

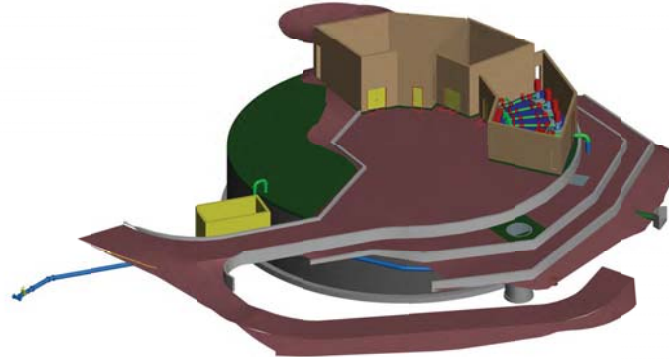
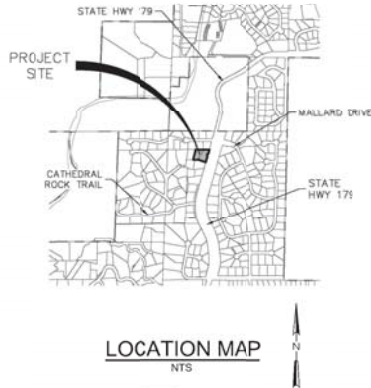
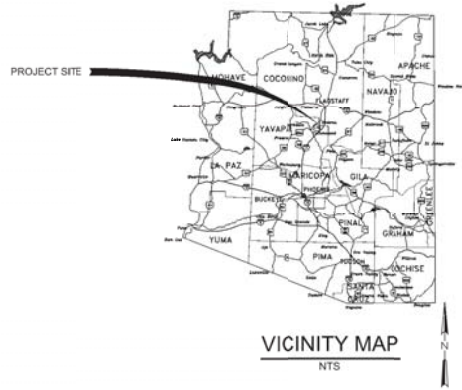


Appendix A Conceptual Drawings

CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

55 BELL ROCK TRAIL, SEDONA, ARIZONA 86336

VOLUME 3 CONCEPTUAL DESIGN APRIL 2018



PREPARED BY: _____



CONTACT:

JOHN H MATTA, P.E.
PROJECT MANAGER
750 N DOBSON RD, SUITE 200
SCOTTSDALE, AZ 85256
PHONE: (602) 231-2621x411
EMAIL: johnm@wvengineers.com



CONTACT:

MICHAEL E JACOBS, AIA
PROJECT ARCHITECT
822 N CENTRAL AVENUE
PHOENIX, AZ 85004
PHONE: (602) 259-8555
EMAIL: michael@hollystreetstudio.com

DRAWINGS INDEX

- G-001 COVER SHEET
- G-101 ALTA SURVEY
- G-102 EXISTING CONDITIONS
- G-103 AREA SITE PLAN
- G-104 SITE PLAN
- C-101 GRADING PLAN
- C-201 GRADING SECTIONS
- L-101 EXISTING VEGETATION PLAN
- L-102 LANDSCAPE PLAN
- LT-101 SITE LIGHTING PLAN
- A-101 FLOOR PLAN
- A-102 ROOF PLAN
- A-103 SIGNAGE PLAN
- A-104 FIRE CONTROL PLAN
- A-401 ELEVATIONS 1
- A-402 ELEVATIONS 2
- A-403 RENDERED PERSPECTIVES
- MATERIALS BOARD

PROJECT SUMMARY

TOTAL ACREAGE:	1.05 ACRES
PERCENT LOT COVERAGE:	5.2%
FLOOR AREA RATIO:	2400 SF
PARKING SPACES:	2 REQUIRED, 3 PROVIDED
LANDSCAPED AREA:	75%
OPEN AREA:	8.5%
ROADWAYS:	11.3%



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CONSTRUCTION

NO.	DATE	REVISION	BY	APP'D.

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FILENAME: S:\CAD\Projects\16-029 Sedona Water Storage Tank\Project Files\Deliverables\16SD-G001.DGN

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PLOT TIME: 11:32:01 AM

SCALE: 0.1/0.000177 in.

VERIFY SCALE
DATE: 04/10/2018
BY: JHM
SCALE: 0.1/0.000177 in.

WATERWORKS
ENGINEERS
ARCHITECTS

HOLLY STREET
STUDIO
ARCHITECTS
822 N Central Avenue
Phoenix, AZ 85004-2503
602.259.8555
802.301.5679 fax
www.hollystreetstudio.com

CONCEPTUAL DESIGN &
COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

GENERAL
COVER SHEET

DATE: APR 2018
PROJECT NUMBER: 16-029
DRAWING NUMBER: G-001
SHEET: 1 OF 1

NOTE:
SEWER EASEMENT SHOWN HERE HAS BEEN ADDED BY WATERWORKS ENGINEERS PER INFORMATION PROVIDED BY CITY OF SEDONA.

LEGEND

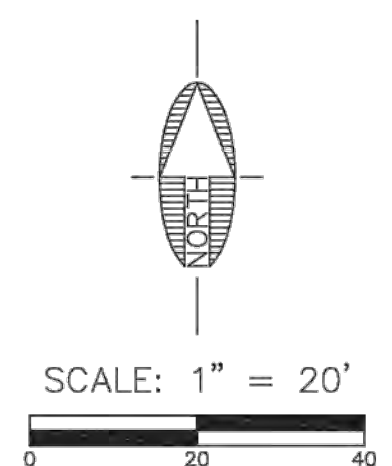
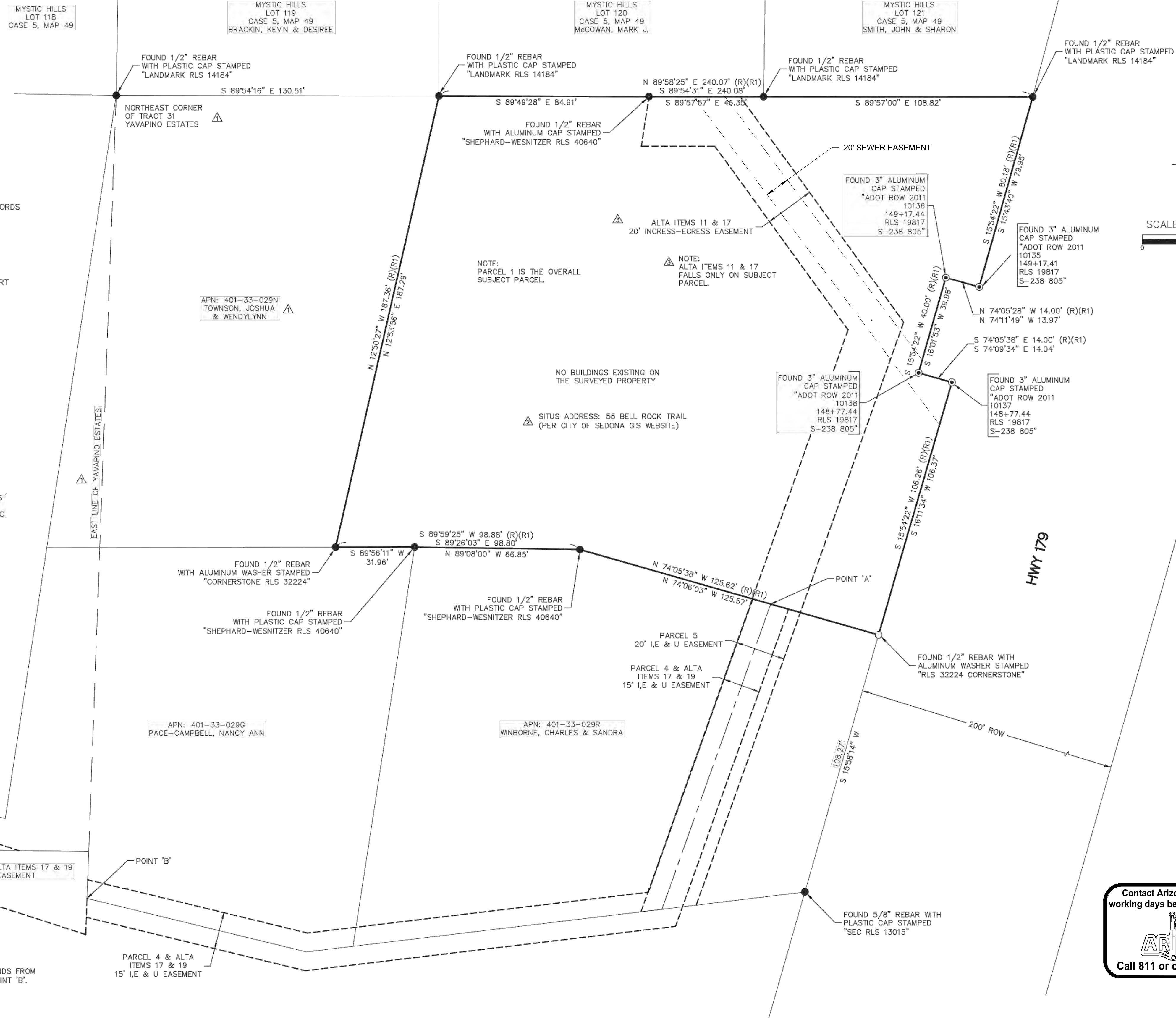
- SUBJECT PARCEL BOUNDARY
- - - SUBJECT PARCEL EASEMENT
- ADJOINER LINE
- - - BOUNDARY TIE
- I, E & U INGRESS, EGRESS & UTILITIES
- #XXXXXXX INDICATES INSTRUMENT NUMBER OF OFFICIAL RECORDS
- XXXX/XXX INDICATES DOCKET/PAGE OF OFFICIAL RECORDS
- XXX-XX-XXXX INDICATES COCONINO COUNTY ASSESSOR'S PARCEL NUMBER
- "ALTA ITEM" REFERS TO SCHEDULE B ITEMS FROM TITLE REPORT

ZONED: RS-18B SINGLE FAMILY RESIDENTIAL

SETBACK LIMITS:
FRONT - 25'
SIDE (INTERIOR) - 10'
SIDE (EXTERIOR) - 15'
REAR - 25'

HEIGHT AND FLOOR AREA REQUIREMENTS:
VARIABLE DEPENDING ON STRUCTURE AND SLOPE OF THE LAND.

