs.
- Attach photometric data sheet or manufacturer’s product description for all lights, both new and existing (must include lumens). If such data is not available for existing fixtures that will be retained, include photographs of the fixtures showing sufficient detail to determine the shielding characteristics.
- Please include a Site Plan identifying all proposed and existing lighting fixtures.

Lamp Type Key: LPS Low Pressure Sodium
 HPS High Pressure Sodium
 MH Metal Halide
 FL Fluorescent
 IN Incandescent (including quartz-halogen)

Shielding Key: F Fully Shielded
 P Partially Shielded
 U Unshielded

Plan Key (ID)*	Light Class (1, 2, or 3)	Lamp Type (LPS, HPS, MH, FL, IN)	Initial Lumens	No. of Units	Shielding (F, P, or U)	Watts (each)	New or Existing (N or E)	Total Lumens
SA 1	1	LED	3,350	1	F		N	3,350
SC 2	5	CFL	1,000	5	F		N	5,000
Total Lumens =								8,350

*Plan key identification in first column must correspond to labeling on site plan map below.

Please attach a site plan (see following example) of your structure and locations for the new and existing exterior lighting.

Applicant Signature: 

Date: 4/14/2016



Type:
 Fixture:
 Project:

SC1

FCC611

6" Round Wall or Surface Mounted
 Stainless Steel Cylinder.



ORDERING

EXAMPLE: FCC611W-120V-20W MH G12-BK-F

SERIES	VOLTAGE	SOURCE/TEMPERATURE/LAMP	FINISH	LED OPTICS	ACCESSORIES
FCC611	120V	PL 13T 18T 26T	BK Black	SP Spot	EC E-Coat
FCC611W	277V	INC 75W PAR30	BZ Bronze	NFL Narrow Flood	EMR Emergency Backup, Remote (PL only, LEDΔ)
	347VΔ	HID 20W MH G12	CC Custom Color	FL Flood	F Fuse
		LED 3K 600 Lumens *min	SL Silver	WFL Wide Flood	
		4K 1000 Lumens *min	WH White		

Δcontact factory

SPECIFICATION

MOUNTING

- Mounts directly to standard recessed junction box. Additional mounting holes allow unit to be attached directly to mounting surface.

CONSTRUCTION

- Marine grade 316 stainless steel.
- Lens is 1/8" thick clear, tempered glass. Precision formed semi-specular aluminum for maximum reflectance.
- Neoprene continuous closed cell urethane 'O' ring gasket to seal out contaminants. Captive and recessed stainless steel, tamper resistant hex socket screws.

LED

- *Stated minimum lumens are delivered out of the luminaire. LED lifetime is greater than or equal to 70,000 hours with the lumen depreciation greater than L70. All of our luminaires are tested to LM 80 with a minimum CRI of 80 and color consistency of step 4 MacAdam Ellipse. Integral power supply standard. Input voltage 120V or 277V. Consult factory for dimming, all RGB color changing and any single color options.

FINISH

- Six stage chemical pre-treatment process that includes iron phosphate, to prepare the substrate for a UV stable, super durable standard polyester powder coat.
- Optional e-coat process is added to the standard finish including zinc phosphate for a 5 year limited warranty.

ELECTRICAL

- Socket** PL: Four pin plug-in type compact fluorescent lamp holder (*lamp by others*). INC (120V only): Medium base porcelain socket. HID: G12 base porcelain socket.
- Ballast** PL: Fluorescent electronic, UL listed ballast standard. HID: Electronic ballast standard. Ballast has a manufacturer issued 5 year warranty. Please consult factory for other voltage options.

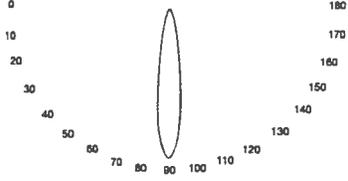
LISTING

- UL & cUL listed for wet locations (*for solid ceilings only*). IP65 Rating.

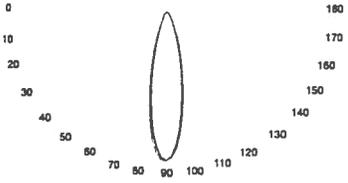


PHOTOMETRY

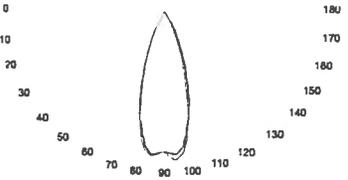
FCC611 120V LED 4000K 1000 Lumens Spot Distribution



FCC611 120V LED 4000K 1000 Lumens Narrow Flood Distribution

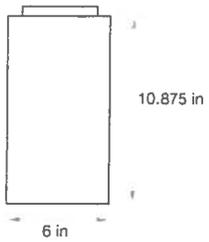


FCC611 120V LED 4000K 1000 Lumens Flood Distribution

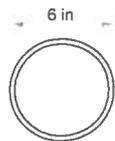
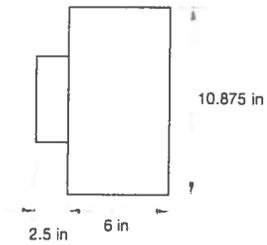


DIMENSIONS

FCC611



FCC611W



SA 1
SA 2



Search

Full Cutoff LED Wall Packs

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Products

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WallMax Wall Packs

LED Flood Lights

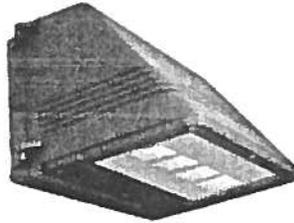
LED Area and Roadway Light Fixtures

LED Hazardous Location Fixtures

LED Vapor Tight Linear Fixtures

LED VaporProof Jelly Jar

LED Security Light Fixtures



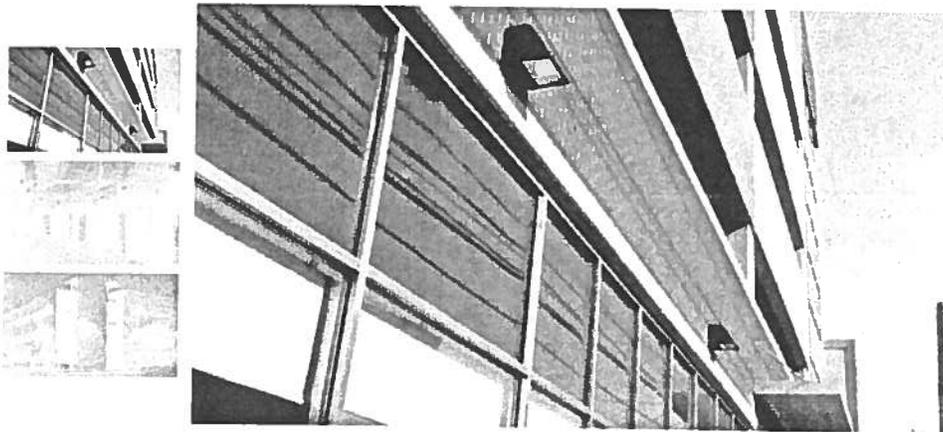
Overview:

MaxLite's MaxLED® Full Cutoff LED Wall Packs are available in 20-, 30-, 40- and 70-watts. These wall packs were designed and engineered as maintenance free, energy-efficient alternatives to traditional fluorescent, high/low pressure sodium, metal halide, induction, and other types of lighting fixtures. Replacing 100- to 250-watt metal halide fixtures, the wall packs eliminate upward illumination contamination of the night sky, while providing highly effective delivered lumens for outdoor illumination at hotels, garages, commercial buildings, public spaces, schools and universities and hospitals. All Full Cutoff LED Wall Packs are available in 5000K (daylight) correlated color temperature (CCT) and maximize brightness. DesignLights Consortium®-qualified models are available.

Validations & Accolades:



Product Gallery



Data Sheets and Specifications

Click here to view product specifications and download data sheets

Incentives for Full Cutoff LED Wall Packs:

Rebates for MaxLite Products are available. Click [here](#) or scroll to the Available Utility Rebates tab below to see rebates available in your area.

Ready to Buy Full Cutoff LED Wall Packs?

Find your local distributor [here](#) or MaxLite rep [here](#).

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[Options/Accessories](#)

[Lighting Layout](#)

Model Number

WPCS20AU50B

WPCS30AU50B

MLLWP40LED50DS-150

MLLWP70LED50DS-150



» Performance

Data Sheet

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Input Wattage	19.0 W	26.0 W	37.0 W	58.0 W
Input Voltage Range (V)	120-277	120-277	120-277	120-277
Delivered Lumens (lm)	2195.0 lm	3025.0 lm	3725.0 lm	5495.0 lm
Efficacy (lm/W)	116.0 lm/W	117.0 lm/W	101.0 lm/W	95.0 lm/W
Color Rendering Index (CRI)	80	82	86	85
Color Temperature (CCT)	5000 K	5000 K	5000 K	5000 K
Equivalent Wattage	100W MH	150W MH	175W MH	250W MH
Power Factor	0.92	0.94	0.96	0.96
MAX THD (%)	16	15	16	14
Min. Ambient Temp (°F)	-30 °F	-30 °F	-30 °F	-30 °F
Max. Ambient Temp (°F)	122 °F	122 °F	115 °F	115 °F
» Dimming Control				
Dimming compatible	Yes	Yes		
0-10V Dimming	Yes	Yes		
» Dimensions				
Product Weight (lbs.)			12.76 lbs.	
Product Depth (Inches)	11.26 "	11.26 "	13.78 "	13.78 "
Product Height (Inches)	9.06 "	9.06 "	9.14 "	9.14 "
Product Length (Inches)			0.00 "	0.00 "
Product Width (Inches)	12.60 "	12.60 "	18.30 "	18.30 "
» Longevity				
L70 Life (Hours)	145000 hours	145000 hours	95000 hours	95000 hours
Warranty (Years)	5 years	5 years		5 years
» Validations and Downloads				
LM-79	Download	Download	Download	Download
.ies	Download	Download		Download
LM-80	Yes	Yes		Yes
UL	Y	Y	Y	Y
Owner Manual	Download	Download	Download	Download
» Qualifications				
DesignLights Consortium®	Yes	Yes	Yes	Yes
LED Lighting Facts®	Download	Download	Download	Download

Sedona School of Massage
2945 Southwest DR
Sedona, AZ 86336

February 11, 2016

Sedona Planning and Zoning
102 Roadrunner DR
Sedona, AZ 86336

To Whom This May Concern,

Hello! I am writing in regard to a letter of intent and project information for Garnello Warehouse Building.

I own the property directly north of this project. I had a couple of questions. There are 2 trees right on the property line. Are you planning on taking them down, and, if so, is that necessary? I was also wondering if there is any possibility of moving the structure east to the utility easement to allow for more light and at least more space for the big tree.

Thank you for your time and consideration.

Regards,

Nancy Matthews
Director

PH: 928-284-3693

Email: info@sedonaschool.com

The symbols used in the Sedona Area Landscape Plant List are explained below:

A = Alluvial soils	M = Marginal near 0°
R = Riparian sites	W = Needs more water
D = Dry sites	X = Deciduous
P = Poor sites	AC = Accent Plant
H = Heat resistant	E = Evergreen
S = Needs summer shade	DR = Drought resistant

CITY OF SEDONA

LOW WATER PLANT LIST

NATIVE TREES					
Scientific Name	Common Name	Height	Site	Leaves	Comments
<i>Acer glabrum</i>	Rocky Mountain Maple	6-20'	S	X	W
<i>Acer grandidentatum</i>	Bigtooth Maple	8-30'	S	X	W
<i>Celtis laevigata reticulata</i>	Netleaf Hackberry	20-35'	A	X	
<i>Chilopsis linearis</i>	Desert Willow	10-25'	A	X	
<i>Cupressus arizonica</i>	Arizona Cypress	30-75'	A, R	E	
<i>Fraxinus velutina</i>	Velvet (Arizona) Ash	30-40'	R	X	
<i>Juglans major</i>	Arizona Walnut	30-50'	R	X	
<i>Juniperus coahuilensis</i>	Redberry Juniper	20-35'	D	E	
<i>Juniperus deppeana</i>	Alligator Juniper	20-60'	A	E	
<i>Juniperus osteosperma</i>	Utah Juniper	20-30'	D	E	
<i>Pinus edulis</i>	Pinyon Pine	15-35'	D	E	
<i>Pinus monophylla</i>	Singleleaf Pinyon	20-25'	DR	E	
<i>Platanus wrightii</i>	Arizona Sycamore	40-100'	R	X	W
<i>Populus fremontii</i>	Fremont Cottonwood	50-100'	R	X	W
<i>Prosopis velutina</i>	Velvet Mesquite	20-30'	A	X	
<i>Quercus emoryi</i>	Emory Oak	20-50'	A	X	
<i>Robinia neomexicana</i>	New Mexico Locust	6-25'	A	E	

NATIVE SHRUBS					
Scientific Name	Common Name	Height	Site	Leaves	Comments
<i>Agave parryii</i>	Parry's Agave	3-4'	H, D	E	AC
<i>Amelanchier utahensis</i>	Serviceberry	6-15'	D	X	
<i>Amorpha fruticosa</i>	Desert False Indigo	4-8'	H	E	W
<i>Amorpha californica</i>	California False Indigo	4-8'	H	E	W
<i>Arctostaphylos pringlei</i>	Pringle's Manzanita	10'	D	E	
<i>Arctostaphylos pungens</i>	Pointleaf Manzanita	3-6'	D	E	
<i>Atriplex canescens</i>	Four-wing Saltbush	2-4'	A	E	
<i>Canotia holacantha</i>	Crucifixion Thorn	10-15'	D	E	
<i>Ceanothus greggii</i>	Desert Ceanothus	3-5'	D	E	
<i>Ceanothus integerrimus</i>	Deerbrush	3-8'	R, A	E	
<i>Ceratoides lanata</i>	Winterfat	1-3'	H	E	
<i>Cercocarpus montanus</i> var. <i>paucidentatus</i>	Mountain Mahogany	4-8'	A, D	E	

<i>Chamaebatiaria millefolium</i>	Fernbush	3-8'	D	E	
<i>Cornus sericea</i>	Redosier Dogwood	3-7'	R	X	W
<i>Dalea formosa</i>	Feather Dalea	2'	H, DR, D	E	
<i>Ephedra viridis</i>	Mormon Tea	2-6'	A, D	E	
<i>Ericameria laricifolia</i>	Turpentine Bush	1-3'	A, D	E	
<i>Fallugia paradoxa</i>	Apache Plume	3-5'	D	E	
<i>Fendlera rupicola</i>	Fendlerbush	4-10'	D	X	
<i>Forestiera pubescens</i> (F. <i>neomexicana</i>)	Desert Olive	3-6'	A, D	X	
<i>Fouquieria splendens</i>	Ocotillo	6-20'	D	X	
<i>Frangula californica</i>	California Buckthorn	3-5'	A, S, D	E	
<i>Fraxinus anomala</i>	Singleleaf Ash	6-20'	D	X	
<i>Garrya flavescens</i>	Ashy Silktassel	6-12'	D, A	E	
<i>Garrya wrightii</i>	Wright's Silktassel	6-10'	D	E	
<i>Lycium pallidum</i>	Wolfberry	3-6'	D	E	
<i>Mahonia fremontii</i>	Fremont Barberry	3-6'	D	E	
<i>Mahonia haematocarpa</i>	Red Barberry	3-6'	D	E	
<i>Nolina microcarpa</i>	Beargrass	3'	S, D	E	
<i>Philadelphus microphyllus</i>	Littleleaf Mock Orange	3-6'	A, R	X	
<i>Prunus virginiana</i>	Chokecherry	10-25'	R	X	W
<i>Ptelea trifoliata angustifolia</i>	Hoptree	6-12'	D	X	
<i>Purshia stansburiana</i> (<i>Cowania mexicana</i>)	Cliffrose	3-6'	D	E	
<i>Quercus gambelii</i>	Gambel Oak	5-15'	D, H	E	
<i>Quercus palmeri</i>	Palmer Oak	6-10'	D, H	E	
<i>Quercus turbinella</i>	Scrub Oak	5-15'	D, H	E	
<i>Rhamnus ilicifolia</i>	Hollyleaf Buckthorn	3-6'	D	E	
<i>Rhus glabra</i>	Smooth Sumac	4-8'	A	X	W
<i>Rhus ovata</i>	Sugar Sumac	2-15'	D	E	
<i>Rhus trilobata</i>	Skunkbush (Squawbush)	3-8'	D	X	
<i>Ribes aureum</i>	Golden Currant	3-6'	S	X	W
<i>Rubus neomexicanus</i>	New Mexico Raspberry	6-8'	R, S	X	W
<i>Sambucus nigra</i>	Black Elderberry	3-20'	R	X	W
<i>Sophora secundiflora</i>	Texas Mountain Laurel	10-20'	H, P	E	
<i>Symphoricarpos rotundifolius</i>	Roundleaf Snowberry	3-6'	D	X	W
<i>Yucca baccata</i>	Banana Yucca	2-3'	D	E	AC
<i>Yucca elata</i>	Soaptree Yucca	2-20'	D, A	E	AC

NATIVE CACTUS			
Scientific Name	Common Name	Height	Site
<i>Cylindropuntia whipplei</i>	Whipple Cholla	2-3"	H, D
<i>Cylindropuntia leptocaulis</i>	Desert Christmas Cactus	2-3'	H, D
<i>Echinocereus coccineus</i>	Claret Cup Cactus	1'	H, D
<i>Echinocereus fasciculatus</i>	Pinkflower Hedgehog	12"	P, H, D
<i>Escobaria vivipara</i>	Beehive Cactus	2-3"	P, D, H
<i>Opuntia chlorotica</i>	Pancake Pricklypear	2-4'	H, D
<i>Opuntia engelmannii</i>	Engelmann Pricklypear	2-6'	H, P

