



Meeting Date: June 7, 2015

Hearing Body: Planning and Zoning Commission

Action Requested: Approval of Development Review

Staff Recommendation: Approval, with conditions, of Development Review

Location: 60 Sinagua Drive

Parcel Number: 408-24-319

Owner: Larry and Denise Garnello
 2978 W State Route 89A; Sedona, AZ 86336

Authorized Agent: Dan Surber, Architect
 PO Box 3764; Sedona, AZ 86340

Project Summary: New 3,808 square foot Commercial Warehouse

Site Size: ± 0.354 acres

Sedona Community Plan Designation:
 Commercial (C)

Current & Proposed Zoning: General Commercial (C-2)

Current Land Use: Vacant

	<u>Area zoning</u>	<u>Area land uses</u>
North/South/East/West:	C-2	Existing Commercial Development

Report Prepared By: Cari Meyer, Senior Planner

Project Summary:

The applicant is requesting Development Review approval to construct a new 3,808 square foot commercial warehouse building on a vacant lot at 60 Sinagua Drive (APN 408-24-319). The property is located at the southern terminus of Sinagua Drive.

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¹The applicant submitted materials were previously provided to the Planning and Zoning Commission and are not included in the printed packet. They are included in the digital packet.

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² Staff and Review Agency Comments were previously provided to the Planning and Zoning Commission and are not included in the printed packet. They are included in the digital packet.



BACKGROUND

The applicant is requesting Development Review approval to construct a new 3,808 square foot commercial warehouse building on a vacant lot at 60 Sinagua Drive (APN 408-24-319). The property is located at the southern terminus of Sinagua Drive. The site was previously used as an outdoor garden nursery, but has been vacant for a number of years. The property is owned by the same entity that owns the properties at 2970 and 2978 State Route 89A, the lots directly to the south and fronting on State Route 89A. The property owner is proposing to construct a new warehouse building on the vacant lot. The warehouse will be used to store excess inventory for the store on the 89A lots, with unused warehouse space being rented out.

SITE CHARACTERISTICS (EXISTING)

- The project site consists of 1 parcel for a total of approximately 0.354 acres.
- The site is currently vacant and was previously used as an outdoor garden nursery.
- The property has access off of Sinagua Drive.
- The eastern portion of the lot is in a City-designated 500 year floodplain.
- There is no natural vegetation left onsite.

DEVELOPMENT PROPOSAL

The applicant is proposing new 3,808 square foot warehouse building.

Phasing

The project is proposed to be developed in a single phase.

Access and Traffic

- Vehicular access to the site is via Sinagua Drive. There is a proposed vehicle connection to the lots to the south (2970 and 2978 State Route 89A). This would be used by the business owner to transport merchandise and would not be open to the public.
- The City's Public Works Department has reviewed the application and determined that a traffic impact analysis was not required.

Parking

- An 11 space parking lot is proposed along the southern property line.
- Based on the proposed uses, this building is considered a manufacturing/industrial use and requires 1 space per 750 square feet, or a total of 5 spaces for a 3,808 square foot building.
- The Letter of Intent states the additional parking will be used for employee parking at the owner's adjacent business or potentially as leased parking for other businesses in the area.

Grading and Drainage

- The applicant has submitted a preliminary grading and drainage plan, which has been reviewed by the City's Public Works Department.
- The City's Public Works Department will review all building plans to ensure no negative impacts on grading or drainage occur as a part of this project.

Wastewater Disposal

- The property will be required to connect to the City's Wastewater System and pay applicable capacity fees at the time of building permit issuance.

Land Development Code and Design Review Manual Compatibility

- No exceptions from the Land Development Code or Design Review Manual requirements have been requested.
- A comprehensive evaluation for compliance with the Land Development Code (Attachment 2) and the Design Review Manual (Attachment 3).

Vegetation and Landscaping

- There is no natural vegetation onsite.
- The applicant has submitted a landscape plans, which has been reviewed for compliance with the City's landscape requirements.

Signage

- The applicant has provided a Master Sign Plan for this property. The Master Sign Plan show a sign location for each business above the entrance door as well as stating that the signs must be dark background, white lettering, and require a City Sign Permit. City Staff will review for compliance with the Sign Plan when permits are submitted. No freestanding sign is proposed for this property.
- The Sign Plan is included with the Lighting Plan.

Outdoor Lighting

- The applicant has submitted a lighting plan showing all fully shielded fixtures.

Mechanical Equipment and Trash Dumpsters

- New mechanical equipment will be ground mounted and screened by landscaping, walls, and the buildings.
- No trash containers are currently proposed. If needed, they will be required to be screened.

Public Input

- Project documents submitted by the applicant were placed on the Current Projects page of the Community Development Department website.
- Staff completed the required public noticing for this project. All notices contain contact information or a way to submit comments. As of writing this report, Staff has received one comment regarding this project. This comment was also provided to the applicant.
- The applicant mailed a letter to the neighboring property owners, informing them about the project and inviting them to contact the applicant with any questions. The applicant received one public comments regarding this project. The applicant met with the neighbor and answered her questions.

REVIEW AGENCY COMMENTS AND CONCERNS

The submitted documents were routed to reviewing agencies for comments. Comments on this project were received from the following review agencies and are included as Attachment 5:

- 1) Community Development Department, Current Planning
- 2) Public Works Department
- 3) Sedona Fire District
- 4) Arizona Water Company
- 5) Yavapai County Community Health Services
- 6) UniSource Energy Services

All comments received were either requesting minor changes or addressed future conditions of development. These comments have either been addressed by the applicant or are incorporated into the recommended conditions of approval.

REVIEW GUIDELINES

The following is requested from the Planning and Zoning Commission:

DEVELOPMENT REVIEW Approval from the Planning and Zoning Commission

DISCUSSION (DEVELOPMENT REVIEW)

In considering an application for Development Review approval, the review process is guided by the following criteria noted in Section 401.06 of the Land Development Code:

1. *The degree to which all of the applicable provisions of this Code and all other ordinances have been complied with.*
2. *The degree to which the proposed development of buildings, uses or structures conforms to the design standards as set forth by the Design Review Manual.*
3. *The degree to which the proposed development integrates the proposed built environment into the natural environment with minimal disturbance to view corridors, existing native vegetation and/or established landscaping, the natural topography of the site, natural drainage ways, known wildlife habitats, rock outcrops, and other natural features.*
4. *The degree to which the proposed development integrates into, and is compatible with, the built form of surrounding properties and existing developments with regard to building height and character, landscaping, signage, building materials, historical structures or features, and pedestrian and vehicular circulation.*
5. *That the proposed use is in general conformance with applicable goals, objectives and recommendations described in the Community Plan and adopted specific plans.*
6. *The degree to which proposed vehicular ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and solid waste collection are designed to promote public safety and convenience.*
7. *The degree to which pedestrian circulation is facilitated both on and off-site through interconnected passages, pathways and plazas, and is designed to promote public safety and convenience.*
8. *The degree to which the proposed development addresses concerns cited by participating reviewing agencies with jurisdiction in the areas of public health and safety.*

Staff Evaluation**Finding 1:**

Based on Staff's evaluation of this project, this project complies with all applicable provisions of the Code (See Attachment 2: Land Development Code Checklist). As pointed out in the Land Development Code Checklist, the following items are included as conditions of approval to ensure compliance with Article 9 of the Land Development Code:

1. The offset of the easternmost mass from the center mass is required to be 6'0" to meet massing requirements.
2. If used in the future, trash dumpsters must be adequately screened, to the satisfaction of the Community Development Director.
3. Parking has been provided at a ratio of 1 space per 750 square feet, with some additional spaces provided. Future uses of this building will be limited based on available parking unless additional parking is available and dedicated to the proposed use.

Finding 2:

Based on Staff's evaluation, this development proposal complies with the design standards as set forth by the Design Review Manual (See Attachment 3: Design Review Manual Checklist). One item that Staff had asked for was to provide connections to adjacent lots to assist in better site planning options in the future. The applicant has provided a connection to the lots to the south. In addition, the layout of the site does not preclude future connections to other adjacent lots, should the property owners come to an agreement regarding access.

Finding 3:

The site has already been level graded and no natural or established vegetation exists on-site. The tallest point within the remodel is approximately 21 feet above grade, which is lower than adjacent buildings and will not impact view corridors to a greater extent than the existing buildings in the area.

Finding 4:

The overall height and design of the building will fit in with the character and scale of the area. A number of the buildings in the area were built before the City incorporated and adopted the current standards, so a most of the buildings do not meet current Land Development Code requirements. This building will comply with all applicable requirements and as other buildings in the area redevelop, they will be evaluated under this same criteria.

Finding 5:

By meeting the requirements of the Land Development Code and the Design Review Manual, this project is in general conformance with the goals, objectives, and recommendations in the Community Plan.

Finding 6:

The proposed parking and access areas comply with all code requirements.

Finding 7:

A pedestrian connection is planned to the lot to the south.

Finding 8:

The application materials have been routed to all applicable reviewing agencies. Comments have either been addressed or are included as recommended conditions of approval.



Staff Recommendation (Development Review)

Based on compliance with all ordinance requirements and satisfaction of the Development Review findings of the Land Development Code, staff recommends approval of case number PZ16-00001 (DEV), Garnello Commercial Warehouse, subject to all applicable ordinance requirements, and the attached conditions of approval.

Sample Motions for Commission Use

(Please note that the below motions are offered as samples only and that the Commission may make other motions as appropriate.)

Recommended Motion for Approval

I move to approve the proposed development review for Garnello Commercial Warehouse as set forth in case number PZ16-00001 (DEV) based on compliance with all ordinance requirements and satisfaction of the Development Review findings and applicable Land Development Code requirements and the conditions as outlined in the staff report.

Alternative Motion for Denial

I move to deny case number PZ16-00001 (DEV). (Please specify findings)

Conditions of Approval

PZ16-00001 (DEV)

Garnello Commercial Warehouse



City of Sedona

Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

As recommended by Staff

1. Development of the subject property shall be in substantial conformance with the applicant's representations of the project, including the site plan, landscape plan, letter of intent, and all other supporting documents, as reviewed, modified, and approved by the Planning & Zoning Commission. Proposed changes determined to be substantial by the Community Development Director shall require reconsideration by the Planning & Zoning Commission at a public meeting.
2. Parking has been provided at a ratio of 1 space per 750 square feet, with some additional spaces provided. Future uses of this building will be limited based on available parking unless additional parking is available and dedicated to the proposed use.
3. Hours of work, for grading operations, shall be limited to 7 a.m. to 6 p.m., Monday through Friday and 9 a.m. to 5 p.m. on Saturday. No grading work shall occur on Sunday.
4. Storm water quantities and velocities shall not be greater than the historic values at the downstream property line.
5. The exterior colors and materials shall be in compliance with all City color and materials requirements.
6. All vents, down spouts, gutters, posts, etc. shall be painted to match the exterior wall or roof color or be in compliance with the color provisions of the Land Development Code.
7. All exterior mechanical equipment shall be screened and/or painted to the satisfaction of the Community Development Director.
8. The applicant shall obtain Right-of-Way Permits from ADOT and/or the City of Sedona for any work in the Right-of-Way.
9. The plans submitted for building permit review shall reflect the following conditions:
 - a. The offset of the easternmost mass from the center mass is required to be 6'0" to meet massing requirements.
 - b. Trash dumpsters must be adequately screened, to the satisfaction of the Community Development Director.
 - c. All changes made on the architectural drawings shall be reflected on the engineering drawings.
 - d. Dimension the curb radius.
 - e. Ensure the building has adequate drainage methods. Delineate all proposed scuppers, downspouts, and drain outlets on site plan. Delineate riprap pads (3ft. x 2ft. x 6in. minimum) under all scuppers, downspouts, and drain outlets. If gutters will not be used, provide a 24" border of 3" deep landscaping rock under all roof drip-lines for erosion protection.
 - f. Identify all fixtures such as sinks, kitchens, restrooms, etc.
 - g. Handicap sign detail shall conform to the requirements set forth in LDC 912.09. It must also include a 'van accessible' plaque.
 - h. Meet all applicable requirements of the City of Sedona Land Development Code.

10. Prior to the issuance of grading and building permits, the applicant shall satisfy the following conditions and provide written documentation of such compliance to staff:
 - a. Provide Final Grading and Drainage Plans. The Site Plan shall meet the grading and drainage requirements of SLDC Section 803, Permit Required - Exceptions.
 - b. Provide Final Drainage Report.
 - c. Sidewalks and parking areas shall to meet current United States Department of Justice ADA requirements. Construction of ADA compliant pedestrian facilities shall meet ADA grade tolerances. Additional accessible parking spaces shall be added to the existing parking areas to meet the minimum number of accessible spaces required.
 - d. The applicant shall provide a Storm Water Pollution Prevention (SWPP) Plan along with the Arizona Department of Environmental Quality (ADEQ) Notice of Intent (NOI) (Arizona Pollutant Discharge Elimination System [AZPDES] - disturbance area appears to be greater than 1 acre). SWPP measures shall be in place prior to the start of construction (SLDC Article 8). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)
 - e. The plans shall delineate oil separators for all paved surfaces prior to its release into the City's storm sewer system. Manufacturer or engineer's specifications and a maintenance schedule shall be provided.
 - f. Construction details shall be provided for sewer construction/connection.
 - g. Provide utility construction details on plans.
 - h. The applicant shall submit landscaping plans that comply with all applicable City codes.
 - i. The applicant shall submit outdoor lighting plans that comply with all applicable City codes.
 - j. All requirements of the Sedona Fire District shall be satisfied.
 - k. Provide a Neighbor Contact and Response Plan. The plan should define site signage, which shall include a hotline number.
11. Prior to the issuance of a Certificate of Occupancy, staff shall verify that all construction is in substantial accordance with the plans as submitted, reviewed, and approved by the Planning and Zoning Commission, and meets the following conditions:
 - a. All on-site improvements shall substantially conform to the plans on which grading and building permits were issued.
 - b. Installation of all proposed landscaping shall be complete and in accordance with the approved landscape plan.
 - c. All outside lighting shall have been installed in accordance with the approved plans. All lighting sources shall be fully shielded so that the direct illumination is confined to the subject property boundaries and so no light is directed above the horizontal plane. Staff shall conduct a night inspection and if deemed necessary, additional shielding will be required.
 - d. All new utility lines shall be provided through underground installation.
 - e. All mechanical equipment and trash receptacles shall be completely screened from surrounding areas by use of a wall, fence, landscaping or shall be enclosed within a building. All electrical panels shall be located so as not to be visible from public right-of-ways.

-
- f. All requirements of the Sedona Fire District shall be satisfied.
 - g. The applicant shall provide copies of all required testing to the Engineering Department.
 - h. As-built plans shall be provided to the City in digital and hard copy formats acceptable to the City Engineer.
 - i. All areas of cut and fill shall be landscaped or dressed in such a manner as to reduce the potential for erosion.
 - j. The applicant shall provide a letter, sealed by the engineer of record, verifying that the work, as done, is in substantial accordance with the approved plans.
 - k. All construction shall comply with the Storm Water Regulations in Chapter 14 of the City of Sedona City Code. Storm water quantities and velocities shall not be greater than the historic values at the downstream property line.
12. Within thirty days of approval of the Development Review, the property owners of record of the subject properties shall sign and record a waiver acknowledging their waiver of any right to claim just compensation for diminution in value under A.R.S. §12-1134 related to the granting of this Development Review.

Vicinity Map

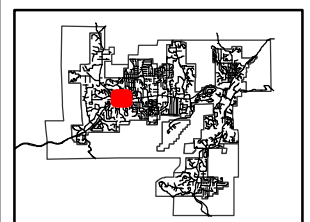
Parcel #
408-24-319
Garnello

- Parcel #408-24-319
- Zoning Boundary
- Building Footprint
- Parcel Boundary
- Trail
- Street Centerline



0 37½ 75 Feet

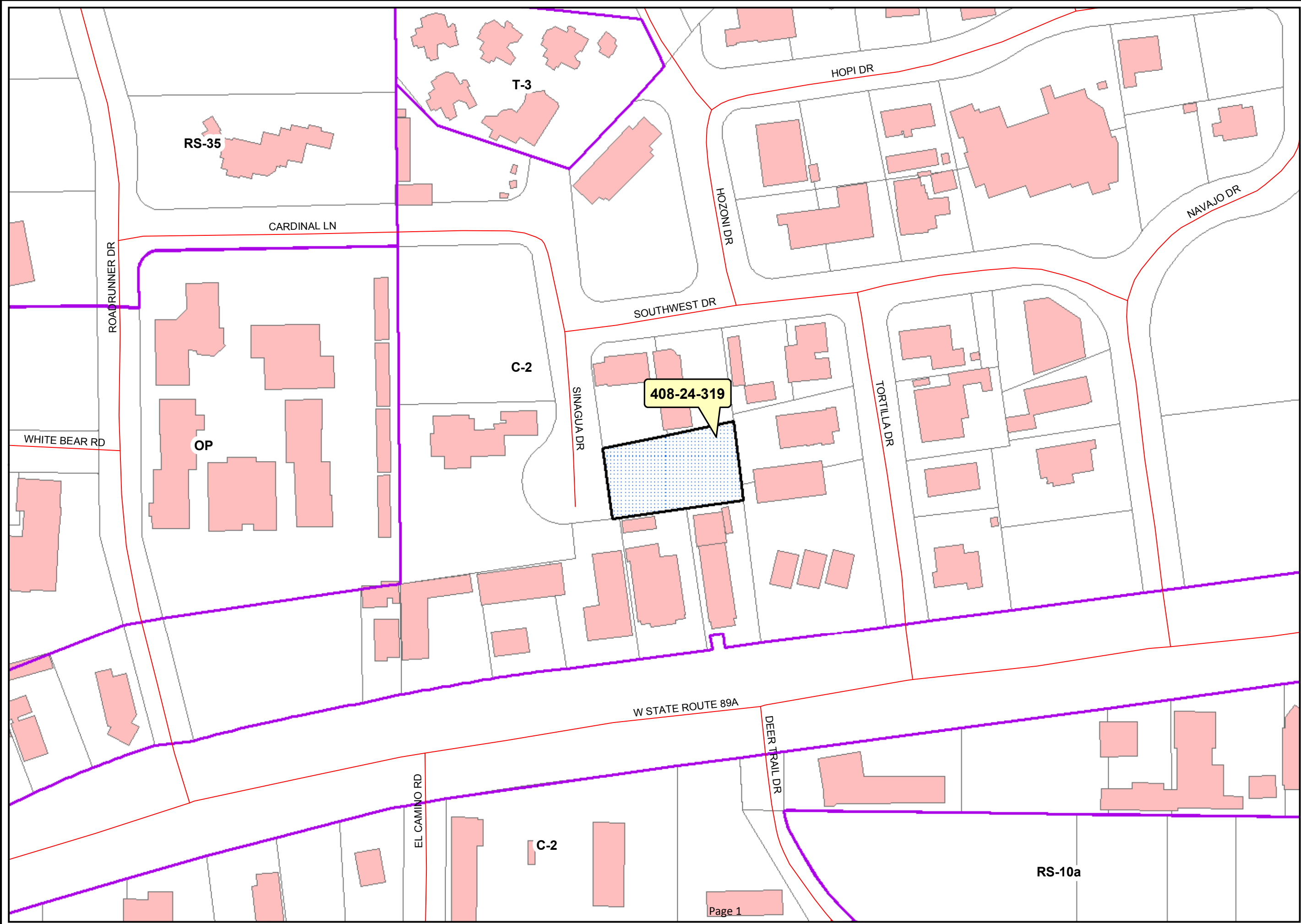
City Index



GIS, City of Sedona
09/06/2015
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Aerial View

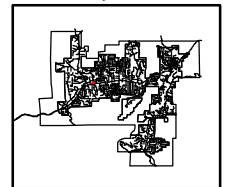
Parcel
#408-24-319
Garnello

-  Parcel #408-24-319
-  Parcel Boundary
-  Street Centerline



0 5 10 Feet

City Index



GIS, City of Sedona
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g:/pubreq/projects/
dans.urber/garnello/mxd/
408-24-319_aerial/mxd



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408-24-319

Development Standards Checklist

Land Development Code Article 9

PZ14-00013 Nexus Center



City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 • Fax: (928) 204-7124

Article 9 of the Sedona Land Development Code contains specific Development Standards applicable to various commercial projects. This Article sets the minimum criteria for review and approval of all new construction and renovation proposals by the City’s Community Development Department and Planning & Zoning Commission. Applicants of proposed development projects must demonstrate compliance with these development standards.