△ (NOTE: ZONING INFORMATION TAKEN FROM CITY OF SEDONA GIS WEBSITE)



No. _____
FILED AND RECORDED AT REQUEST OF
Shephard-Wesnitzer, Inc.
A.D. _____
AT _____ O'CLOCK _____ M
BOOK _____
PAGE _____
RECORDED IN COCONINO COUNTY, ARIZONA
County Recorder
Deputy Recorder



NOTE: PARCEL 4 EXTENDS FROM POINT 'A' TO POINT 'B'.
PARCEL 4 & ALTA ITEMS 17 & 19 15' I, E & U EASEMENT

Contact Arizona 811 at least two full working days before you begin excavation

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NO.	DESCRIPTION	DATE	BY
△	ADD/REVISE INFORMATION	11/15/12	PN
△	REVISED FOR NEW TITLE REPORT	11/19/12	PN
△	REVISED TO MAKE CORRECTIONS	11/20/12	PN

SWI
Shephard & Wesnitzer, Inc.

75 Kalliof Place
Sedona, AZ 86336
928.282.1061
928.282.2058 fax
www.swiaz.com

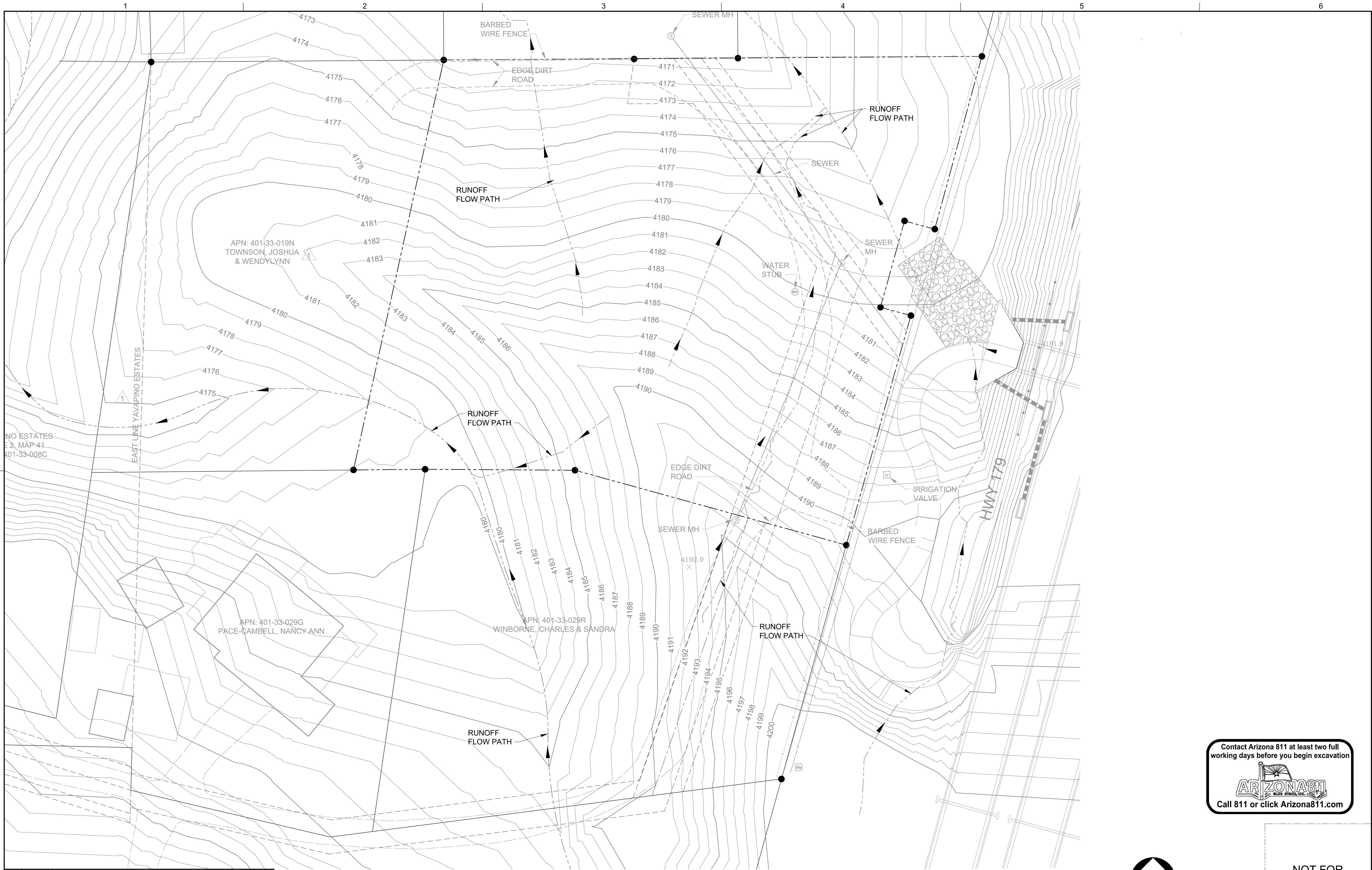
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DATE:	NOV. 2012
SCALE:	AS SHOWN
DRAWN:	MWJ
DESIGN:	N/A
CHECKED:	PWN

APN: 401-33-029T, 029V, 029W & 029Y
COCONINO COUNTY ARIZONA

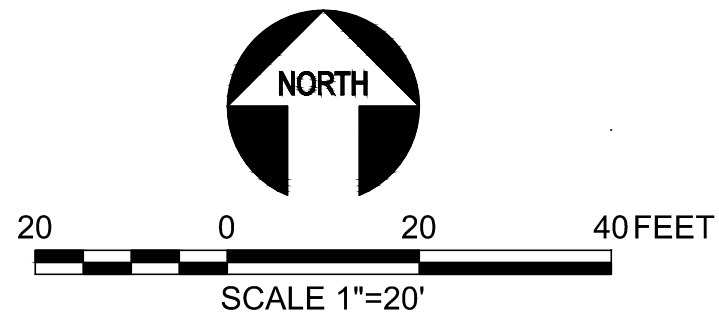
ALTA/ACSM LAND TITLE SURVEY BOUNDARY GEOMETRY

DRAWING NO.	AA2
SHT NO. OF	2 OF 4

DATE	APR 2018
PROJECT NUMBER	16-029
DRAWING NUMBER	G-101
SHEET	- OF -



NO.	DATE	REVISION	BY	APVD



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PLOT DATE: 4/10/2018

PLOT TIME: 7:05 AM

SCALE: 1" = 80'

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IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN	JHM
DRAWN	SAR
CHECKED	JHM
APPROVED	JHM

WATERWORKS
ENGINEERS
1980 N. Sedona Pk., Suite 200 • Sedona, AZ • 86351-1712

CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

GENERAL
EXISTING CONDITIONS

DATE	APR 2018
PROJECT NUMBER	16-029
DRAWING NUMBER	G-102
SHEET	- OF -

1

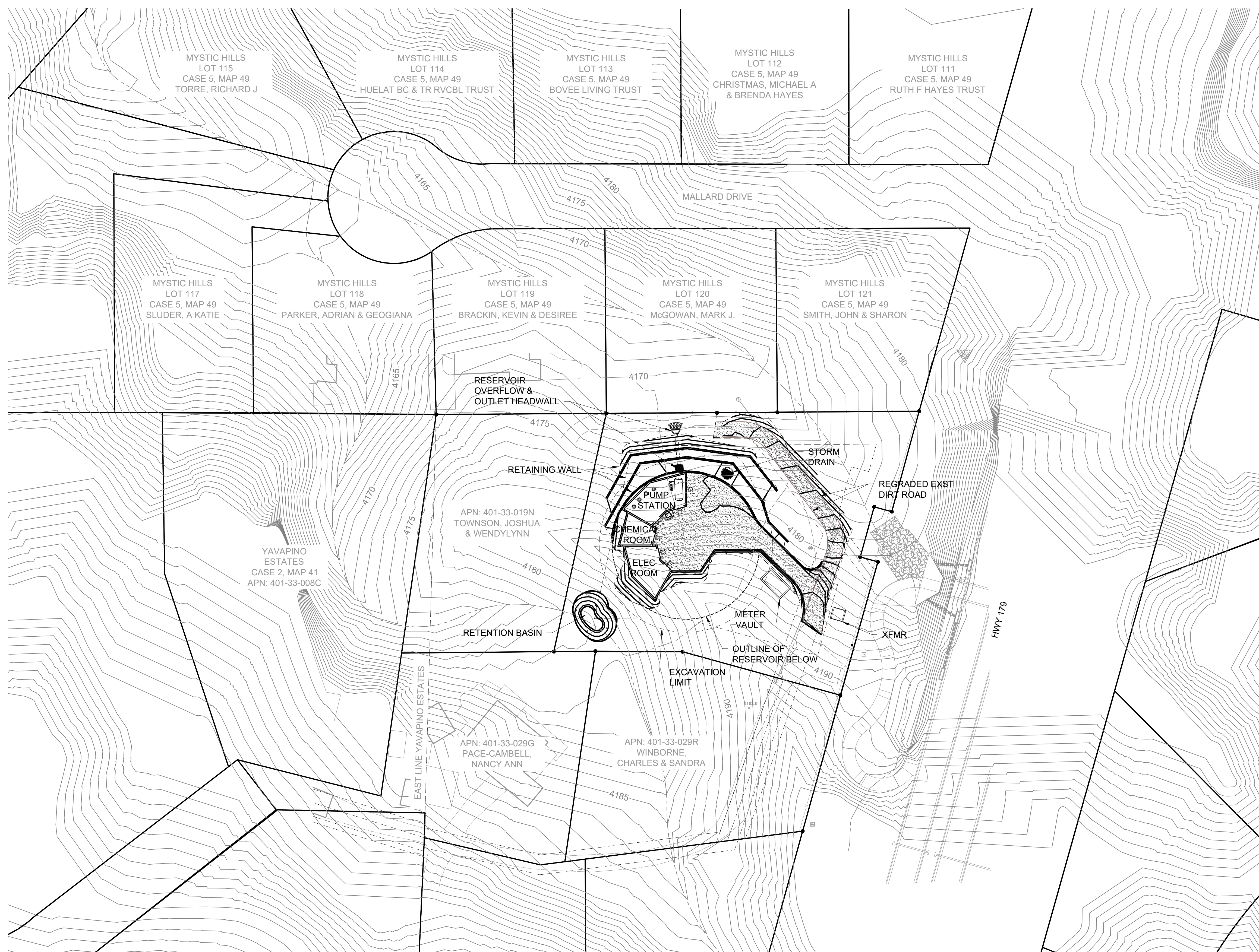
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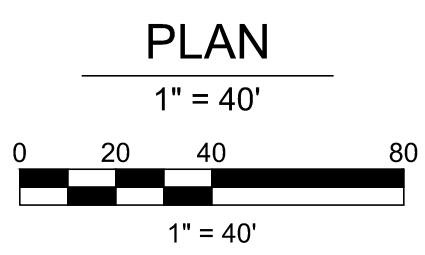
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5