Opuntia phaeacantha	Brownspear Pricklypear	12"	P, H, D
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NATIVE GROUNDCOVERS AND WILDFLOWERS			
Scientific Name	Common Name	Height	Exposure
Baileya multiradiata	Desert Marigold	low	full sun
Bouteloua curtipendula	Sideoats Grama (grass)	1-2'	full sun
Bouteloua gracilis	Blue Grama (grass)	1.5-2'	full sun
Castilleja angustifolia	Desert Indian Paintbrush	12"	full sun
Epilobium canum latifolium	Hummingbird Trumpet	low	part shade
Fragaria virginata	Wild Strawberry	low	shade
Glandularia gooddingii	Desert Verbena	low	full sun
Gutierrezia sarothrae	Snakeweed	12-18"	full sun
Linum lewisii	Blue Flax	2'	full sun
Mahonia repens	Creeping Barberry	6-18'	part shade
Melampodium leucanthum	Blackfoot Daisy	low	full sun
Mirabilis multiflora	Colorado Four-O'-Clock	6-10"	full sun
Muhlenbergia rigens	Deergrass	4'	sun/part shade
Penstemon barbatus	Beardlip Penstemon	low	full sun
Penstemon eatonii	Eaton's Penstemon	low	full sun
Penstemon linarioides	Toadflax Penstemon	low	full sun
Penstemon palmerii	Palmer's Penstemon	low	full sun
Penstemon pseudospectabilis	Desert Penstemon	low	sun/part shade

NATIVE VINES		
Scientific Name	Common Name	Exposure
Clematis ligusticifolia	Western White Clematis	part/full shade
Parthenocissis vitacea	Woodbine	shade
Vitis arizonica	Canyon Grape	part shade

ADAPTIVE TREES					
Scientific Name	Common Name	Height	Site	Leaves	Comments
Albizia julibrissin	Silk Tree	20-40'	H	X	
Catalpa bignonioides	Common Catalpa	30-40'	A	X	W
Cercis canadensis	Eastern Redbud	25'	DR	X	
Cercis occidentalis	Western Redbud	10-20'	DR	X	
Cercis siliquastrum	Judas Tree Redbud	25'	DR	X	
Chitalpa tashkentensis	Chitalpa	20-30'		X	W
Eriobotrya deflexa	Bronze Loquat	8'	S	E	W
Eriobotrya japonica	Loquat	15-30'	S	E	W
Fraxinus angustifolia 'Raywood'	Raywood Ash	50'	H	X	
Gleditsia triacanthos	Thornless Honeylocust	35-70'	H, DR	X	
Lagerstroemia indica	Crape Myrtle	15-25'	H	X	
Ligustrum japonica	Privet, Japanese	12'	A	E	
Lingstrum lucidum	Privet, Glossy	20-40'	A	E	
Magnolia grandiflora 'Russet'	Magnolia 'Russet'	12-15'	H	E	
Malus spp.	Flowering Crabapple	6-30'	H	X	

Morus alba	Fruitless Mulberry	30-40'	H, DR	X	
Olea europaea	European Olive	25-30'	H	E	fruitless
Photinia x fraseri	Photinia	14-16'	H	E	
Pinus halepensis	Aleppo Pine	30-60'	H, DR, M	E	
Pinus nigra	Austrian Black Pine	20-25'	H	E	
Pinus pinea	Italian Stone Pine	40-50'	H, D	E	
Pinus thunbergiana	Japanese Black Pine	15-20'	H	E	
Pistacia chinensis	Chinese Pistache	30-60'	P, H, D	X	
Platanus acerifolia	London Plane	40-80'	P, R	X	W
Platanus occidentalis	American Plane	40-80'	P, R	X	W
Platanus racemosa	California Sycamore	40-80'	R	X	W
Propopis pubescens	Screwbean Mesquite	30'	DR, D	X	
Prunus americana	Flowering Plum	20-30'	A	X	
Prunus caroliniana	Carolina Laurel Cherry	15-20'	H, DR	E	
Pyrus calleryana 'Aristocrat'	Pear, Ornamental	20-30'	H	X	
Pyrus calleryana 'Bradford'	Pear, Ornamental	20-30'	H	X	
Robinia x ambigua 'Purple Robe'	Locust 'Purple Robe'	30-40'	H, DR	X	W, suckers
Salix matsudana 'Navajo'	Globe Willow	16-20'	H, DR	X	W
Vitex agnus-castus	Chaste Tree	6-25'	H	X	

ADAPTIVE SHRUBS					
Scientific Name	Common Name	Height	Site	Leaves	Comments
Abelia chinensis	Abelia	4-5'	H	X	
Abelia x grandiflora	Glossy Abelia	8'	H	E	
Agave americana	Century Plant	6-25'	D	E	AC
Agave chrysantha	Chrysantha Agave	6-15'	P, H	E	
Agave palmeri	Palmer's Agave	6-15'	P, H	X	
Arctostaphylos densiflora 'McMinn'	Manzanita 'McMinn'	5-6'	H	E	
Arctostaphylos densiflora 'Sentinel'	Manzanita 'Sentinel'	6-8'	H	E	
Artemisia schmidtiana	Angel's Hair	2'	DR, H	E	
Baccharis pilularis	Coyote Brush	1-1.5'	H	E	
Berberis thunbergii	Japanese Barberry	4-6'	H	X	
Berberis x mentorensis	Barberry	4-7'	H	X, E	
Buddleja davidii	Butterfly Bush	4-12'	P, H	X	
Buxus microphylla koreana	Korean Boxwood	2-3'	A	E	
Caesalpinia gilliesii	Yellow Bird-of-Paradise	4-6'	H, DR	E	
Caryopteris incana	Common Bluebeard	3-4'	H, D, DR	X	
Ceanothus 'Concha'	California Lilac	6-7'	H, D	E	
Ceratoides lanata	Winterfat	1-3'	H	X	
Cercocarpus montanus	Mountain Mahogany	4-5'	A, D	E	
Cotoneaster divaricata	Spreading Cotoneaster	5-6'	H, DR	X	
Cotoneaster lacteus	Clusterberry	4-7'	H, DR	E	
Cupressus arizonica 'Blue Pyramid'	Arizona Cypress	20'	A	E	

<i>Cupressus arizonica</i> 'Icy Blue'	Arizona Cypress	20'	A	E	
<i>Cupressus arizonica</i> 'Taylor Silver'	Arizona Cypress	20'	A	E	
<i>Dalea frutescens</i>	Black Dalea	1-3'	P	X	
<i>Dasiphora fruticosa</i>	Cinquefoil	1-4'	H, D, DR	X	
<i>Elaeagnus pungens</i>	Silverberry	10-15'	H, DR	E	
<i>Eriogonum umbellatum</i>	Sulphur Flower	4-12"	H, D	X	
<i>Forsythia</i> spp.	Forsythia	1-5'	H	X	W
<i>Fraxinus greggii</i>	Little Leaf Ash	To 15'	H, DR	X	
<i>Hesperaloe parviflora</i>	Red Yucca	3-4'	H, DR	E	
<i>Hibiscus syriacus</i>	Rose-of-Sharon	10-12'	DR	X	
<i>Ilex cornuta</i> 'Burfordii'	Burford Holly	3-10'	S	E	
<i>Jasminum nudiflorum</i>	Jasmine, Winter	10-15'	S	X	
<i>Juniperus sabina</i> 'Tamariscifolia'	Tam Juniper	2-4'	P, H, DR	E	
<i>Juniperus chinensis</i>	Juniper (many cultivars)	2-15'	P, H, DR	E	
<i>Lagerstroemia indica</i>	Crape Myrtle	15'	H	X	
<i>Lavandula stoechas</i>	Spanish Lavendar	1-3'	H, DR	E	
<i>Leucophyllum</i> (several species)	Texas Ranger	5-12'	H, D, DR	X	
<i>Ligustrum amurense</i>	Amur Privet	6-15'	H	E	
<i>Lonicera fragrantissima</i>	Honeysuckle, Winter	8'	H	X	
<i>Mahonia aquifolium</i>	Oregon grape	2-3'	S	E	
<i>Nandina domestica</i>	Heavenly Bamboo	6-8'	DR, M	E	
<i>Perovskia atriplicifolia</i>	Sage, Russian	3'	H, D, DR	X	
<i>Photinia x fraseri</i>	Photinia	6-12'	DR, M	E	
<i>Pittosporum tobira</i>	Tobira	6-15'	DR, S	E	
<i>Punica granatum</i>	Pomegranate	6-10'	H, DR	X	
<i>Pyracantha coccinea</i>	Pyracantha	8-10'	H, DR	E	
<i>Pyracantha crenatoserrata</i>	Pyracantha	10-12'	H, DR	E	
<i>Pyracantha</i> 'Mojave' hybrid	Pyracantha	6-12'	H, DR	E	
<i>Raphiolepis indica</i>	Indian Hawthorn	4-5'	H, D	X	
<i>Rhamnus alaternus</i>	Italian Buckthorn	10-20'	H, D, DR	E	
<i>Rosa</i>	Rose	3-6'	H	X	Separate water line
<i>Rosmarinus officinalis</i>	Rosemary	2-6'	H, DR	E	
<i>Salvia clevelandii</i>	Cleveland Sage	4'	H, D, DR	X, E	
<i>Salvia greggii</i>	Autumn Sage	4'	H, DR	X, E	
<i>Santolina chamaecyparissus</i>	Gray Santolina	2'	P, H, DR	E	
<i>Santolina virens</i>	Green Santolina	2'	P, H, DR	E	
<i>Shepherdia argentea</i>	Silver Buffaloberry	6-12'	S	E	
<i>Shepherdia rotundifolia</i>	Roundleaf Buffaloberry	3-4'	D	E	
<i>Salvia clevelandii</i>	Cleveland Sage	4'	H, D, DR	X, E	
<i>Viburnum x burkwoodii</i>	Burkwood's Viburnum	6-12'	H	E	
<i>Viburnum carlesii</i>	Korean Spice Viburnum	4-8'	S	X	
<i>Viburnum lantana</i>	Wayfaring Tree	8-15'	DR	X	
<i>Vitex agnus-castus</i>	Chaste Tree	8-15'	H	X	

ADAPTIVE CACTUS			
Scientific Name	Common Name	Height	Site
Opuntia santa-rita	Santa Rita Prickly Pear	2-4'	H, D

ADAPTIVE GROUNDCOVERS AND WILDFLOWERS					
Scientific Name	Common Name	Height x Width	Site	Leaves	Comments
Ajuga spp. and vars.	Ajuga	2-10"x8"	S, W	E	
Anacyclus depressus	Mt. Atlas Daisy	6"x6'	H, D	X	
Baccharis pilularis	Coyote Brush	1-2'x6'	P, H, DR	E	
Bouteloua curtipendula	Sideoats Grama (grass)	1-2'x2'	H, P, D	X	
Bouteloua gracilis	Blue grama (grass)	1.5-2'x1'	H, P, D	X	
Cerastium tomentosum	Snow-in-summer	6-8"x2-3'	H, DR, P	E	
Cotoneaster adpressa	Cotoneaster, Creeping	1'x6'	DR, H	X, E	
Cotoneaster dammeri	Bearberry Cotoneaster	8"x10'	DR, H	X	
Cotoneaster horizontalis	Rock Cotoneaster	2-3'x10-15'	DR, H	X	
Dalea capitata	Dalea Capitata	8"x3'		X	
Dalea greggii	Trailing Indigo Bush	1.5'x6'		E	
Echinacea purpurea	Purple Cone Flower	1-2'x2'	H	X	
Erysimum kotschyannum	Wallflower	6"	H, D	E	
Eschscholzia californica	California Poppy	1'x1.5'	H, DR		annual
Euonymus fortunei vars.	Purple-leaf Winter Creeper	1-2'x6-8'	H	X, E	
Festuca ovina glauca	Blue Fescue (grass)	1'x10"	P, H	X	
Festuca rubra	Red Fescue (grass)	1'x1'	P, H	X	
Fragaria chiloensis	Beach or Sand Strawberry	6"x1'	S	X	
Lamium maculatum 'Pink Pewter'	Deadnettle	9"x3'	S	X	
Lonicera fragrantissima	Winter Honeysuckle	8'x8'		X	
Lupinus nanus	Sky Lupine	8"-2'x1'	H, P, D		annual
Muhlenbergia capillaris	Pink Muhly (grass)	1-6'x2-6'	H, DR, D	X	
Muhlenbergia rigens	Deergrass	4'x4'	H, P, D	X	
Nepeta mussinii 'Blue Wonder'	Catmint	6-12"x2-3'	H	X	
Penstemon pinifolius	Pineleaf Penstemon	1.5'x2'	H, D	E	
Potentilla neumanniana	Potentilla	2'x2'	Sun/part shade	E	W
Rosmarinus officinalis	Rosemary	1-4'x4-5'	H, DR	E	
Teucrium chamaedrys 'Prostratum'	Germander	4-6"x3'	P, H, DR	E	
Verbena peruviana	Peruvian Verbena	1'x2'	P, H, D		annual
Verbena rigida	Sandpaper Verbena	1'x2'	H, DR	X	W
Zinnia angustifolia	Zinnia	1'x2'	H	X	

ADAPTIVE VINES			
Scientific Name	Common Name	Exposure	Leaves
Campsis radicans	Trumpet Creeper	Sun	X
Lonicera sempervirens	Honeysuckle, Trumpet	Sun	E, X
Parthenocissus quinquefolia	Virginia Cr B ager21	Sun	X

<i>Rosa banksiae</i>	Lady Banks's Rose	Sun	E
<i>Trachelospermum jasminoides</i>	Star Jasmine	Shade	X
<i>Wisteria</i> spp.	Wisteria	Sun	X

UNACCEPTABLE TREES	
Scientific Name	Common Name
<i>Ailanthus altissima</i>	Tree of Heaven
<i>Cedrus deodara</i>	Deodar Cedar
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Elaeagnus angustifolia</i>	Russian Olive
<i>Eucalyptus</i> spp.	Gum Eucalyptus
<i>Melia azedarach</i>	Chinaberry
<i>Pinus eldarica</i>	Afghan (Mondel) Pine
<i>Tamarix</i> spp.	Tamarisk
<i>Ulnus pumila</i>	Siberian Elm

UNACCEPTABLE SHRUBS	
Scientific Name	Common Name
<i>Arundo donax</i>	Giant Reed
<i>Cortaderia jubata</i>	Pampas Grass
<i>Cortaderia selloana</i>	Pampas Grass
<i>Ericameria nauseosa</i>	Rabbitbrush, Chamisa
<i>Lantana camara</i>	Lantana
<i>Lantana montevidensis</i>	Lantana
<i>Rubus armeniacus</i>	Himalayan Blackberry

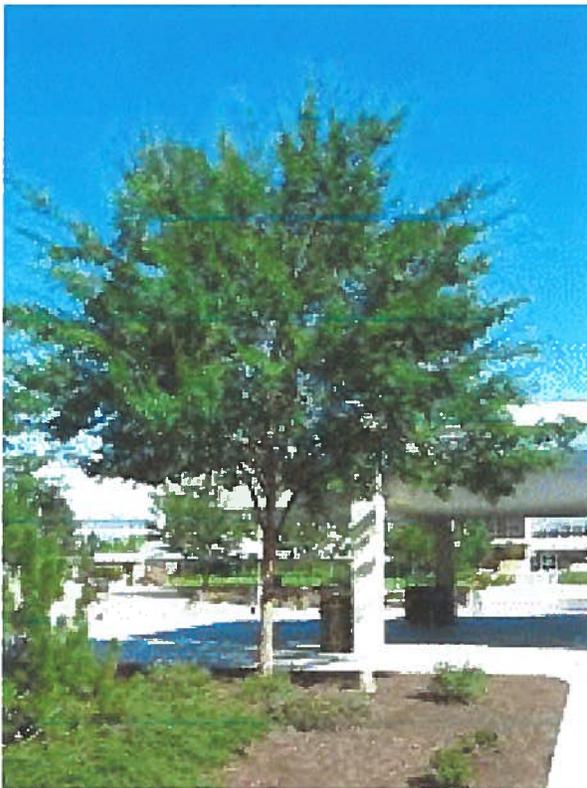
UNACCEPTABLE GROUNDCOVERS	
Scientific Name	Common Name
<i>Cynodon dactylon</i>	Bermuda grass
<i>Hedera helix</i>	English Ivy
<i>Pennisetum clandestinum</i>	Kikuyu Grass
<i>Poa pratensis</i>	Kentucky Bluegrass
<i>Pyracantha</i> spp.	Pyracantha, Firethorn*
<i>Vinca major</i>	Periwinkle
<i>Vinca minor</i>	Dwarf Periwinkle

*Not to be used as a groundcover because of needlelike thorns.