Color Coding	Full Compliance	Partial Compliance	Non-Compliance	Not Applicable
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903 Height Regulations	
903.03 Height and Massing – Commercial, Public, and Semi-Public Buildings	
903.03.A Overall Building Height	<p><i>Evaluation:</i> 1. The highest portion of the building is 19’10” above natural grade, under the 22 foot limit. No alternate standards are needed. 2. No small areas of rugged terrain are used to increase or reduce building height. 3. The building is approximately 20’10” from the lowest to the highest point. 4a. Alternate standards are not used. 4b. The finish floor of the building is lower than the adjoining road (Sinagua Drive). 4c. A gable roof with a pitch of 2:12 is proposed. No additional height is granted based on this roof slope. 4d. No elevator penthouses, mechanical equipment penthouses, towers, or stair towers are proposed. 4e. There are fewer than 3 building on this site, none are permitted to have additional height. 5. No portions of the buildings are within 30 feet of a residentially zoned parcel. 6. 48.5% of the total footprint of the buildings is less than 16 feet in height.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
903.03.B Required Massing	<p><i>Evaluation:</i> The building has 3 masses in plan view and in elevation view. The site plan shows the offset in the northeast corner at 5’8” while the other plans show it as a 6’0” offset. This is required to be 6’0” in order to meet massing requirements. Staff has discussed this discrepancy with the architect who has confirmed the correct measurement is 6’0”. This will be included as a condition of approval and will be reviewed for compliance by Staff during building permit review.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
903.03.C Unrelieved Building Planes	<p><i>Evaluation:</i> The largest unrelieved building plane is approximately 624 square feet. This plane is the center plane on the north elevation and is under the 800 square foot maximum.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
903.03.D Exposed Mass Heights	<p><i>Evaluation:</i> There are no exposed mass heights in excess of 24 feet.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
903.03.E Building Separation	<p><i>Evaluation:</i> There is only one building proposed.</p> <p><i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
903.03.F Siting and Orientation of Multiple Buildings	<p><i>Evaluation:</i> There is only one building proposed.</p> <p><i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
903.04 Chimney Mass	<p><i>Evaluation:</i> There are no chimney masses proposed.</p> <p><i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
903.05 Retaining Walls	<p><i>Evaluation:</i> The site is relatively flat. There will not be a need for new retaining walls of more than 8’ in</p>

	height.
	Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
903.06 Posts and Masonry Piers	
	Evaluation: There are no posts or masonry piers that would be subject to additional restrictions as outlined in this section.
	Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
903.07 Walls and Fences	
	Evaluation: A new 3' wall is proposed in the front setback to screen the parking area. No other new walls are proposed and the existing fence/gate along the front property line is proposed to be removed.
	Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
903.08 Towers and Antennas	
	Evaluation: No towers or antennas are proposed.
	Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
903.09 Roof Mounted Screening	
	Evaluation: No roof-mounted equipment is proposed, therefore no roof-mounted screening is needed.
	Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
903.10 Flagpoles	
	Evaluation: No flagpoles are proposed at this time.
	Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
904 Color	
904.01 Exterior Color Requirements	
	Evaluation: The applicant has submitted a proposed color palette. The proposed exterior color is "Expressive Plum" (SW 6271) and the proposed trim color is "Mannered Gold" (SW 6130). Both colors meet the City's color requirements. As no alternate standards are proposed, no additional restrictions to colors are necessary.
	Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
905 Alternate Standards	
905 Alternate Standards	
	Evaluation: No alternate standards are proposed.
	Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
906 Materials	
906.01 Exterior Materials	
	Evaluation: No mirrored or reflective surfaces or metallic surfaces are proposed. The proposed materials will not create a high contrast with surrounding areas.
	Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
906.02 Driveways	
	Evaluation: The driveway and parking lot are proposed to be asphalt.
	Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
907 Screening Requirements	
907.01 Equipment Screening	
	Evaluation: The Letter of Intent states that all ground mounted equipment will be screened or located within each unit. No trash containers are proposed at this time. If they are used in the future, they will be required to be adequately screened.
	Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
907.02 Screening of Uses	
	Evaluation: No additional screening due to adjacent uses or zoning districts is required.
	Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
907.03 Additional Requirements	
	Evaluation: None of the circumstances warranting additional requirements for screening apply to this project.

	<i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
908 Utilities	
	908 Utilities
	<i>Evaluation:</i> All new utilities will be underground.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
909 Trees	
	909 Trees
	<i>Evaluation:</i> There are no existing trees on site. The building footprint of 3,808 square feet requires 8 trees. This requirement is met through the landscaping plan.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
910 Landscaping	
	910.05 General Landscape Requirements and Regulations
	<i>Evaluation:</i> L. Street Frontage: The street frontage is shown on the landscape plan with the appropriate numbers of trees and shrubs. The W SR 89A frontage is required to have 3 trees and 9 shrubs, which are shown on the plans. A 3 foot tall wall is proposed to screen the parking area. M. A 4' wide landscape has been provided along the southern property line. 6 trees and 14 shrubs are required and shown on the plans. One landscape peninsulas is required and is provided showing the required 1 tree and 3 shrubs. N. The eastern wall of the building requires additional landscaping, which is shown on the plans.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
911 Outdoor Lighting	
	911.05 Outdoor Lighting Standards
	<i>Evaluation:</i> All lighting proposed is Dark Sky Compliant. The survey provided shows the property as approximately 0.354 acres. Based on this acreage, a maximum of 35,400 lumens would be allowed. The lighting plan submitted by the applicant proposes 8,350 lumens.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
912 Off-Street Parking and Loading Requirements and Standards	
	912.03 Parking Spaces Required
	<i>Evaluation:</i> All required parking will be provided on-site.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	912.04 Schedule of Off-Street Parking Requirements
	<i>Evaluation:</i> For parking requirements, the proposed uses are classified as "Manufacturing/industrial uses" or "Warehousing." These uses require significantly less parking than a typical retail use and parking has been provided a a ratio of 1 space per 750 square feet, for a total requirement of 5 parking spaces. 11 spaces are provided, which the applicant has stated will be used primarily for employee parking for their adjacent retail stores. Future uses may be limited based on available parking, which will be reviewed for when a business owner submits a tenant occupancy permit application.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	912.05 Site Development Standards for Off-Street Parking Areas
	<i>Evaluation:</i> The design of the parking area meets the requirements for parking lot design.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	912.07 Off-Street Loading Requirements
	<i>Evaluation:</i> The design of the parking lot, turn around area, and connection to the lots to the south allow for easy accommodation of loading and unloading areas and delivery trucks.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	912.08 Bus and Large Vehicle Parking
	<i>Evaluation:</i> The parking lot capacity is less than 50 spaces so bus and large vehicle parking is not required.
	<i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
	912.09 Accessible Parking
	<i>Evaluation:</i> One (1) accessible parking spaces is required and provided.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable

Other Considerations



The Design Review Manual is the City of Sedona’s acceptable standard and guiding policy document for all development proposals in the City. This Manual, along with the Land Development Code, forms the basis for the review and approval of all new construction and renovation proposals by the City’s Community Development Department and Planning and Zoning Commission. Applicants of proposed development projects must demonstrate “good faith intent” to comply with the Manual.

Color Coding	Full Compliance	Partial Compliance	Non-Compliance	Not Applicable
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2.0 Site Development	
2.2 Site design	
	Sensitivity to natural features
	<i>Evaluation:</i> The site is flat with no natural vegetation. There are no significant grades or natural features on the site that need to be preserved.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Arrangement of spaces
	<i>Evaluation:</i> The property is designed to include a link to the properties to the south to facilitate potential shared parking and delivery vehicles. Connection to the properties to the north are not currently possible due to grade changes and the existing configuration of the properties. There is currently no connection proposed to the property to the east either. However, the configuration of the property (building, parking areas) does not preclude a future connection if an agreement could be reached between the two property owners.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Viewshed Analysis
	<i>Evaluation:</i> The building below the maximum allowable height and is surrounded by other developments. A number of the buildings in the immediate vicinity, particularly to the north, are taller than this building. Based on the existing construction in the area, the proposed building will not obstruct any views.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Sensitivity to historical sites, structures and roadways
	<i>Evaluation:</i> There are no historical sites, structures, or roadways on this property.
	<i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
2.3 Drainage Way Design	
	Drainage ways, Stormwater detention, Soil Erosion, & Sedimentation Control
	<i>Evaluation:</i> The drainage and grading will be designed in compliance with City requirements. The site is relatively flat with a City-designated 500-year floodplain. The drainage facilities needed for this building are minor and will be incorporated into the design of the parking lot and landscaping. The engineer who prepared the drainage report concluded that detention basins are not necessary for this development.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
2.4 Building Placement and Orientation	
	Relationship to adjacent developments
	<i>Evaluation:</i> This site is being designed as a supportive use for the existing retail businesses to the south. The property will provide a direct vehicular and pedestrian connection to these lots. Though no other connections are currently proposed, the site design does not preclude additional pedestrian or vehicular connections, should an agreement be reached between the property owners.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Relationship to public realm

	<p><i>Evaluation:</i> The property only has frontage on one existing right-of-way (Sinagua Drive) and appropriate connections are planned. The uses planned for this building (warehousing and contractor's office) are not open to the public, so pedestrian areas and public spaces were not seen as a priority in design of this site.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>Corner sites</p> <p><i>Evaluation:</i> This is not a corner site.</p> <p><i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>View considerations</p> <p><i>Evaluation:</i> There are no adjacent properties with significant views that will be negatively impacted by this development.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>Relationship to topography</p> <p><i>Evaluation:</i> The site is largely flat and no significant grading will be needed to build the proposed building.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>Climate considerations</p> <p><i>Evaluation:</i> Landscape areas have been provided on the east and west sides of the building. The landscape plan uses some deciduous plants that will provide shade during the summer and allow sunlight through in the winter. No covered parking is provided, but landscape is provided in the parking areas that will provide additional shade for cars during the summer.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
2.5 Linkage and Circulation	
	<p>Relationship to Adjacent Development</p> <p><i>Evaluation:</i> This site will provide pedestrian connections to both of the adjoining lot to the south and could potentially provide access to other adjacent lots if an agreement can be reached with the neighboring property owners.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>Courtyards and Passages</p> <p><i>Evaluation:</i> No courtyards or passages are provided. Given the nature of the proposed uses of this building and the small scale of development, this was not seen as a necessary element for this project.</p> <p><i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>Parking Lot Walkways</p> <p><i>Evaluation:</i> The parking lot size does not require additional pedestrian walkways.</p> <p><i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>Vehicular and pedestrian connections</p> <p><i>Evaluation:</i> The driveway connects to existing roads. The property connects vehicle and pedestrian traffic with the property to the south and the layout of the site allows for the future potential connection to other adjoining properties.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
2.6 Parking	
	<p>Parking area design</p> <p><i>Evaluation:</i> There is no significant topography or vegetation that needs to be preserved in the parking lot. Two existing trees will be preserved and incorporated into the design of the parking lot. The parking lots will be screened by existing buildings, landscaping, and screen walls. The landscaping will reduce the glare from headlights. The parking lot is relatively small and will not consist of large amounts of uninterrupted pavement.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>Parking structures</p> <p><i>Evaluation:</i> No parking structures are proposed.</p> <p><i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
2.7 Exterior Lighting	

General, Parking Area, and Exterior Wall & Building	
	<i>Evaluation:</i> All new lighting will comply with the City's Dark Sky requirements. 35,400 lumens are allowed and 8,350 lumens are proposed (24% of the allowance).
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
2.8 Signage	
Design, Location	
	<i>Evaluation:</i> A sign plan has been submitted that designates locations and design for future signs. No monument sign is proposed. Future tenant signs will have to comply the proposed sign plan.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
2.9 Building Equipment and Services	
Service areas, loading zones and refuse enclosures	
	<i>Evaluation:</i> Building equipment will be appropriately screened with landscaping and fencing. Currently, no dumpster is proposed. If added in the future, the dumpster will be required to be properly screened.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Mechanical and electrical equipment	
	<i>Evaluation:</i> All mechanical equipment and electrical equipment will be ground mounted and screened or within the building. No rooftop equipment is proposed. All items identified by the Design Review Manual as "Uses and Equipment to be screened" have been sufficiently screened.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
2.10 Fences and Walls	
Design	
	<i>Evaluation:</i> The only new fences and walls proposed are those needed to screen the parking lot, which has been designed to be compatible with the building. None of the materials listed as unacceptable are proposed.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
3.0 Architectural Character and Building Form	
3.1 Architectural Character and Style	
Character and Style	
	<i>Evaluation:</i> The building is a simple warehouse building. It does not use a corporate or franchise identity.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
3.2 Proportions and Scale	
Proportion	
	<i>Evaluation:</i> The building has a horizontal emphasis. No storefront glass is used. There are no significant vertical elements.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Scale	
	<i>Evaluation:</i> The building is appropriately scaled to fit into the context area. A number of the buildings in the area are two stories or sit at a higher elevation so that this building will not seem out of place given the surroundings.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
3.3 Building Massing	
Building Massing	
	<i>Evaluation:</i> The building meets the massing requirements of the Design Review Manual as well as the Land Development Code.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Horizontal Composition	
	<i>Evaluation:</i> The overall building is of a primarily horizontal composition. The massing of the building prevents long and continuous walls. Strong shadow lines will result from the varied building planes and roof lines.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable

	Smaller Scale Components
	<i>Evaluation:</i> The landscaping will serve to tie the building to the ground. Red rock will be incorporated into the lower portions of the building and the columns to further ground the building. There are no upper levels proposed.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Visual Patterns
	<i>Evaluation:</i> The building incorporates sufficient offsets and overhangs to create good visual patterns.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Coherent Building Design
	<i>Evaluation:</i> The entire site has been designed as one project. All sides of the building have been designed to the same architectural standard.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
3.4 Building Materials and Textures	
	Encouraged Materials and Methods of Use: Walls
	<i>Evaluation:</i> The applicant has proposed to use a metal building with colored siding meeting the City's color requirements. The design will also incorporate a red rock veneer wainscoting and columns.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Encouraged Materials and Methods of Use: Roofs
	<i>Evaluation:</i> The roofs will be gently sloped and surfaced using a non-reflective material.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Discouraged Exterior Finishes
	<i>Evaluation:</i> No materials from the list of discouraged materials are proposed.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Encouraged Surface Materials
	<i>Evaluation:</i> The surface materials used are appropriate for their intended purpose.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
3.5 Color	
	General Properties, Specific Requirements, Other Conditions
	<i>Evaluation:</i> The colors proposed comply with the City's color requirements.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
3.6 Architectural Details	
	Architectural Details
	<i>Evaluation:</i> Details that the DRM lists as desirable, such as stonework and columns, have been incorporated into the design of the building. None of the details listed as undesirable are used.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
3.7 Design for Climate and Energy Conservation	
	Climate and Energy Conservation
	<i>Evaluation:</i> Landscaping and roof overhangs are provided in appropriate places around the building to contribute to climate control, as outlined by the DRM.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
4.0 General Landscape Character	
4.2 General Principles of Landscape Design	
	Preservation of Existing Vegetation and Topographic Features
	<i>Evaluation:</i> There is no existing vegetation or topographic feature that needs to be preserved.
	<i>Compliance:</i> <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
	Natural Landscaping
	<i>Evaluation:</i> The landscaping will use a combination of native and adaptive plants.
	<i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
	Boundaries and Transitions
	<i>Evaluation:</i> The landscaping is used to screen the building and parking areas from the public right-of-way.

	<i>Compliance:</i> <input checked="" type="checkbox"/> <i>Yes</i> <input type="checkbox"/> <i>Partial</i> <input type="checkbox"/> <i>No</i> <input type="checkbox"/> <i>Not Applicable</i>
	Landscape Continuity
	<i>Evaluation:</i> The landscaping is appropriate to this area of town. There are no directly adjacent natural areas which this property would need to consider for landscaping purposes.
	<i>Compliance:</i> <input checked="" type="checkbox"/> <i>Yes</i> <input type="checkbox"/> <i>Partial</i> <input type="checkbox"/> <i>No</i> <input type="checkbox"/> <i>Not Applicable</i>
	Other Design Principles
	<i>Evaluation:</i> Landscaping will be kept pruned to maintain a visibility triangle at the driveway. No significant views will be impacted by the building or the landscaping. Landscaping is used as a buffer between the site and the right-of-way.
	<i>Compliance:</i> <input checked="" type="checkbox"/> <i>Yes</i> <input type="checkbox"/> <i>Partial</i> <input type="checkbox"/> <i>No</i> <input type="checkbox"/> <i>Not Applicable</i>
4.3 Plant Selection	
	Planting Design
	<i>Evaluation:</i> The landscape plan uses native and adaptive plants that are appropriate for the Sedona area.
	<i>Compliance:</i> <input checked="" type="checkbox"/> <i>Yes</i> <input type="checkbox"/> <i>Partial</i> <input type="checkbox"/> <i>No</i> <input type="checkbox"/> <i>Not Applicable</i>
4.5 Other Landscape Elements and Features	
	Other Landscape Considerations
	<i>Evaluation:</i> None of the additional landscape features outlined in this section are used in this project.
	<i>Compliance:</i> <input type="checkbox"/> <i>Yes</i> <input type="checkbox"/> <i>Partial</i> <input type="checkbox"/> <i>No</i> <input checked="" type="checkbox"/> <i>Not Applicable</i>
4.6 Outdoor Spaces	
	Plazas and Courtyards
	<i>Evaluation:</i> There is no plaza or courtyard in this project.
	<i>Compliance:</i> <input type="checkbox"/> <i>Yes</i> <input type="checkbox"/> <i>Partial</i> <input type="checkbox"/> <i>No</i> <input checked="" type="checkbox"/> <i>Not Applicable</i>
	Streets and Parking Lots
	<i>Evaluation:</i> New plantings are provided in informal clusters. Canopy trees are provided in the parking lot. The plants used are from the City's approved plant list.
	<i>Compliance:</i> <input checked="" type="checkbox"/> <i>Yes</i> <input type="checkbox"/> <i>Partial</i> <input type="checkbox"/> <i>No</i> <input type="checkbox"/> <i>Not Applicable</i>

Garnello Warehouse Building
Owner/Developer:
Larry and Denise Garnello
60 Sinagua Drive
Sedona, Arizona 86336

**LETTER OF INTENT AND PROJECT INFORMATION FOR:
“NEW WAREHOUSE BUILDING”**

The applicant is proposing a new 3,808 sq.ft. Commercial/Warehouse Building with associated driveway, parking and walkways will be located on existing vacant site. The project is located at 60 Sinagua Drive, Sedona, Arizona.

The subject property/Assessors parcel # 408-24-319, is a 15,246 sq.ft. (.35 acres) parcel and is zoned C-2 (General Commercial/Warehousing).

Lot Coverage Allowed = 3,812 sq.ft. (15,246 sq.ft. x 25% = 3,812 sq.ft.)

Floor Area Ratio = 7,623 sq.ft. (15,246 sq.ft. x .5 = 7,623 sq.ft.)

The subject property is surrounded by C-2 (General Commercial). The Owners of this parcel also own and operate the businesses to the south on State Route 89-A.

It is there intent to use half of the new building for there existing business storage and workshop area.

Pursuant to the General Submittal requirements for the proposed development of the new Commercial Warehouse Building, the following describes the intent of the project.

Site Design and Building Placement:

Our goal is to develop the existing vacant property with an emphasis meeting current designated zoning and City of Sedona Land development Code while creating the opportunity for pedestrian connections and routing delivery and service traffic away from State Route 89-A. The new site layout will create a parking area for the new warehouse and also overflow employee parking for Owner’s existing business to the south.

It is there intent to explore providing a pedestrian access to the existing businesses to the east and west. The new building location and form will create an inviting focus and the massing, building materials will compliment the surrounding built environment..

Building Information:

The new building will consist of four potential warehouse bays.

Bay #1 through Bay #3 at 924 sq.ft. and Bay #4 at 1,036 sq.ft. for a total square footage of 3,808. Each bay/suite will have a defined covered front entrance.

The orientation of the building will run parallel to the longest property dimension running west to east with vehicle and pedestrian access at the west property end line.

Occupancy possibilities will be warehouse/storage, contractor office/service/storage, custom service and craft shops. All future potential occupancies shall meet C-2 Commercial District permitted uses.

Grading and Drainage:

The existing site has a slight slope from west to east and drainage is directed to the south-east corner where there is an existing surface drain. The new development will follow the existing conditions with some slight cut and fill. The drainage will be redirected, detained and metered to existing southeast drain. See civil engineers drainage report and grading and drainage plan for further explanation and detail.

Access and Parking:

A new 26'-0" Ingress and Egress asphalt paved drive will be located along the west property boundary to access the new parking area in front of the new building.

The new development requires five spaces. The applicant is proposing eleven spaces, which includes one handi-cap space with 5 foot unloading area and walkway.

The reasoning being that the new development will accommodate employee parking from owners business to the south and potential negotiated overflow parking that currently exists at the dead-end cul-de-sac at Sinagua Drive.

Vegetation and Landscaping

The existing vacant property currently has no trees or vegetation. the lot was used as a staging area for the City of Sedona drainage project located at the east property line.

There will be a new planter located at the south property line adjacent to existing masonry retaining wall to provide a buffer between the south property, the parking area and the new building. This planter will have a mixture of trees, shrubs and ground cover.

There will be extensive landscape adjacent to building at west property to soften and provide a transition from the built environment to the outdoor public realm.

See Landscape Plan for plant list and location.

Wastewater Disposal

The Owners intent is to connect to the existing City of Sedona sewer system at Sinagua Drive for potential future tenant requirements.

Exterior Lighting

Our exterior lighting will comply with the City of Sedona lighting regulations. No raised parking lights will be necessary and we intend to employ low voltage mushroom type lighting along the driveways, walkways and planter areas.

Exterior building lighting will be fully shielded wall sconces which will direct the light downward with no horizontal or upward illumination.

Utility Connections

Water: existing/currently supplied by Arizona Water Company

Gas: existing Uni-source Energy services.

Telephone: existing/currently supplied by Quest Communications

Sewer: available connection to City of Sedona sewer.

Electric: existing/currently supplied by APS

All utilities are existing and extended to site except for gas.

The new project will not require gas at this time.

Architectural Design and Details

The primary building structure will be fabricated metal building with exterior walls having colored metal siding with a red rock stone veneer wainscot and at columns. Covered entrance structures will be provided at each bay to define entrances and to create diversity in massing. The covered entrances will be supported by columns with red rock stone veneer.

Air-conditioning ground units (remote compressors) will be screened with all unit air-handlers located within the unit. There will be no roof-top units.

Colors will be in the darker natural hues and shall conform to City of Sedona Light Reflective Guidelines.