6



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DRAWN	SAR
CHECKED	JHM
APPROVED	JHM

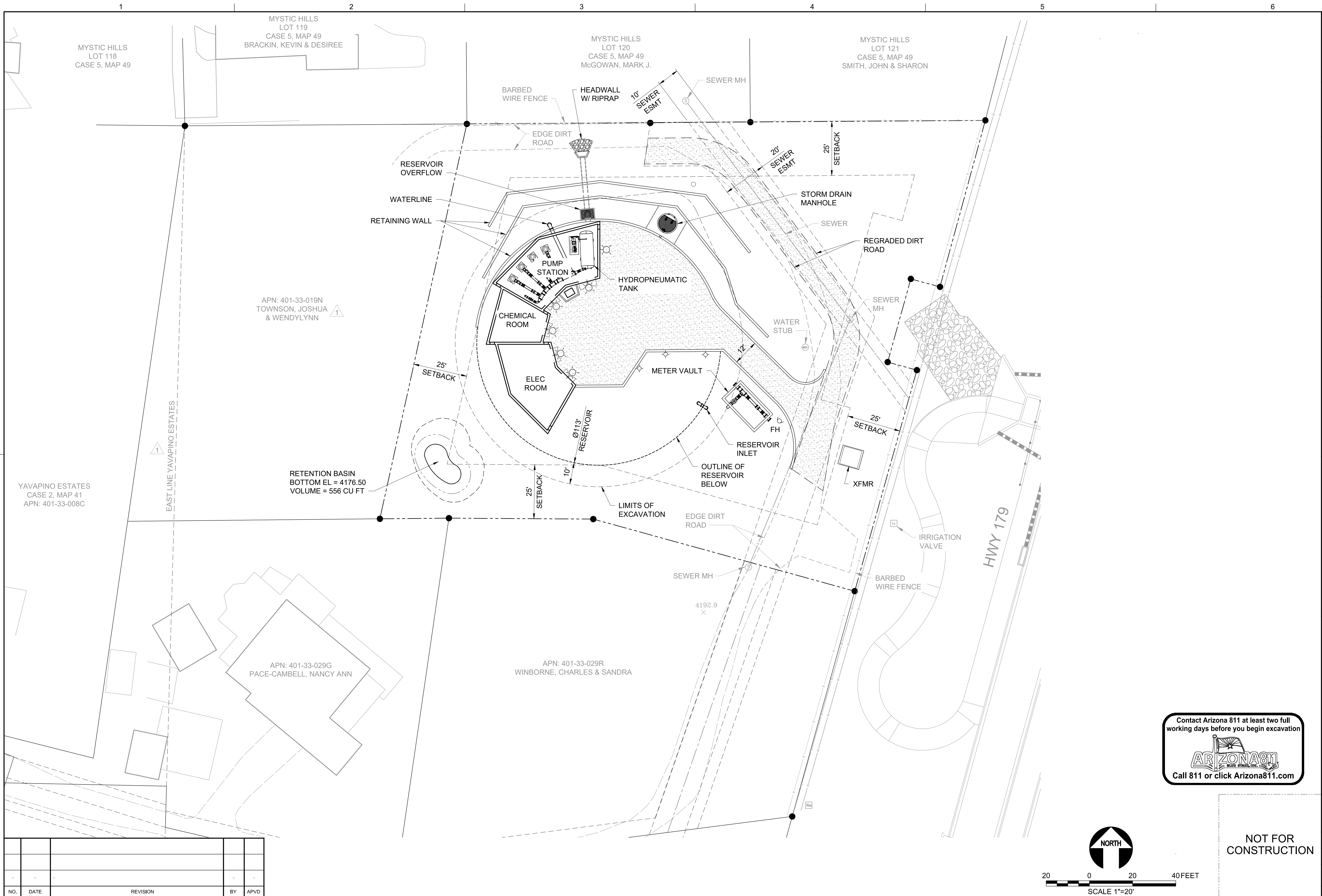
WATERWORKS
ENGINEERS

7500 N. Dobson Pk., Suite 200 • Scottsdale, AZ • 480-561-1712

CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

GENERAL
AREA SITE PLAN

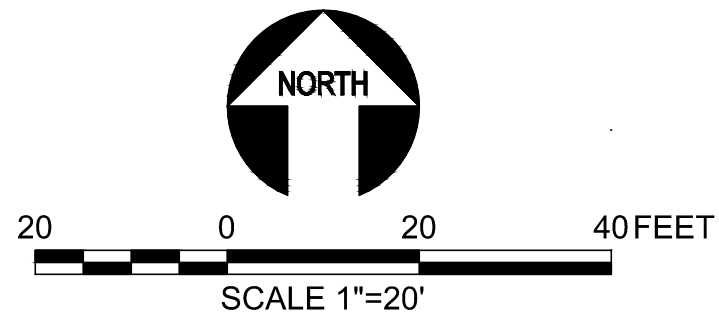
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PROJECT NUMBER	16-029
DRAWING NUMBER	G-103
SHEET	- OF -



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DESIGN	JHM
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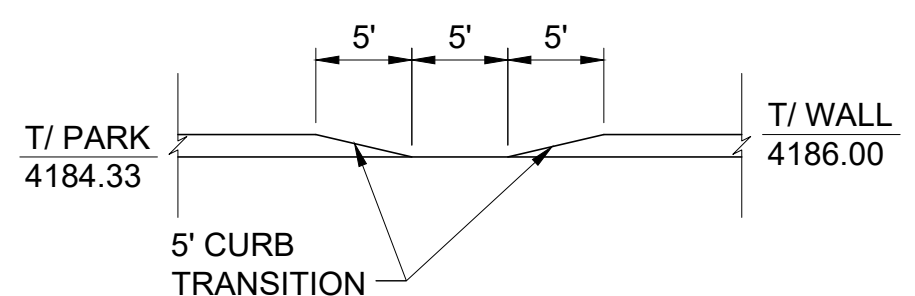
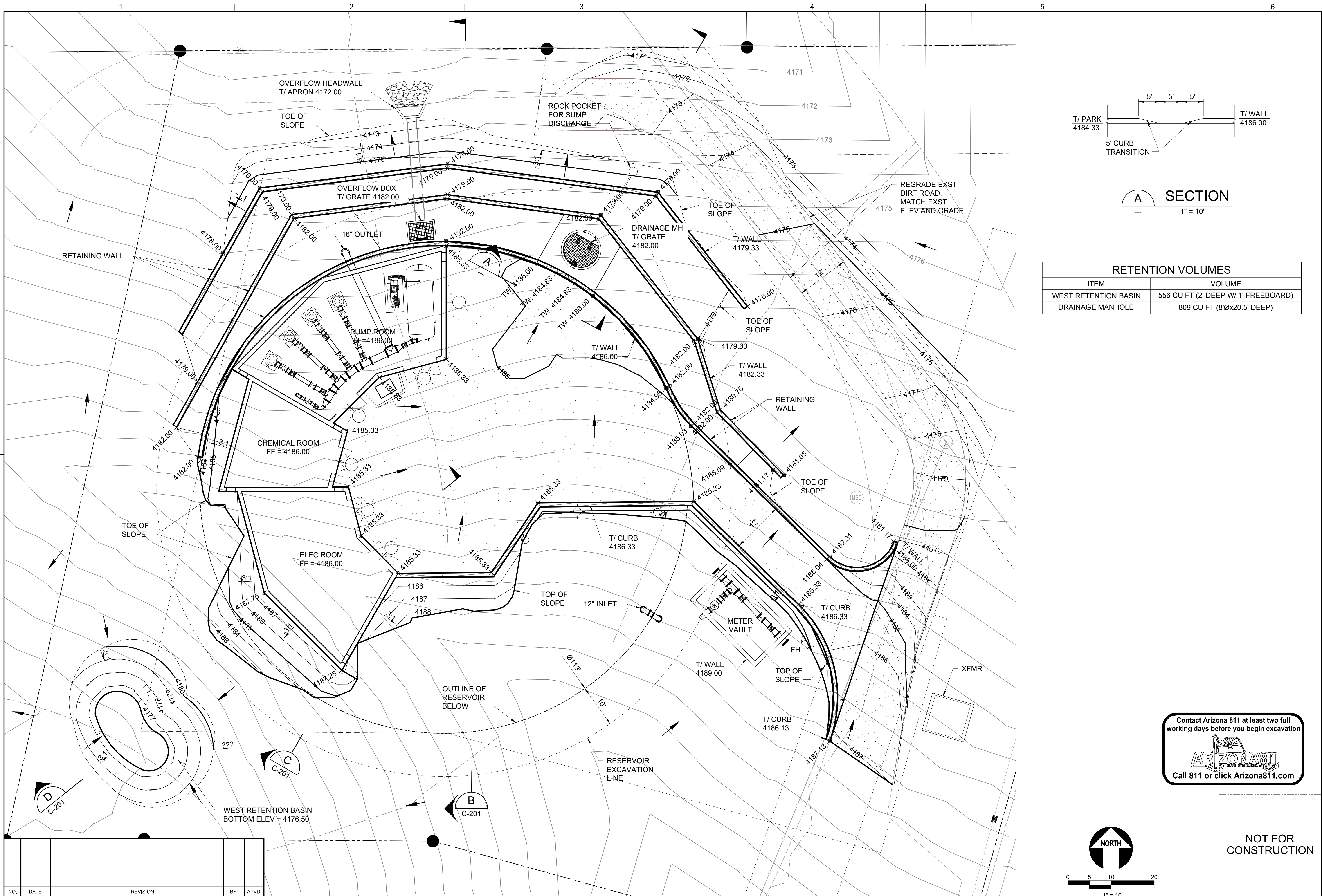
CONCEPTUAL DESIGN & COMMUNITY OUTREACH
 EAST SEDONA
 WATER STORAGE TANK

GENERAL
 SITE PLAN

DATE	APR 2018
PROJECT NUMBER	16-029
DRAWING NUMBER	G-104
SHEET	- OF -

SCALE: 1" = 80'

PLOT DATE: 4/10/2018 PLOT TIME: 7:05 AM



A SECTION
1" = 10'

RETENTION VOLUMES	
ITEM	VOLUME
WEST RETENTION BASIN	556 CU FT (2' DEEP W/ 1' FREEBOARD)
DRAINAGE MANHOLE	809 CU FT (8'Øx20.5' DEEP)

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING.
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY.