B: OUTLINE OF DEVELOPMENT REVIEW PROCESS



ARIZONA CYPRESS



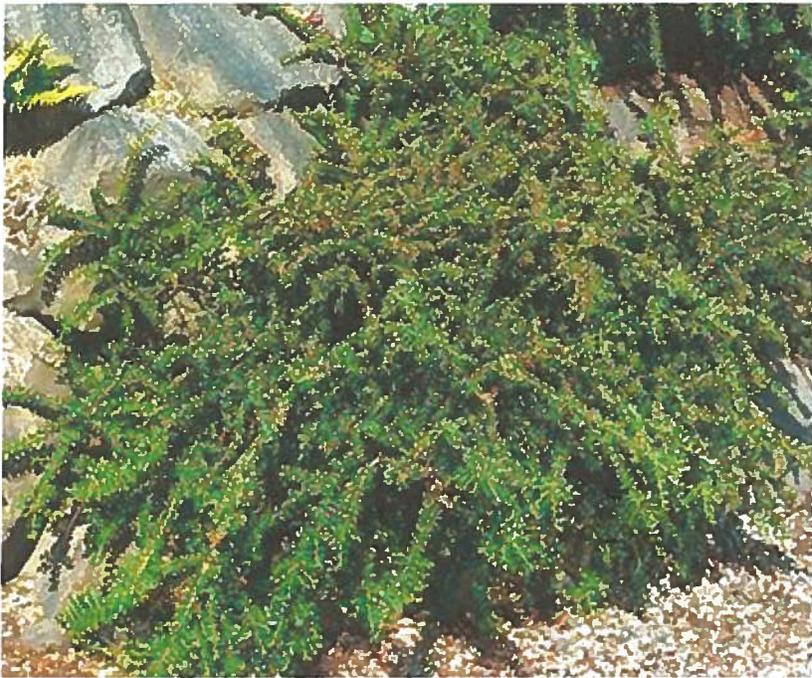
VELVET ARIZONA ASH



SILVERBERRY BUSH



INDIAN HAWTHORNE



COTONEASTER



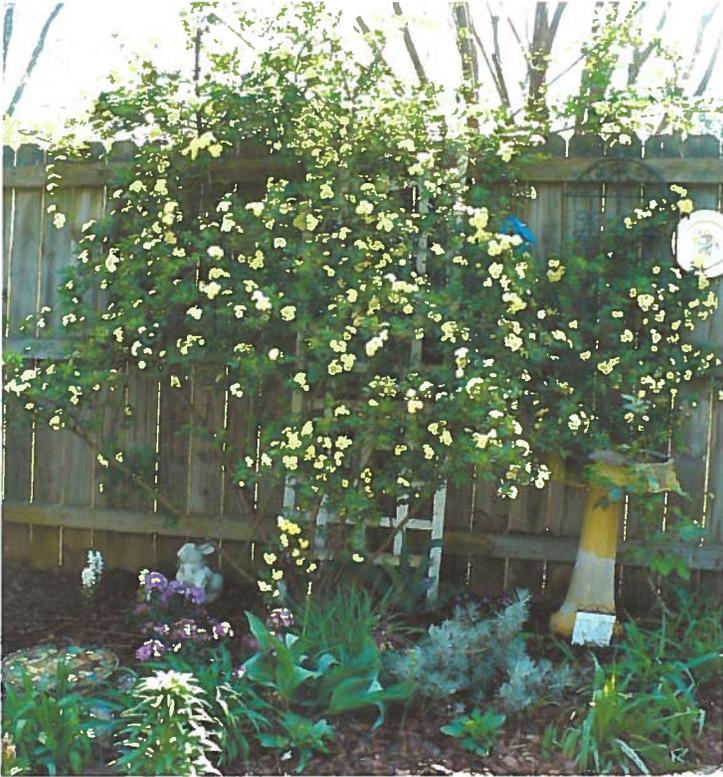
CLUSTERBERRY



SUNDANCER DAISY



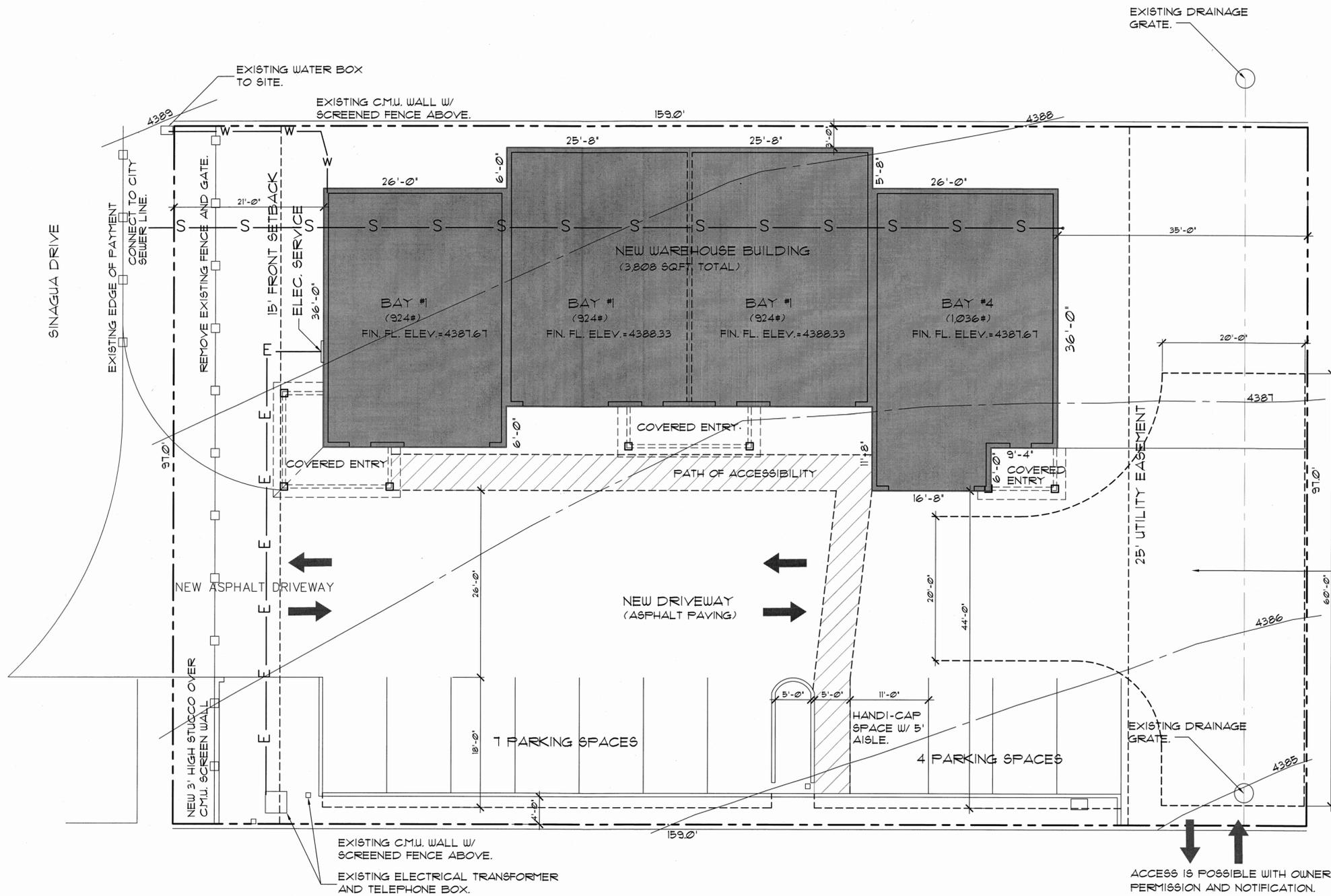
BLACKFOOT DAISY



LADY BANKS ROSE



STAR JASMINE



FOR DELIVERIES OR TRUCK TURN-AROUNDS, TRUCK MAY DO A 3-POINT TURN AT END OF DRIVEWAY. IF NECESSARY TRUCK MAY PROCEED ON PAVED DRIVE THROUGH GATE AND SOUTHERN PROPERTY AND ENTER ONTO STATE ROUTE 89-A. THIS WOULD BE COORDINATED WITH OWNER OF PROPERTY.

SITE ANALYSIS FOR:
 LARRY AND DENISE GARNELLO
 60 SINAGUA DRIVE
 SEDONA, ARIZONA
 PARCEL # 408-24-319
 ZONING: C-2 GENERAL COMMERCIAL-WAREHOUSING
 LOT AREA: .35 ACRES
 SETBACKS:
 FRONT = 15 FT. REAR AND SIDES = 0 FT.
 LOT COVERAGE:
 25% OF LOT AREA 15,246 X.25 = 3,812 SQ.FT.

TOTAL LOT COVERAGE = 3,808 SQ.FT.
 FLOOR AREA RATIO:
 (15,246 SQ.FT. X .25 = 3,812 SQ.FT.)
 PARKING REQUIREMENT:
 3,808 SQ.FT./750 = 5.1 SPACES
 (USE REQUIREMENT FOR INDUSTRIAL USES)
 PARKING PROVIDED ON SITE = 11 SPACES
 (INCLUDES ONE HANDI-CAP SPACE)

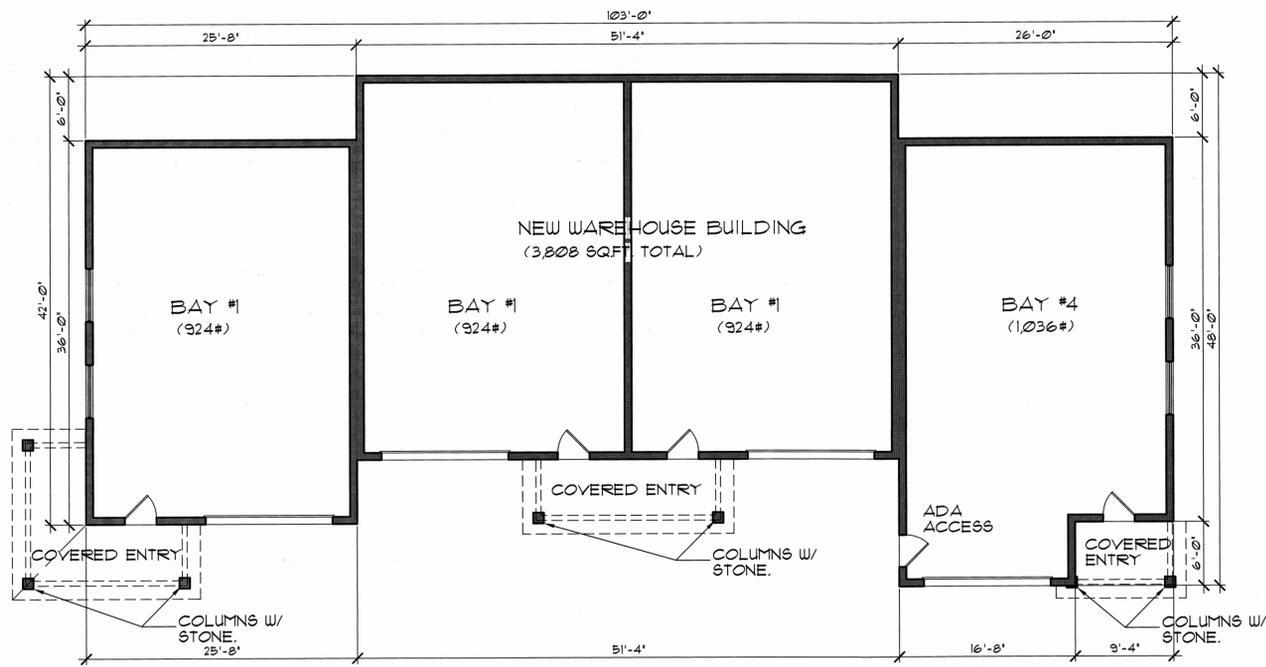
NEW WAREHOUSE BUILDING FOR:
 LARRY GARNELLO
 60 SINAGUA DRIVE SEDONA, ARIZONA
 APN: 408-24-319



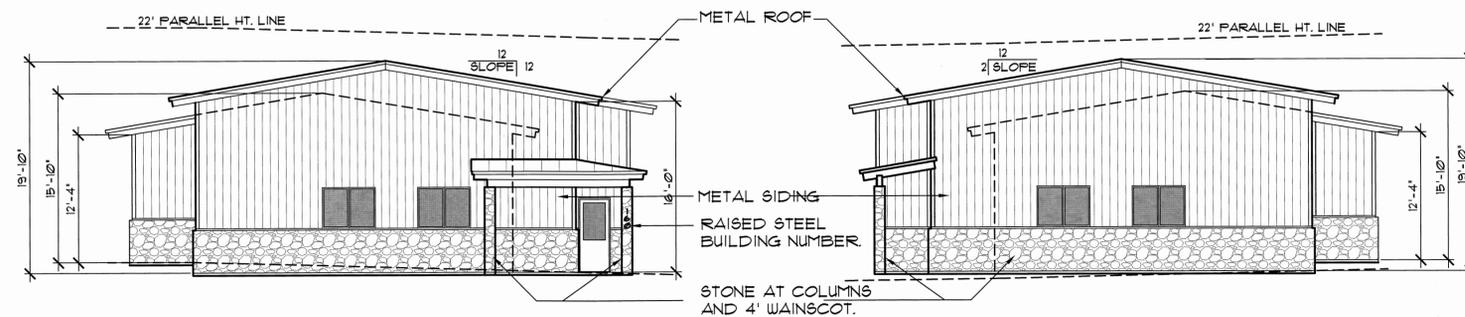
DAN SURBER ARCHITECT
 P.O. BOX 3764 SEDONA, AZ. 86340 928-204-2814

WAREHOUSE SITE PLAN

SCALE: 1/8" = 1'-0"

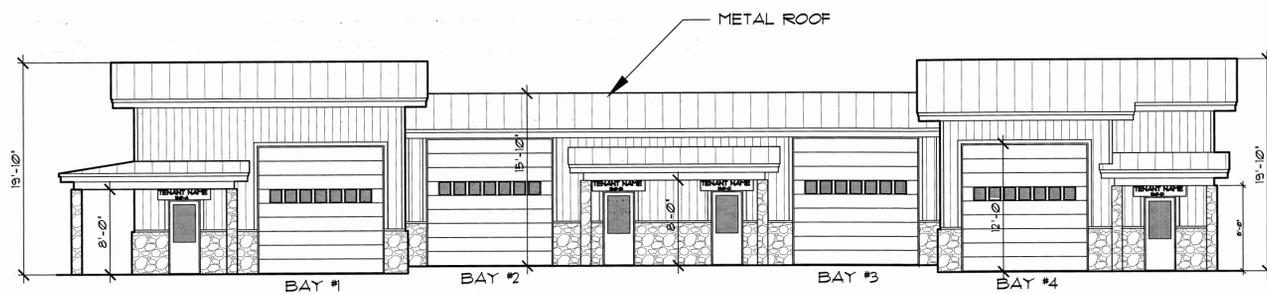


WAREHOUSE FLOOR PLAN
SCALE: 1/8" = 1'-0"

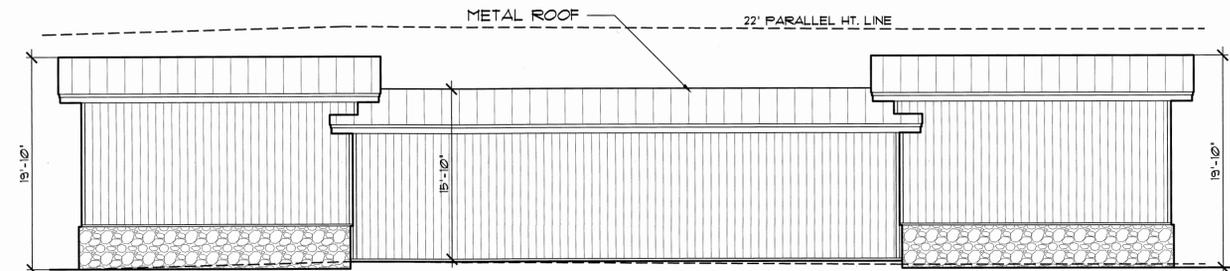


WEST ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

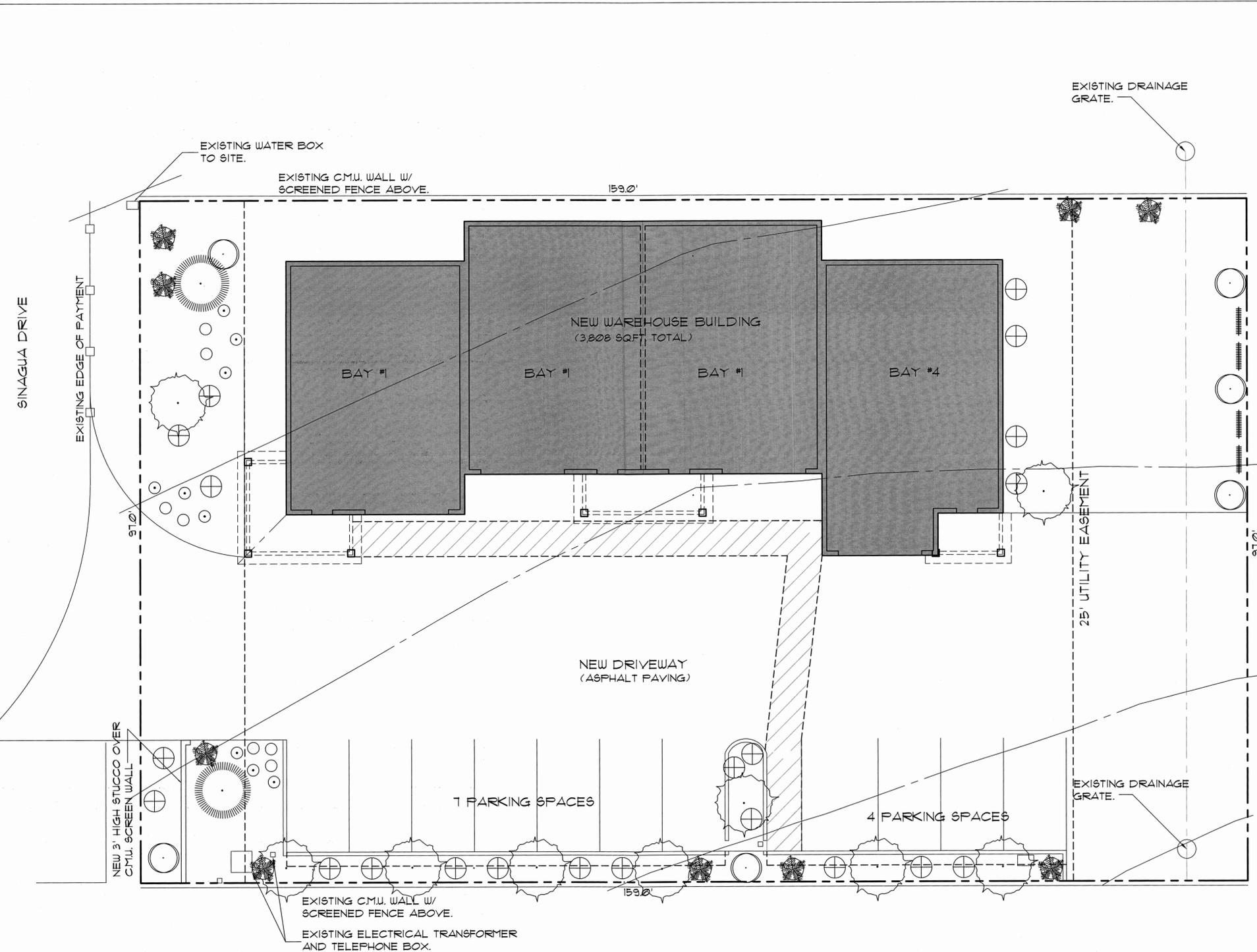


NORTH ELEVATION
SCALE: 1/8" = 1'-0"