The new buildings will be designed with a logical hierarchy of masses by using materials such as red rock and masonry at the lower portion of the building to create a base and to minimize its perceived heaviness or massiveness as the building rises in elevation.

Building materials and colors will compliment the surrounding buildings and create a project that will relate to its surrounding environment, provides a potential alternative pedestrian connection and will add to the economic vitality of Sedona.

It is our intent to integrate the design of the new project by complimenting the metal building with natural materials and colors and the use of indigenous landscape.

The visual impact will be reduced by varying building heights and setbacks, using natural building materials.

New evergreen trees and complimentary low water indigenous plant material will be introduced at the parking areas and at the west and south property lines in order to create a buffer and screen from the existing developments and roadway.

We believe that the new Garnello Warehouse Development as proposed meets the City of Sedona zoning criteria and has been designed using design principles outlined in the City of Land Development Code and Sedona Design Review Manual.

The Garnello Development will create a much needed occupancy use in an aesthetically pleasing building structure and will add to the economic vitality of Sedona.

Thank you,

Dan Surber, Architect (agent)
Owner/Developer
Larry and Denise Garnello

April 14, 2016

Date

City of Sedona
Department of Community Development
Attention: Audrey Juhlin and Cari Meyer
104 Roadrunner Drive
Sedona, Arizona 86336

Citizens Participation Plan for:
Garnello Commercial Warehouse Project

An informative letter which includes site plan, floor plans and building elevations will be sent out stating our intent for the property located at 60 Sinagua Drive Sedona, Arizona- Parcel # 408-24-319

Citizens will be invited to send questions or comments via fax, mail or e-mail and we will respond to clarify or answer questions regarding the project in same fashion.

All comments, questions or dialogue will be documented and presented to the City of Sedona as part of this participation plan prior to the public meeting in the spring of 2016.

Thank you,
Dan Surber, Architect (agent)

Dan Surber Architect

P.O. Box 3764 Sedona, Arizona USA 86340

Tel: 928-204-2814 Fax: 928-204-1031 e-mail: dsurber@esedona.net

UPDATE:

We have received one letter asking for clarification on existing trees and building placement. I have attached the letter for your review.

I have contacted Nancy Mathews and have answered her questions.

Thank you,
Dan Surber

Garnello Warehouse Building

Owner/Developer:
Larry and Denise Garnello
60 Sinagua Drive
Sedona, Arizona 86336

City of Sedona

Department of Community Development
Attention: Cari Meyer
104 Roadrunner Drive
Sedona, Arizona 86336

**LETTER OF INTENT AND PROJECT INFORMATION FOR:
“GARNELLO WAREHOUSE BUILDING”**

The applicant is proposing a new 3,808 sq.ft. Commercial/Warehouse Building with associated driveway, parking and walkways will be located on existing vacant site. The project is located at 60 Sinagua Drive, Sedona, Arizona.

The subject property/Assessors parcel # 408-24-319, is a 15,246 sq.ft. (.35 acres) parcel and is zoned C-2 (General Commercial/Warehousing).

Lot Coverage Allowed = 3,812 sq.ft. (15,246 sq.ft. x 25% = 3,812 sq.ft.)

Floor Area Ratio = 7,623 sq.ft. (15,246 sq.ft. x .5 = 7,623 sq.ft.)

The subject property is surrounded by C-2 (General Commercial). The Owners of this parcel also own and operate the businesses to the south on State Route 89-A.

It is there intent to use half of the new building for there existing business storage and workshop area.

We believe that the new Garnello Warehouse Development as proposed meets the City of Sedona zoning criteria and has been designed using design principles outlined in the City of Sedona Design Review Manual and Design Guidelines.

The Garnello Development will create a much needed occupancy use in an aesthetically pleasing building structure and will add to the economic vitality of Sedona.

As part of the City of Sedona Design Review process we are required to obtain feedback from our surrounding neighbors. If you have any questions or comments please feel free to contact Larry Garnello or Dan Surber.

All feedback is welcome and will be presented to the City of Sedona.

You are also invited to attend the City of Sedona Planning and Zoning Hearing which will be noticed at a later date.

Thank you,

Dan Surber Architect P.O. Box 3764 Sedona, Arizona USA 86340

Tel: 928-204-2814 Fax: 928-204-1031 e-mail: dsurber78@esedona.net

Larry Garnello, Owner: e-mail- crystalmagicsda@gmail.com

Sedona School of Massage
2945 Southwest DR
Sedona, AZ 86336

February 11, 2016

Sedona Planning and Zoning
102 Roadrunner DR
Sedona, AZ 86336

To Whom This May Concern,

Hello! I am writing in regard to a letter of intent and project information for Garnello Warehouse Building.

I own the property directly north of this project. I had a couple of questions. There are 2 trees right on the property line. Are you planning on taking them down, and, if so, is that necessary? I was also wondering if there is any possibility of moving the structure east to the utility easement to allow for more light and at least more space for the big tree.

Thank you for your time and consideration.

Regards,

Nancy Matthews
Director

PH: 928-284-3693

Email: info@sedonaschool.com

Outdoor Lighting Application Part 1



City Of Sedona Community & Economic Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 • Fax: (928) 204-7124

Applicant Name:	DAN SURBER ARCHITECT	Phone:	928-204-2814	Permit # B	
Address:	P.O. BOX 3764 SEDONA, AZ. 86340	Cell Phone:	928-821-2182	Date Rec'd	
E-mail:	dsurber28@gmail.com	Fax:	928-204-1031	Staff Initials	

The following is for COMMERCIAL only.

Approved: Yes No

2. Site Identification

Parcel #:	408-24-319
Building Site Location:	60 SINAGUA DRIVE SEDONA, AZ. 86336
Business Name (if applicable):	GARNELLO WAREHOUSE BUILDING

3. Lumen Information for Non-residential and Multi-family Use Only: - Commercial only

Gross acres of entire site:	.35		
Acres for Public Right-of-Way:	—		
Net Acreage of Site:	.35	X 100,000* =	35,000

4. Type of Shielding and Lumens Proposed: - Commercial only -See Lumen Calculation Table (page 2)

Fully Shielded Fixtures - Lumens Proposed:	8,350
Partially Shielded Fixtures - Lumens Proposed:	
TOTAL LUMENS PROPOSED: (fully + partially shielded fixtures)	8,350

*Total outdoor light output shall not exceed 100,000 lumens per net acre for all development except single-family residential uses. This cap is not intended to be achieved in all cases or as a design goal. Instead, design goals should be the lowest levels of lumens necessary to meet the lighting requirements of the site. Partially shielded light fixtures are limited to a maximum of 5,500 lumens per net acre and are counted towards the 100,000 lumens per net acre cap.

Outdoor Lighting Application

Part 2 – Inventory

Lighting Inventory and Lumen Calculation Table

- Refer to page 3 for an example of a plan view diagram and completed table.
- List all new or proposed lighting first, then any existing light.
- Include any lighting proposed for external illumination of signs.
- Attach photometric data sheet or manufacturer’s product description for all lights, both new and existing (must include lumens). If such data is not available for existing fixtures that will be retained, include photographs of the fixtures showing sufficient detail to determine the shielding characteristics.
- Please include a Site Plan identifying all proposed and existing lighting fixtures.

Lamp Type Key: LPS Low Pressure Sodium
 HPS High Pressure Sodium
 MH Metal Halide
 FL Fluorescent
 IN Incandescent (including quartz-halogen)

Shielding Key: F Fully Shielded
 P Partially Shielded
 U Unshielded

Plan Key (ID)*	Light Class (1, 2, or 3)	Lamp Type (LPS, HPS, MH, FL, IN)	Initial Lumens	No. of Units	Shielding (F, P, or U)	Watts (each)	New or Existing (N or E)	Total Lumens
SA 1	1	LED	3,350	1	F		N	3,350
SC 2	5	CFL	1,000	5	F		N	5,000
Total Lumens =								8,350

*Plan key identification in first column must correspond to labeling on site plan map below.

Please attach a site plan (see following example) of your structure and locations for the new and existing exterior lighting.

Applicant Signature: 

Date: 4/14/2016



Type:
 Fixture:
 Project:

FCC611

6" Round Wall or Surface Mounted
 Stainless Steel Cylinder.



ORDERING

EXAMPLE: FCC611W-120V-20W MH G12-BK-F

SERIES	VOLTAGE	SOURCE/TEMPERATURE/LAMP	FINISH	LED OPTICS	ACCESSORIES
FCC611	120V	PL 13T 18T 26T	BK Black	SP Spot	EC E-Coat
FCC611W	277V	INC 75W PAR30	BZ Bronze	NFL Narrow Flood	EMR Emergency Backup, Remote (PL only, LEDΔ)
	347VΔ	HID 20W MH G12	CC Custom Color	FL Flood	F Fuse
		LED 3K 600 Lumens *min	SL Silver	WFL Wide Flood	
		4K 1000 Lumens *min	WH White		

Δcontact factory

SPECIFICATION

MOUNTING

- Mounts directly to standard recessed junction box. Additional mounting holes allow unit to be attached directly to mounting surface.

CONSTRUCTION

- Marine grade 316 stainless steel.
- Lens is 1/8" thick clear, tempered glass. Precision formed semi-specular aluminum for maximum reflectance.
- Neoprene continuous closed cell urethane 'O' ring gasket to seal out contaminants. Captive and recessed stainless steel, tamper resistant hex socket screws.

LED

- *Stated minimum lumens are delivered out of the luminaire. LED lifetime is greater than or equal to 70,000 hours with the lumen depreciation greater than L70. All of our luminaires are tested to LM 80 with a minimum CRI of 80 and color consistency of step 4 MacAdam Ellipse. Integral power supply standard. Input voltage 120V or 277V. Consult factory for dimming, all RGB color changing and any single color options.

FINISH

- Six stage chemical pre-treatment process that includes iron phosphate, to prepare the substrate for a UV stable, super durable standard polyester powder coat.
- Optional e-coat process is added to the standard finish including zinc phosphate for a 5 year limited warranty.

ELECTRICAL

- Socket** PL: Four pin plug-in type compact fluorescent lamp holder (*lamp by others*). INC (120V only): Medium base porcelain socket. HID: G12 base porcelain socket.
- Ballast** PL: Fluorescent electronic, UL listed ballast standard. HID: Electronic ballast standard. Ballast has a manufacturer issued 5 year warranty. Please consult factory for other voltage options.

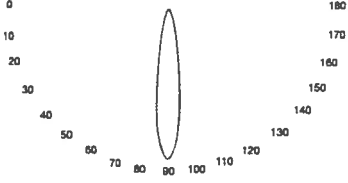
LISTING

- UL & cUL listed for wet locations (*for solid ceilings only*). IP65 Rating.

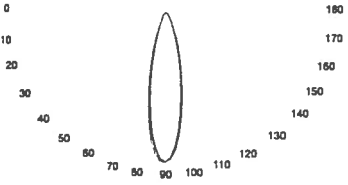


PHOTOMETRY

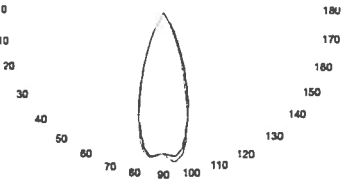
FCC611 120V LED 4000K 1000 Lumens Spot Distribution



FCC611 120V LED 4000K 1000 Lumens Narrow Flood Distribution

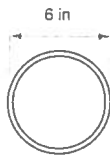
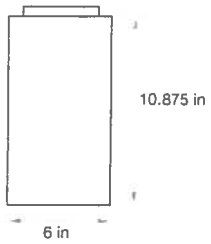


FCC611 120V LED 4000K 1000 Lumens Flood Distribution

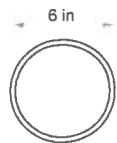
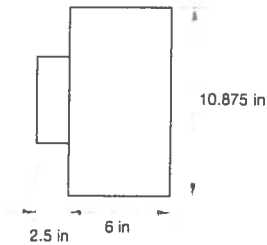


DIMENSIONS

FCC611



FCC611W



SA 1
SA 2



Search

Full Cutoff LED Wall Packs

Home

Products

Outdoor LED Fixtures

LED Garage and Canopy Fixtures

QuadroMAX LED Outdoor Lighting Fixtures

LED Wall Packs

Full Cutoff LED Wall Packs

LED Adjustable Wall Packs

QuadroMAX LED Wall Packs

WallMax Wall Packs

LED Flood Lights

LED Area and Roadway Light Fixtures

LED Hazardous Location Fixtures

LED Vapor Tight Linear Fixtures

LED VaporProof Jelly Jar

LED Security Light Fixtures



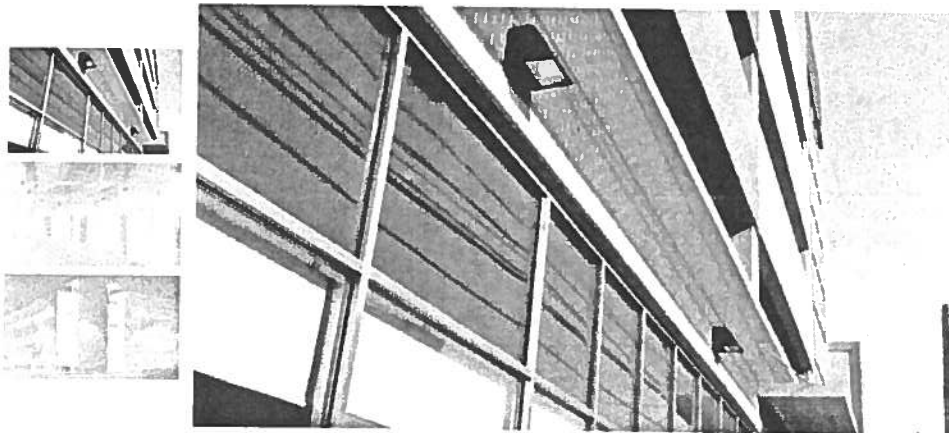
Overview:

MaxLite's MaxLED® Full Cutoff LED Wall Packs are available in 20-, 30-, 40- and 70-watts. These wall packs were designed and engineered as maintenance free, energy-efficient alternatives to traditional fluorescent, high/ low pressure sodium, metal halide, induction, and other types of lighting fixtures. Replacing 100- to 250-watt metal halide fixtures, the wall packs eliminate upward illumination contamination of the night sky, while providing highly effective delivered lumens for outdoor illumination at hotels, garages, commercial buildings, public spaces, schools and universities and hospitals. All Full Cutoff LED Wall Packs are available in 5000K (daylight) correlated color temperature (CCT) and maximize brightness. DesignLights Consortium®-qualified models are available.

Validations & Accolades:



Product Gallery



Data Sheets and Specifications

Click here to view product specifications and download data sheets

Incentives for Full Cutoff LED Wall Packs:

Rebates for MaxLite Products are available. Click [here](#) or scroll to the Available Utility Rebates tab below to see rebates available in your area.

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[Options/Accessories](#)

[Lighting Layout](#)

Model Number

WPCS20AU50B

WPCS30AU50B

MLLWP40LED50DS-150

MLLWP70LED50DS-150



» Performance

Data Sheet

[Download](#)

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Input Wattage	19.0 W	26.0 W	37.0 W	58.0 W
Input Voltage Range (V)	120-277	120-277	120-277	120-277
Delivered Lumens (lm)	2195.0 lm	3025.0 lm	3725.0 lm	5495.0 lm
Efficacy (lm/W)	116.0 lm/W	117.0 lm/W	101.0 lm/W	95.0 lm/W
Color Rendering Index (CRI)	80	82	86	85
Color Temperature (CCT)	5000 K	5000 K	5000 K	5000 K
Equivalent Wattage	100W MH	150W MH	175W MH	250W MH
Power Factor	0.92	0.94	0.96	0.96
MAX THD (%)	16	15	16	14
Min. Ambient Temp (°F)	-30 °F	-30 °F	-30 °F	-30 °F
Max. Ambient Temp (°F)	122 °F	122 °F	115 °F	115 °F
» Dimming Control				
Dimming compatible	Yes	Yes		
0-10V Dimming	Yes	Yes		
» Dimensions				
Product Weight (lbs.)			12.76 lbs.	
Product Depth (Inches)	11.26 "	11.26 "	13.78 "	13.78 "
Product Height (Inches)	9.06 "	9.06 "	9.14 "	9.14 "
Product Length (Inches)			0.00 "	0.00 "
Product Width (Inches)	12.60 "	12.60 "	18.30 "	18.30 "
» Longevity				
L70 Life (Hours)	145000 hours	145000 hours	95000 hours	95000 hours
Warranty (Years)	5 years	5 years		5 years
» Validations and Downloads				
LM-79	Download	Download	Download	Download
.ies	Download	Download		Download
LM-80	Yes	Yes		Yes
UL	Y	Y	Y	Y
Owner Manual	Download	Download	Download	Download
» Qualifications				
DesignLights Consortium®	Yes	Yes	Yes	Yes
LED Lighting Facts®	Download	Download	Download	Download

The symbols used in the Sedona Area Landscape Plant List are explained below:

A = Alluvial soils	M = Marginal near 0°
R = Riparian sites	W = Needs more water
D = Dry sites	X = Deciduous
P = Poor sites	AC = Accent Plant
H = Heat resistant	E = Evergreen
S = Needs summer shade	DR = Drought resistant

CITY OF SEDONA

LOW WATER PLANT LIST

NATIVE TREES					
Scientific Name	Common Name	Height	Site	Leaves	Comments
<i>Acer glabrum</i>	Rocky Mountain Maple	6-20'	S	X	W
<i>Acer grandidentatum</i>	Bigtooth Maple	8-30'	S	X	W
<i>Celtis laevigata reticulata</i>	Netleaf Hackberry	20-35'	A	X	
<i>Chilopsis linearis</i>	Desert Willow	10-25'	A	X	
<i>Cupressus arizonica</i>	Arizona Cypress	30-75'	A, R	E	
<i>Fraxinus velutina</i>	Velvet (Arizona) Ash	30-40'	R	X	
<i>Juglans major</i>	Arizona Walnut	30-50'	R	X	
<i>Juniperus coahuilensis</i>	Redberry Juniper	20-35'	D	E	
<i>Juniperus deppeana</i>	Alligator Juniper	20-60'	A	E	
<i>Juniperus osteosperma</i>	Utah Juniper	20-30'	D	E	
<i>Pinus edulis</i>	Pinyon Pine	15-35'	D	E	
<i>Pinus monophylla</i>	Singleleaf Pinyon	20-25'	DR	E	
<i>Platanus wrightii</i>	Arizona Sycamore	40-100'	R	X	W
<i>Populus fremontii</i>	Fremont Cottonwood	50-100'	R	X	W
<i>Prosopis velutina</i>	Velvet Mesquite	20-30'	A	X	
<i>Quercus emoryi</i>	Emory Oak	20-50'	A	X	
<i>Robinia neomexicana</i>	New Mexico Locust	6-25'	A	E	

NATIVE SHRUBS					
Scientific Name	Common Name	Height	Site	Leaves	Comments
<i>Agave parryii</i>	Parry's Agave	3-4'	H, D	E	AC
<i>Amelanchier utahensis</i>	Serviceberry	6-15'	D	X	
<i>Amorpha fruticosa</i>	Desert False Indigo	4-8'	H	E	W
<i>Amorpha californica</i>	California False Indigo	4-8'	H	E	W
<i>Arctostaphylos pringlei</i>	Pringle's Manzanita	10'	D	E	
<i>Arctostaphylos pungens</i>	Pointleaf Manzanita	3-6'	D	E	
<i>Atriplex canescens</i>	Four-wing Saltbush	2-4'	A	E	
<i>Canotia holacantha</i>	Crucifixion Thorn	10-15'	D	E	
<i>Ceanothus greggii</i>	Desert Ceanothus	3-5'	D	E	
<i>Ceanothus integerrimus</i>	Deerbrush	3-8'	R, A	E	
<i>Ceratoides lanata</i>	Winterfat	1-3'	H	E	
<i>Cercocarpus montanus</i> var. <i>paucidentatus</i>	Mountain Mahogany	4-8'	A, D	E	

<i>Chamaebatiaria millefolium</i>	Fernbush	3-8'	D	E	
<i>Cornus sericea</i>	Redosier Dogwood	3-7'	R	X	W
<i>Dalea formosa</i>	Feather Dalea	2'	H, DR, D	E	
<i>Ephedra viridis</i>	Mormon Tea	2-6'	A, D	E	
<i>Ericameria laricifolia</i>	Turpentine Bush	1-3'	A, D	E	
<i>Fallugia paradoxa</i>	Apache Plume	3-5'	D	E	
<i>Fendlera rupicola</i>	Fendlerbush	4-10'	D	X	
<i>Forestiera pubescens</i> (F. <i>neomexicana</i>)	Desert Olive	3-6'	A, D	X	
<i>Fouquieria splendens</i>	Ocotillo	6-20'	D	X	
<i>Frangula californica</i>	California Buckthorn	3-5'	A, S, D	E	
<i>Fraxinus anomala</i>	Singleleaf Ash	6-20'	D	X	
<i>Garrya flavescens</i>	Ashy Silktassel	6-12'	D, A	E	
<i>Garrya wrightii</i>	Wright's Silktassel	6-10'	D	E	
<i>Lycium pallidum</i>	Wolfberry	3-6'	D	E	
<i>Mahonia fremontii</i>	Fremont Barberry	3-6'	D	E	
<i>Mahonia haematocarpa</i>	Red Barberry	3-6'	D	E	
<i>Nolina microcarpa</i>	Beargrass	3'	S, D	E	
<i>Philadelphus microphyllus</i>	Littleleaf Mock Orange	3-6'	A, R	X	
<i>Prunus virginiana</i>	Chokecherry	10-25'	R	X	W
<i>Ptelea trifoliata angustifolia</i>	Hoptree	6-12'	D	X	
<i>Purshia stansburiana</i> (<i>Cowania mexicana</i>)	Cliffrose	3-6'	D	E	
<i>Quercus gambelii</i>	Gambel Oak	5-15'	D, H	E	
<i>Quercus palmeri</i>	Palmer Oak	6-10'	D, H	E	
<i>Quercus turbinella</i>	Scrub Oak	5-15'	D, H	E	
<i>Rhamnus ilicifolia</i>	Hollyleaf Buckthorn	3-6'	D	E	
<i>Rhus glabra</i>	Smooth Sumac	4-8'	A	X	W
<i>Rhus ovata</i>	Sugar Sumac	2-15'	D	E	
<i>Rhus trilobata</i>	Skunkbush (Squawbush)	3-8'	D	X	
<i>Ribes aureum</i>	Golden Currant	3-6'	S	X	W
<i>Rubus neomexicanus</i>	New Mexico Raspberry	6-8'	R, S	X	W
<i>Sambucus nigra</i>	Black Elderberry	3-20'	R	X	W
<i>Sophora secundiflora</i>	Texas Mountain Laurel	10-20'	H, P	E	
<i>Symphoricarpos rotundifolius</i>	Roundleaf Snowberry	3-6'	D	X	W
<i>Yucca baccata</i>	Banana Yucca	2-3'	D	E	AC
<i>Yucca elata</i>	Soaptree Yucca	2-20'	D, A	E	AC