DESIGN: JHM
DRAWN: SAR
CHECKED: JHM
APPROVED: JHM

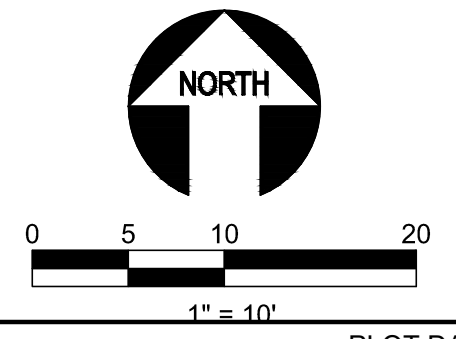
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CIVIL DESIGN & CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

CIVIL
GRADING PLAN

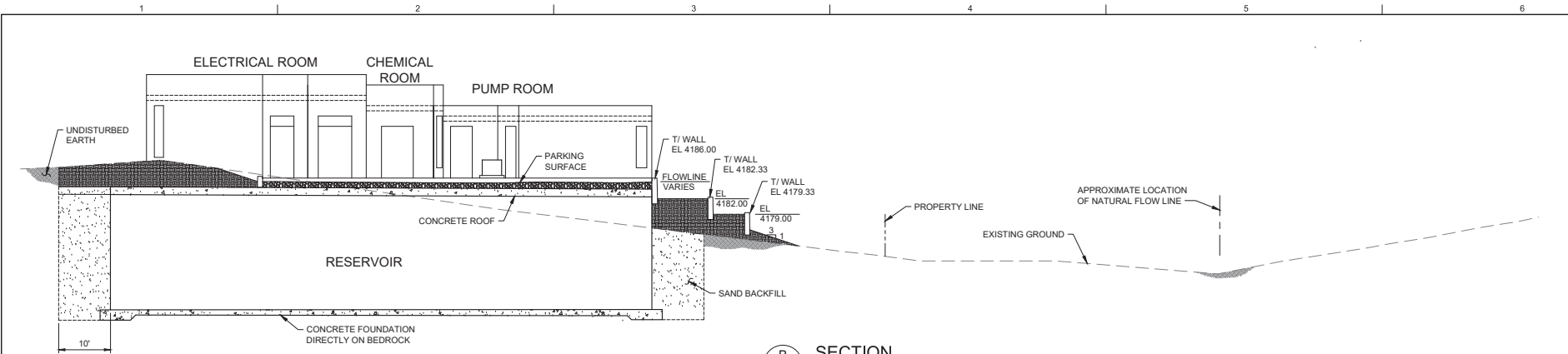
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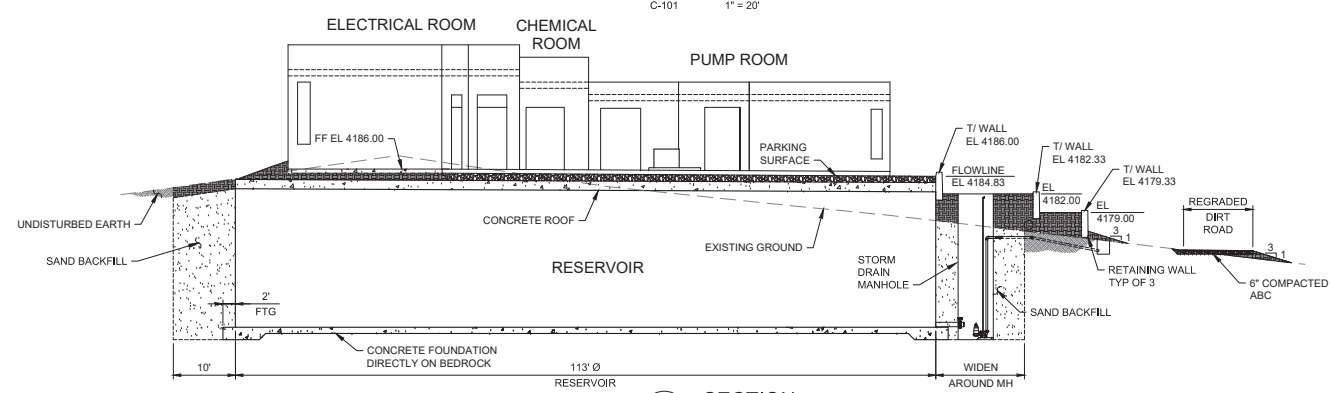


NOT FOR CONSTRUCTION

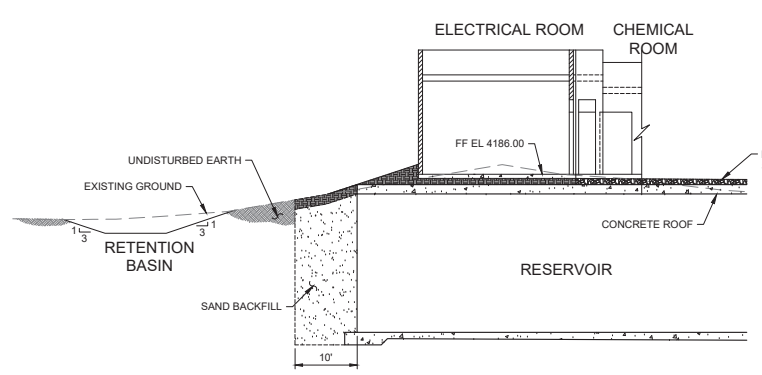
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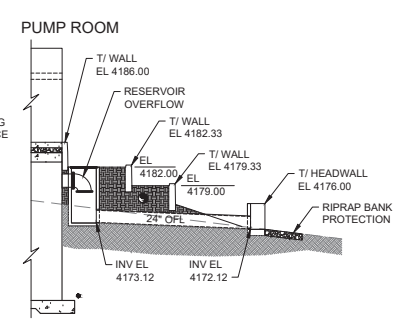
B SECTION
C-101 1" = 20'



C SECTION
C-101 1" = 20'



D SECTION
C-101 1" = 20'

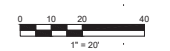


E SECTION
C-101 1" = 20'

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NO.	DATE	REVISION	BY	APVD

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 CHECKED BY: SAR
 APPROVED BY: JHM