NEW WAREHOUSE BUILDING FOR:
LARRY GARNELLO
60 SINAGUA DRIVE SEDONA, ARIZONA
APN: 408-24-319



DAN SURBER ARCHITECT
P.O. BOX 3764 SEDONA, AZ. 86340 928-204-2814



PLANT LIST AND LEGEND

COMMON NAME	SCIENTIFIC NAME	SIZE	QTY.
ARIZONA CYPRESS	CUPRESSUS ARIZONICA	15 GAL.	2
VELVET ARIZONA ASH	FRAXINUS VELUTINA	15 GAL.	8
SILVERBERRY	ELAEAGNUS PUNGENS	5 GAL.	6
INDIAN HAWTHORN	RAPHIOLEPIS INDICA	5 GAL.	18
CLUSTERBERRY	COTONEASTER PARNEYI	5 GAL.	9
SUNDANCER DAISY	HYMENOXYSS ACAULIS	1 GAL.	7
BLACKFOOT DAISY	MELAMPODIUM LEUCANTHUM	1 GAL.	9
LADY BANKS'S ROSE	ROSA BANKSIAE	1 GAL.	
STAR JASMINE	TRACHELOSPERMUM JASMINOIDES	1 GAL.	4

LANDSCAPE REQUIREMENTS/NOTES

A MINIMUM WIDTH OF 10 FEET SHALL BE REQUIRED FOR FRONTAGE AREA LANDSCAPING, WHICH MAY INCLUDE RIGHT-OF-WAY LANDSCAPING. A MINIMUM OF 5 FEET OF LANDSCAPING SHALL BE ON PROPERTY. IN C-2 ZONING REQUIRED FRONT AND STREET SIDE YARDS SHALL BE LANDSCAPED TO A DEPTH OF NOT LESS THAN 10' FEET.

A MINIMUM OF 1 TREE AND THREE SHRUBS FOR EACH 30 FEET OF STREET FRONTAGE IS REQUIRED.

PROVIDE DECORATIVE/STUCCO WALL 3 FEET IN HEIGHT BETWEEN END OF PARKING AREA AND STREET.

AT PARKING AREA PROVIDE A MINIMUM OF (2) 15 GAL. TREES AND 5 SHRUBS FOR EVERY 4 PARKING SPACES.

PROVIDE (1) 15 GAL. CANOPY TREE AND 3 SHRUBS AT PARKING PENINSULA.

ENSURE THAT ALL TREES ARE 8 FEET IN HEIGHT AND HAVE TRUNK DIAMETER OF 2 INCHES.

ENSURE THAT ALL SHRUBS ARE A MINIMUM OF 2 FEET HIGH. ALL REQUIRED LANDSCAPED AREAS SHALL BE PROVIDED WITH A PERMANENT AND ADEQUATE MEANS OF IRRIGATION.

LANDSCAPE/SITE PLAN
SCALE: 1/8" = 1'-0"



NEW WAREHOUSE BUILDING FOR:
LARRY GARNELLO
60 SINAGUA DRIVE SEDONA, ARIZONA
APN: 408-24-319

DAN SURBER ARCHITECT
P.O. BOX 3764 SEDONA, AZ. 86340 928-204-2814

SITE ANALYSIS FOR:
 LARRY AND DENISE GARNELLO
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 PARCEL # 408-24-319
 ZONING: C-2 GENERAL COMMERCIAL-WAREHOUSING
 LOT AREA: .35 ACRES (15,246 SQ.FT.)
 SETBACKS:
 FRONT = 15 FT. REAR AND SIDES = 0 FT.
 LOT COVERAGE:
 25% OF LOT AREA 15,246 X.25 = 3,812 SQ.FT.

LIGHTING INFORMATION:
 TOTAL SITE ACREAGE: .35 ACRES (15,246 SQ.FT.)
 TOTAL LUMENS ALLOWED: 35,000 LUMENS
 (1.054 ACRES X 100,000 LUMENS)

LUMINAIRE SCHEDULE					
Symbol	Label	Description/Lamp	Initial Lumens	Qty	Total Lumens
	SA1	FULL CUTOFF WALL PACK. AMBER HIGH OUTPUT LED W/ AMBER LENS DIFFUSER	3,350	1	3,350
	SC2	DECORATIVE WALL SCONCE COMPACT FLUORESCENT	1,000	5	5,000
TOTAL PROJECT SITE LUMENS					8,350
TOTAL LUMENS ALLOWED (100,000 X 1.054 ACRES)					35,000

FUTURE TENANT SIGN SHALL HAVE RAISED LETTERING.

TENANT SIGNAGE SHALL HAVE DARK BACKGROUND WITH RAISED WHITE LETTERING.



TENANT'S HANGING SIGN UP TO 12 SQ.FT. (SUITE'S 'A'-'D' AT 12SQ.FT. = 24SQ.FT.)

APPROVED NUMBER SHALL BE BELOW TENANT NAME BOTTOM OF SIGN. RAISED STEEL BUILDING NUMBER SHALL BE LOCATED AT FRONT COLUMN OF BUILDING.

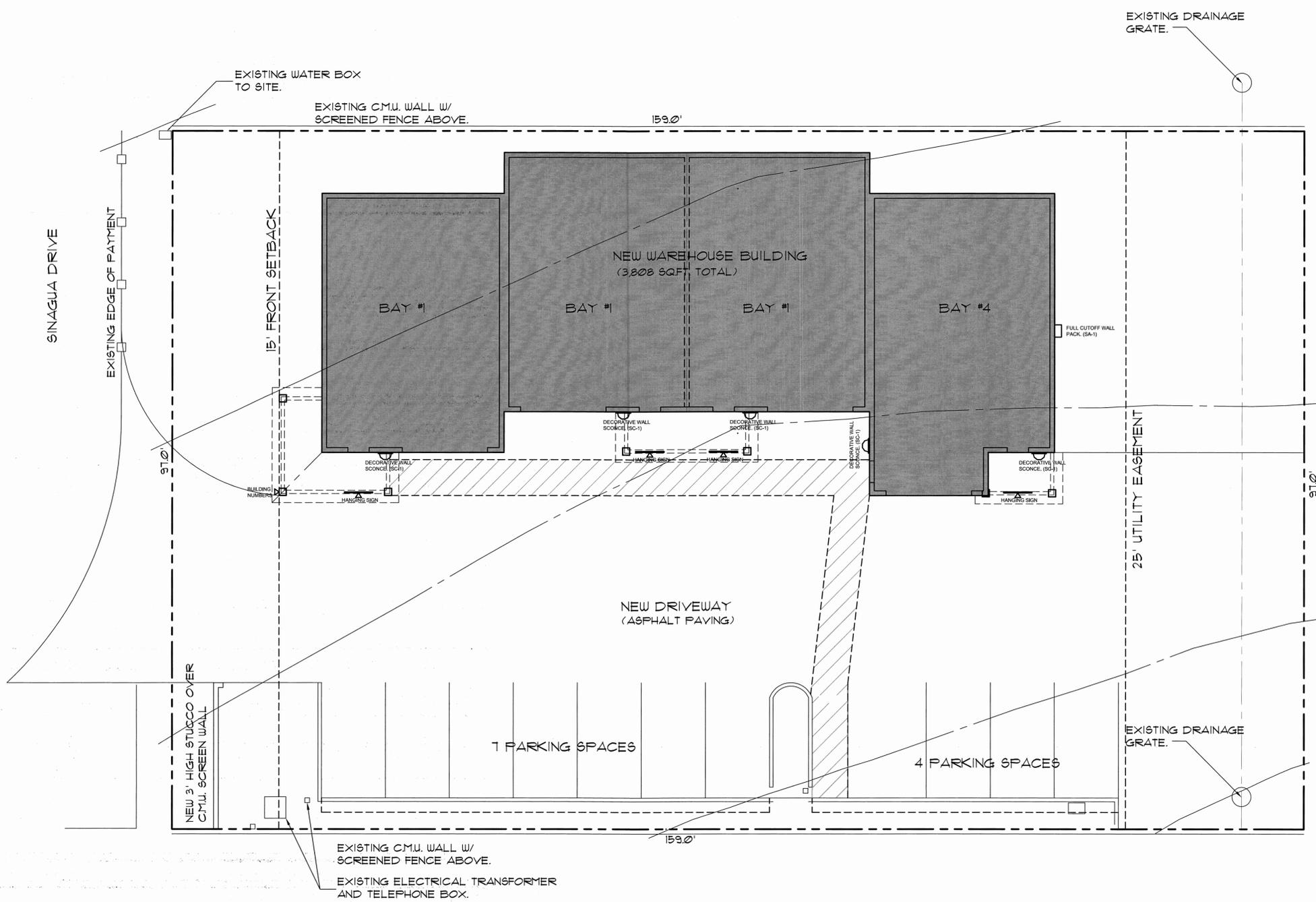


ALL SIGNS SHALL BE DESIGNED ACCORDING TO CITY OF SEDONA SIGN DESIGN STANDARDS. A DETAILED SIGN PLAN SHALL BE SUBMITTED AND APPROVED BY CITY OF SEDONA.
 TOTAL POTENTIAL WALL SIGNAGE = 48SQ.FT.

PROJECT SIGNAGE

NEW WAREHOUSE BUILDING FOR:
 LARRY GARNELLO
 60 SINAGUA DRIVE SEDONA, ARIZONA
 APN: 408-24-319

DAN SURBER ARCHITECT
 P.O. BOX 3764 SEDONA, AZ. 86340 928-204-2814



LIGHTING AND SIGNAGE PLAN

SCALE: 1/8" = 1'-0"

GARNELLO WAREHOUSE

60 SINAGUA DRIVE SEDONA, ARIZONA
GRADING PLAN
ASSESSOR'S PARCEL NO. 408-24-319

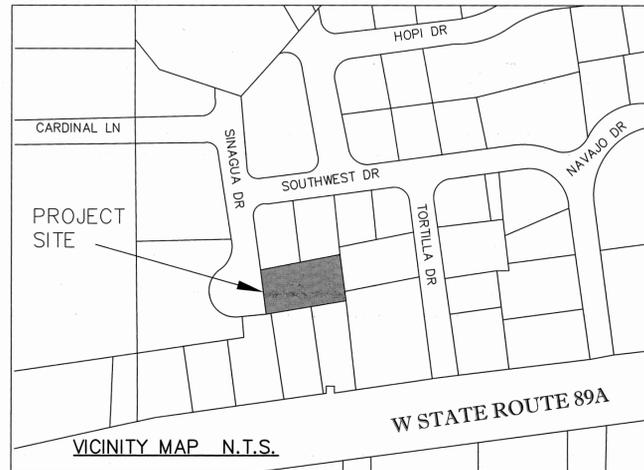
ARCHITECT

Dan Surber
PO Box 3764
Sedona, AZ 86340
(928) 204-2814

SHEET INDEX

- C1 - Specifications, General Information, Vicinity Map and General Site Plan
- C2 - Site Plan and SWPPP
- C3 - Details

NOTE: Elevations shown of this plan are based on City of Sedona storm sewer as-built elevation and architects Dan Surber's survey. Contractor shall verify all existing elevations before proceeding with the work.



General Requirements

- All the work, as applicable to this project, shall conform to the Uniform Standard specifications for Public Works Construction, sponsored by the Maricopa Association of Governments (MAG), latest addition.
- In case of any conflict in the plans or the specifications, the greater quantity or higher quality shall be installed.
- All work shall conform to the City of Sedona building code.
- All work shall conform to the City of Sedona public works standards.
- Contractor shall be responsible for the all surveying.
- All work shall include all materials, labor, tools, taxes, fees, permits, licenses, supervision and accessories to complete the work, and to provide a complete project.
- Contractor shall be an Arizona licensed contractor qualified for this type of work.
- Contractor shall furnish to owner, workers compensation and general liability insurance certificates before starting work.
- Contractor shall provide Engineer two copies of shop drawings of all equipment and materials for his review before starting installation.
- Contractor shall evaluate existing conditions, and determine & install all that is required of contractor to make a complete project.
- Contractor shall remove all existing trash from site and legally dispose of at his expense.
- Contractor shall perform all work according to professional industry standards.
- Contractor shall obtain Right of Way Permits.
- All work shall be inspected by the City of Sedona or the appropriate utility.
- Contractor shall pothole and locate all existing utilities that may affect construction. Immediately notify engineer in writing of any discrepancies.
- All manufacturers' installation instructions shall be followed.
- The buildings' two interior units top of footing elevation shall be the same as the top of the adjacent building's top of footing elevation. The exterior at the rear center of the building shall be the high point and shall be 0.5 feet above the finish floor at that point. Slope the grade from that high point a minimum of 1% to both east and west and then down and around to the inlet located at the southeast corner. Slope each parking stall to the north at a minimum of 1%. The maximum grade from the two interior units shall be 5%.

Grading

- All fill shall be compacted to 95% modified proctor.
- Soil under all pavement and site structures shall be surface compacted to 95% modified proctor just before placement of base or concrete.
- All slopes and grades shall be as noted on the plans. Contractor shall verify all grades before commencing work. Any discrepancies shall be reported to the engineer for his review and approval before commencing work.
- Contractor shall remove any unsuitable dirt and material from site and legally dispose of at their expense.
- Contractor shall strip the grasses and grub all brush and trees.

Sanitary Sewer

- Contractor shall cap or otherwise protect at all times sewer laterals from entrance of foreign objects and debris.

Storm Water Pollution Prevention During Construction

- Contractor shall install and maintain storm water pollution prevention measures that meet ADEQ and EPA requirements including, but not limited to, silt barriers, sediment ponds, check dams and site entrance stone systems.
- Contractor shall immediately clean off with a shovel or street cleaning machine any mud tracked onto the streets - water cleaning with a hose is not allowed. All work shall be done in accordance with ADEQ Standards & Specifications.
- Install site entrance driveway stone system consisting of 4" to 6" diameter stone in a 12' wide by 25' long strips.
- Provide ADEQ with a Notice of Intent (NOI) form.

Dust Control

- Contractor shall provide and install dust control measures including, at a minimum, daily watering of site and daily cleaning of storm water inlets.
- Contractor shall tarp all open bed trucks.
- Contractor shall clean dirt off of the street pavement immediately after truck leaves sites.

Paving

- Install paving according to the details on the plans.

Plans and Specifications

- It will be the Contractor's responsibility to obtain and maintain copy(ies) of the Maricopa Association of Governments' "Uniform Standard Specifications for Public Works Construction"; Maricopa Association of Governments' "Uniform Standard Details for Public Works Construction" current as of August 2004; and the Arizona Department of Transportation's "Standard Specifications for Road and Bridge Construction" current as of August 2004. The Contractor shall also obtain and maintain a current copy of the Section 7-15 "Rights of Way" of the City Code, as well as the City's Public Works Department - City-wide Integrated Pest Management Plan Policy.