NATIVE CACTUS			
Scientific Name	Common Name	Height	Site
<i>Cylindropuntia whipplei</i>	Whipple Cholla	2-3"	H, D
<i>Cylindropuntia leptocaulis</i>	Desert Christmas Cactus	2-3'	H, D
<i>Echinocereus coccineus</i>	Claret Cup Cactus	1'	H, D
<i>Echinocereus fasciculatus</i>	Pinkflower Hedgehog	12"	P, H, D
<i>Escobaria vivipara</i>	Beehive Cactus	2-3"	P, D, H
<i>Opuntia chlorotica</i>	Pancake Pricklypear	2-4'	H, D
<i>Opuntia engelmannii</i>	Engelmann Pricklypear	2-6'	H, P

Opuntia phaeacantha	Brownspear Pricklypear	12"	P, H, D
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NATIVE GROUNDCOVERS AND WILDFLOWERS			
Scientific Name	Common Name	Height	Exposure
Baileya multiradiata	Desert Marigold	low	full sun
Bouteloua curtipendula	Sideoats Grama (grass)	1-2'	full sun
Bouteloua gracilis	Blue Grama (grass)	1.5-2'	full sun
Castilleja angustifolia	Desert Indian Paintbrush	12"	full sun
Epilobium canum latifolium	Hummingbird Trumpet	low	part shade
Fragaria virginata	Wild Strawberry	low	shade
Glandularia gooddingii	Desert Verbena	low	full sun
Gutierrezia sarothrae	Snakeweed	12-18"	full sun
Linum lewisii	Blue Flax	2'	full sun
Mahonia repens	Creeping Barberry	6-18'	part shade
Melampodium leucanthum	Blackfoot Daisy	low	full sun
Mirabilis multiflora	Colorado Four-O'-Clock	6-10"	full sun
Muhlenbergia rigens	Deergrass	4'	sun/part shade
Penstemon barbatus	Beardlip Penstemon	low	full sun
Penstemon eatonii	Eaton's Penstemon	low	full sun
Penstemon linarioides	Toadflax Penstemon	low	full sun
Penstemon palmerii	Palmer's Penstemon	low	full sun
Penstemon pseudospectabilis	Desert Penstemon	low	sun/part shade

NATIVE VINES		
Scientific Name	Common Name	Exposure
Clematis ligusticifolia	Western White Clematis	part/full shade
Parthenocissis vitacea	Woodbine	shade
Vitis arizonica	Canyon Grape	part shade

ADAPTIVE TREES					
Scientific Name	Common Name	Height	Site	Leaves	Comments
Albizia julibrissin	Silk Tree	20-40'	H	X	
Catalpa bignonioides	Common Catalpa	30-40'	A	X	W
Cercis canadensis	Eastern Redbud	25'	DR	X	
Cercis occidentalis	Western Redbud	10-20'	DR	X	
Cercis siliquastrum	Judas Tree Redbud	25'	DR	X	
Chitalpa tashkentensis	Chitalpa	20-30'		X	W
Eriobotrya deflexa	Bronze Loquat	8'	S	E	W
Eriobotrya japonica	Loquat	15-30'	S	E	W
Fraxinus angustifolia 'Raywood'	Raywood Ash	50'	H	X	
Gleditsia triacanthos	Thornless Honeylocust	35-70'	H, DR	X	
Lagerstroemia indica	Crape Myrtle	15-25'	H	X	
Ligustrum japonica	Privet, Japanese	12'	A	E	
Lingstrum lucidum	Privet, Glossy	20-40'	A	E	
Magnolia grandiflora 'Russet'	Magnolia 'Russet'	12-15'	H	E	
Malus spp.	Flowering Crabapple Page 27	6-30'	H	X	

Morus alba	Fruitless Mulberry	30-40'	H, DR	X	
Olea europaea	European Olive	25-30'	H	E	fruitless
Photinia x fraseri	Photinia	14-16'	H	E	
Pinus halepensis	Aleppo Pine	30-60'	H, DR, M	E	
Pinus nigra	Austrian Black Pine	20-25'	H	E	
Pinus pinea	Italian Stone Pine	40-50'	H, D	E	
Pinus thunbergiana	Japanese Black Pine	15-20'	H	E	
Pistacia chinensis	Chinese Pistache	30-60'	P, H, D	X	
Platanus acerifolia	London Plane	40-80'	P, R	X	W
Platanus occidentalis	American Plane	40-80'	P, R	X	W
Platanus racemosa	California Sycamore	40-80'	R	X	W
Propopis pubescens	Screwbean Mesquite	30'	DR, D	X	
Prunus americana	Flowering Plum	20-30'	A	X	
Prunus caroliniana	Carolina Laurel Cherry	15-20'	H, DR	E	
Pyrus calleryana 'Aristocrat'	Pear, Ornamental	20-30'	H	X	
Pyrus calleryana 'Bradford'	Pear, Ornamental	20-30'	H	X	
Robinia x ambigua 'Purple Robe'	Locust 'Purple Robe'	30-40'	H, DR	X	W, suckers
Salix matsudana 'Navajo'	Globe Willow	16-20'	H, DR	X	W
Vitex agnus-castus	Chaste Tree	6-25'	H	X	

ADAPTIVE SHRUBS					
Scientific Name	Common Name	Height	Site	Leaves	Comments
Abelia chinensis	Abelia	4-5'	H	X	
Abelia x grandiflora	Glossy Abelia	8'	H	E	
Agave americana	Century Plant	6-25'	D	E	AC
Agave chrysantha	Chrysantha Agave	6-15'	P, H	E	
Agave palmeri	Palmer's Agave	6-15'	P, H	X	
Arctostaphylos densiflora 'McMinn'	Manzanita 'McMinn'	5-6'	H	E	
Arctostaphylos densiflora 'Sentinel'	Manzanita 'Sentinel'	6-8'	H	E	
Artemisia schmidtiana	Angel's Hair	2'	DR, H	E	
Baccharis pilularis	Coyote Brush	1-1.5'	H	E	
Berberis thunbergii	Japanese Barberry	4-6'	H	X	
Berberis x mentorensis	Barberry	4-7'	H	X, E	
Buddleja davidii	Butterfly Bush	4-12'	P, H	X	
Buxus microphylla koreana	Korean Boxwood	2-3'	A	E	
Caesalpinia gilliesii	Yellow Bird-of-Paradise	4-6'	H, DR	E	
Caryopteris incana	Common Bluebeard	3-4'	H, D, DR	X	
Ceanothus 'Concha'	California Lilac	6-7'	H, D	E	
Ceratoides lanata	Winterfat	1-3'	H	X	
Cercocarpus montanus	Mountain Mahogany	4-5'	A, D	E	
Cotoneaster divaricata	Spreading Cotoneaster	5-6'	H, DR	X	
Cotoneaster lacteus	Clusterberry	4-7'	H, DR	E	
Cupressus arizonica 'Blue Pyramid'	Arizona Cypress	20'	A	E	

<i>Cupressus arizonica</i> 'Icy Blue'	Arizona Cypress	20'	A	E	
<i>Cupressus arizonica</i> 'Taylor Silver'	Arizona Cypress	20'	A	E	
<i>Dalea frutescens</i>	Black Dalea	1-3'	P	X	
<i>Dasiphora fruticosa</i>	Cinquefoil	1-4'	H, D, DR	X	
<i>Elaeagnus pungens</i>	Silverberry	10-15'	H, DR	E	
<i>Eriogonum umbellatum</i>	Sulphur Flower	4-12"	H, D	X	
<i>Forsythia</i> spp.	Forsythia	1-5'	H	X	W
<i>Fraxinus greggii</i>	Little Leaf Ash	To 15'	H, DR	X	
<i>Hesperaloe parviflora</i>	Red Yucca	3-4'	H, DR	E	
<i>Hibiscus syriacus</i>	Rose-of-Sharon	10-12'	DR	X	
<i>Ilex cornuta</i> 'Burfordii'	Burford Holly	3-10'	S	E	
<i>Jasminum nudiflorum</i>	Jasmine, Winter	10-15'	S	X	
<i>Juniperus sabina</i> 'Tamariscifolia'	Tam Juniper	2-4'	P, H, DR	E	
<i>Juniperus chinensis</i>	Juniper (many cultivars)	2-15'	P, H, DR	E	
<i>Lagerstroemia indica</i>	Crape Myrtle	15'	H	X	
<i>Lavandula stoechas</i>	Spanish Lavendar	1-3'	H, DR	E	
<i>Leucophyllum</i> (several species)	Texas Ranger	5-12'	H, D, DR	X	
<i>Ligustrum amurense</i>	Amur Privet	6-15'	H	E	
<i>Lonicera fragrantissima</i>	Honeysuckle, Winter	8'	H	X	
<i>Mahonia aquifolium</i>	Oregon grape	2-3'	S	E	
<i>Nandina domestica</i>	Heavenly Bamboo	6-8'	DR, M	E	
<i>Perovskia atriplicifolia</i>	Sage, Russian	3'	H, D, DR	X	
<i>Photinia x fraseri</i>	Photinia	6-12'	DR, M	E	
<i>Pittosporum tobira</i>	Tobira	6-15'	DR, S	E	
<i>Punica granatum</i>	Pomegranate	6-10'	H, DR	X	
<i>Pyracantha coccinea</i>	Pyracantha	8-10'	H, DR	E	
<i>Pyracantha crenatoserrata</i>	Pyracantha	10-12'	H, DR	E	
<i>Pyracantha</i> 'Mojave' hybrid	Pyracantha	6-12'	H, DR	E	
<i>Raphiolepis indica</i>	Indian Hawthorn	4-5'	H, D	X	
<i>Rhamnus alaternus</i>	Italian Buckthorn	10-20'	H, D, DR	E	
<i>Rosa</i>	Rose	3-6'	H	X	Separate water line
<i>Rosmarinus officinalis</i>	Rosemary	2-6'	H, DR	E	
<i>Salvia clevelandii</i>	Cleveland Sage	4'	H, D, DR	X, E	
<i>Salvia greggii</i>	Autumn Sage	4'	H, DR	X, E	
<i>Santolina chamaecyparissus</i>	Gray Santolina	2'	P, H, DR	E	
<i>Santolina virens</i>	Green Santolina	2'	P, H, DR	E	
<i>Shepherdia argentea</i>	Silver Buffaloberry	6-12'	S	E	
<i>Shepherdia rotundifolia</i>	Roundleaf Buffaloberry	3-4'	D	E	
<i>Salvia clevelandii</i>	Cleveland Sage	4'	H, D, DR	X, E	
<i>Viburnum x burkwoodii</i>	Burkwood's Viburnum	6-12'	H	E	
<i>Viburnum carlesii</i>	Korean Spice Viburnum	4-8'	S	X	
<i>Viburnum lantana</i>	Wayfaring Tree	8-15'	DR	X	
<i>Vitex agnus-castus</i>	Chaste Tree	8-15'	H	X	

ADAPTIVE CACTUS			
Scientific Name	Common Name	Height	Site
Opuntia santa-rita	Santa Rita Prickly Pear	2-4'	H, D

ADAPTIVE GROUNDCOVERS AND WILDFLOWERS					
Scientific Name	Common Name	Height x Width	Site	Leaves	Comments
Ajuga spp. and vars.	Ajuga	2-10"x8"	S, W	E	
Anacyclus depressus	Mt. Atlas Daisy	6"x6'	H, D	X	
Baccharis pilularis	Coyote Brush	1-2'x6'	P, H, DR	E	
Bouteloua curtipendula	Sideoats Grama (grass)	1-2'x2'	H, P, D	X	
Bouteloua gracilis	Blue grama (grass)	1.5-2'x1'	H, P, D	X	
Cerastium tomentosum	Snow-in-summer	6-8"x2-3'	H, DR, P	E	
Cotoneaster adpressa	Cotoneaster, Creeping	1'x6'	DR, H	X, E	
Cotoneaster dammeri	Bearberry Cotoneaster	8"x10'	DR, H	X	
Cotoneaster horizontalis	Rock Cotoneaster	2-3'x10-15'	DR, H	X	
Dalea capitata	Dalea Capitata	8"x3'		X	
Dalea greggii	Trailing Indigo Bush	1.5'x6'		E	
Echinacea purpurea	Purple Cone Flower	1-2'x2'	H	X	
Erysimum kotschyannum	Wallflower	6"	H, D	E	
Eschscholzia californica	California Poppy	1'x1.5'	H, DR		annual
Euonymus fortunei vars.	Purple-leaf Winter Creeper	1-2'x6-8'	H	X, E	
Festuca ovina glauca	Blue Fescue (grass)	1'x10"	P, H	X	
Festuca rubra	Red Fescue (grass)	1'x1'	P, H	X	
Fragaria chiloensis	Beach or Sand Strawberry	6"x1'	S	X	
Lamium maculatum 'Pink Pewter'	Deadnettle	9"x3'	S	X	
Lonicera fragrantissima	Winter Honeysuckle	8'x8'		X	
Lupinus nanus	Sky Lupine	8"-2'x1'	H, P, D		annual
Muhlenbergia capillaris	Pink Muhly (grass)	1-6'x2-6'	H, DR, D	X	
Muhlenbergia rigens	Deergrass	4'x4'	H, P, D	X	
Nepeta mussinii 'Blue Wonder'	Catmint	6-12"x2-3'	H	X	
Penstemon pinifolius	Pineleaf Penstemon	1.5'x2'	H, D	E	
Potentilla neumanniana	Potentilla	2'x2'	Sun/part shade	E	W
Rosmarinus officinalis	Rosemary	1-4'x4-5'	H, DR	E	
Teucrium chamaedrys 'Prostratum'	Germander	4-6"x3'	P, H, DR	E	
Verbena peruviana	Peruvian Verbena	1'x2'	P, H, D		annual
Verbena rigida	Sandpaper Verbena	1'x2'	H, DR	X	W
Zinnia angustifolia	Zinnia	1'x2'	H	X	

ADAPTIVE VINES			
Scientific Name	Common Name	Exposure	Leaves
Campsis radicans	Trumpet Creeper	Sun	X
Lonicera sempervirens	Honeysuckle, Trumpet	Sun	E, X
Parthenocissus quinquefolia	Virginia Cr B ager30	Sun	X

<i>Rosa banksiae</i>	Lady Banks's Rose	Sun	E
<i>Trachelospermum jasminoides</i>	Star Jasmine	Shade	X
<i>Wisteria</i> spp.	Wisteria	Sun	X

UNACCEPTABLE TREES	
Scientific Name	Common Name
<i>Ailanthus altissima</i>	Tree of Heaven
<i>Cedrus deodara</i>	Deodar Cedar
<i>Cupressus sempervirens</i>	Italian Cypress
<i>Elaeagnus angustifolia</i>	Russian Olive
<i>Eucalyptus</i> spp.	Gum Eucalyptus
<i>Melia azedarach</i>	Chinaberry
<i>Pinus eldarica</i>	Afghan (Mondel) Pine
<i>Tamarix</i> spp.	Tamarisk
<i>Ulnus pumila</i>	Siberian Elm

UNACCEPTABLE SHRUBS	
Scientific Name	Common Name
<i>Arundo donax</i>	Giant Reed
<i>Cortaderia jubata</i>	Pampas Grass
<i>Cortaderia selloana</i>	Pampas Grass
<i>Ericameria nauseosa</i>	Rabbitbrush, Chamisa
<i>Lantana camara</i>	Lantana
<i>Lantana montevidensis</i>	Lantana
<i>Rubus armeniacus</i>	Himalayan Blackberry

UNACCEPTABLE GROUNDCOVERS	
Scientific Name	Common Name
<i>Cynodon dactylon</i>	Bermuda grass
<i>Hedera helix</i>	English Ivy
<i>Pennisetum clandestinum</i>	Kikuyu Grass
<i>Poa pratensis</i>	Kentucky Bluegrass
<i>Pyracantha</i> spp.	Pyracantha, Firethorn*
<i>Vinca major</i>	Periwinkle
<i>Vinca minor</i>	Dwarf Periwinkle

*Not to be used as a groundcover because of needlelike thorns.

B: OUTLINE OF DEVELOPMENT REVIEW PROCESS



ARIZONA CYPRESS



VELVET ARIZONA ASH



SILVERBERRY BUSH



INDIAN HAWTHORNE



COTONEASTER



CLUSTERBERRY



SUNDANCER DAISY



BLACKFOOT DAISY



LADY BANKS ROSE



STAR JASMINE

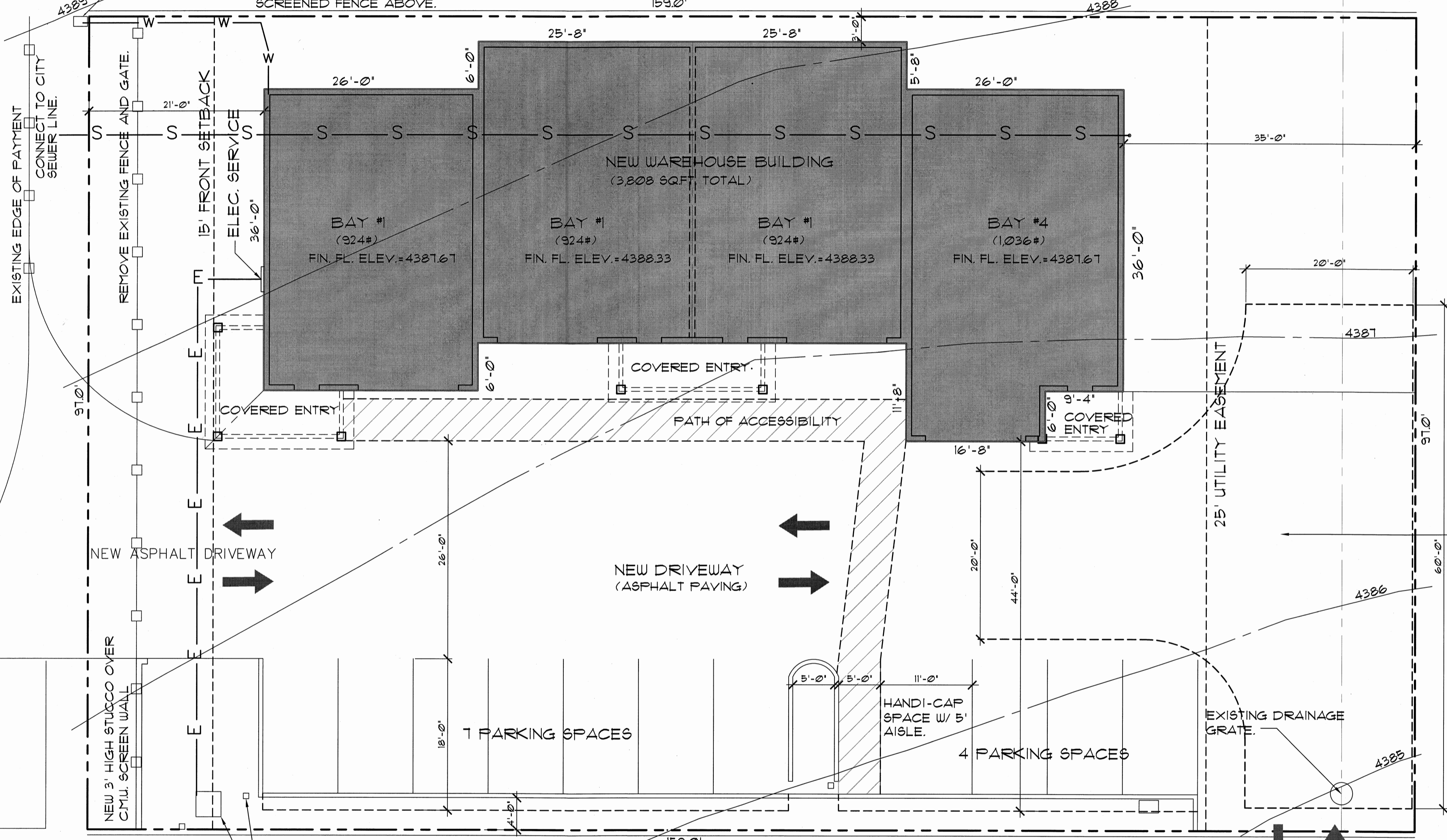
SINAGUA DRIVE

EXISTING WATER BOX TO SITE.