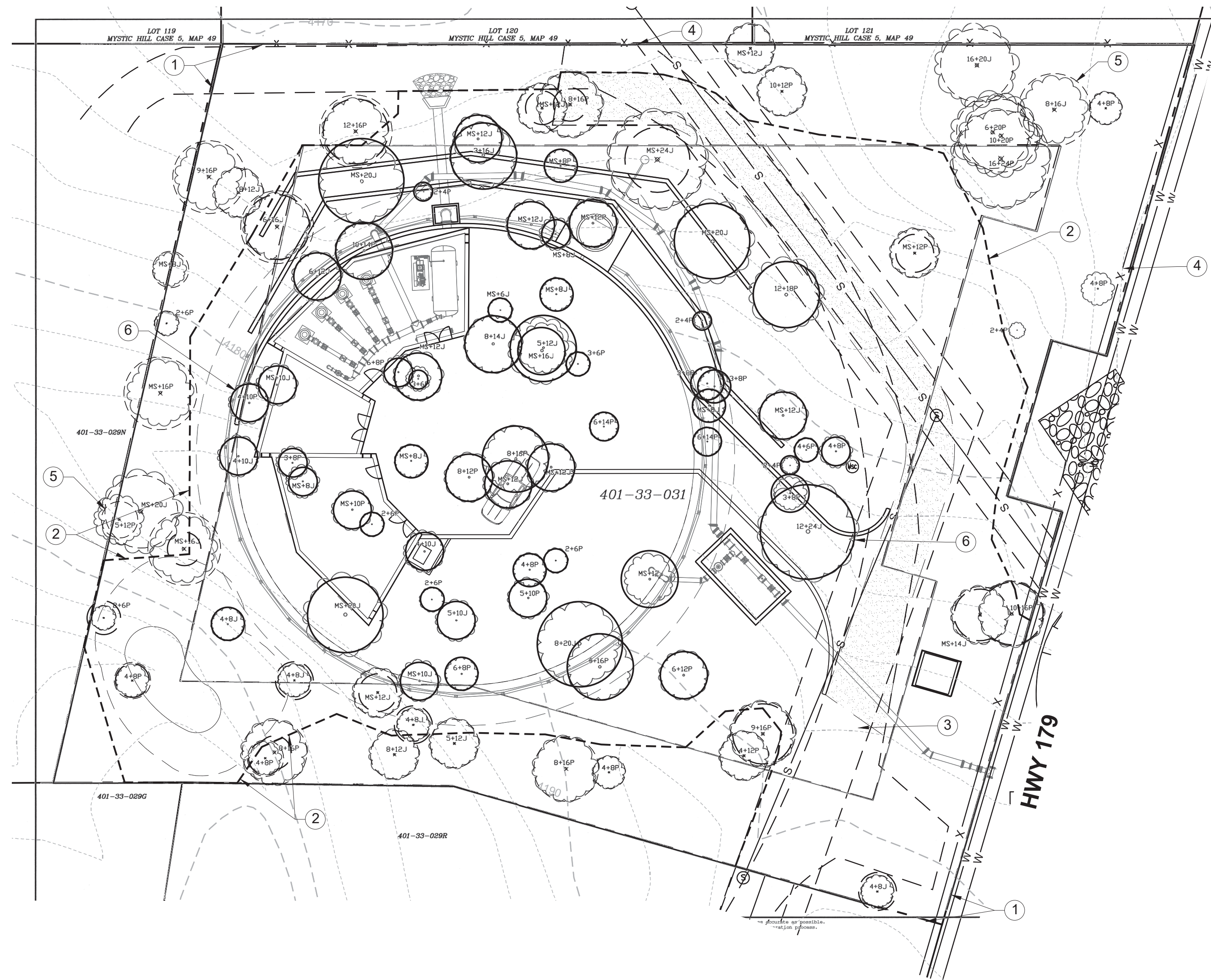
WATERWORKS ENGINEERS
 REGISTERED PROFESSIONAL ENGINEERS
 STATE OF ARIZONA

CIVIL

CONCEPTUAL DESIGN & COMMUNITY OUTREACH
 EAST SEDONA WATER STORAGE TANK

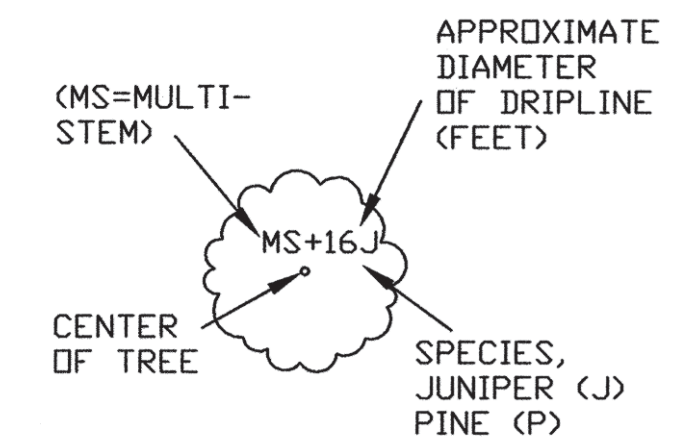
GRADING SECTIONS

DATE: APR 2018
 PROJECT NUMBER: 16-029
 DRAWING NUMBER: C-201
 SHEET: - OF -



TREE SURVEY
 LOCATED IN SECTION 19,
 T.17N., R.6E., G. & S.R.M.,
 COCONINO COUNTY, ARIZONA
 ASSESSOR PARCEL 401-33-031

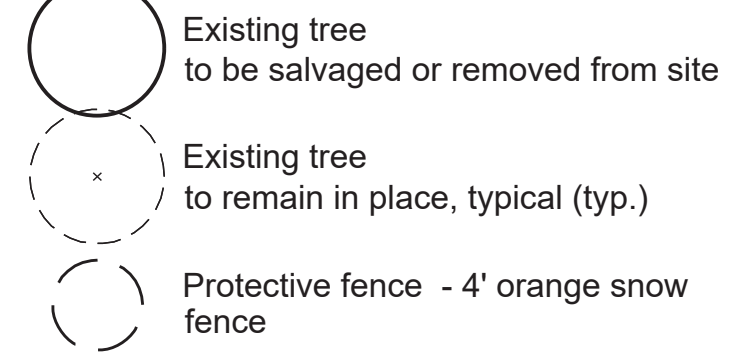
TREE LEGEND



NOTES

THE PURPOSE OF THIS PLAT IS TO SHOW TREES. NO CURRENT BOUNDARY SURVEY WAS PERFORMED. NO TOPOGRAPHY SURVEY WAS PERFORMED.
 ALL LINework AS SHOWN, OTHER THAN TREES AND TREE DATA, WAS RECEIVED FROM WATERWORKS ENGINEERS VIA HOLLY STREET STUDIO ARCHITECTS, ON MARCH 08, 2017.
 S.E.C., INC. AND MARK J. FARR, R.L.S., MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE RECEIVED LINework.

LANDSCAPE SALVAGE LEGEND



SALVAGE GENERAL NOTES

1. Refer to tree survey plan from Jacobs Section 19 T, 17N., R6E.
2. Refer to architectural site plans for additional demolition information.
3. Protective fencing - 4' orange snow fence with t-post placed 6' on center. Place fence at drip-line of all trees to be preserved in place and defined limits of disturbance prior to any site clearing or grubbing.
4. General contractor shall coordinate with Native Resources International to review plant material within grading limit for plant salvagability. Resources International: office: 623. 869.6757
5. Per the plant inventory plan provided by Jacobs Surveying: 29 Juniperus species and 30 Pinus species are located within proposed grading disturbance limits.
6. General contractor shall coordinate salvage operations with Native Resources to secure all viable and salvageable material within grading limit for landscape restoration.
7. Landscape plans indicate species quantities in total. If vegetation cannot be salvaged, contractor shall purchase new trees per species indicated on plans from nursery for installation at minimum of 8' in height and 2" caliper.
8. General contractor to coordinate salvage process and landscape contractor scope of work upon successful salvage operations and landscape restoration implementation per approved landscape plan.

EXISTING VEGETATION KEY NOTES

1. Property line
2. Limit of disturbance
3. Existing driveway
4. Existing fence
5. Existing tree to remain (typical)
6. Existing tree to be removed (typical)

SHEET INDEX

- L1 Existing vegetation plan
- L2 Landscape plan

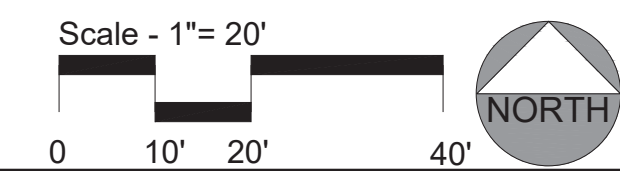
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Chris Winters & Associates + ARC studios

502 west Roosevelt street : phx arizona 85003
 tel 602 955 8088: fax 602 253 3606
 email cw@cwadesign.com

landscape architecture urban design



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-	-	-	-	-

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FILENAME:

PLOT DATE: 2018.04.08

PLOT TIME:

VERIFY SCALE
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DESIGN	ERB	DRAWN	ERB	CHECKED	ERB	APPROVED	JHM
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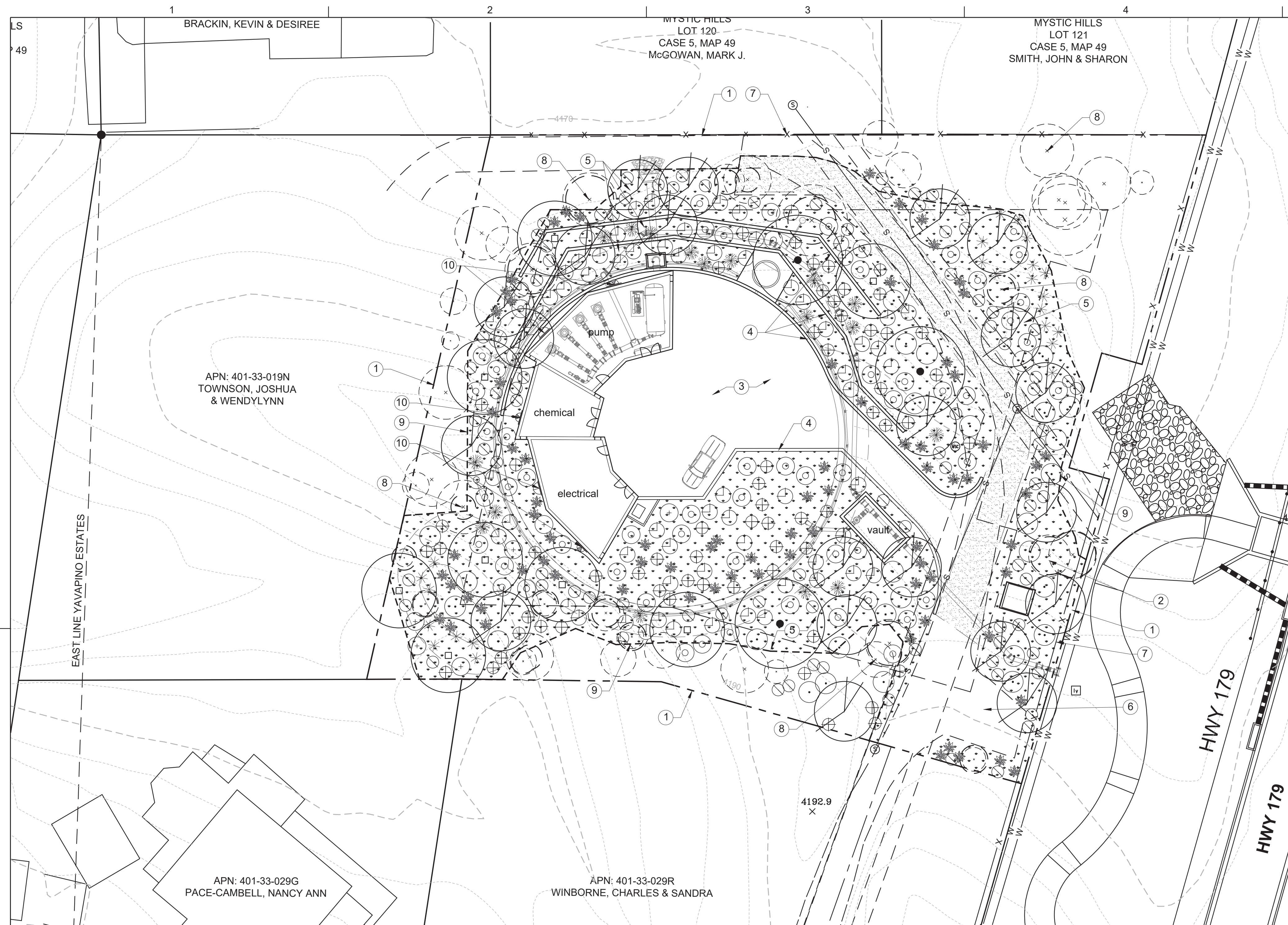
WATERWORKS ENGINEERS
 1758 N. Dobson Rd., Suite 2004, Scottsdale, AZ 85260-1742

HOLLY STREET STUDIO ARCHITECTS
 832 N. Central Avenue
 Phoenix, AZ 85004-2003
 602.258.8555 tel
 602.307.5677 fax
 HollyStreetStudio.com

CONCEPTUAL DESIGN & COMMUNITY OUTREACH
 EAST SEDONA
 WATER STORAGE TANK

EXISTING VEGETATION PLAN

DATE	APRIL 2018
PROJECT NUMBER	PZ17-00001
DRAWING NUMBER	L-101
SHEET	1 OF 2
SCALE:	1" = 20'-0"



RESTORATION AND REVEGETATION NOTES:

The intent of site restoration and revegetation is to return the physical condition of the landscape on developed sites to a state that visually and ecologically matches the local undisturbed desert landscape and ecosystem. Sites generally fall under 2 general categories- undisturbed desert landscapes which should be restored to their original condition or re-development sites which should be restored to a natural desert landscape and ecosystem. The following steps are recommended:

1. The building or development envelope should be clearly marked on site prior to performing native plant inventory and analysis or physical salvage of existing landscape material.
2. The owner or general contractor should identify a nursery and storage location for all salvaged landscape material either on or off site. The holding

area should be level and free of debris etc. If the selected area occurs within the building envelope on site follow steps 1 through 3 below to prepare. Adequate space should be provided for the separate storage of boulders, rocks, soil, decomposed granite, organic landscape materials, and salvaged plant material. An automatic irrigation system should be provided for all plant material. Fencing and security should conform to code requirements and guidelines identified in the general conditions of the construction contract.