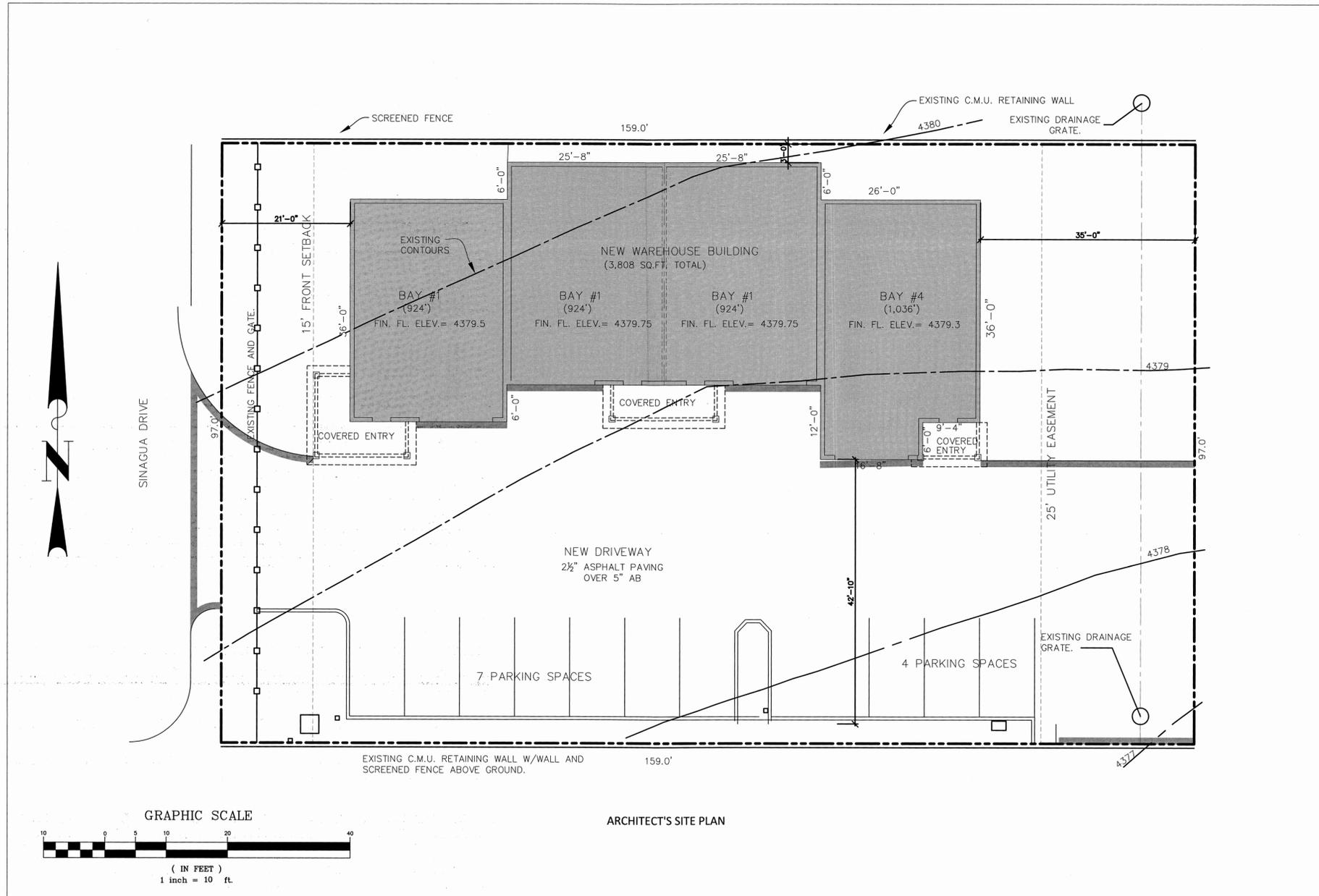
ADA Requirements

- The contractor shall install all work according to the Americans Disability Act (ADA).
- Below are listed some, but not all, of an accessible walkway maximum slopes:

a. concrete walkway cross slope	1.5%
b. asphalt walkway cross slope	1.0%
c. longitudinal slope (over 30')	4.5%
d. longitudinal slope (if less than 30') provided handrails and landings are provided.	8.0%
e. ramp landing (all directions)	1.5%

SPECIAL CONDITIONS

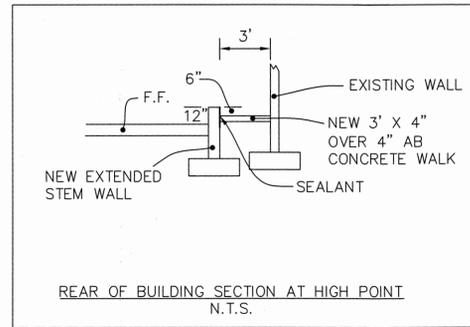
- Contractor shall comply with the special conditions of the City of Sedona as well as those listed below.
Work shall be in accordance with the Maricopa Association of Governments' "Uniform Standard Specifications for Public Works Construction"; Maricopa Association of Governments' "Uniform Standard Details for Public Works Construction" current as of August 2004; and the Arizona Department of Transportation's "Standard Specifications for Road and Bridge Construction" current as of August 2004, except to the extent that these specifications specify other procedures, processes, forms, materials, details, or other direction regarding the work, and as required to comply with local ordinances and regulations.
Whenever the term County is used it shall be held to mean the City of Sedona. Whenever the term County Engineer is used it shall be held to refer to the City Engineer. Electrical work shall be subject to inspection by the City of Sedona Building Safety Division and compliance with its requirements.



BY: LARRY CEPEK P.E.	CONSTRUCTIVE SOLUTIONS, INC.	DATE:
SCALE: AS NOTED	PO BOX 216, SEDONA, ARIZONA	BY:
DATE: OCTOBER 22, 2015	PHONE: 928-282-6110	DESCRIPTION:
SEDONA	GARNELLO WAREHOUSE	REV:
SPECIFICATIONS VICINITY, GEN. PLAN		
SHEET C1 - 1/3		

PRELIMINARY FOR APPROVAL FOR CONSTRUCTION

CALL THIS WORKING DAYS BEFORE WORKING
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

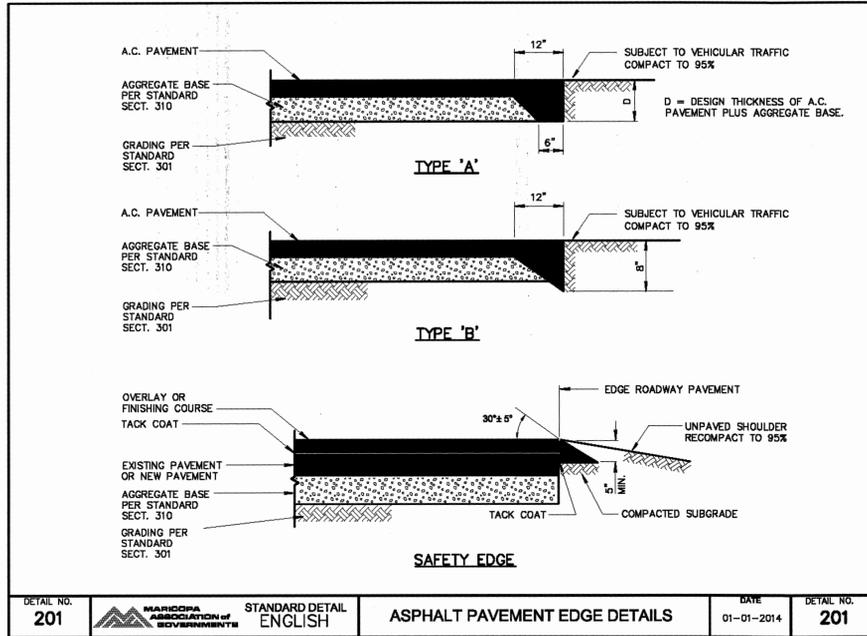
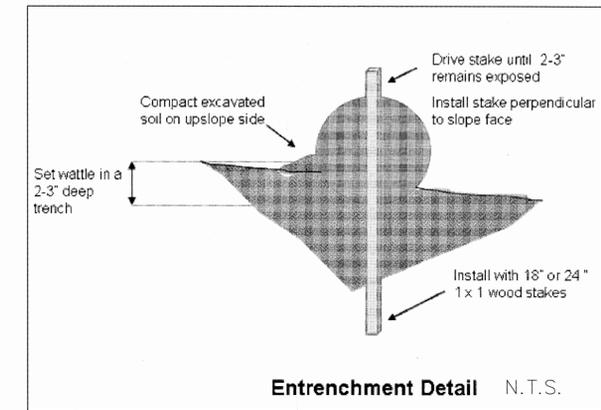
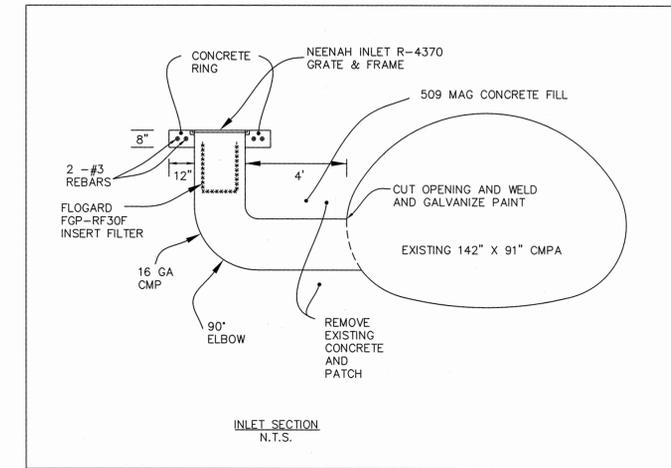


GARNELLO WAREHOUSE

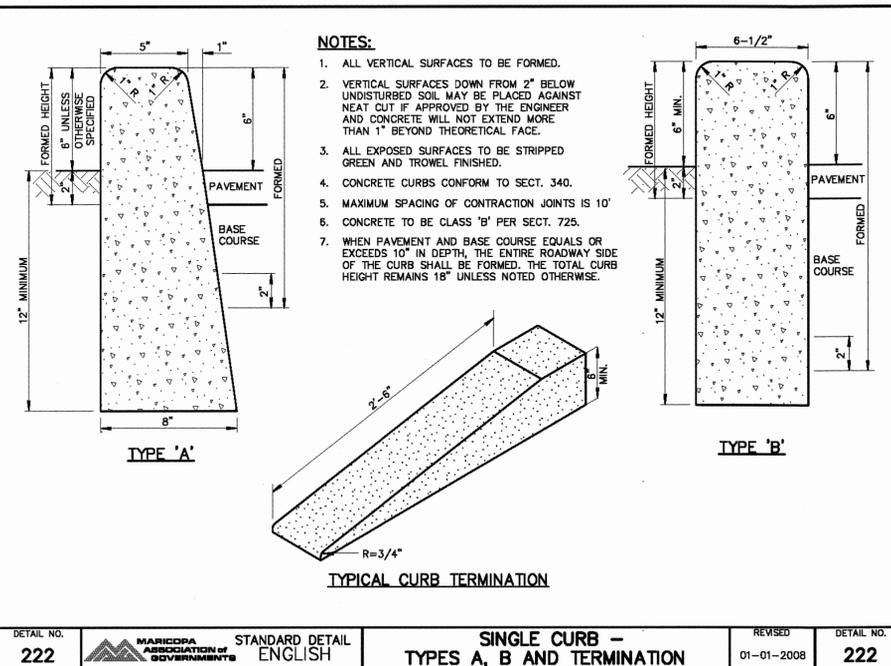
60 SINAGUA DRIVE SEDONA, ARIZONA
GRADING PLAN
ASSESSOR'S PARCEL NO. 408-24-319

Storm Water Pollution Prevention During Construction

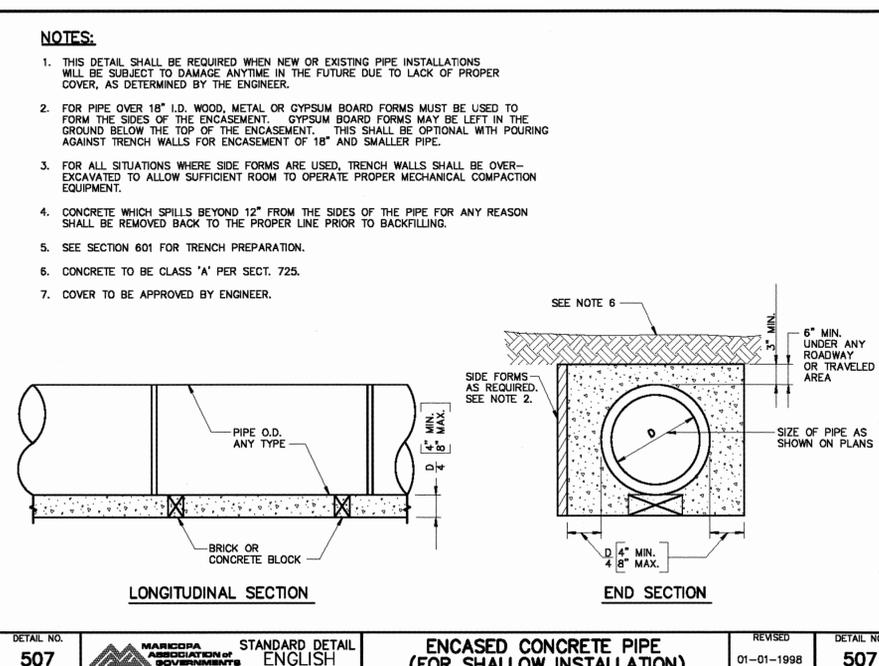
- Construct "Stabilized Construction Entrance" per ADEQ standard 30' wide entrances.
- Install straw wattles to capture stormwater drainage. Install according to ADEQ standards and manufacturer's recommendation.
- Contractor shall install, maintain on a regular basis, and remove all storm water pollution prevention measures to meet ADEQ, EPA, ADOT and City of Sedona requirements including, but not limited to silt barriers, sediment ponds, check dams and site entrance systems.
- Contractor shall immediately clean off with a shovel or street cleaning machine any mud tracked onto the streets - water cleaning with a hose is not allowed. All work shall be done in accordance with ADEQ standards.
- Provide ADEQ with a Notice of Intent (NOI) form before starting work.
- Place permanent grasses, landscaping, gravel cover and permanent pavement as soon as possible after completion of each phase of construction. If driveway AB is not installed after driveway grading is complete, place 8" high rows of 3" stone (2' wide) perpendicular and across driveways at 100' on centers until AB is installed. Add straw wattles at 100' on centers if stone rows are not working well.
- All trucks hauling any material to or from parcel site must cover their loads.
- Contractor shall inspect site every 7 days and after each 0.5" storm and repair damage.
- Place storm sewer inlet protection per ADEQ standards at inlets.



DETAIL NO. 201	MARICOPA ASSOCIATION OF GOVERNMENTS	STANDARD DETAIL ENGLISH	ASPHALT PAVEMENT EDGE DETAILS	DATE 01-01-2014	DETAIL NO. 201
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DETAIL NO. 222	MARICOPA ASSOCIATION OF GOVERNMENTS	STANDARD DETAIL ENGLISH	SINGLE CURB - TYPES A, B AND TERMINATION	REVISED 01-01-2008	DETAIL NO. 222
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DETAIL NO. 507	MARICOPA ASSOCIATION OF GOVERNMENTS	STANDARD DETAIL ENGLISH	ENCASED CONCRETE PIPE (FOR SHALLOW INSTALLATION)	REVISED 01-01-1998	DETAIL NO. 507
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SPECIFIER CHART					
MODEL NUMBER	INLET ID (# INCHES)	GRATE OD (# INCHES)	SOLIDS STORAGE CAPACITY (CU FT)	FILTERED FLOW (CFS)	TOTAL BYPASS CAPACITY (CFS)
FGP-RF15F	16	18	0.3	0.4	2.8
FGP-RF18F	18	20	0.8	0.7	4.7
FGP-RF20F	21	23	0.8	0.7	4.7
FGP-RF21F	22	23.5	0.8	0.7	4.7
FGP-RF22F	23	24	0.8	0.7	4.7
FGP-RF24F	24	26	0.8	0.7	4.7
FGP-RF30F	30	32	2.2	1.5	6.1
FGP-RF36F	36	39	3.6	2.0	6.1

NOTES:

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™, installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

FloGard® Catch Basin Insert Filter Circular Frame Style

Oldcastle® Stormwater Solutions

CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PRELIMINARY FOR APPROVAL FOR CONSTRUCTION

BY: LARRY CEPEK P.E.	SCALE: AS NOTED	DATE: OCTOBER 22, 2015	SEDONA	SHEET C3 - 3/3
CONSTRUCTIVE SOLUTIONS, INC.	PO BOX 216, SEDONA, ARIZONA	PHONE: 928-282-6110	GARNELLO WAREHOUSE	DETAILS
DATE:	BY:	DESCRIPTION	REV:	

Preliminary Drainage Report

for a

New Warehouse Building

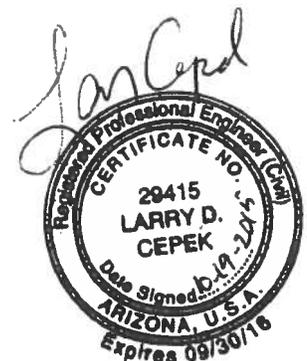
at

60 Sinagua Drive
Sedona, Arizona 86336

by

Larry Cepek, P.E.
Constructive Solutions, Inc.
PO Box 216
Sedona, AZ 86339
928-282-6110

October 19, 2015



Preliminary Drainage Report: October 19, 2015
Project: New Warehouse Building
60 Sinagua Drive
Sedona, Arizona 86336

SUMMARY and CONCLUSIONS

The project consists of a new warehouse located on a vacant lot in a commercial area of Sedona, Arizona. Larry Cepek, P.E. of Constructive Solutions, Inc. was retained to prepare this drainage report, as well as the project site plans and specifications.

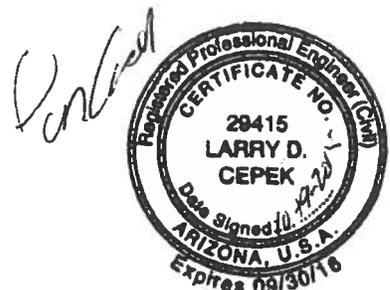
The post-construction storm water runoff of the improvements were calculated, and is less than one cubic foot per second increase over the pre-construction runoff; the lot size is less than one acre; therefore, detention will not be required according to the City of Sedona Land Development Code Table 8.1 No.5:0.