EXISTING C.M.U. WALL W/ SCREENED FENCE ABOVE.

159.0'

GRATE.

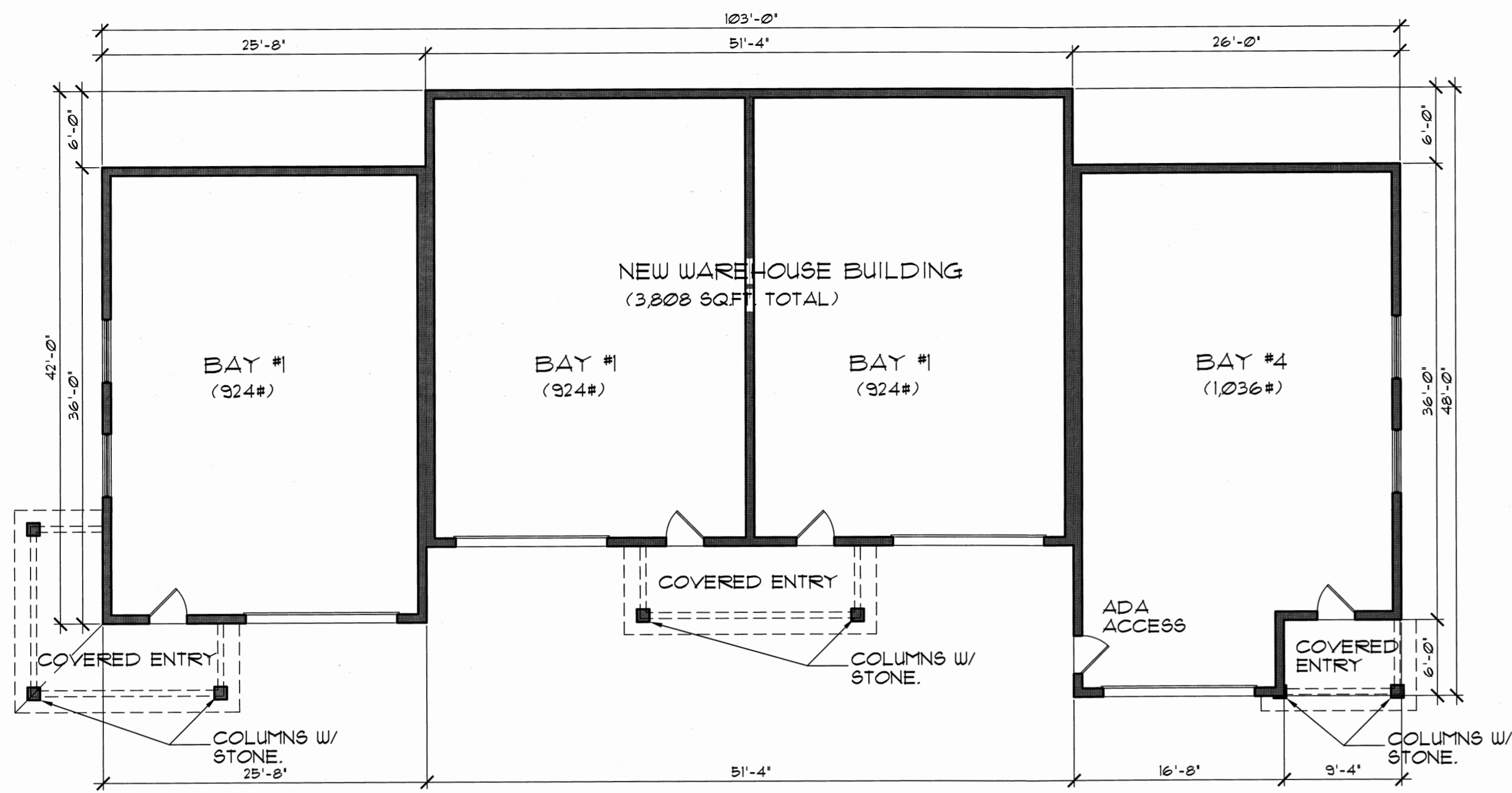


FOR DELIVERIES OF
AROUNDS, TRUCK M
TURN AT END OF DR
IF NECESSARY TRUCK
ON PAVED DRIVE TO
SOUTHERN PROPER
STATE ROUTE 89-A.
COORDINATED WITH

EXISTING C.M.U. WALL W/ SCREENED FENCE ABOVE.

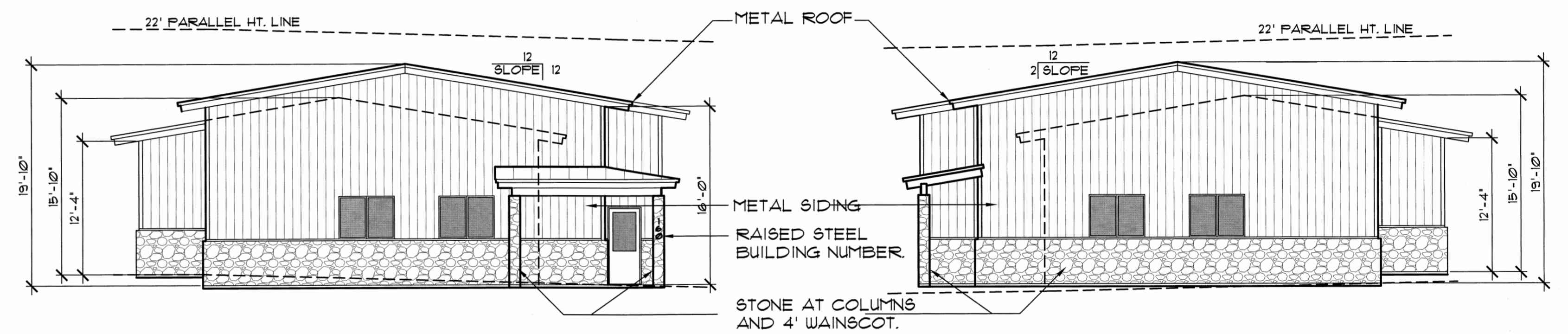
EXISTING ELECTRICAL TRANSFORMER AND TELEPHONE BOX.

ACCESS IS POSSIBLE WITH OWNERS PERMISSION AND NOTIFICATION.



WAREHOUSE FLOOR PLAN

SCALE: 1/8" = 1'-0"

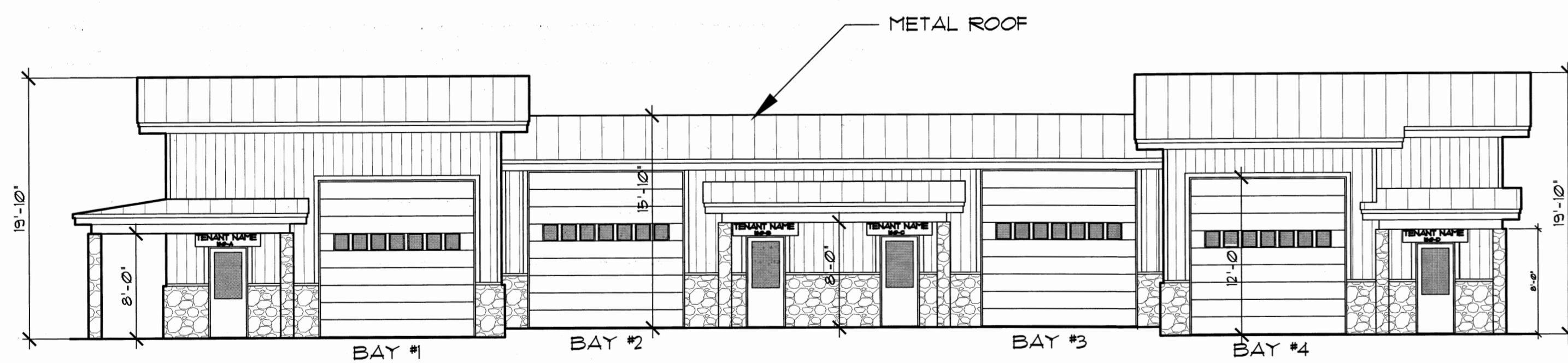


WEST ELEVATION

SCALE: 1/8" = 1'-0"

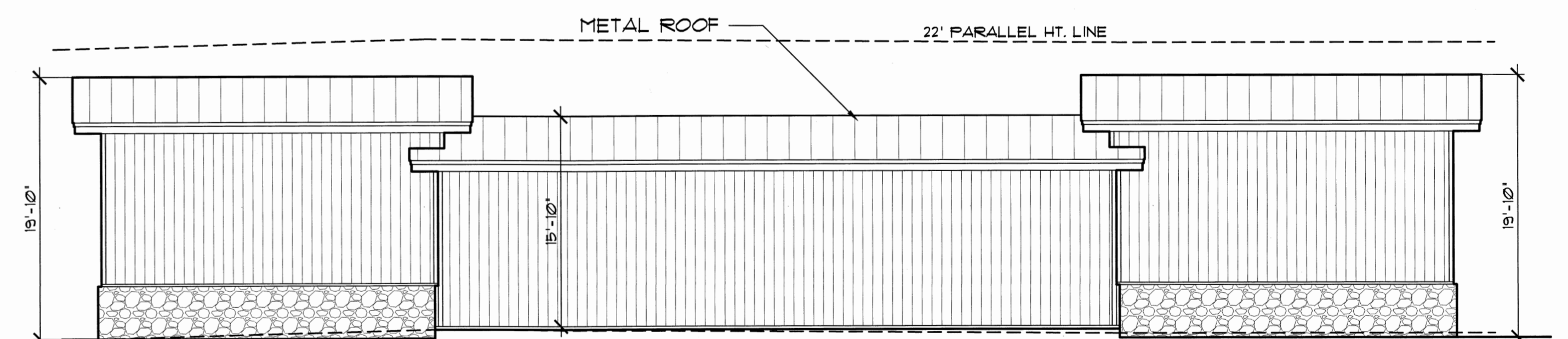
EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



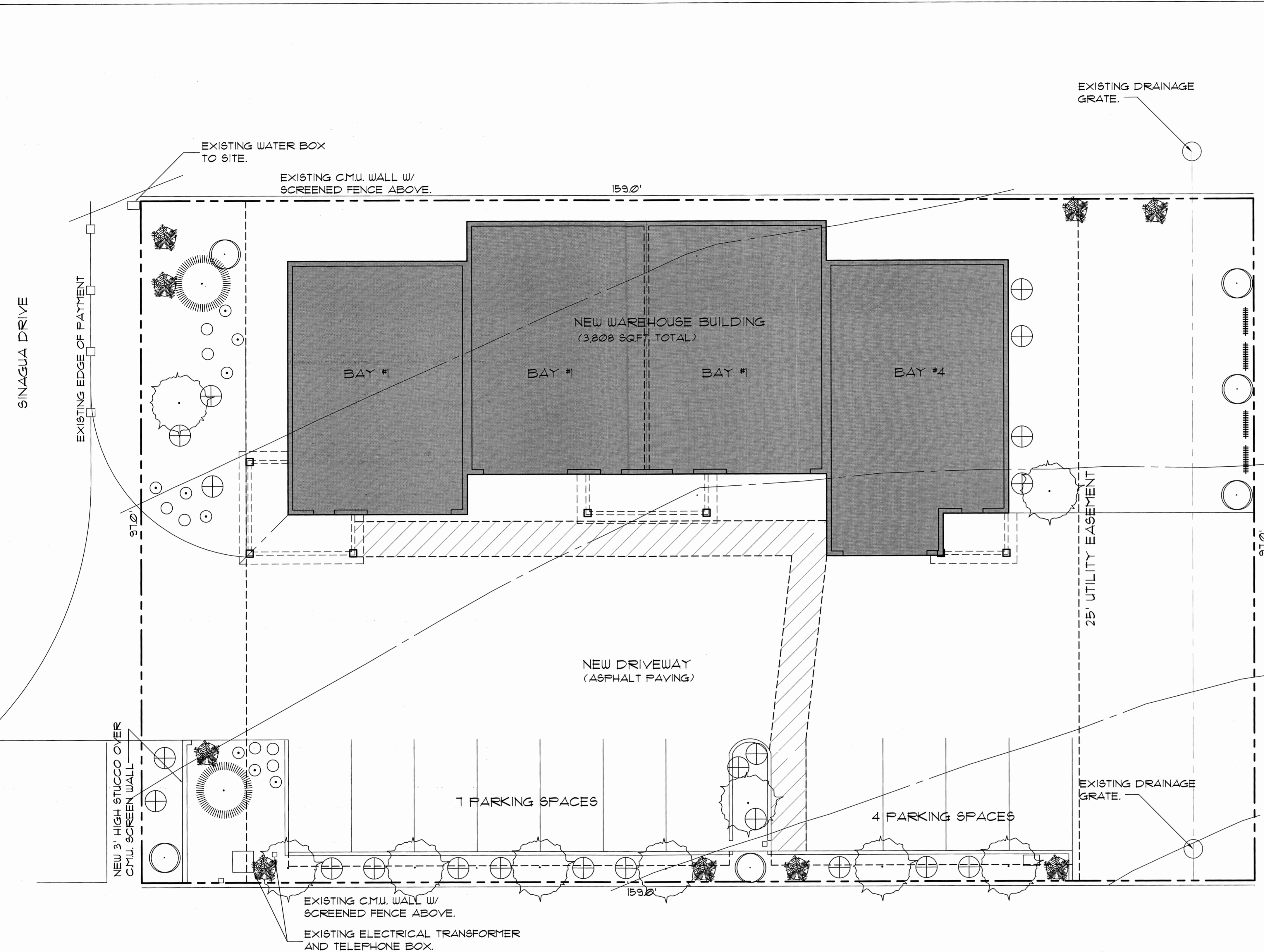
NORTH ELEVATION

SCALE: 1/8" = 1'-0"

NEW WAREHOUSE BUILDING FOR:
LARRY GARNELLO
60 SINAGUA DRIVE SEDONA, ARIZONA
APN: 408-24-319



DAN SURBER ARCHITECT
P.O. BOX 3764 SEDONA, AZ. 86340 928-204-2814



PLANT LIST AND LEGEND

COMMON NAME	SCIENTIFIC NAME	SIZE	QTY.
ARIZONA CYPRESS	CUPRESSUS ARIZONICA	15 GAL.	2
VELVET ARIZONA ASH	FRAXINUS VELUTINA	15 GAL.	8
SILVERBERRY	ELAEAGNUS PUNGENS	5 GAL.	6
INDIAN HAWTHORN	RAPHIOLEPIS INDICA	5 GAL.	18
CLUSTERBERRY	COTONEASTER PARNEYI	5 GAL.	9
SUNDANCER DAISY	HYMENOXYSS ACAULIS	1 GAL.	7
BLACKFOOT DAISY	MELAMPODIUM LEUCANTHUM	1 GAL.	9
LADY BANKS'S ROSE	ROSA BANKSIAE	1 GAL.	
STAR JASMINE	TRACHELOSPERMUM JASMINOIDES	1 GAL.	4

LANDSCAPE REQUIREMENTS/NOTES

A MINIMUM WIDTH OF 10 FEET SHALL BE REQUIRED FOR FRONTAGE AREA LANDSCAPING, WHICH MAY INCLUDE RIGHT-OF-WAY LANDSCAPING. A MINIMUM OF 5 FEET OF LANDSCAPING SHALL BE ON PROPERTY. IN C-2 ZONING REQUIRED FRONT AND STREET SIDE YARDS SHALL BE LANDSCAPED TO A DEPTH OF NOT LESS THAN 10' FEET.

A MINIMUM OF 1 TREE AND THREE SHRUBS FOR EACH 30 FEET OF STREET FRONTAGE IS REQUIRED.

PROVIDE DECORATIVE/STUCCO WALL 3 FEET IN HEIGHT BETWEEN END OF PARKING AREA AND STREET.

AT PARKING AREA PROVIDE A MINIMUM OF (2) 15 GAL. TREES AND 5 SHRUBS FOR EVERY 4 PARKING SPACES.

PROVIDE (1) 15 GAL. CANOPY TREE AND 3 SHRUBS AT PARKING PENINSULA.

ENSURE THAT ALL TREES ARE 8 FEET IN HEIGHT AND HAVE TRUNK DIAMETER OF 2 INCHES.

ENSURE THAT ALL SHRUBS ARE A MINIMUM OF 2 FEET HIGH. ALL REQUIRED LANDSCAPED AREAS SHALL BE PROVIDED WITH A PERMANENT AND ADEQUATE MEANS OF IRRIGATION.

LANDSCAPE/SITE PLAN
SCALE: 1/8" = 1'-0"



NEW WAREHOUSE BUILDING FOR:
LARRY GARNELLO
60 SINAGUA DRIVE SEDONA, ARIZONA
APN: 408-24-319

DAN SURBER ARCHITECT
P.O. BOX 3764 SEDONA, AZ. 86340 928-204-2814

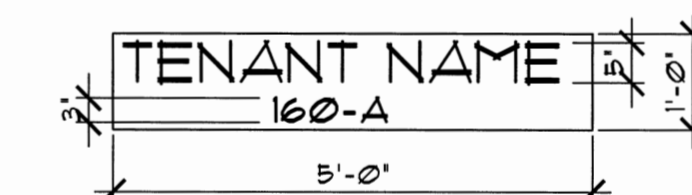
SITE ANALYSIS FOR:
 LARRY AND DENISE GARNELLO
 60 SINAGUA DRIVE
 SEDONA, ARIZONA
 PARCEL # 408-24-319
 ZONING: C-2 GENERAL COMMERCIAL-WAREHOUSING
 LOT AREA: .35 ACRES (15,246 SQ.FT.)
 SETBACKS:
 FRONT = 15 FT. REAR AND SIDES = 0 FT.
 LOT COVERAGE:
 25% OF LOT AREA 15,246 X.25 = 3,812 SQ.FT.

LIGHTING INFORMATION:
 TOTAL SITE ACREAGE: .35 ACRES (15,246 SQ.FT.)
 TOTAL LUMENS ALLOWED: 35,000 LUMENS
 (1.054 ACRES X 100,000 LUMENS)

LUMINAIRE SCHEDULE					
Symbol	Label	Description/Lamp	Initial Lumens	Qty	Total Lumens
	SA1	FULL CUTOFF WALL PACK. AMBER HIGH OUTPUT LED W/ AMBER LENS DIFFUSER	3,350	1	3,350
	SC2	DECORATIVE WALL SCONCE COMPACT FLUORESCENT	1,000	5	5,000
TOTAL PROJECT SITE LUMENS					8,350
TOTAL LUMENS ALLOWED (100,000 X 1.054 ACRES)					35,000

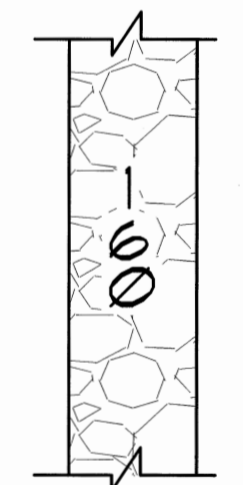
FUTURE TENANT SIGN SHALL HAVE RAISED LETTERING.

TENANT SIGNAGE SHALL HAVE DARK BACKGROUND WITH RAISED WHITE LETTERING.



TENANT'S HANGING SIGN UP TO 12 SQ.FT. (SUITE'S 'A'-'D' AT 12SQ.FT. = 24SQ.FT.)

APPROVED NUMBER SHALL BE BELOW TENANT NAME BOTTOM OF SIGN. RAISED STEEL BUILDING NUMBER SHALL BE LOCATED AT FRONT COLUMN OF BUILDING.