3. Prior to commencement of site demolition and grading existing landscape material should be inventoried, salvaged and stored in a secure location. Boulders and stones larger than 3" which occur on the surface of the landscape should be gathered and stored right side up. Separate boulders and rocks which were partially buried from those which occur on the surface. Organic elements such as cacti skeletons, clusters of twigs and branches, seed pods et. should be preserved as well.
4. Following the inventory and storage of above mentioned material all plants identified for salvage or demolition should be removed. Prior to excavation or

demolition carefully scrape the top 2" to 3" of top soil and decomposed granite from around the base of all plant material to a distance equal or greater to 2 times the required box size for salvage plant material and a 4' radius for plants to be demolished. Remove and store topsoil and decomposed granite in a separate pile from boulders and rocks. Following salvage and demolition of all plant material in building envelope remove the remaining top 2" to 3" of top soil and decomposed granite throughout the landscape area within the building envelope and store as noted above. Following the completion of site and building construction the landscape contractor should schedule a meeting with the general contractor to walk the site and identify the limits of the landscape areas to be restored. All disturbed landscape areas on site identified for restoration should be cleared of construction debris and excess fill and brought to rough grade prior to restoration.

Large boulders and rocks should be re-placed in the landscape with landscape architect per plans and field instruction. Boulders and rocks which were originally buried should be re-buried to their original depth so that the entire surface patina is visible following final application of topsoil and decomposed granite. Do not place rocks and boulders which occurred on the surface until all plant material is installed and top soil and decomposed granite is placed.

After all buried rocks and boulders are placed- but prior to placement of topsoil, decomposed granite, surface rocks and seed mix- install all irrigation system components and plant material called out on plans. All revegetation plant material should be placed on site by contractor per plan. Following placement but prior to installation verify locations and layout with L.A. in field. Schedule site visit with LA not less than 7 days in advance of placement date. New plant material in disturbed areas should match existing natural landscape in species and density unless otherwise called out on plans.

Following installation of plant material and irrigation system replace topsoil and decomposed granite to a depth of 2"-3" over the entire area. Do not cover boulders or rocks. Level and lightly compact all soil. Place all surface rocks and boulders and remaining organic or inorganic landscape materials salvaged from site per landscape architects instruction in a manner which replicates the existing surrounding natural landscape.

PLANTING NOTES:

1. All trees shall be a minimum of 8' tall and 2" caliper at time of installation.
2. All shrubs and accents shall be minimum of 2' tall at time of installation excluding container.
3. During bidding of the project, contractor shall up-size any plant material container size for species not meeting or exceeded minimum 2' height planting installation required and clearly indicate in bid.
4. Any material needing to be up-sized after award of bid shall be at no additional cost to the owner.

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs. Hydro-seed - mix 1

- 24 lbs pure live seed - refer to specs.
- hydro seed mix - 1

Botanical Name	Common Name	lbs/ac
Baileya multiradiata	desert marigold	3.0
Bouteloua curtipendula	sideoats grama	2.0
Bouteloua gracilis	blue grama	2.0
Gutierrezia sarothrae	snakeweed	2.0
Melampodium leucanthum	blackfoot daisy	3.0
Muhlenbergia rigens	deergrass	2.0
Penstemon barbatus	beardlip penstemon	2.0
Penstemon eatonii	eaton's penstemon	2.0
Penstemon linarioides	toadflax penstemon	2.0
Penstemon palmerii	palmer's penstemon	2.0
Penstemon pseudospectabilis	desert penstemon	2.0

LANDSCAPE KEY NOTES

1. Property line
2. Street frontage landscape border
3. Pavement - refer to civil
4. Screen wall - refer to architect
5. Desert seed hydro-seed mix - re-vegetate all disturbed areas
6. Existing driveway
7. Existing fence
8. Existing tree to remain
9. Limit of disturbance
10. Decorative screen - refer to architect

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 502 West Roosevelt Street • Phoenix, Arizona 85003
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 email cw@cwadesign.com

landscape architecture urban design

Scale - 1" = 20'

0 10' 20' 40'

NOT FOR CONSTRUCTION

PLOT DATE: 2018.04.08

PLOT TIME:

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ERB	ERB	CW	JHM

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HOLLY STREET STUDIO ARCHITECTS

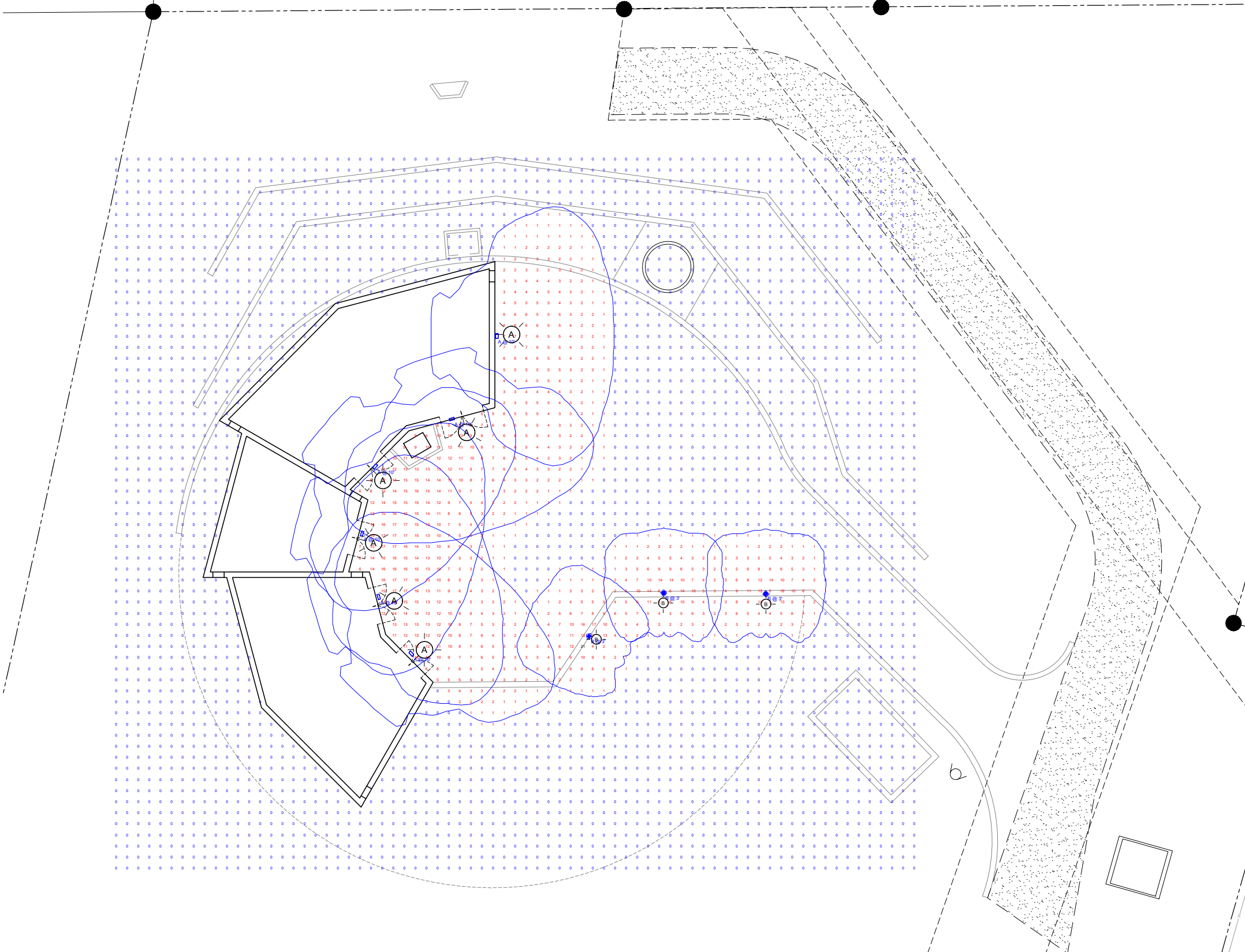
832 N. Central Avenue
 Phoenix, AZ 85004-2003
 602 258 8555 tel
 602 307 5677 fax
 HollyStreetStudio.com

CONCEPTUAL DESIGN & COMMUNITY OUTREACH
 EAST SEDONA
 WATER STORAGE TANK

LANDSCAPE PLAN

DATE
APRIL 2018
PROJECT NUMBER
P217-00001
DRAWING NUMBER
L-102
SHEET
2 OF 2

SCALE: 1" = 20'-0"



Specifications Luminaire

Height: 7-1/4" (18.4 cm)
 Width: 18" (45.7 cm)
 Depth: 9" (22.8 cm)
 Weight: 18 lbs (8.2 kg)

Optional Back Box (BBW)

Height: 4" (10.2 cm)
 Width: 5-1/2" (14.0 cm)
 Depth: 1-1/2" (3.8 cm)

A MRW LED



Specifications

Diameter: 8" Round (20.3 cm)
 Height: 42" (106.7 cm)
 Weight (max): 27 lbs (12.25 kg)