A FloGard inlet filter is used to capture most of the suspended sediment, trash, and petroleum hydrocarbons from the first flush of stormwater runoff from this new development. A 36" CMP inlet and short discharge pipe will flow into a existing adjacent City of Sedona 142" by 91" CMPA pipe.

Stormwater off-site, on-site, inlet, filter and overflow calculations and discussions are below. The HydroCAD system was used to calculate flow rates.

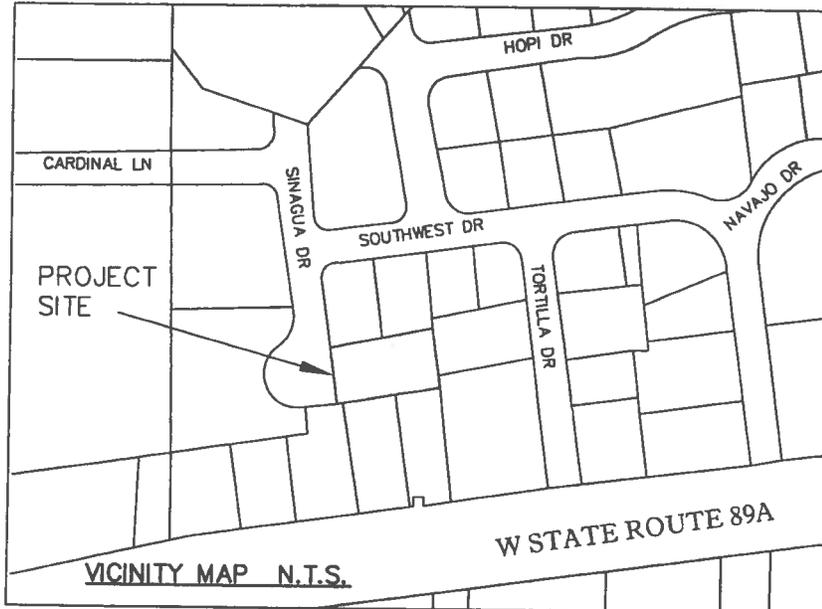
The project is not located in a FEMA flood plain.

A runoff map, as well as the HydroCad Calculations is attached. The report consists of 4 pages, with one drainage map and 16 pages of HydroCad calculations.



Preliminary Drainage Report: October 19, 2015
Project: New Warehouse Building
60 Sinagua Drive
Sedona, Arizona 86336

PROJECT LOCATION MAP



HYDROLOGY

Surfaces consist of mostly street and parking asphalt paving and buildings. There is one vacant lot whose soil consists of silty loam, and high desert grass, trees and bushes. Rainfall rates were taken from the City of Sedona Land Development Code.

Storm water runoff rates were calculated using the HydroCad version 9.10 computer aided modeling system. HydroCad is a computer aide design program for modeling the hydrology and hydraulics of the storm water runoff. It is based largely on hydrology techniques developed by the Soil Conservation Service (now the Natural Resources Conservation Service) combined with other hydrology and hydraulics calculations. For a given rainfall event, these techniques are used to generate hydrographs throughout a watershed.

STORMWATER RUNOFF CALCULATIONS

The site area is 0.32 acres; which is less than the 1 acre detention trigger requirement of the City of Sedona Land Development Code Table 8.1 No.5:0. The 100 year pre-development project stormwater runoff event is 2.27 cfs, with the post-development runoff event at 2.52 cfs. The difference is 0.25 cfs is less than the 1 cfs detention trigger requirement of the City of Sedona Land Development Code Table 8.1 No.5:0. Therefore, no detention is required. The 2 year stormwater event is used at the first flush flow rate.

There is 1.97 acres of **off site** runoff resulting in the following flow rates in cubic feet per second (cfs):

Stormwater Event	2 Year	10 Year	25 Year	100 Year
Flow Rate (cfs)	3.91	6.39	7.95	10.43

There is 0.32 acres of **project site pre-development** runoff resulting in the following flow rates:

Stormwater Event	2 Year	10 Year	25 Year	100 Year
Flow Rate (cfs)	0.87	1.40	1.74	2.27

There is 0.32 acres of **project site post-development** runoff resulting in the following flow rates:

Stormwater Event	2 Year	10 Year	25 Year	100 Year
Flow Rate (cfs)	1.13	1.66	1.99	2.52

Preliminary Drainage Report: October 19, 2015
Project: New Warehouse Building
60 Sinagua Drive
Sedona, Arizona 86336

INLET CALCULATIONS

Using the weir equation, with a 33" diameter inlet having a perimeter 8.6 feet, and at a flow depth of 4", will allow 5.43 cfs to enter the inlet. The 2 year stormwater runoff from the site is 1.13 cfs. The inlet size is adequate for a first flush event.

FILTER CALCULATIONS

The filter selected is the FloGard Model number FGP-RF30F with a filter flow of 1.5 cfs. The 2 year stormwater runoff from the site is 1.13 cfs. The filter size is adequate for a first flush event.

OVERFLOW CALCULATIONS

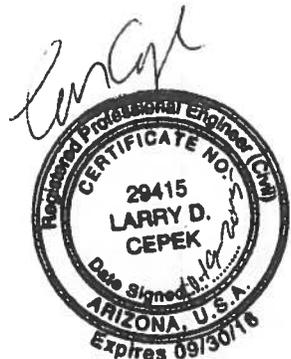
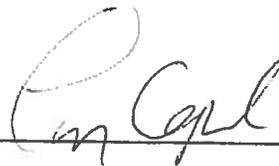
The City of Sedona Land Development Code Table 8.1 No.2:0 requires storm drains to handle the 2 year event. The 2 year stormwater runoff from the site is 1.13 cfs. The filter selected is the FloGard Model number FGP-RF30F with filter bypass capacity of 6.1 cfs. The filter size is adequate for a 2 year stormwater event.

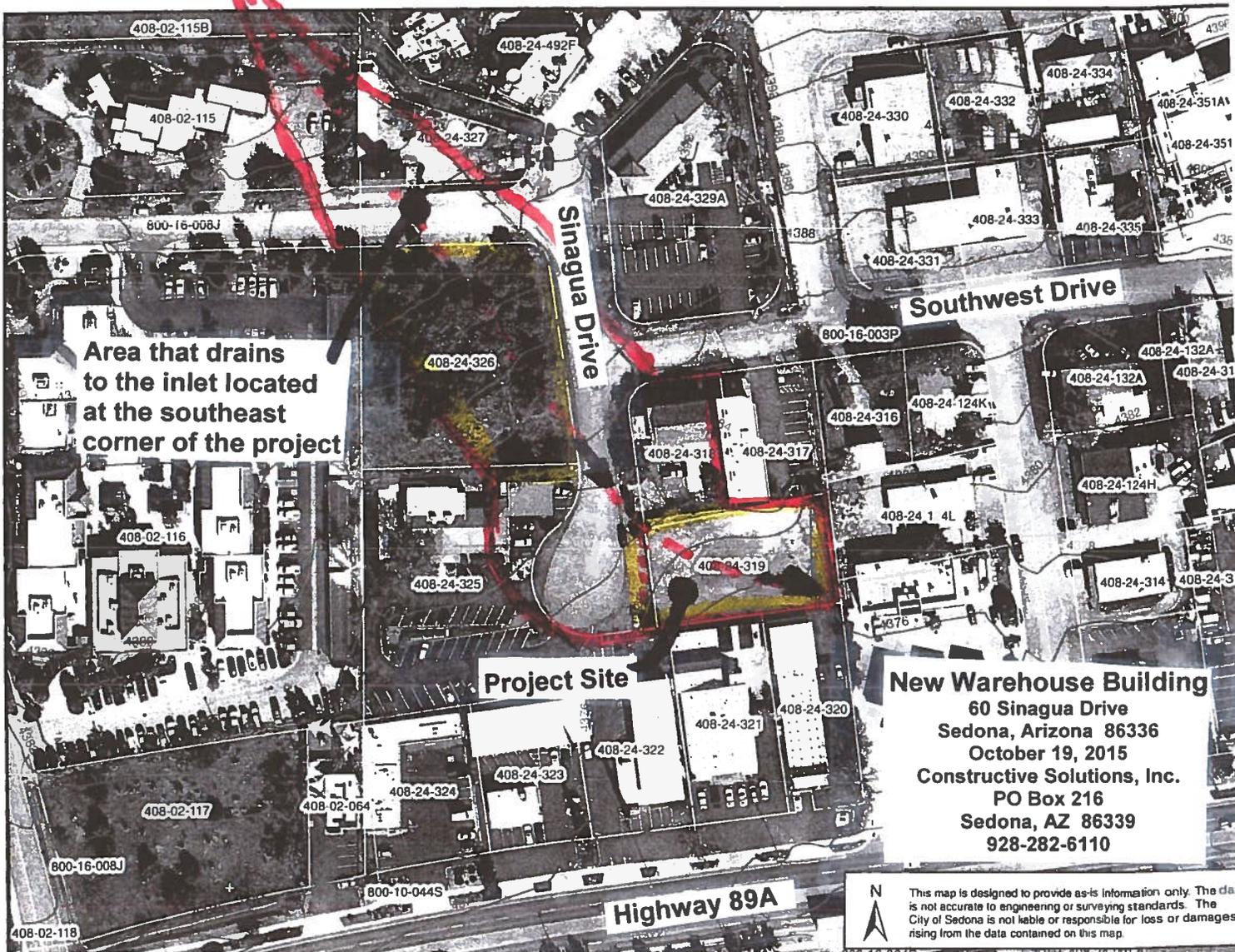
REFERENCES

The following references were used in the preparation of this report.

1. The City of Sedona Land Development Code
2. The HydroCad Stormwater Modeling System Owners Manual Version 9.10 published in 2010 by HydroCad Software Solutions LLC.

Prepared by: Larry Cepek, P.E.





Garnello Warehouse

Type II 24-hr 2 year Rainfall=2.14"

Prepared by {enter your company name here}

Printed 10/19/2015

HydroCAD® 9.10 s/n 00957 © 2009 HydroCAD Software Solutions LLC

Summary for Pond 27P: Catch Basin with FloGard+Plus Insert Filter

Inflow Area = 2.313 ac, 64.26% Impervious, Inflow Depth = 1.36" for 2 year event
Inflow = 4.39 cfs @ 11.99 hrs, Volume= 0.263 af
Outflow = 4.39 cfs @ 11.99 hrs, Volume= 0.263 af, Atten= 0%, Lag= 0.0 min
Primary = 4.39 cfs @ 11.99 hrs, Volume= 0.263 af

Routing by Dyn-Stor-Ind method, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs

Peak Elev= 10.86' @ 11.99 hrs

Flood Elev= 14.00'

Device	Routing	Invert	Outlet Devices
#1	Primary	10.00'	36.0" Round Culvert L= 5.0' CMP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 10.00' / 9.80' S= 0.0400 '/ Cc= 0.900 n= 0.020 Corrugated PE, corrugated interior

Primary OutFlow Max=4.39 cfs @ 11.99 hrs HW=10.86' TW=0.00' (Dynamic Tailwater)

←**1=Culvert (Barrel Controls 4.39 cfs @ 3.95 fps)**

Garnello Warehouse

Type II 24-hr 2 year Rainfall=2.14"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Subcatchment 23S: Off Site

Runoff = 3.91 cfs @ 12.01 hrs, Volume= 0.211 af, Depth= 1.29"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Type II 24-hr 2 year Rainfall=2.14"

Area (sf)	CN	Description
26,037	85	Natural western desert, HSG C
59,773	94	Urban commercial, 85% imp, HSG C
85,810	91	Weighted Average
35,003		40.79% Pervious Area
50,807		59.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	784	0.0330	1.35		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 2 year Rainfall=2.14"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Subcatchment 24S: Post-Construction - Garnello Site

Runoff = 1.13 cfs @ 11.92 hrs, Volume= 0.052 af, Depth= 1.81"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Type II 24-hr 2 year Rainfall=2.14"

Area (sf)	CN	Description
1,000	86	<50% Grass cover, Poor, HSG C
13,923	98	Paved parking, HSG C
14,923	97	Weighted Average
1,000		6.70% Pervious Area
13,923		93.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.1	163	0.0330	1.32		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 2 year Rainfall=2.14"

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Summary for Subcatchment 6S: Pre-Construction - Garnello Site

Runoff = 0.87 cfs @ 11.93 hrs, Volume= 0.037 af, Depth= 1.29"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
Type II 24-hr 2 year Rainfall=2.14"

Area (sf)	CN	Description
14,923	91	Newly graded area, HSG C
14,923		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.8	163	0.0330	0.98		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 10 year Rainfall=3.08"

Prepared by {enter your company name here}

Printed 10/19/2015

HydroCAD® 9.10 s/n 00957 © 2009 HydroCAD Software Solutions LLC

Summary for Pond 27P: Catch Basin with FloGard+Plus Insert Filter

Inflow Area = 2.313 ac, 64.26% Impervious, Inflow Depth = 2.23" for 10 year event
 Inflow = 7.11 cfs @ 11.99 hrs, Volume= 0.430 af
 Outflow = 7.11 cfs @ 11.99 hrs, Volume= 0.430 af, Atten= 0%, Lag= 0.0 min
 Primary = 7.11 cfs @ 11.99 hrs, Volume= 0.430 af

Routing by Dyn-Stor-Ind method, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Peak Elev= 11.13' @ 11.99 hrs
 Flood Elev= 14.00'

Device	Routing	Invert	Outlet Devices
#1	Primary	10.00'	36.0" Round Culvert L= 5.0' CMP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 10.00' / 9.80' S= 0.0400 '/ Cc= 0.900 n= 0.020 Corrugated PE, corrugated interior

Primary OutFlow Max=7.11 cfs @ 11.99 hrs HW=11.13' TW=0.00' (Dynamic Tailwater)
 ←1=Culvert (Barrel Controls 7.11 cfs @ 4.34 fps)

Garnello Warehouse

Type II 24-hr 10 year Rainfall=3.08"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Subcatchment 23S: Off Site

Runoff = 6.39 cfs @ 12.01 hrs, Volume= 0.352 af, Depth= 2.15"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Type II 24-hr 10 year Rainfall=3.08"

Area (sf)	CN	Description
26,037	85	Natural western desert, HSG C
59,773	94	Urban commercial, 85% imp, HSG C
85,810	91	Weighted Average
35,003		40.79% Pervious Area
50,807		59.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	784	0.0330	1.35		Lag/CN Method,

Garnello Warehouse

Prepared by {enter your company name here}

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Type II 24-hr 10 year Rainfall=3.08"

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Summary for Subcatchment 24S: Post-Construction - Garnello Site

Runoff = 1.66 cfs @ 11.92 hrs, Volume= 0.078 af, Depth= 2.74"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
Type II 24-hr 10 year Rainfall=3.08"

Area (sf)	CN	Description
1,000	86	<50% Grass cover, Poor, HSG C
13,923	98	Paved parking, HSG C
14,923	97	Weighted Average
1,000		6.70% Pervious Area
13,923		93.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.1	163	0.0330	1.32		Lag/CN Method,

Garnello Warehouse

Prepared by {enter your company name here}

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Type II 24-hr 10 year Rainfall=3.08"

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Summary for Subcatchment 6S: Pre-Construction - Garnello Site

Runoff = 1.40 cfs @ 11.93 hrs, Volume= 0.061 af, Depth= 2.15"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
Type II 24-hr 10 year Rainfall=3.08"

Area (sf)	CN	Description
14,923	91	Newly graded area, HSG C
14,923		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.8	163	0.0330	0.98		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 25 year Rainfall=3.67"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Pond 27P: Catch Basin with FloGard+Plus Insert Filter

Inflow Area = 2.313 ac, 64.26% Impervious, Inflow Depth = 2.79" for 25 year event
 Inflow = 8.83 cfs @ 11.99 hrs, Volume= 0.539 af
 Outflow = 8.83 cfs @ 11.99 hrs, Volume= 0.539 af, Atten= 0%, Lag= 0.0 min
 Primary = 8.83 cfs @ 11.99 hrs, Volume= 0.539 af

Routing by Dyn-Stor-Ind method, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs

Peak Elev= 11.28' @ 11.99 hrs

Flood Elev= 14.00'

Device	Routing	Invert	Outlet Devices
#1	Primary	10.00'	36.0" Round Culvert L= 5.0' CMP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 10.00' / 9.80' S= 0.0400 '/ Cc= 0.900 n= 0.020 Corrugated PE, corrugated interior

Primary OutFlow Max=8.82 cfs @ 11.99 hrs HW=11.28' TW=0.00' (Dynamic Tailwater)

↳ **1=Culvert** (Barrel Controls 8.82 cfs @ 4.53 fps)

Garnello Warehouse

Type II 24-hr 25 year Rainfall=3.67"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Subcatchment 23S: Off Site

Runoff = 7.95 cfs @ 12.01 hrs, Volume= 0.444 af, Depth= 2.70"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Type II 24-hr 25 year Rainfall=3.67"

Area (sf)	CN	Description
26,037	85	Natural western desert, HSG C
59,773	94	Urban commercial, 85% imp, HSG C
85,810	91	Weighted Average
35,003		40.79% Pervious Area
50,807		59.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	784	0.0330	1.35		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 25 year Rainfall=3.67"

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Printed 10/19/2015

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Summary for Subcatchment 24S: Post-Construction - Garnello Site