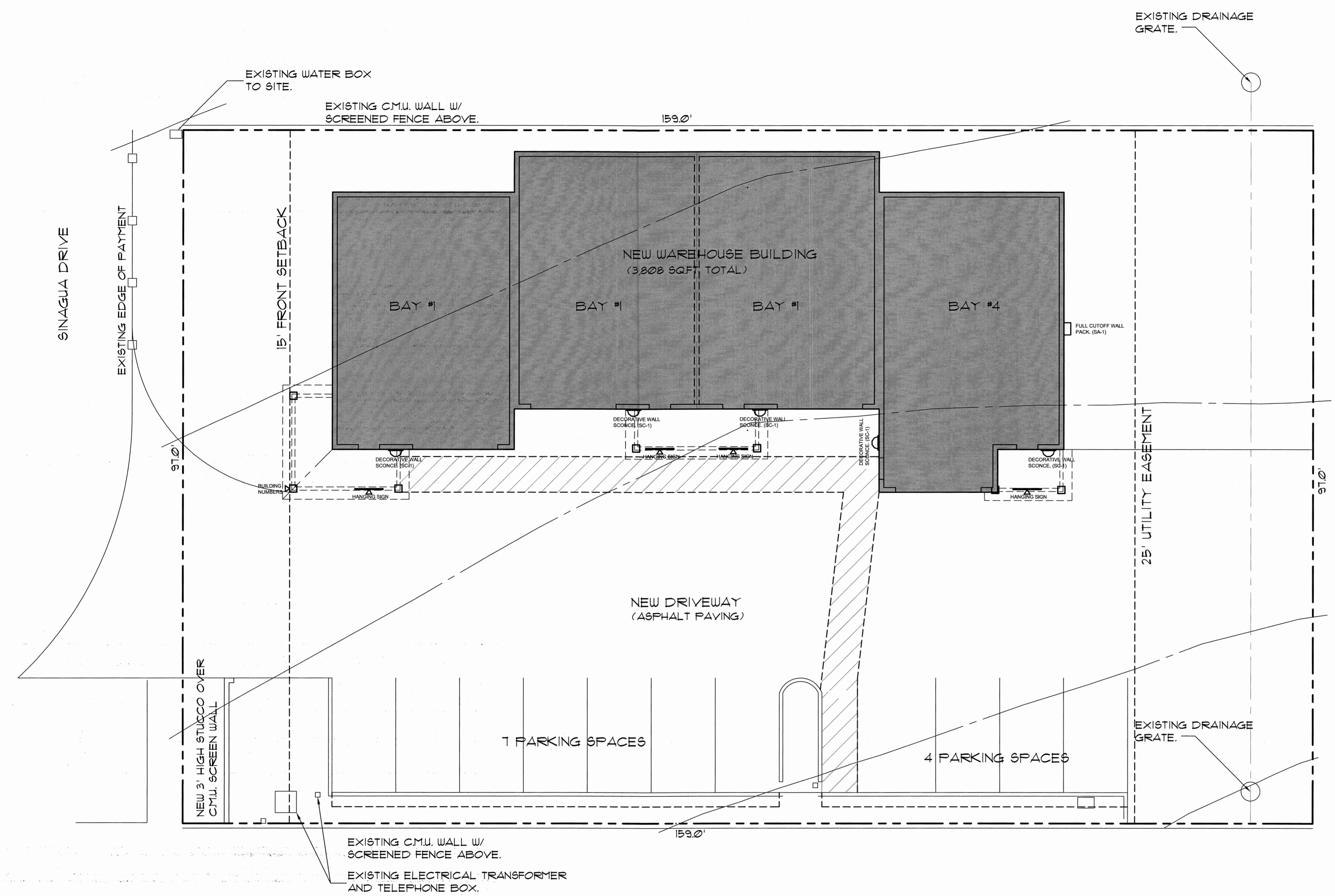


ALL SIGNS SHALL BE DESIGNED ACCORDING TO CITY OF SEDONA SIGN DESIGN STANDARDS. A DETAILED SIGN PLAN SHALL BE SUBMITTED AND APPROVED BY CITY OF SEDONA. TOTAL POTENTIAL WALL SIGNAGE = 48SQ.FT.

PROJECT SIGNAGE

NEW WAREHOUSE BUILDING FOR:
 LARRY GARNELLO
 60 SINAGUA DRIVE SEDONA, ARIZONA
 APN: 408-24-319

DAN SURBER ARCHITECT
 P.O. BOX 3164 SEDONA, AZ. 86340 928-204-2814



LIGHTING AND SIGNAGE PLAN
 SCALE: 1/8" = 1'-0"

GARNELLO WAREHOUSE

60 SINAGUA DRIVE SEDONA, ARIZONA
GRADING PLAN
ASSESSOR'S PARCEL NO. 408-24-319

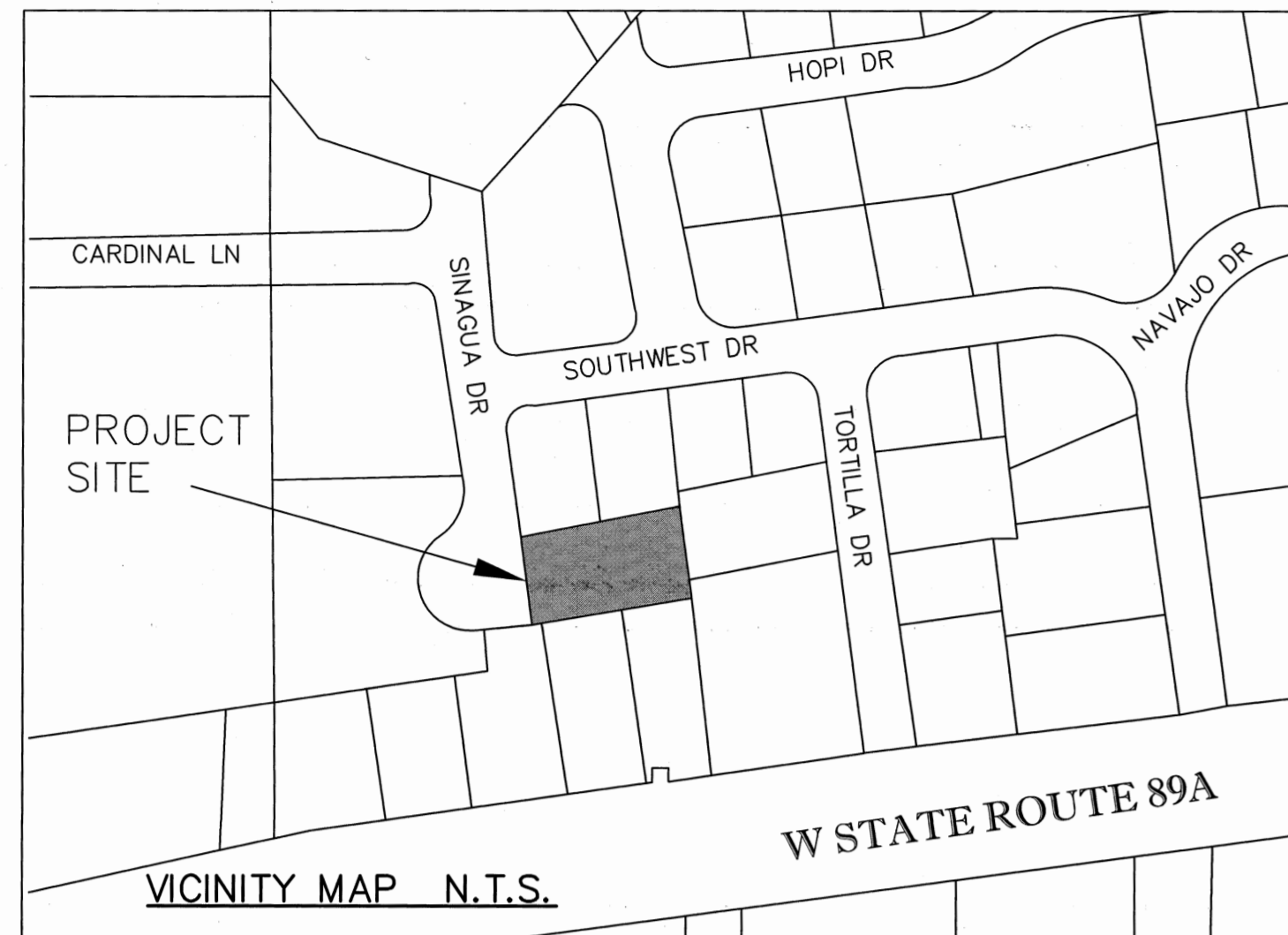
ARCHITECT

Dan Surber
PO Box 3764
Sedona, AZ 86340
(928) 204-2814

SHEET INDEX

- C1 - Specifications, General Information, Vicinity Map and General Site Plan
- C2 - Site Plan and SWPPP
- C3 - Details

NOTE: Elevations shown of this plan are based on City of Sedona storm sewer as-built elevation and architects Dan Surber's survey. Contractor shall verify all existing elevations before proceeding with the work.



General Requirements

- All the work, as applicable to this project, shall conform to the Uniform Standard specifications for Public Works Construction, sponsored by the Maricopa Association of Governments (MAG), latest addition.
- In case of any conflict in the plans or the specifications, the greater quantity or higher quality shall be installed.
- All work shall conform to the City of Sedona building code.
- All work shall conform to the City of Sedona public works standards.
- Contractor shall be responsible for the all surveying.
- All work shall include all materials, labor, tools, taxes, fees, permits, licenses, supervision and accessories to complete the work, and to provide a complete project.
- Contractor shall be an Arizona licensed contractor qualified for this type of work.
- Contractor shall furnish to owner, workers compensation and general liability insurance certificates before starting work.
- Contractor shall provide Engineer two copies of shop drawings of all equipment and materials for his review before starting installation.
- Contractor shall evaluate existing conditions, and determine & install all that is required of contractor to make a complete project.
- Contractor shall remove all existing trash from site and legally dispose of at his expense.
- Contractor shall perform all work according to professional industry standards.
- Contractor shall obtain Right of Way Permits.
- All work shall be inspected by the City of Sedona or the appropriate utility.
- Contractor shall pothole and locate all existing utilities that may affect construction. Immediately notify engineer in writing of any discrepancies.
- All manufacturers' installation instructions shall be followed.
- The buildings' two interior units top of footing elevation shall be the same as the top of the adjacent building's top of footing elevation. The exterior at the rear center of the building shall be the high point and shall be 0.5 feet above the finish floor at that point. Slope the grade from that high point a minimum of 1% to both east and west and then down and around to the inlet located at the southeast corner. Slope each parking stall to the north at a minimum of 1%. The maximum grade from the two interior units shall be 5%.

Grading

- All fill shall be compacted to 95% modified proctor.
- Soil under all pavement and site structures shall be surface compacted to 95% modified proctor just before placement of base or concrete.
- All slopes and grades shall be as noted on the plans. Contractor shall verify all grades before commencing work. Any discrepancies shall be reported to the engineer for his review and approval before commencing work.
- Contractor shall remove any unsuitable dirt and material from site and legally dispose of at their expense.
- Contractor shall strip the grasses and grub all brush and trees.

Sanitary Sewer

- Contractor shall cap or otherwise protect at all times sewer laterals from entrance of foreign objects and debris.

Storm Water Pollution Prevention During Construction

- Contractor shall install and maintain storm water pollution prevention measures that meet ADEQ and EPA requirements including, but not limited to, silt barriers, sediment ponds, check dams and site entrance stone systems.
- Contractor shall immediately clean off with a shovel or street cleaning machine any mud tracked onto the streets - water cleaning with a hose is not allowed. All work shall be done in accordance with ADEQ Standards & Specifications.
- Install site entrance driveway stone system consisting of 4" to 6" diameter stone in a 12' wide by 25' long strips.
- Provide ADEQ with a Notice of Intent (NOI) form.

Dust Control

- Contractor shall provide and install dust control measures including, at a minimum, daily watering of site and daily cleaning of storm water inlets.
- Contractor shall tarp all open bed trucks.
- Contractor shall clean dirt off of the street pavement immediately after truck leaves sites.

Paving

- Install paving according to the details on the plans.

Plans and Specifications

- It will be the Contractor's responsibility to obtain and maintain copy(ies) of the Maricopa Association of Governments' "Uniform Standard Specifications for Public Works Construction"; Maricopa Association of Governments' "Uniform Standard Details for Public Works Construction" current as of August 2004; and the Arizona Department of Transportation's "Standard Specifications for Road and Bridge Construction" current as of August 2004. The Contractor shall also obtain and maintain a current copy of the Section 7-15 "Rights of Way" of the City Code, as well as the City's Public Works Department - City-wide Integrated Pest Management Plan Policy.

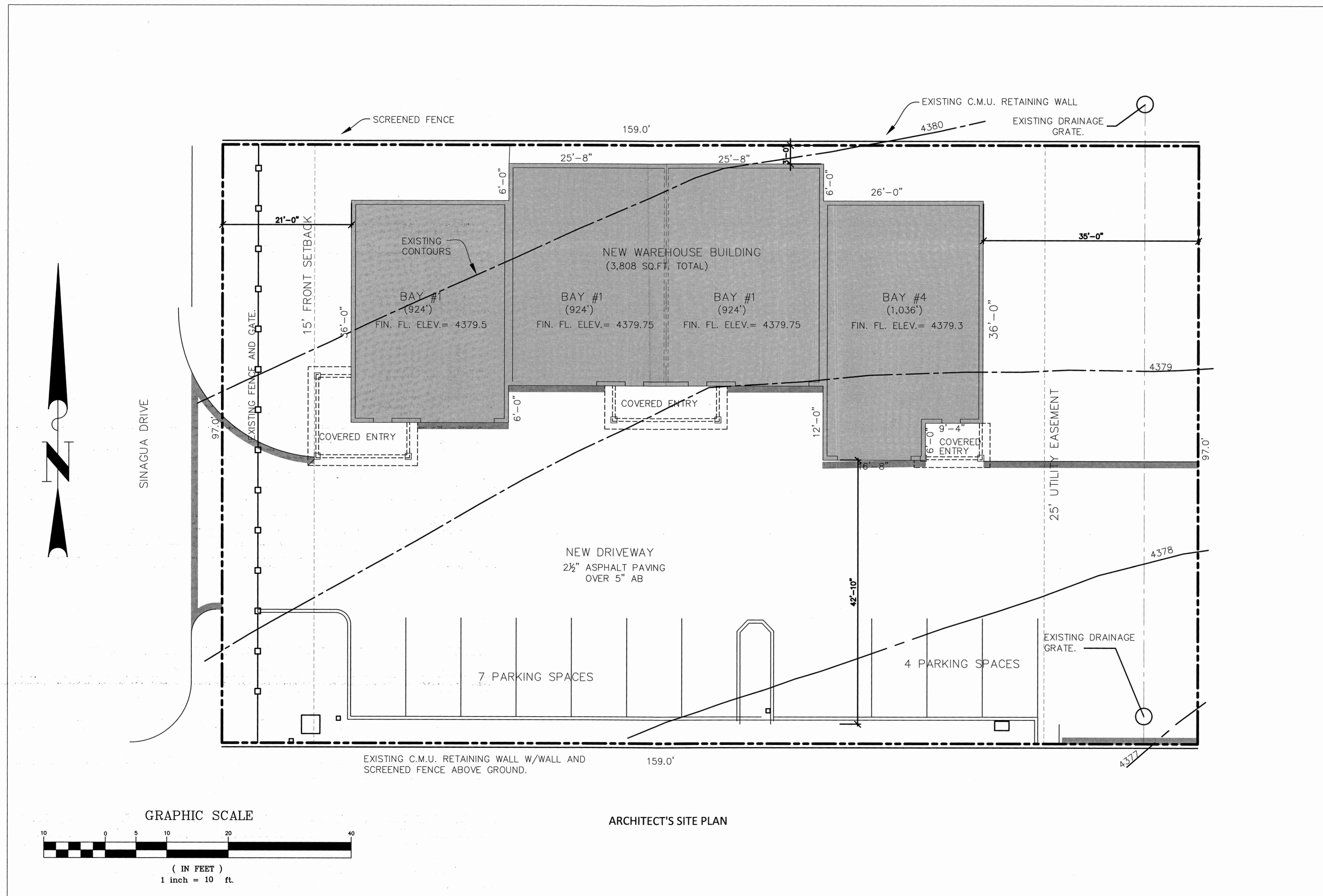
ADA Requirements

- The contractor shall install all work according to the Americans Disability Act (ADA).
- Below are listed some, but not all, of an accessible walkway maximum slopes:

a. concrete walkway cross slope	1.5%
b. asphalt walkway cross slope	1.0%
c. longitudinal slope (over 30')	4.5%
d. longitudinal slope (if less than 30') provided handrails and landings are provided.	8.0%
e. ramp landing (all directions)	1.5%

SPECIAL CONDITIONS

- Contractor shall comply with the special conditions of the City of Sedona as well as those listed below.
Work shall be in accordance with the Maricopa Association of Governments' "Uniform Standard Specifications for Public Works Construction"; Maricopa Association of Governments' "Uniform Standard Details for Public Works Construction" current as of August 2004; and the Arizona Department of Transportation's "Standard Specifications for Road and Bridge Construction" current as of August 2004, except to the extent that these specifications specify other procedures, processes, forms, materials, details, or other direction regarding the work, and as required to comply with local ordinances and regulations.
Whenever the term County is used it shall be held to mean the City of Sedona. Whenever the term County Engineer is used it shall be held to refer to the City Engineer. Electrical work shall be subject to inspection by the City of Sedona Building Safety Division and compliance with its requirements.

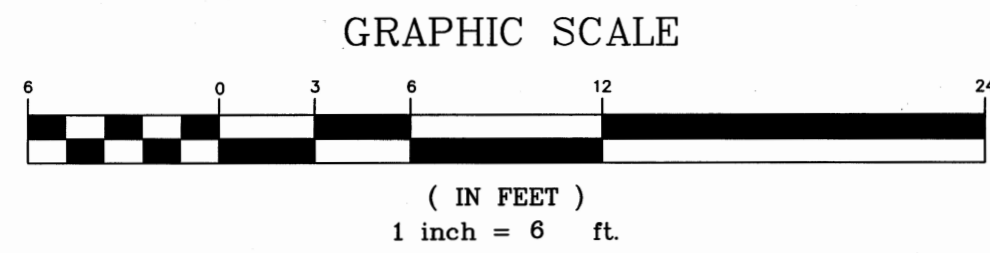


BY:	LARRY CEPEK P.E.
SCALE:	SCALE AS NOTED
DATE:	OCTOBER 22, 2015
PROJECT:	SEDONA
SHEET:	SHEET C1 - 1/3

DESCRIPTION	
REV:	

CALL THIS WORKING DAYS BEFORE WORKING
602-263-1100
1-800-STAKE-IT
 (OUTSIDE MARICOPA COUNTY)

PRELIMINARY
 FOR APPROVAL
 FOR CONSTRUCTION



GARNELLO WAREHOUSE

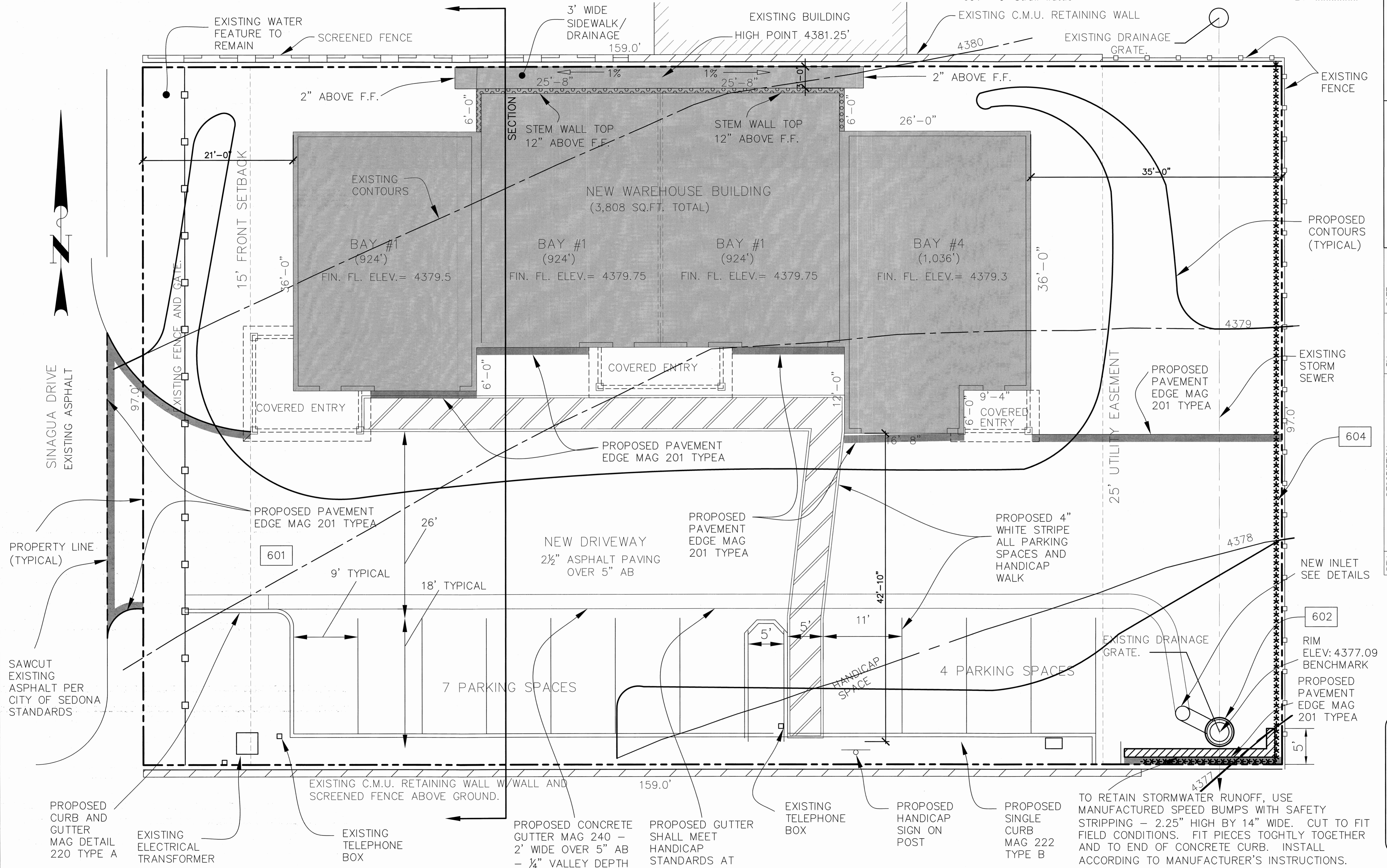
60 SINAGUA DRIVE SEDONA, ARIZONA
GRADING PLAN
ASSESSOR'S PARCEL NO. 408-24-319

Stormwater Pollution Prevention Key Notes

601 - New stabilized construction entrance
602 - Protect inlet with roll filter - Place completely around
604 - 6" Straw wattle