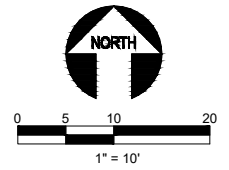
B DSXB LED

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A	6	Lithonia Lighting	MRW LED	MRW LED, 3000K, TYPE 3, 120-277V	3000 MIN	0.91	47
	B	3	Lithonia Lighting	DSXB LED 12C 530 30K ASY	D-SERIES BOLLARD WITH 12 3000K LEDS OPERATED AT 530mA AND ASYMMETRIC DISTRIBUTION	1719	0.91	22

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE FC AFG	+	1 fc	21 fc	0 fc	N/A	N/A

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NO.	DATE	REVISION	BY	APVD

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DESIGN: JHM
 DRAWN: SAR
 CHECKED: JHM
 APPROVED: JHM

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

SITE LIGHTING
 SITE LIGHTING PLAN

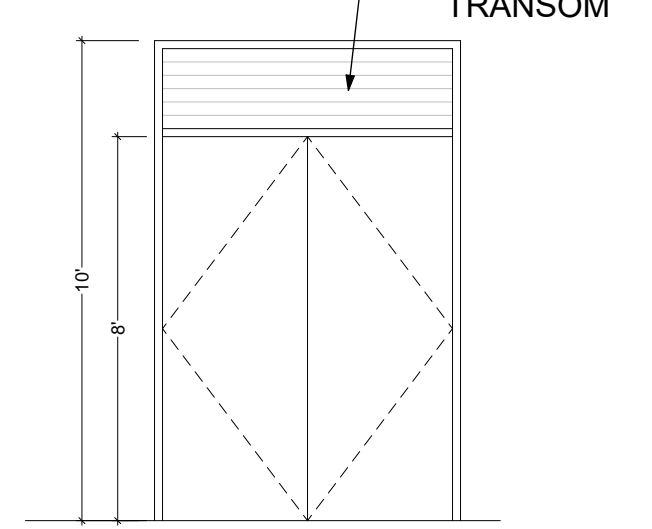
Descriptive Notes

1. Line of tank below.
2. Planter integrated into retaining wall.
3. Retaining wall.
4. Flow meter vault.
5. Transformer.
6. Concrete, Broom Finish, Sedona Red.
7. Regraded access road.
8. Area to be regraded.
9. Pump system.
10. Electrical.
11. Accent screen wall.
12. Tank access hatch.
13. Ground mounted A/C unit.

DOOR SCHEDULE

ID	DOOR			
	TYPE	W	HT	THK
101	A	6'-4 1/2"	10'	0'-1 3/4"
102	A	6'-4 1/2"	10'	0'-1 3/4"
103	A	6'-4 1/2"	10'	0'-1 3/4"
104	A	6'-4 1/2"	10'	0'-1 3/4"
105	A	6'-4 1/2"	10'	0'-1 3/4"

DOOR TYPE A



WINDOW SCHEDULE

ID	SIZE		TYPE
	WIDTH	HEIGHT	
W1	2'	8'	---
W2	2'	8'	---
W3	2'	12'	---

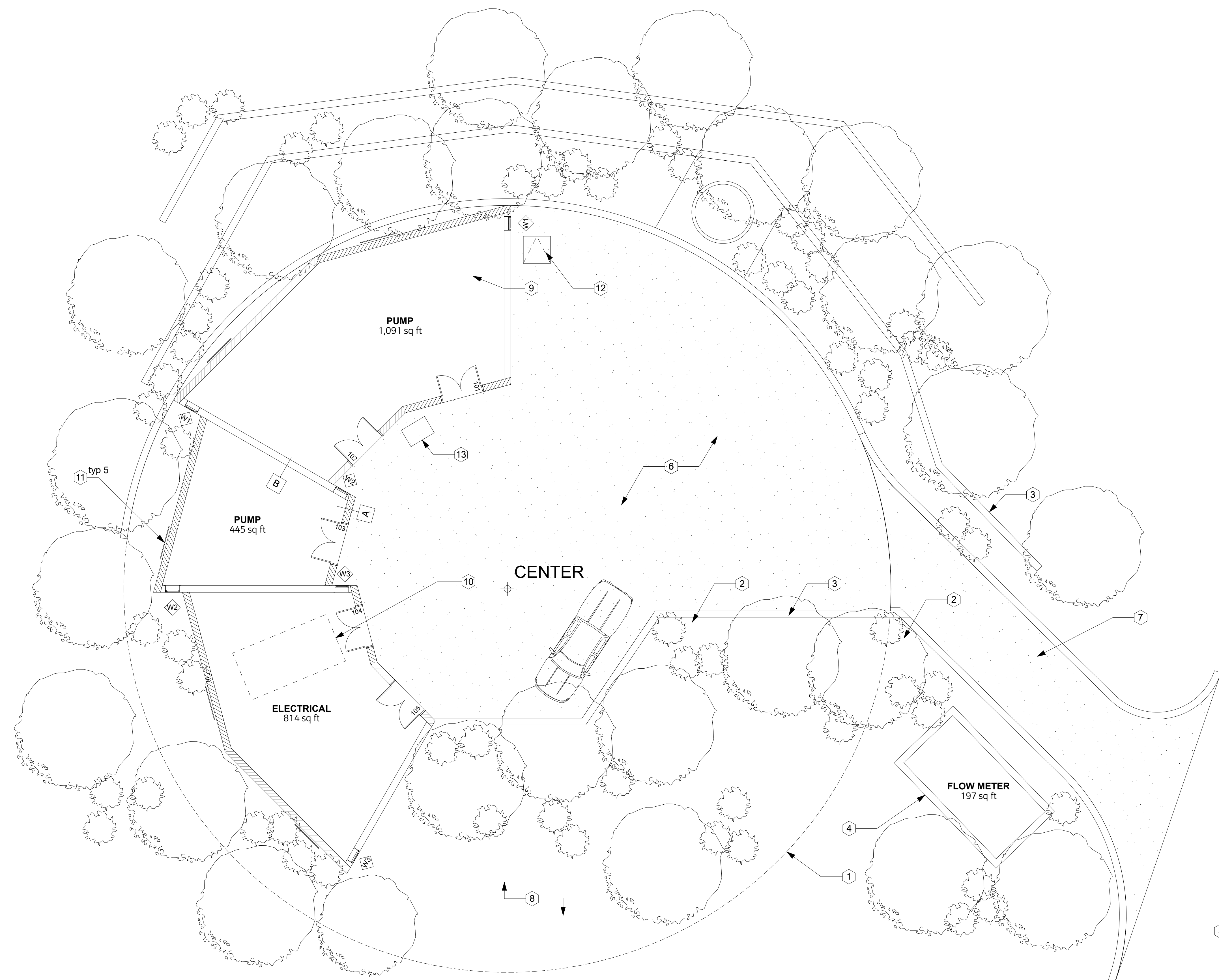
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revision: **A**
21 Feb 2018

revision: **B**
28 Mar 2018

NOT FOR CONSTRUCTION



1 FLOOR PLAN

NO.	DATE	REVISION	BY	APVD

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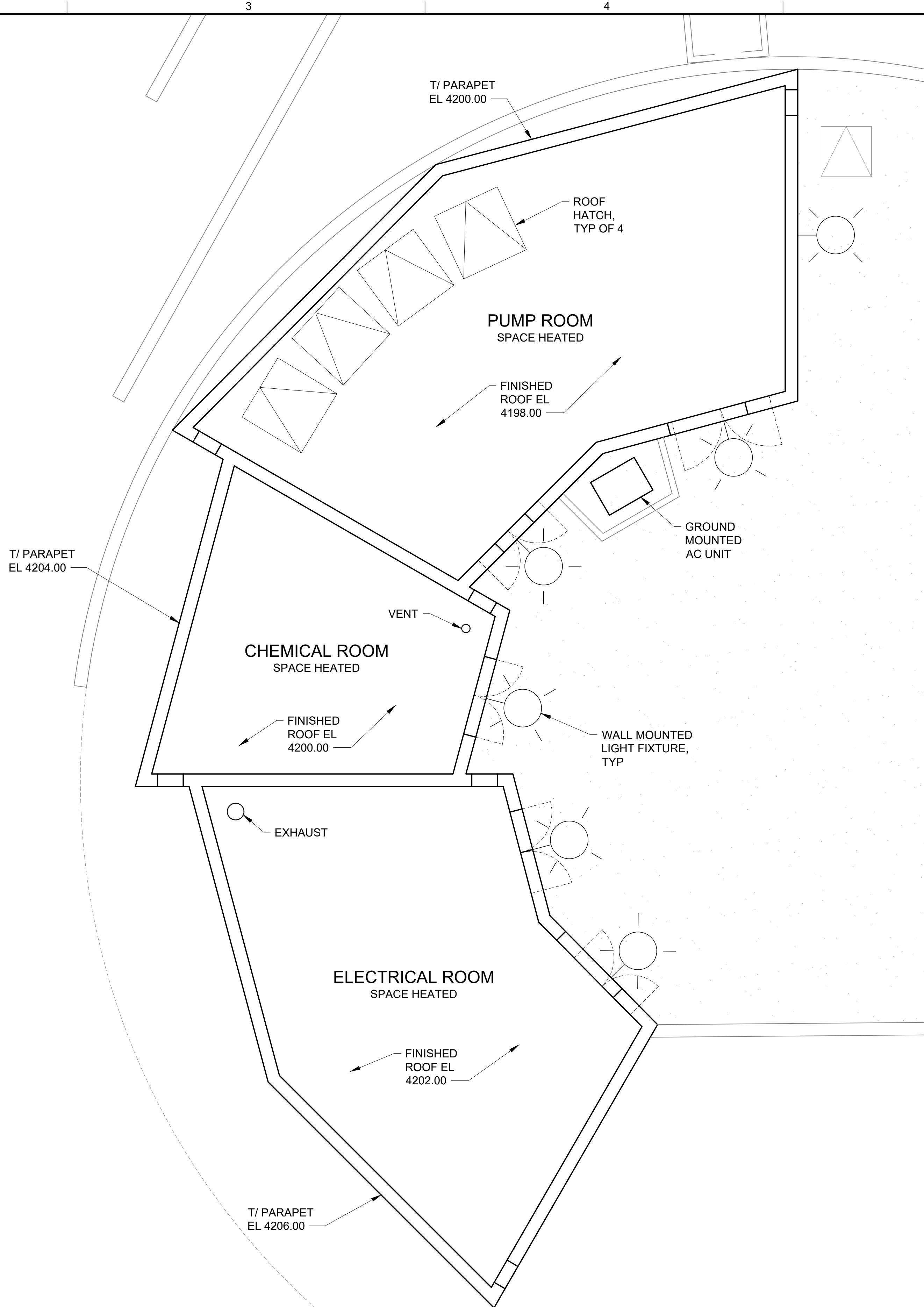
WATERWORKS ENGINEERS
1808 N. Dobson Rd., Suite 200 • Scottsdale, AZ • 480-661-1702