Runoff = 1.99 cfs @ 11.92 hrs, Volume= 0.095 af, Depth= 3.32"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Type II 24-hr 25 year Rainfall=3.67"

Area (sf)	CN	Description
1,000	86	<50% Grass cover, Poor, HSG C
13,923	98	Paved parking, HSG C
14,923	97	Weighted Average
1,000		6.70% Pervious Area
13,923		93.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.1	163	0.0330	1.32		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 25 year Rainfall=3.67"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Subcatchment 6S: Pre-Construction - Garnello Site

Runoff = 1.74 cfs @ 11.93 hrs, Volume= 0.077 af, Depth= 2.70"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
Type II 24-hr 25 year Rainfall=3.67"

Area (sf)	CN	Description
14,923	91	Newly graded area, HSG C
14,923		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.8	163	0.0330	0.98		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 100 year Rainfall=4.61"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Pond 27P: Catch Basin with FloGard+Plus Insert Filter

Inflow Area = 2.313 ac, 64.26% Impervious, Inflow Depth = 3.70" for 100 year event
 Inflow = 11.55 cfs @ 11.99 hrs, Volume= 0.713 af
 Outflow = 11.55 cfs @ 11.99 hrs, Volume= 0.713 af, Atten= 0%, Lag= 0.0 min
 Primary = 11.55 cfs @ 11.99 hrs, Volume= 0.713 af

Routing by Dyn-Stor-Ind method, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Peak Elev= 11.50' @ 11.99 hrs
 Flood Elev= 14.00'

Device	Routing	Invert	Outlet Devices
#1	Primary	10.00'	36.0" Round Culvert L= 5.0' CMP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 10.00' / 9.80' S= 0.0400 '/ Cc= 0.900 n= 0.020 Corrugated PE, corrugated interior

Primary OutFlow Max=11.54 cfs @ 11.99 hrs HW=11.50' TW=0.00' (Dynamic Tailwater)
 ↳ **1=Culvert** (Barrel Controls 11.54 cfs @ 4.79 fps)

Garnello Warehouse

Type II 24-hr 100 year Rainfall=4.61"

Prepared by {enter your company name here}

Printed 10/19/2015

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Summary for Subcatchment 23S: Off Site

Runoff = 10.43 cfs @ 12.01 hrs, Volume= 0.592 af, Depth= 3.60"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Type II 24-hr 100 year Rainfall=4.61"

Area (sf)	CN	Description
26,037	85	Natural western desert, HSG C
59,773	94	Urban commercial, 85% imp, HSG C
85,810	91	Weighted Average
35,003		40.79% Pervious Area
50,807		59.21% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
9.7	784	0.0330	1.35		Lag/CN Method,

Garnello Warehouse

Prepared by {enter your company name here}

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Type II 24-hr 100 year Rainfall=4.61"

Printed 10/19/2015

Summary for Subcatchment 24S: Post-Construction - Garnello Site

Runoff = 2.52 cfs @ 11.92 hrs, Volume= 0.122 af, Depth= 4.26"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
 Type II 24-hr 100 year Rainfall=4.61"

Area (sf)	CN	Description
1,000	86	<50% Grass cover, Poor, HSG C
13,923	98	Paved parking, HSG C
14,923	97	Weighted Average
1,000		6.70% Pervious Area
13,923		93.30% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.1	163	0.0330	1.32		Lag/CN Method,

Garnello Warehouse

Type II 24-hr 100 year Rainfall=4.61"

Prepared by {enter your company name here}

Printed 10/19/2015

HydroCAD® 9.10 s/n 00957 © 2009 HydroCAD Software Solutions LLC

Summary for Subcatchment 6S: Pre-Construction - Garnello Site

Runoff = 2.27 cfs @ 11.93 hrs, Volume= 0.103 af, Depth= 3.60"

Runoff by SCS TR-20 method, UH=SCS, Time Span= 1.00-36.00 hrs, dt= 0.01 hrs
Type II 24-hr 100 year Rainfall=4.61"

Area (sf)	CN	Description
14,923	91	Newly graded area, HSG C
14,923		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
2.8	163	0.0330	0.98		Lag/CN Method,



City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

PZ16-00001 (DEV) Garnello Warehouse

Current Planning Comments

Reviewer: Cari Meyer, Senior Planner

(928) 203-5049; cmeyer@sedonaaz.gov

1. COMMENT: A public hearing for this project will be scheduled after all comments are addressed and additional information provided. If there are any areas requiring clarification or additional information, please schedule a meeting with staff.
2. COMMENT: Please ensure that changes made based on the following comments are reflected on all applicable pages.
3. COMMENT: Various sections of the Sedona Land Development Code (SLDC) are referenced in these comments. The SLDC can be found online at <http://www.codepublishing.com/AZ/Sedona/lcd.html>.
4. Letter of Intent (LOI):
 - a) The LOI states that the applicant is providing 14 parking spaces. Only 12 are shown on the plans. Please clarify.
 - b) Utility Connections: The LOI states that water will be supplied by Sedona Water Company. This should be Arizona Water Company. Please correct the LOI.
 - c) The last page of the LOI references the Main Street Design Guidelines. It is not clear how you are applying the Main Street Design Guidelines to this project. While this property is not in an area where these design guidelines apply, incorporating these design guidelines into this project would be encouraged.
5. Site Plans and Floor Plans:
 - a) Please indicate where delivery trucks will park and how they will and turn around through the depiction of appropriate turning movements on the site plan.
 - b) Staff encourages the property owner to explore the possibility of a through connection with the lot to the east at 55 Tortilla Drive. This would allow delivery trucks to pull straight through without the need for a turnaround area on site and could be accomplished by flipping the site plan to place the building to the south and the parking to the north. If the property owner is interested in exploring this possibility, Staff is available to discuss this concept and can facilitate a meeting with the adjacent property owner.
 - c) The ADA space is required to be 11 feet wide and include a 5-foot wide access aisle. The plans do not show this 5 foot access aisle. Please revise plans to reflect this requirement.
 - d) The drive aisle in front of Bay 4 meets the minimum width for vehicle maneuvering. However, the plans show the placement of the ADA route of travel within this drive aisle, creating a conflict and safety concern. This issue can be resolved by moving the covered entry to Bay 4 to the west side of the Bay, thus allowing the ADA route to go directly into the entrance and eliminating the encroachment into the drive aisle.
 - e) Please indicate the location of all existing and proposed utility connections.

6. Landscaping Plan:
 - a) On the Plant List, clearly distinguish between trees, shrubs, and groundcover, and include the total number of plants of each species proposed. Please ensure the trees and shrubs meet the plant selection requirements of SLDC 910.05.D regarding percentages of native and evergreen plants. Refer to the Plant List in the Design Review Manual for information on which plants are considered native (available online: <http://www.sedonaaz.gov/home/showdocument?id=25027>).
 - b) One (1) tree and three (3) shrubs are required for every 200 square feet of landscape area between the building/parking lot and the property line. Please indicate the size of these areas and ensure the correct number of trees and shrubs are included.
 - c) A 3 foot tall wall or berm between the parking area and the street is required per Code. Please modify the plan to meet this requirement.
 - d) The landscape strip between the parking area and the property line is required to be 4 feet in width. As shown, it appears to be approximately 3 feet in width. In addition, this landscape strip requires a minimum of 2 15-gallon trees and 5 shrubs for every 4 parking spaces. Please ensure the proper plant counts are shown.
 - e) Landscape peninsulas are required to be 5 feet wide with 1 canopy tree and 3 shrubs. The peninsula shown is approximately 4 feet wide and has 4 shrubs. Please modify the plan to meet this requirement
 - f) COMMENT: Please ensure that all plants chosen meet the following minimum planting requirements: Trees must be 8 feet in height and trunk diameter of 2 inches, shrubs must be a minimum of 2 feet in height.
7. The application packet is missing the following items:
 - a) Lighting Plan: The LOI states that new lighting will be used. Please submit the required lighting plan. The lighting plan must be in compliance with SLDC 911 (Outdoor Lighting), including a site plan, lumen calculations, and cut sheets for all new lighting fixtures.
 - b) Sign Plan: A Master Sign Plan is required as a part of a Development Review application. Please submit a plan in compliance with SLDC 1104.01.B.
 - c) Letters of Serviceability from all proposed utility connections.
8. Prior to scheduling a public hearing, the applicant will need to provide Staff with their Citizen Participation Report. For requirements regarding what needs to be included in the report, please refer to SLDC 408: Citizen Review Process.
9. Potential Fees: The following fees are provided as a rough estimate of what may be due. Fees are subject to change and a final determination of fees due will be made at the time of building permit issuance.
 - a) Development Impact Fees: Industrial Use, \$0.98/square foot, a total of \$3,726.94 for a 3,808 square foot warehouse building. Additional fees may be due if a different use of the building is proposed.
 - b) Storm Drainage Fees: This property is located in the Dry Creek Wash and is charged \$0.01/square foot for drainage fees, a total of \$38.08 for a 3,808 square foot building.

- c) Sewer Capacity Fees: These fees will be determined based on use. Please contact Ryan Mortillaro at (928) 203-5091 or rmortillaro@sedonaaz.gov in Engineering Services for an estimate of potential fees.



**City of Sedona Community Development Department
Engineering Services**

102 Roadrunner Drive Sedona, AZ 86336

(928) 204-7111 • Fax: (928) 282-5348, Ryan Mortillaro, (928) 203-5091

**PZ16-00001 (DEV)
Garnello Warehouse (Conceptual Review)
1/21/16**

Engineering Comments

For the next level of review:

1. 1-way parking aisle requires a minimum width of 24 feet between the parking stalls and the building.
2. Driveway width should be a minimum of 28 feet. For the driveway entrance, minimum curb radii shall be 25 feet minimum.
3. Allow drainage to flow through and behind the accessible parking island.
4. Ensure the building has adequate drainage methods.
5. Please identify all fixtures such as sinks, kitchens, restrooms, etc.

General Observation (No design change required):

1. The ADA accessible route traveling west to east towards Bay #4's covered entry is within, and follows the vehicular travel path. Per ADA standards this is allowed, however the City of Sedona prefers that an alternate design be considered.

Prior to Issuance of Building Permit:

- Provide Final Grading and Drainage Plans. The Site Plan shall meet the requirements of LDC Section 803.
- Provide Final Drainage Report.
- Applicant shall follow the City of Sedona Land Development Code in its entirety.
- Applicant shall provide a Storm Water Pollution Prevention Plan. SWPPP measures shall be in place prior to the start of construction (LDC Article 8). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)
- Accessible sidewalks and parking areas will need to meet the current US Dept. of Justice ADA requirements.
- Any new accessible parking/signage shall meet the requirements of City LDC Section 912.09.
- A City Right-of-Way Permit shall be acquired for any work taking place within City Rights-of-Way.



SEDONA FIRE DISTRICT

2860 SOUTHWEST DRIVE · SEDONA, AZ 86336 · TEL: (928) 282-6800 · FAX: (928) 282-6857

Safe...Friendly...Dedicated

January 15, 2016

Ms. Cari Meyer
Associate Planner, Current Planning
City of Sedona Community Development
City of Sedona
104 Road Runner Drive
Sedona, Arizona 86336

Dear Ms. Meyer:

A conceptual review has been completed for the project listed below.

Description: Garnello Warehouse Building
Address: 60 Sinagua Drive, Sedona, Arizona 86336
SFD OCC #: Pending
Case#: PZ16-00001 (DEV)
APN: 408-24-319
Proposal: New Commercial Building

Based on the submitted information the following fire code requirements shall be applicable.

1. Section 503.1: Fire department access roadways shall be provided. Roadways shall meet the listed requirements:
 - A. Grades shall not exceed 6% for gravel, 12% for blacktop and 15% for concrete surfaces.
 - B. Overhead obstructions shall not be lower than 13 feet 6 inches.
 - C. Turning radii shall be no less than 20 feet inside, 40 outside.
 - D. Dead-ends longer than 150 feet shall be equipped with turn-a-rounds.

Note: The plan indicates the parking area ends approximately 25 feet from the east property line. What is the intended use of the area?

- E. Vehicles shall not park in a fashion to obstruct fire lanes. No parking signs shall be installed where parking presents such obstructions.
2. Section 903.2: All commercial buildings hereafter constructed shall be equipped with an approved automatic fire sprinkler system. Systems shall be installed in accordance with the National Fire Protection Association's pamphlet #13, "**Standard for the Installation of Sprinkler Systems**" the 2002 edition. Plans, specifications and hydraulic calculations shall

be submitted to this office for review prior to installation. A framing inspection will not be conducted until a set of sprinkler plans is approved. **This installation requires a separate construction permit through this office.**

Note: Will an electrical hose panel be provided for exterior lighting? The fire sprinkler system requires electrical service not controlled by the tenant.

3. Section 903.4: All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitored where the number of sprinklers is one hundred or more in all other occupancies. If applicable, provide electronic monitoring of the water flow switch.
4. Section 506.1: Security gates, if equipped, shall be equipped with a Sedona Fire District key over-ride cylinder. This cylinder shall be keyed to the type presently employed by the Sedona Fire District. Operation of the key shall open the gates and the gates shall remain open until such time that the key is returned to its normal position. One clockwise turn shall open the gate. One counterclockwise turn shall return the gate to normal operation. Provide proper key cylinder. This cylinder is available for purchase through this office.

In addition to the key operation, a TOMAR (TOMAR Industries, <http://TOMAR.com>) optical sensor 2091-SD or similar, shall be installed. This sensor allows for emergency apparatus to enter the property having the gate automatically open upon the approach of emergency apparatus. The actuation of the gate is through a signal sent via the strobe lights on the emergency apparatus. The gate will remain open for as long as the signal is being transmitted by the emergency apparatus. Provide proper optical sensor.

A battery backup system shall be provided to open the gate one time upon a power failure. Provide proper battery backup.

5. Section 505.1: All buildings equipped with automatic fire sprinklers, fire alarms or commercial kitchen cooking fire suppression systems shall be provided with an approved KNOX key box. This box is available for purchase through the Sedona Fire District.
6. Section 304.3: Dumpsters, larger than 1.5 cubic yard capacity, shall not be located within five feet of the nearest structure. Provide proper separation for dumpsters from buildings.

Note: Where is the location of the dumpster?

7. Section 906.1: All buildings shall be provided with UL listed or equivalent portable fire extinguishers. Fire extinguishers shall be installed in accordance with the National Fire Protection Association's pamphlet #10, "**Standard for Portable Fire Extinguishers**" the 1998 edition. The travel distance to any fire extinguisher shall not exceed 75 feet from any point in a building. Extinguishers shall be classified at least 2A10BC or greater, containing at least 5 pounds of dry chemical agent. Units shall be serviced and tagged by a reputable fire extinguisher company prior to the unit being displayed for use. Provide a unit near each exit on each floor.

8. Section 505.1: Premises-identification shall be clearly posted prior to final occupancy. Numbers shall be visible and legible from the street. Number colors shall be contrasting to their background. Provide proper address numbers.
9. A vegetation plan shall be submitted to this office. **FIREWISE** concepts shall be made as part of the vegetation plan. Provide proper plans for review.
10. Section 907.1: A fire alarm system shall be installed throughout this project. The system shall be installed in accordance with the National Fire Protection Association's pamphlet #72, **National Fire Alarm Code** the 2002 edition and Section 907 of the IFC, 2003 edition. Plans, specifications and battery calculations shall be provided to this office for review. **This installation requires a separate construction permit through this office.**

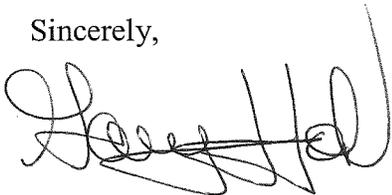
These comments shall not be meant to exclude any applicable requirements adopted by the Sedona Fire District or other regulatory agency. The adopted fire code is based on the 2003 edition of the International Fire Code with amendments as approved by the Arizona State Fire Marshal.

Inspections required by the fire code, to ensure that these requirements have been satisfied, shall be scheduled through this office. Proof of these inspections shall be submitted by you to the City of Sedona Community Development Department prior to a certificate of occupancy being issued.

As of February 27, 2008 the Sedona Fire District adopted a fee for service schedule. Service fees include construction plan reviews. A construction permit is required to be obtained from this office prior to any commencement of work. Construction permits will not be issued until such time that fee payments are received.

If you have any questions concerning these comments please feel free to contact me at (928) 204-8907 or gjohnson@sedonfire.org.

Sincerely,



Gary J. Johnson
District Fire Marshal

Cari Meyer - RE: City of Sedona Development Application

From: Joe Whelan <jwhelan@azwater.com>
To: Cari Meyer <CMeyer@sedonaaz.gov>
Date: 1/8/2016 9:54 AM
Subject: RE: City of Sedona Development Application

I didn't see any water services on the plans. Will this building require fire sprinklers and domestic water service and landscape water service?

Joseph Whelan
 Engineering Development Coordinator
 3805 N. Black Canyon Hwy
 Phoenix, AZ 85015
[602-240-6860](tel:602-240-6860)

From: Cari Meyer [CMeyer@sedonaaz.gov]
Sent: Thursday, January 07, 2016 4:01 PM
Subject: City of Sedona Development Application

****I use the same distribution list for all new development projects. If the project(s) on this list are not in your county or area of service, do not feel obligated to respond, but feel free to contact me with any questions you have or clarifications you may need.*****

The City of Sedona Community Development Department has received the following applications and is requesting your review.