ADOT BMT DETAIL #
E11

E4 *****



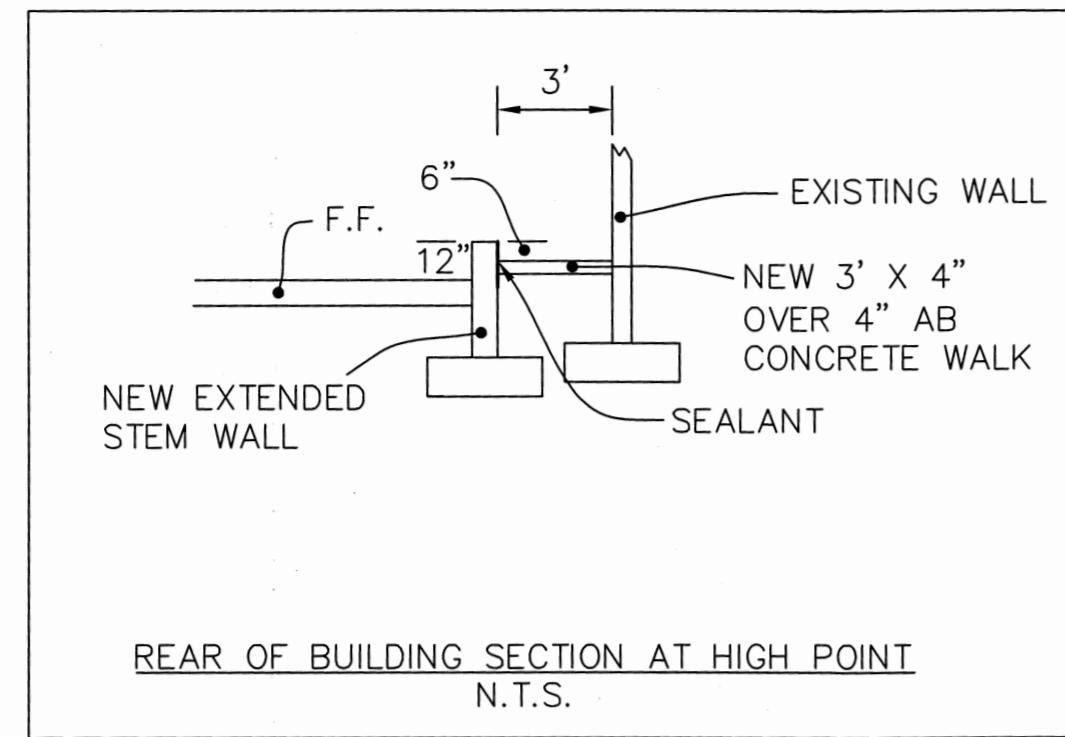
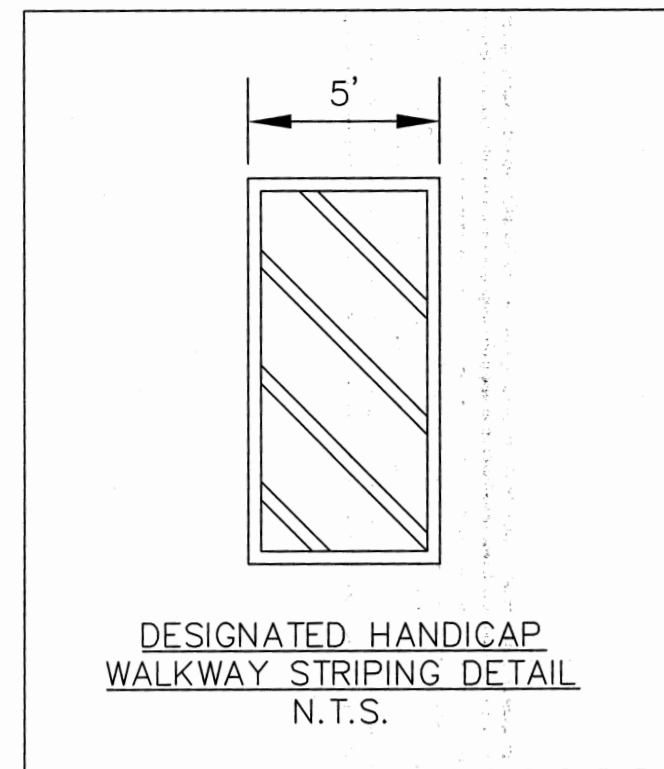
REV:	DESCRIPTION	DATE:	BY:	DATE:	SCALE:	BY:
					1" = 6'	LARRY CEPEK P.E.
						CONSTRUCTIVE SOLUTIONS, INC.
						PO BOX 216, SEDONA, ARIZONA
						PHONE: 928-282-6110
						SEDONA
						OCTOBER 22, 2015
						ASSESSOR'S PARCEL NO. 408-24-319
						SEDONA
						GARNELLO WAREHOUSE
						SITE PLAN & SWPPP
						SHEET C2 - 2/3

PRELIMINARY FOR APPROVAL FOR CONSTRUCTION

PRELIMINARY
 FOR APPROVAL
 FOR CONSTRUCTION

CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

TO RETAIN STORMWATER RUNOFF, USE MANUFACTURED SPEED BUMPS WITH SAFETY STRIPPING - 2.25" HIGH BY 14" WIDE. CUT TO FIT FIELD CONDITIONS. FIT PIECES TOGETHER AND TO END OF CONCRETE CURB. INSTALL ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

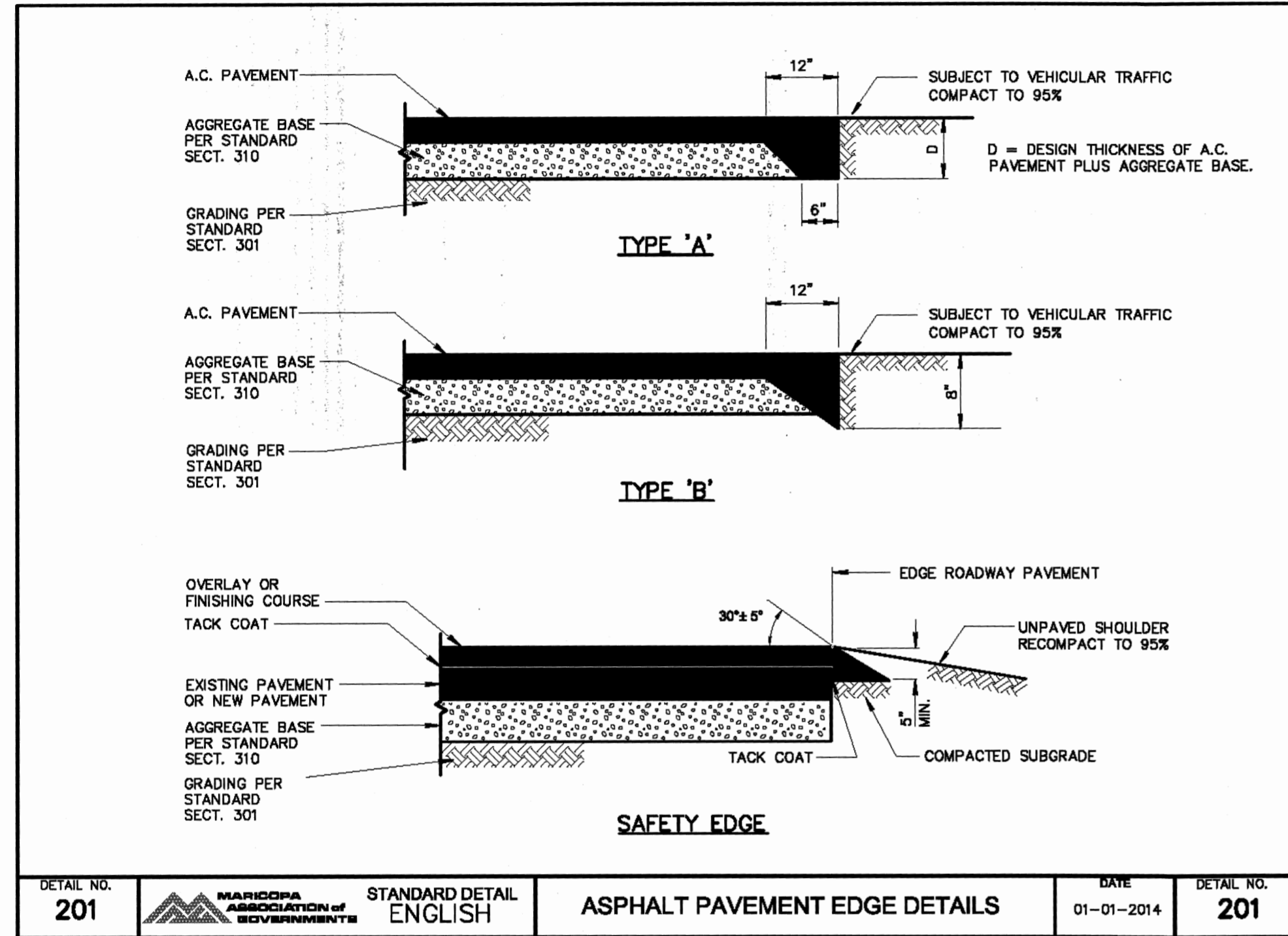
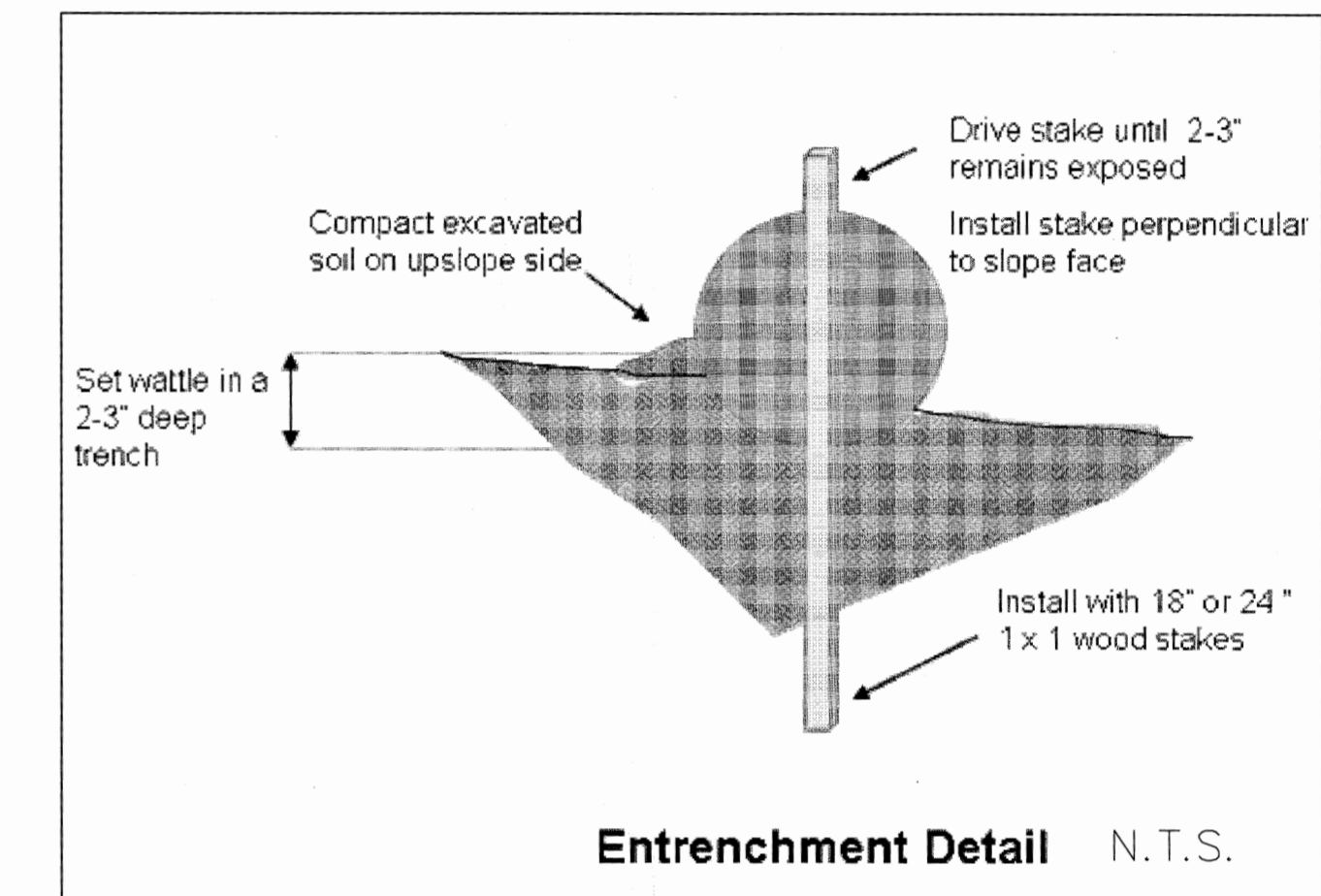
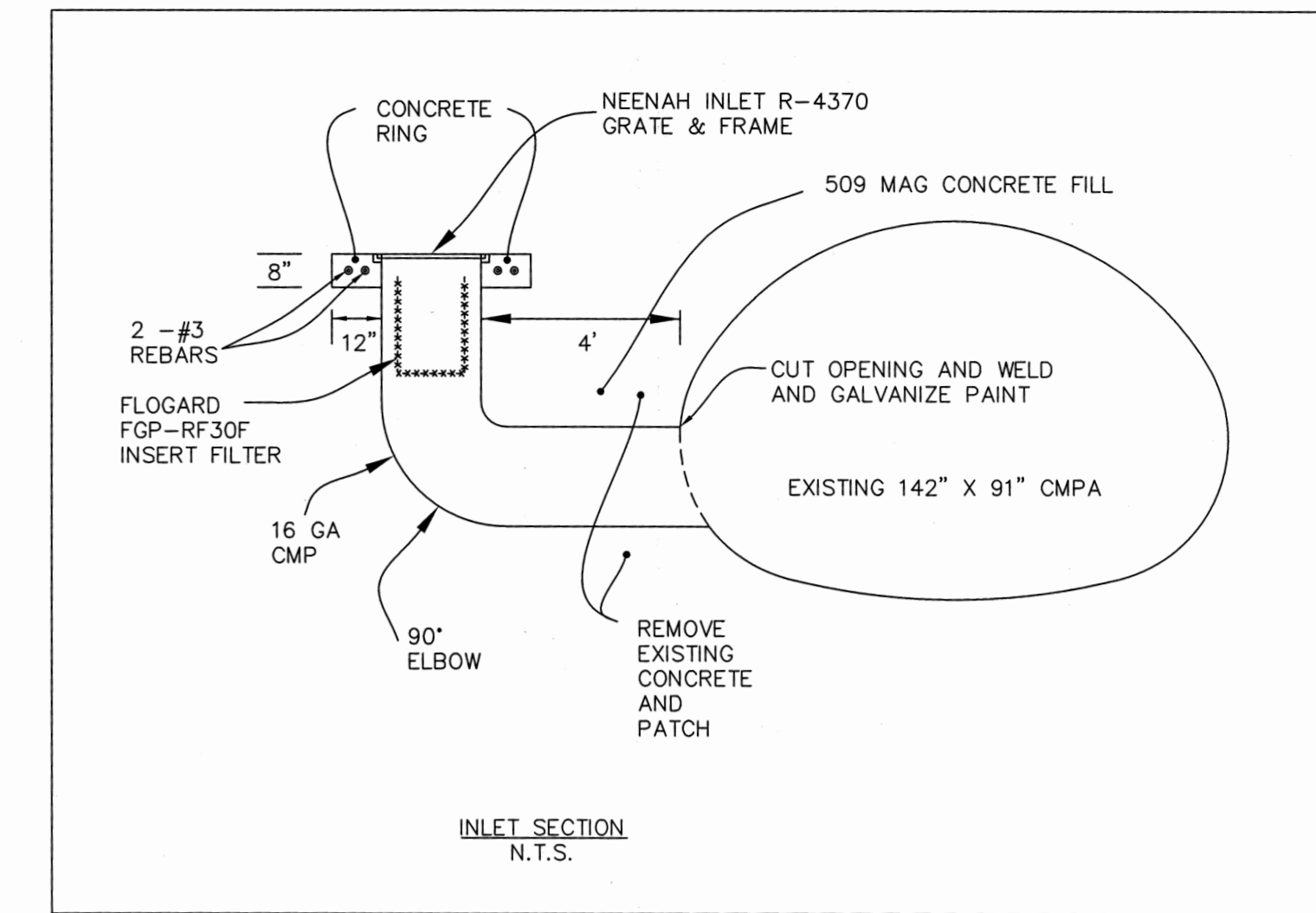