1. **PZ16-00001 (DEV) New Commercial/Warehouse Building at 60 Sinagua Drive, APN 408-24-319.** The property is in *Yavapai County*. The applicant has requested approval of a Development Review to construct a new 3,808 square foot commercial/warehouse building with associated site improvements. The property is zoned C-2 (General Commercial).

We will have an internal meeting regarding this project on **Tuesday, January 19, 2016, at 8:00 am** at the City of Sedona Community Development Department. You are welcome to come and discuss and questions or concerns you have regarding this project.

Please review the materials at the link below. I would appreciate getting comments by **Thursday, January 28, 2016**.

Application materials can be found on the City's website at the following link: <http://www.sedonaaz.gov/your-government/departments/community-development/development-services/current-projects>. Please be aware that the City recently launched a new website and any links that you have saved on your computer may be out of date.

If you are not the correct person in your agency to review these types of projects, please let me know so that I can update my mailing list and get these projects to the correct people to review them. Thank you for your time and please let me know if you have any questions.

Cari Meyer, Senior Planner
City of Sedona Community Development
[\(928\) 203-5049](tel:9282035049)

Sedona City Hall is open for business Monday through Thursday from 7 a.m. to 6 p.m. and closed on Fridays. The Municipal Court and Wastewater system maintenance remain on a Monday through Friday, 8 a.m. to 5 p.m. schedule. Police and maintenance services are not impacted.

Cari Meyer - RE: City of Sedona Development Application

From: Robert Mumper <Robert.Mumper@yavapai.us>
To: 'Cari Meyer' <CMeyer@sedonaaz.gov>
Date: 1/28/2016 4:43 PM
Subject: RE: City of Sedona Development Application

Hi Cari,

Yavapai County Community Health Services (YCCHS) does not have any concerns regarding the construction of a commercial warehouse unless some aspect of food processing is involved.

*Robert Mumper, RS
 Environmental Health Specialist III
 Yavapai County Community Health Services
[\(928\) 634-6891](tel:9286346891)*

From: Cari Meyer [CMeyer@sedonaaz.gov]
Sent: Thursday, January 07, 2016 4:01 PM
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Cari Meyer - RE: [EXTERNAL E-Mail] City of Sedona Development Application

From: <IFreeman@uesaz.com>
To: <CMeyer@sedonaaz.gov>
Date: 1/8/2016 8:58 AM
Subject: RE: [EXTERNAL E-Mail] City of Sedona Development Application

Good Morning Cari

UniSource has no conflicts with this project.

Irene

From: Cari Meyer [CMeyer@sedonaaz.gov]
Sent: Thursday, January 07, 2016 4:01 PM
Subject: [EXTERNAL E-Mail] City of Sedona Development Application

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City of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

TO: Planning and Zoning Commission

FROM: Audree Juhlin, Director

MEETING DATE: May 17, 2016

RE: Lodging Discussion

Prior to the 1998 update of the Community Plan, lodging uses were allowed anywhere in commercial zones and did not require a zone change. Between 1990 and 1997, hotel and bed and breakfast units increased by 26% and timeshare units by 507%. Since 1998, hotel and bed and breakfast units increased by 36% for a total increase of 71% since 1990 to present. Timeshares have increased by 98% for a total increase of 110% since 1990 to present. The two tables below outline the growth in the number of lodging units from 1990-2015 and the growth in population over the same period. The attached graph also shows both new hotels built and hotel construction activity between 1970 and 2015.

Growth in Lodging Units – 1990-2015

	1990 # of Units	1997 # of Units	% of Increase of # of Units from 1990 to 1997	2015 # of Units	% of Increase of # of Units from 1998 to 2015	% of Increase of # of Units from 1990 to 2015
Hotel/B&B	1000	1255	26%	1711	36%	71%
Timeshares	68	413	507%	816	98%	110%
Total # of Units	1068	1668	56%	2527	51%	137%

Growth in Population – 1990-2015

	1990	2000	% increase from 1990 to 2000	2015	% of increase from 2000 to 2015	% of increase from 1990 to 2015
Population	7,720	10,192	32%	10,281	1%	33%

Sedona Community Plan

In response to the significant increase in lodging units between 1990 and 1997 (56%), the 1998 update of the Community Plan, for the first time, provided specific locations for lodging uses, confining most lodging to only the most intensive commercial core areas of the community. These "Focused Activity Centers" (FAC) were intended to allow the development of lodging uses where the greatest diversity of commercial uses exist or could be developed and where there was signalized access to SR89a. One of the intended benefits of this approach was direct access to shopping, entertainment and dining options within walking distance of visitors' lodging accommodations. Within these areas, a broad mix of uses, including offices and high density residential were also encouraged in order to provide active centers in which many uses may be accessed on foot from residential areas as well. In response, in 1999, the City initiated a rezoning



City of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

for existing lodging uses consistent with the 1998 Community Plan recommendations. Existing lodging uses that did not meet the identified Plan criteria were considered legal-non-conforming uses. All new lodging proposals were then required to first obtain a rezoning to the Lodging (L) zoning designation to develop. If a proposed hotel or timeshare project was not in a location recommended in the 1998 Plan, or if an existing, non-conforming hotel or timeshare development wanted to add units, a Major Amendment to the Community Plan would be required in addition to a zone change.

The 2002 Community Plan carried over the 1998 Plan's FAC approach to address lodging uses. However, with the 2013 adoption of the new Sedona Community Plan, the FAC's were replaced with "Lodging Area Limits" using the same boundaries as the 2002 FAC's.

Community Focus Areas (CFA's) were established in the new 2014 Community Plan to highlight areas in need of more specific planning. In the new Community Plan, new lodging development is supported within the "Commercial" land use designation if it is within the Lodging Area Limits. New lodging may also be supported in a CFA if approved in a specific CFA Plan (this may also define the existing Lodging Area Limits in more detail than the Community Plan).

The attached Lodging Land Use Map depicts both the CFA areas and Lodging Area Limits. The attached Lodging Inventory also provides a breakdown of lodging unit information by category. The growth in lodging units in the 17 years since 1998 was less than the seven years prior to 1998. No additional timeshare projects have been approved since 1998, however, previously-approved units continued to be built over the next several years.

Concerns

The issue of lodging has generated a significant amount of discussion and offered divided opinions throughout the years since the City's incorporation. The following outlines some of the concerns expressed:

- Increase in lodging uses, including hotel, bed and breakfasts, and timeshare developments may tie up a significant portion of the commercial land base that could otherwise support local needs.
- Aesthetics of lodging facilities, which tend to be generally larger, more massive and have greater height than typical general commercial buildings or complexes.
- Lack of commercial diversity and "hotel row" development that may contribute to the erosion of a sense of community.
- In the Uptown area, there has been ongoing concern about the growing segregation of that part of town from the everyday experience of local residents. Several businesses and institutions that served local residents' needs left this area, relegating it to more tourist-based development. This trend has also caused more and more residents to drive to west Sedona, adding to the highway congestion that already exists.
- Visitor needs are being emphasized over residents' needs.
- Determination of how much lodging is appropriate for Sedona.
- Lodging uses overtax the City's infrastructure.
- Timeshares and timeshare sales techniques don't contribute to a "sense of community".



City of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

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- Lodging contributes to traffic congestion. Note: Although lodging uses will generate vehicle trips, single-family residential development generates, on average, slightly more trips than a hotel. Since all future development will generate traffic, mitigation of traffic impacts is a consideration for all land uses. The following depicts average daily trips for lodging and residential uses.

Average Daily Trips

<u>Land Use</u>	<u>Average Daily Trips Per Unit</u>
Timeshare	10.5
Hotel	8.2
Single-family	9.5
Apartment	6.7
Townhome/Condo	5.8

Additional Considerations

Sedona's economy is highly dependent on tourism. Although concerns have been expressed regarding the number of hotels and timeshares in the community, it must be recognized that the lodging and timeshare industry is an important source of City revenue and the City's largest industry employer. Therefore, careful consideration should be given when discussing lodging in order to understand the consequences of restricting lodging uses within the City.

- Revenue: Lodging uses provide a financial contribution through bed and sales tax revenue. In 2014, the sales taxes generated from hotel/motel uses were 16% of the total taxes, and in 2015 were 17%. This does not include those taxes received as a result of spending associated with shopping, dining, entertainment, etc.

	2014	2015
Total Sales Tax	\$12,161,396	\$13,489,954
Total Bed Tax	\$2,097,290	\$2,659,290
Total Taxes attributed to hotel/motel use	\$1,955,930	\$2,307,083

Additionally, the City does receive in-lieu payments from timeshares - \$304,500 in 2014 and \$562,152 in 2015. The CFD revenue, also from timeshares, averages about \$130,000 per year.

A recent analysis conducted last year regarding visitor vs. resident spending found that 65% of the sales taxes generated were attributed to visitor spending and 35% to resident spending. Overnight visitors are vital to Sedona's economy. Additionally, based on data provided in a Chamber of Commerce report, the average overnight visitor spends approximately \$520 per day while visiting, compared to \$258 per day spent on average by day-tripper visitors (non-lodging expenditures).

- Regional Impacts: Restrictions on lodging within the City limits may encourage hotels and timeshares to locate outside the City while creating the same or greater impacts on City infrastructure and community



City of Sedona Community Development Department

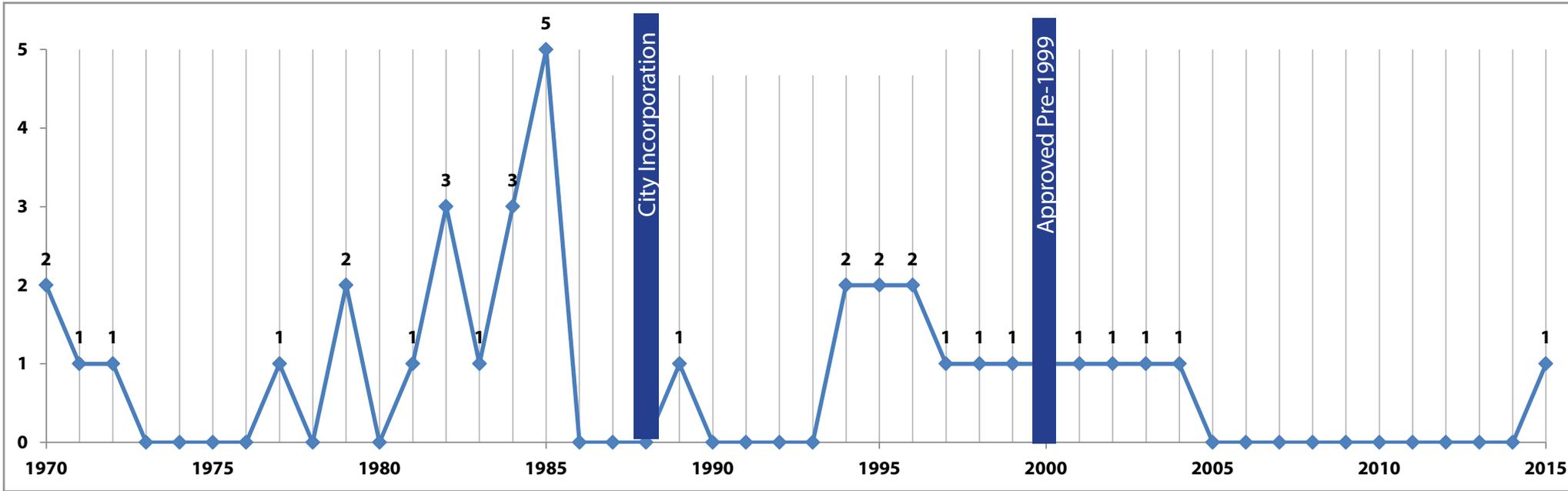
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character. For example, a hotel or timeshare development located in the Village of Oak Creek may create a need for additional vehicle trips within the City, increasing traffic congestion if those visitors are shopping in Sedona. They would be more likely to walk if their lodging accommodations were located Uptown. Additionally, lodging development in unincorporated areas such as the Village of Oak Creek, are not subject to the same design and development standards and may not be as aesthetically compatible with the character of the community. This is an important consideration for uses in what is essentially the gateway to the entire Sedona area.

- Re-development to less desirable uses: Although high commercial land costs make lodging uses an attractive commercial investment for property owners, if lodging uses are not allowed in a particular commercial area, there are many other allowable or conditionally allowable commercial uses that, depending on their specific location, may not be consistent with an attractive commercial corridor. Some of these uses could include car dealerships, auto repair, fast-food restaurants, service stations, contractors' yards, welding shops and mini storage.
- Balance – Lodging vs. Other Uses: Consideration should be given to what balance of commercial, lodging and residential units are appropriate for Sedona by area. For instance, in Uptown there are 359 residential units (204 single-family and 155 multifamily and/or manufactured homes) within ¼ mile distance of the commercial corridor and 601 lodging units located within that same corridor for a total 960 total units. This proportion of 63% lodging to residential units may be appropriate for the Uptown area, but does this same proportion make sense in other areas of the community (e.g. Soldier Pass CFA, Coffeepot CFA, Dry Creek CFA) and if not, what is the right balance of lodging and residential units that is more appropriate?

New Hotels Built 1970 - 2015

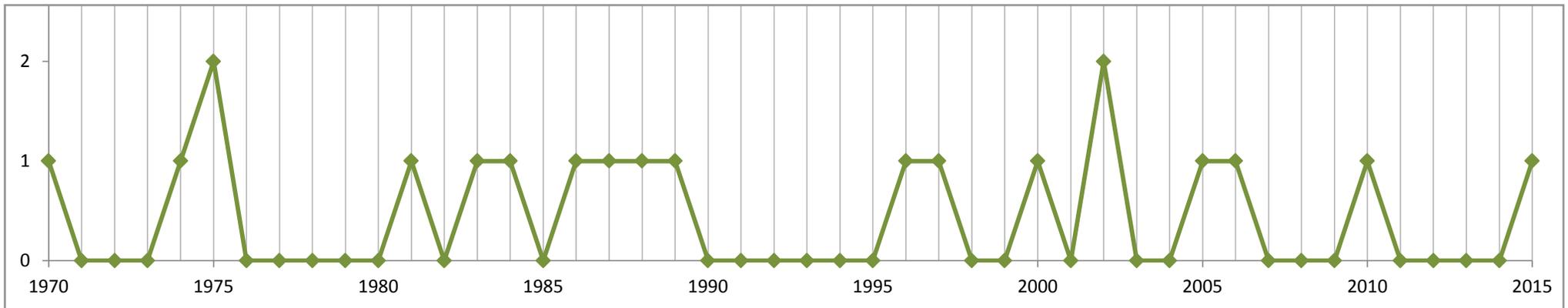


• 8 Hotels Built 1949-1969

• Chart above does not include:

- Additions
- Approved/not built
- Bed & Breakfasts with 6 rooms or less

Hotel Additions 1970 - 2015



City of Sedona Lodging Inventory

Lodging establishments for the purpose of this inventory are broken into three categories: 1) hotels (includes motels and resorts), 2) timeshare developments and 3) bed and breakfast establishments. The attached map illustrates the distribution of the lodging establishments, as well the boundaries of each CFA and the Lodging Area Limits. To better illustrate the distribution of lodging throughout the City, a breakdown of lodging units and acres is listed on the map for five general areas of the City.

Current Lodging Establishments	Lodging*	Acres	Units
Hotels	34	87	1525
Timeshares	8	87	816
Bed & Breakfast	9	8	63
Total Current Lodging:	51	182	2404

*Lodging Establishments

Approved Lodging Establishments**	Lodging	Acres	Units
New Hotels	2	5.5	161
Hotel Expansions	(1)	4.6	40
Total Approved Lodging:	2	10.1	201

**Under construction or not yet built

Approved Lodging:

Marriott Courtyard**: 121 units, 4.3 acres
 La Tierra Plaza: 40 units, 1.2 acres
 Sky Ranch Lodge Expansion: 40 units, 4.6 acres
 **now under construction

Total Lodging Establishments (Current & Approved)	Lodging	Acres	Units
	53	192	2605

Lodging Area Limits

- The Sedona Community Plan identifies Lodging Area Limits as five areas in the City where new lodging development is supported (Sedona Community Plan pages 27-29).
- There are currently 51 lodging establishments operating in the City, and 30 (59%) of those establishments fall within the Lodging Area Limits. Therefore, 41% of the current lodging establishments are not within the Lodging Area Limits.
- The area within the Lodging Area Limits boundaries encompasses 353 acres, of which 127 acres (36%) are now in a lodging use, with the remainder primarily commercial land use.

Community Focus Areas

The Lodging Area Limits and the Community Focus Areas do not directly align with each other, although in most cases they do overlap. The following CFAs have the most lodging establishments in both acres and units (not including establishments approved or under construction).

Selected CFAs	Lodging	Acres	% of CFA Area in Lodging	Units	% of the City's Lodging Units	Time- shares	Hotels	B&Bs
Uptown CFA 7	12	43	45%	560	21%	2	9	1
Ranger CFA 6	4	22	32%	263	10%	1	3	0
Western Gateway	1	29	14%	254	9%	1	0	0
Dry Creek CFA 3	6	9	18%	253	9%	0	5	1

Lodging Not in a CFA

- There are 21 lodging establishments with a total of 788 units that do not fall within a CFA.
- Examples of the larger lodging establishments not in a CFA: Arabella Hotel (725 SR 179), Poco Diablo Resort (1752 SR 179), Villas at Poco Diablo (250 Oak Creek Cliffs Dr.), Sky Ranch Lodge (1105 Airport Rd), Wyndham (1500 Kestrel Circle/W 89A), and Super 8 (2545 W SR 89A).