GARNELLO WAREHOUSE

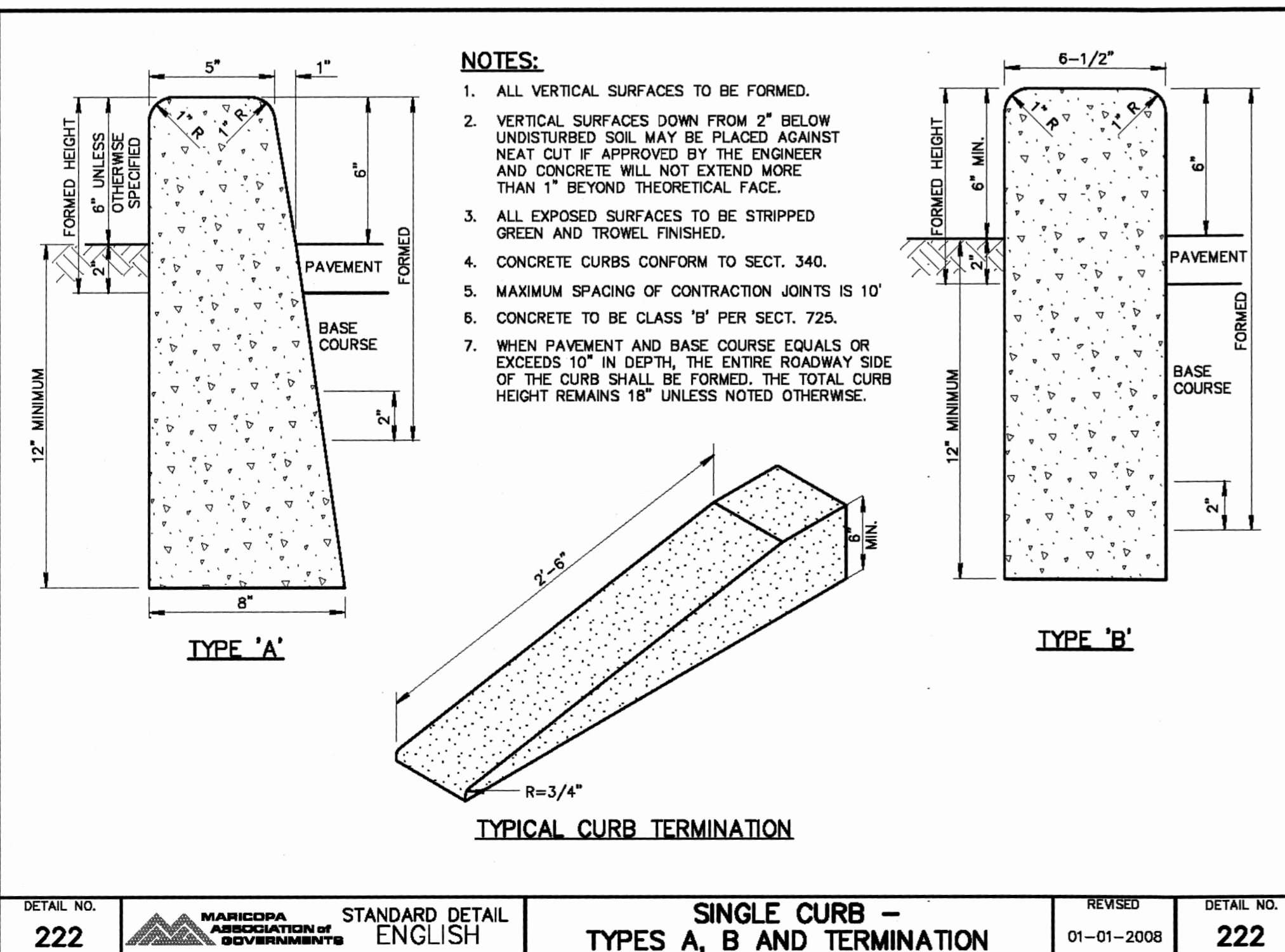
60 SINAGUA DRIVE SEDONA, ARIZONA
GRADING PLAN
ASSESSOR'S PARCEL NO. 408-24-319

Storm Water Pollution Prevention During Construction

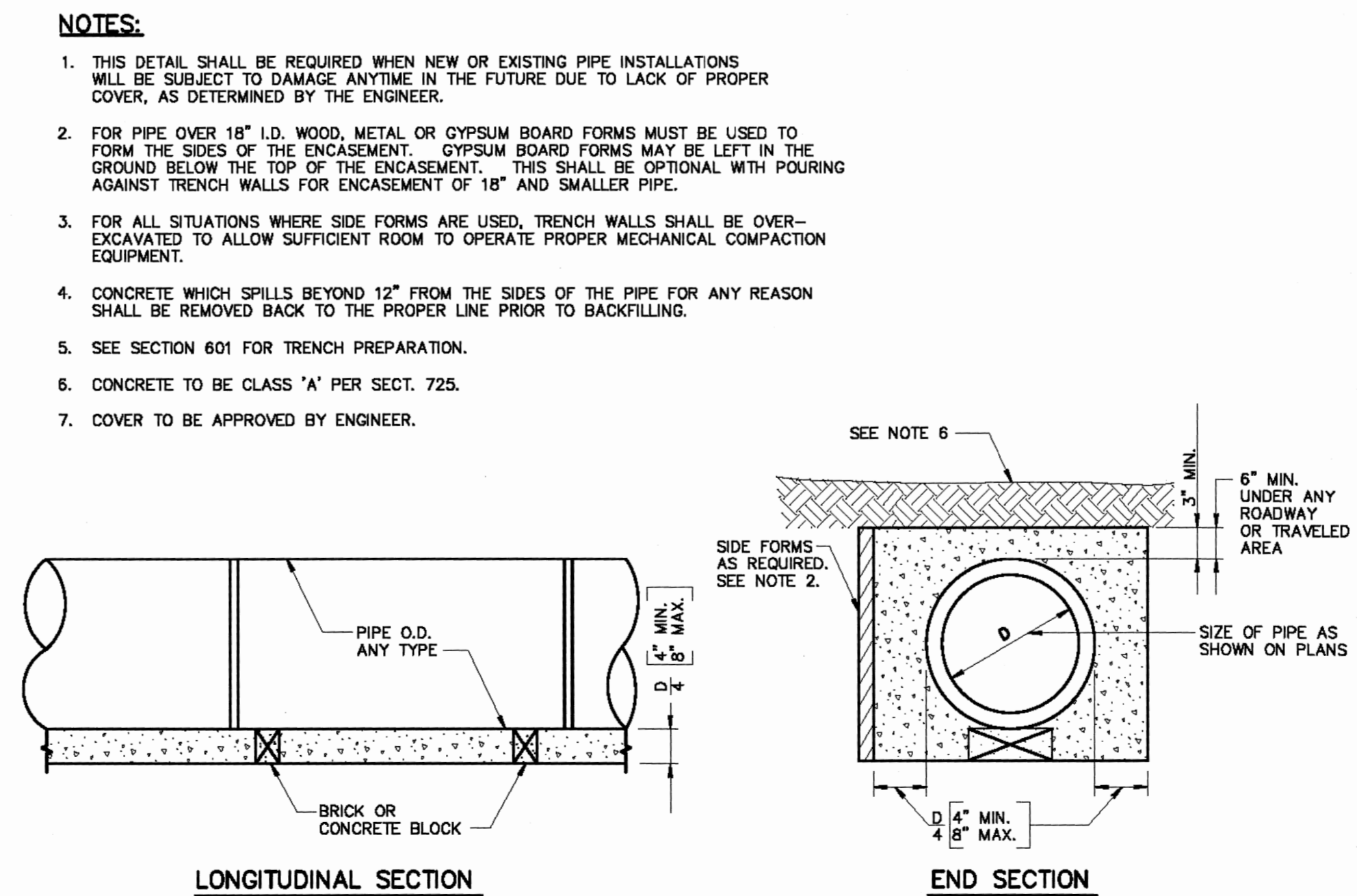
- Construct "Stabilized Construction Entrance" per ADEQ standard 30' wide entrances.
- Install straw wattles to capture stormwater drainage. Install according to ADEQ standards and manufacturer's recommendation.
- Contractor shall install, maintain on a regular basis, and remove all storm water pollution prevention measures to meet ADEQ, EPA, ADOT and City of Sedona requirements including, but not limited to silt barriers, sediment ponds, check dams and site entrance systems.
- Contractor shall immediately clean off with a shovel or street cleaning machine any mud tracked onto the streets - water cleaning with a hose is not allowed. All work shall be done in accordance with ADEQ standards.
- Provide ADEQ with a Notice of Intent (NOI) form before starting work.
- Place permanent grasses, landscaping, gravel cover and permanent pavement as soon as possible after completion of each phase of construction. If driveway AB is not installed after driveway grading is complete, place 8" high rows of 3" stone (2' wide) perpendicular and across driveways at 100' on centers until AB is installed. Add straw wattles at 100' on centers if stone rows are not working well.
- All trucks hauling any material to or from parcel site must cover their loads.
- Contractor shall inspect site every 7 days and after each 0.5" storm and repair damage.
- Place storm sewer inlet protection per ADEQ standards at inlets.



DETAIL NO. 201	MARICOPA ASSOCIATION OF GOVERNMENTS	STANDARD DETAIL ENGLISH	ASPHALT PAVEMENT EDGE DETAILS	DATE 01-01-2014	DETAIL NO. 201
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DETAIL NO. 222	MARICOPA ASSOCIATION OF GOVERNMENTS	STANDARD DETAIL ENGLISH	SINGLE CURB - TYPES A, B AND TERMINATION	REVISED 01-01-2008	DETAIL NO. 222
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DETAIL NO. 507	MARICOPA ASSOCIATION OF GOVERNMENTS	STANDARD DETAIL ENGLISH	ENCASED CONCRETE PIPE (FOR SHALLOW INSTALLATION)	REVISED 01-01-1998	DETAIL NO. 507
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SPECIFIER CHART					
MODEL NUMBER	INLET ID (# INCHES)	GRATE OD (# INCHES)	SOLIDS STORAGE CAPACITY (CU FT)	FILTERED FLOW (CFS)	TOTAL BYPASS CAPACITY (CFS)
FGP-RF15F	16	18	0.3	0.4	2.8
FGP-RF18F	18	20	0.8	0.7	4.7
FGP-RF20F	21	23	0.8	0.7	4.7
FGP-RF21F	22	23.5	0.8	0.7	4.7
FGP-RF22F	23	24	0.8	0.7	4.7
FGP-RF24F	24	26	0.8	0.7	4.7
FGP-RF30F	30	32	2.2	1.5	6.1
FGP-RF36F	36	39	3.6	2.0	6.1

NOTES:

- Filter insert shall have a high flow bypass feature.
- Filter support frame shall be constructed from stainless steel Type 304.
- Filter medium shall be Fossil Rock™ installed and maintained in accordance with manufacturer specifications.
- Storage capacity reflects 80% of maximum solids collection prior to impeding filtering bypass.

FloGard®
Catch Basin Insert Filter
Circular Frame Style

Oldcastle®
Stormwater Solutions

CALL TWO WORKING DAYS BEFORE YOU DIG
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

PRELIMINARY FOR APPROVAL FOR CONSTRUCTION

BY: LARRY CEPEK P.E.	SCALE: AS NOTED	DATE: OCTOBER 22, 2015	SEDONA	SHEET C3 - 3/3
CONSTRUCTIVE SOLUTIONS, INC.	PO BOX 216, SEDONA, ARIZONA	PHONE: 928-282-6110	GARNELLO WAREHOUSE	DETAILS
DATE:	BY:	DESCRIPTION	REV:	



City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • Fax: (928) 204-7124

PZ16-00001 (DEV) Garnello Warehouse

Current Planning Comments

Reviewer: Cari Meyer, Senior Planner

(928) 203-5049; cmeyer@sedonaaz.gov

1. COMMENT: A public hearing for this project will be scheduled after all comments are addressed and additional information provided. If there are any areas requiring clarification or additional information, please schedule a meeting with staff.
2. COMMENT: Please ensure that changes made based on the following comments are reflected on all applicable pages.
3. COMMENT: Various sections of the Sedona Land Development Code (SLDC) are referenced in these comments. The SLDC can be found online at <http://www.codepublishing.com/AZ/Sedona/lcd.html>.
4. Letter of Intent (LOI):
 - a) The LOI states that the applicant is providing 14 parking spaces. Only 12 are shown on the plans. Please clarify.
 - b) Utility Connections: The LOI states that water will be supplied by Sedona Water Company. This should be Arizona Water Company. Please correct the LOI.
 - c) The last page of the LOI references the Main Street Design Guidelines. It is not clear how you are applying the Main Street Design Guidelines to this project. While this property is not in an area where these design guidelines apply, incorporating these design guidelines into this project would be encouraged.
5. Site Plans and Floor Plans:
 - a) Please indicate where delivery trucks will park and how they will and turn around through the depiction of appropriate turning movements on the site plan.
 - b) Staff encourages the property owner to explore the possibility of a through connection with the lot to the east at 55 Tortilla Drive. This would allow delivery trucks to pull straight through without the need for a turnaround area on site and could be accomplished by flipping the site plan to place the building to the south and the parking to the north. If the property owner is interested in exploring this possibility, Staff is available to discuss this concept and can facilitate a meeting with the adjacent property owner.
 - c) The ADA space is required to be 11 feet wide and include a 5-foot wide access aisle. The plans do not show this 5 foot access aisle. Please revise plans to reflect this requirement.
 - d) The drive aisle in front of Bay 4 meets the minimum width for vehicle maneuvering. However, the plans show the placement of the ADA route of travel within this drive aisle, creating a conflict and safety concern. This issue can be resolved by moving the covered entry to Bay 4 to the west side of the Bay, thus allowing the ADA route to go directly into the entrance and eliminating the encroachment into the drive aisle.
 - e) Please indicate the location of all existing and proposed utility connections.

6. Landscaping Plan:
 - a) On the Plant List, clearly distinguish between trees, shrubs, and groundcover, and include the total number of plants of each species proposed. Please ensure the trees and shrubs meet the plant selection requirements of SLDC 910.05.D regarding percentages of native and evergreen plants. Refer to the Plant List in the Design Review Manual for information on which plants are considered native (available online: <http://www.sedonaaz.gov/home/showdocument?id=25027>).
 - b) One (1) tree and three (3) shrubs are required for every 200 square feet of landscape area between the building/parking lot and the property line. Please indicate the size of these areas and ensure the correct number of trees and shrubs are included.
 - c) A 3 foot tall wall or berm between the parking area and the street is required per Code. Please modify the plan to meet this requirement.
 - d) The landscape strip between the parking area and the property line is required to be 4 feet in width. As shown, it appears to be approximately 3 feet in width. In addition, this landscape strip requires a minimum of 2 15-gallon trees and 5 shrubs for every 4 parking spaces. Please ensure the proper plant counts are shown.
 - e) Landscape peninsulas are required to be 5 feet wide with 1 canopy tree and 3 shrubs. The peninsula shown is approximately 4 feet wide and has 4 shrubs. Please modify the plan to meet this requirement
 - f) COMMENT: Please ensure that all plants chosen meet the following minimum planting requirements: Trees must be 8 feet in height and trunk diameter of 2 inches, shrubs must be a minimum of 2 feet in height.
7. The application packet is missing the following items:
 - a) Lighting Plan: The LOI states that new lighting will be used. Please submit the required lighting plan. The lighting plan must be in compliance with SLDC 911 (Outdoor Lighting), including a site plan, lumen calculations, and cut sheets for all new lighting fixtures.
 - b) Sign Plan: A Master Sign Plan is required as a part of a Development Review application. Please submit a plan in compliance with SLDC 1104.01.B.
 - c) Letters of Serviceability from all proposed utility connections.
8. Prior to scheduling a public hearing, the applicant will need to provide Staff with their Citizen Participation Report. For requirements regarding what needs to be included in the report, please refer to SLDC 408: Citizen Review Process.
9. Potential Fees: The following fees are provided as a rough estimate of what may be due. Fees are subject to change and a final determination of fees due will be made at the time of building permit issuance.
 - a) Development Impact Fees: Industrial Use, \$0.98/square foot, a total of \$3,726.94 for a 3,808 square foot warehouse building. Additional fees may be due if a different use of the building is proposed.
 - b) Storm Drainage Fees: This property is located in the Dry Creek Wash and is charged \$0.01/square foot for drainage fees, a total of \$38.08 for a 3,808 square foot building.

- c) Sewer Capacity Fees: These fees will be determined based on use. Please contact Ryan Mortillaro at (928) 203-5091 or rmortillaro@sedonaaz.gov in Engineering Services for an estimate of potential fees.



**City of Sedona Community Development Department
Engineering Services**

102 Roadrunner Drive Sedona, AZ 86336

(928) 204-7111 • Fax: (928) 282-5348, Ryan Mortillaro, (928) 203-5091

**PZ16-00001 (DEV)
Garnello Warehouse (Conceptual Review)
1/21/16**

Engineering Comments

For the next level of review:

1. 1-way parking aisle requires a minimum width of 24 feet between the parking stalls and the building.
2. Driveway width should be a minimum of 28 feet. For the driveway entrance, minimum curb radii shall be 25 feet minimum.
3. Allow drainage to flow through and behind the accessible parking island.
4. Ensure the building has adequate drainage methods.
5. Please identify all fixtures such as sinks, kitchens, restrooms, etc.

General Observation (No design change required):

1. The ADA accessible route traveling west to east towards Bay #4's covered entry is within, and follows the vehicular travel path. Per ADA standards this is allowed, however the City of Sedona prefers that an alternate design be considered.

Prior to Issuance of Building Permit:

- Provide Final Grading and Drainage Plans. The Site Plan shall meet the requirements of LDC Section 803.
- Provide Final Drainage Report.
- Applicant shall follow the City of Sedona Land Development Code in its entirety.
- Applicant shall provide a Storm Water Pollution Prevention Plan. SWPPP measures shall be in place prior to the start of construction (LDC Article 8). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)
- Accessible sidewalks and parking areas will need to meet the current US Dept. of Justice ADA requirements.
- Any new accessible parking/signage shall meet the requirements of City LDC Section 912.09.
- A City Right-of-Way Permit shall be acquired for any work taking place within City Rights-of-Way.



SEDONA FIRE DISTRICT

2860 SOUTHWEST DRIVE · SEDONA, AZ 86336 · TEL: (928) 282-6800 · FAX: (928) 282-6857

Safe...Friendly...Dedicated

January 15, 2016

Ms. Cari Meyer
Associate Planner, Current Planning
City of Sedona Community Development
City of Sedona
104 Road Runner Drive
Sedona, Arizona 86336

Dear Ms. Meyer:

A conceptual review has been completed for the project listed below.

Description: Garnello Warehouse Building
Address: 60 Sinagua Drive, Sedona, Arizona 86336
SFD OCC #: Pending
Case#: PZ16-00001 (DEV)
APN: 408-24-319
Proposal: New Commercial Building

Based on the submitted information the following fire code requirements shall be applicable.

1. Section 503.1: Fire department access roadways shall be provided. Roadways shall meet the listed requirements:
 - A. Grades shall not exceed 6% for gravel, 12% for blacktop and 15% for concrete surfaces.
 - B. Overhead obstructions shall not be lower than 13 feet 6 inches.
 - C. Turning radii shall be no less than 20 feet inside, 40 outside.
 - D. Dead-ends longer than 150 feet shall be equipped with turn-a-rounds.

Note: The plan indicates the parking area ends approximately 25 feet from the east property line. What is the intended use of the area?

- E. Vehicles shall not park in a fashion to obstruct fire lanes. No parking signs shall be installed where parking presents such obstructions.
2. Section 903.2: All commercial buildings hereafter constructed shall be equipped with an approved automatic fire sprinkler system. Systems shall be installed in accordance with the National Fire Protection Association's pamphlet #13, "**Standard for the Installation of Sprinkler Systems**" the 2002 edition. Plans, specifications and hydraulic calculations shall

be submitted to this office for review prior to installation. A framing inspection will not be conducted until a set of sprinkler plans is approved. **This installation requires a separate construction permit through this office.**

Note: Will an electrical hose panel be provided for exterior lighting? The fire sprinkler system requires electrical service not controlled by the tenant.

3. Section 903.4: All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitored where the number of sprinklers is one hundred or more in all other occupancies. If applicable, provide electronic monitoring of the water flow switch.
4. Section 506.1: Security gates, if equipped, shall be equipped with a Sedona Fire District key over-ride cylinder. This cylinder shall be keyed to the type presently employed by the Sedona Fire District. Operation of the key shall open the gates and the gates shall remain open until such time that the key is returned to its normal position. One clockwise turn shall open the gate. One counterclockwise turn shall return the gate to normal operation. Provide proper key cylinder. This cylinder is available for purchase through this office.

In addition to the key operation, a TOMAR (TOMAR Industries, <http://TOMAR.com>) optical sensor 2091-SD or similar, shall be installed. This sensor allows for emergency apparatus to enter the property having the gate automatically open upon the approach of emergency apparatus. The actuation of the gate is through a signal sent via the strobe lights on the emergency apparatus. The gate will remain open for as long as the signal is being transmitted by the emergency apparatus. Provide proper optical sensor.

A battery backup system shall be provided to open the gate one time upon a power failure. Provide proper battery backup.

5. Section 505.1: All buildings equipped with automatic fire sprinklers, fire alarms or commercial kitchen cooking fire suppression systems shall be provided with an approved KNOX key box. This box is available for purchase through the Sedona Fire District.
6. Section 304.3: Dumpsters, larger than 1.5 cubic yard capacity, shall not be located within five feet of the nearest structure. Provide proper separation for dumpsters from buildings.

Note: Where is the location of the dumpster?

7. Section 906.1: All buildings shall be provided with UL listed or equivalent portable fire extinguishers. Fire extinguishers shall be installed in accordance with the National Fire Protection Association's pamphlet #10, "**Standard for Portable Fire Extinguishers**" the 1998 edition. The travel distance to any fire extinguisher shall not exceed 75 feet from any point in a building. Extinguishers shall be classified at least 2A10BC or greater, containing at least 5 pounds of dry chemical agent. Units shall be serviced and tagged by a reputable fire extinguisher company prior to the unit being displayed for use. Provide a unit near each exit on each floor.

8. Section 505.1: Premises-identification shall be clearly posted prior to final occupancy. Numbers shall be visible and legible from the street. Number colors shall be contrasting to their background. Provide proper address numbers.
9. A vegetation plan shall be submitted to this office. **FIREWISE** concepts shall be made as part of the vegetation plan. Provide proper plans for review.
10. Section 907.1: A fire alarm system shall be installed throughout this project. The system shall be installed in accordance with the National Fire Protection Association's pamphlet #72, **National Fire Alarm Code** the 2002 edition and Section 907 of the IFC, 2003 edition. Plans, specifications and battery calculations shall be provided to this office for review. **This installation requires a separate construction permit through this office.**

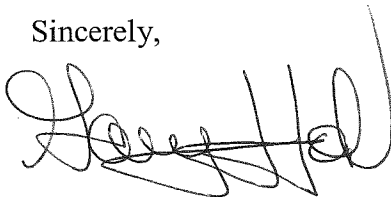
These comments shall not be meant to exclude any applicable requirements adopted by the Sedona Fire District or other regulatory agency. The adopted fire code is based on the 2003 edition of the International Fire Code with amendments as approved by the Arizona State Fire Marshal.

Inspections required by the fire code, to ensure that these requirements have been satisfied, shall be scheduled through this office. Proof of these inspections shall be submitted by you to the City of Sedona Community Development Department prior to a certificate of occupancy being issued.

As of February 27, 2008 the Sedona Fire District adopted a fee for service schedule. Service fees include construction plan reviews. A construction permit is required to be obtained from this office prior to any commencement of work. Construction permits will not be issued until such time that fee payments are received.

If you have any questions concerning these comments please feel free to contact me at (928) 204-8907 or gjohnson@sedonfire.org.

Sincerely,



Gary J. Johnson
District Fire Marshal

Cari Meyer - RE: City of Sedona Development Application

From: Joe Whelan <jwhelan@azwater.com>
To: Cari Meyer <CMeyer@sedonaaz.gov>
Date: 1/8/2016 9:54 AM
Subject: RE: City of Sedona Development Application

I didn't see any water services on the plans. Will this building require fire sprinklers and domestic water service and landscape water service?

Joseph Whelan
Engineering Development Coordinator
3805 N. Black Canyon Hwy
Phoenix, AZ 85015
[602-240-6860](tel:602-240-6860)

From: Cari Meyer [CMeyer@sedonaaz.gov]
Sent: Thursday, January 07, 2016 4:01 PM
Subject: City of Sedona Development Application

****I use the same distribution list for all new development projects. If the project(s) on this list are not in your county or area of service, do not feel obligated to respond, but feel free to contact me with any questions you have or clarifications you may need.****

The City of Sedona Community Development Department has received the following applications and is requesting your review.

1. **PZ16-00001 (DEV) New Commercial/Warehouse Building at 60 Sinagua Drive, APN 408-24-319.** The property is in *Yavapai County*. The applicant has requested approval of a Development Review to construct a new 3,808 square foot commercial/warehouse building with associated site improvements. The property is zoned C-2 (General Commercial).

We will have an internal meeting regarding this project on **Tuesday, January 19, 2016, at 8:00 am** at the City of Sedona Community Development Department. You are welcome to come and discuss and questions or concerns you have regarding this project.

Please review the materials at the link below. I would appreciate getting comments by **Thursday, January 28, 2016**.

Application materials can be found on the City's website at the following link: <http://www.sedonaaz.gov/your-government/departments/community-development/development-services/current-projects>. Please be aware that the City recently launched a new website and any links that you have saved on your computer may be out of date.

If you are not the correct person in your agency to review these types of projects, please let me know so that I can update my mailing list and get these projects to the correct people to review them. Thank you for your time and please let me know if you have any questions.

Cari Meyer - RE: City of Sedona Development Application

From: Robert Mumper <Robert.Mumper@yavapai.us>
To: 'Cari Meyer' <CMeyer@sedonaaz.gov>
Date: 1/28/2016 4:43 PM
Subject: RE: City of Sedona Development Application

Hi Cari,

Yavapai County Community Health Services (YCCHS) does not have any concerns regarding the construction of a commercial warehouse unless some aspect of food processing is involved.

*Robert Mumper, RS
Environmental Health Specialist III
Yavapai County Community Health Services
(928) 634-6891*

From: Cari Meyer [CMeyer@sedonaaz.gov]
Sent: Thursday, January 07, 2016 4:01 PM
Subject: City of Sedona Development Application

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Cari Meyer - RE: [EXTERNAL E-Mail] City of Sedona Development Application

From: <IFreeman@uesaz.com>
To: <CMeyer@sedonaaz.gov>
Date: 1/8/2016 8:58 AM
Subject: RE: [EXTERNAL E-Mail] City of Sedona Development Application

Good Morning Cari

UniSource has no conflicts with this project.

Irene

From: Cari Meyer [CMeyer@sedonaaz.gov]
Sent: Thursday, January 07, 2016 4:01 PM
Subject: [EXTERNAL E-Mail] City of Sedona Development Application

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