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Phoenix, AZ 85004-2003
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602 307 5677 fax
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CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

Architectural
FLOOR PLAN

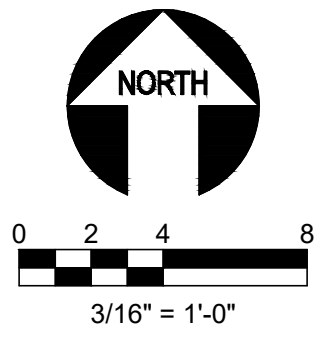
DATE	APRIL 2018
PROJECT NUMBER	16-029
DRAWING NUMBER	A-101
SHEET	OF



NO.	DATE	REVISION	BY	APVD

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FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-A102.DWG



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PLOT DATE: 4/10/2018 PLOT TIME: 10:02 AM

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DESIGN	JHM
DRAWN	SAR
CHECKED	JHM
APPROVED	JHM

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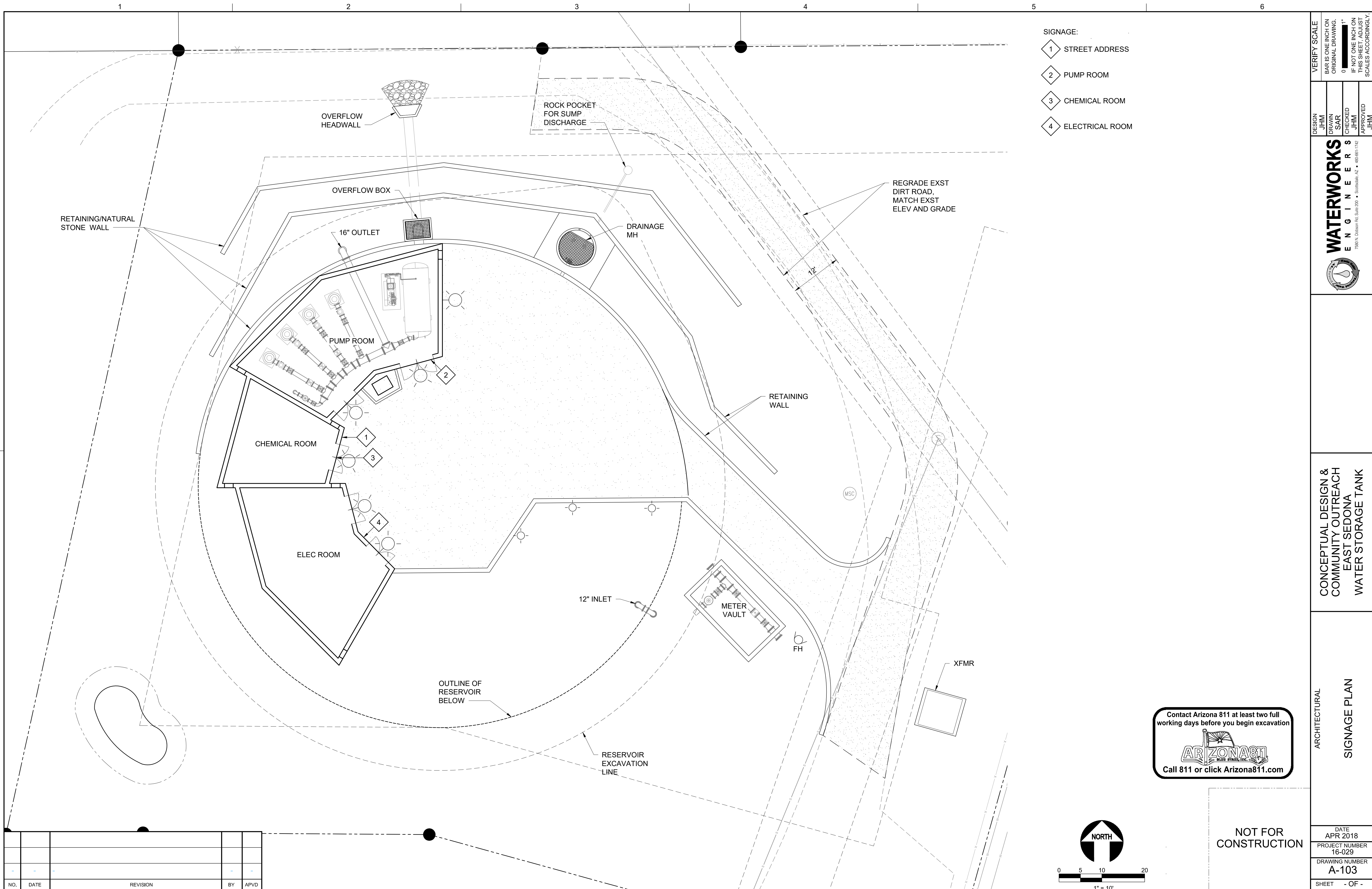
1980 N. Dobson Pk., Suite 200 • Scottsdale, AZ • 480-561-1172

CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

ARCHITECTURAL
ROOF PLAN

DATE
APR 2018
PROJECT NUMBER
16-029
DRAWING NUMBER
A-102
SHEET - OF -

SCALE: 1" = .0833'



- SIGNAGE:
- 1 STREET ADDRESS
 - 2 PUMP ROOM
 - 3 CHEMICAL ROOM
 - 4 ELECTRICAL ROOM

VERIFY SCALE
 BAR IS ONE INCH ON ORIGINAL DRAWING.
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DESIGN	JHM
DRAWN	SAR
CHECKED	JHM
APPROVED	JHM

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH
 EAST SEDONA
 WATER STORAGE TANK

ARCHITECTURAL
 SIGNAGE PLAN

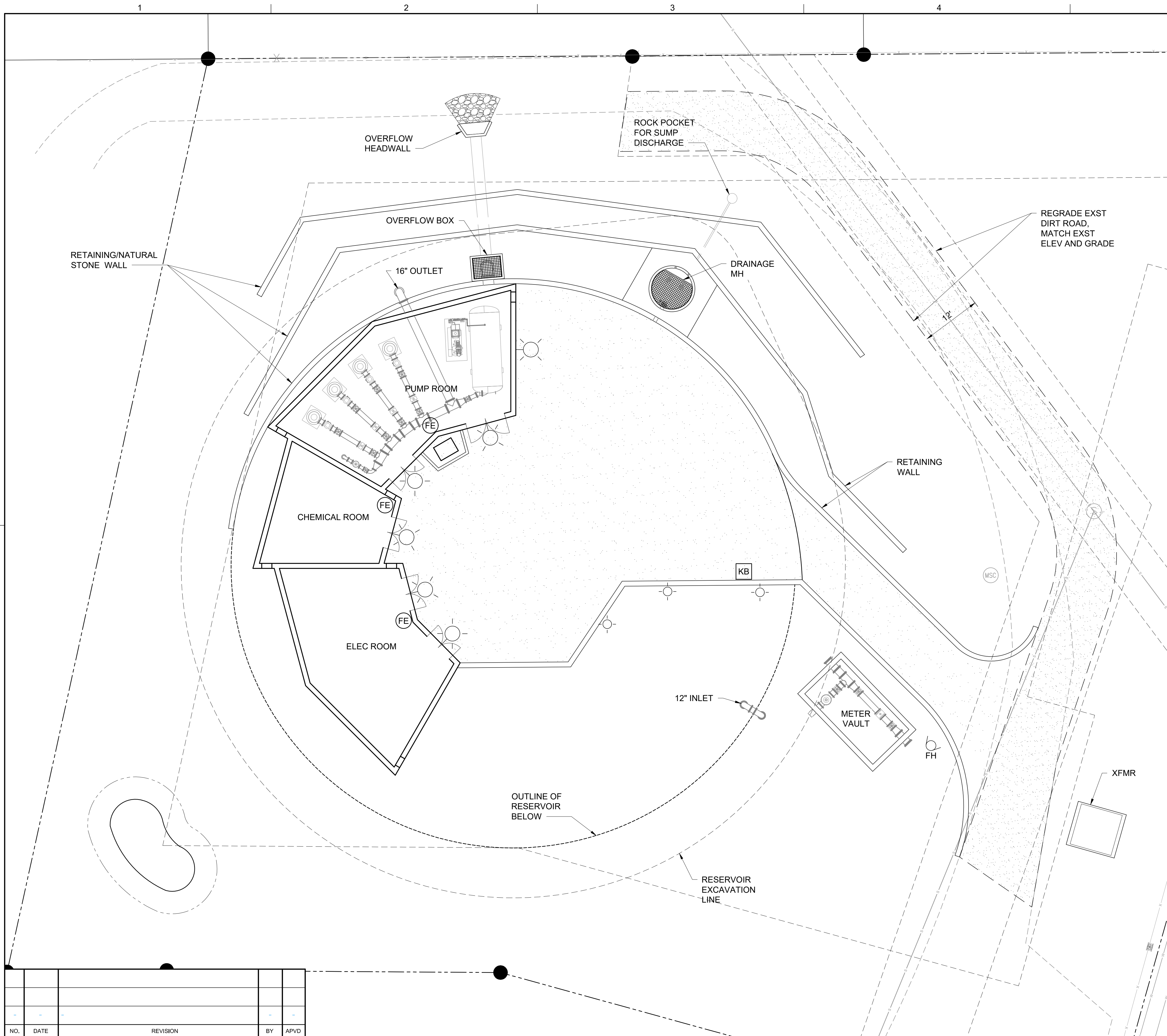
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0 5 10 20
 1" = 10'

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD

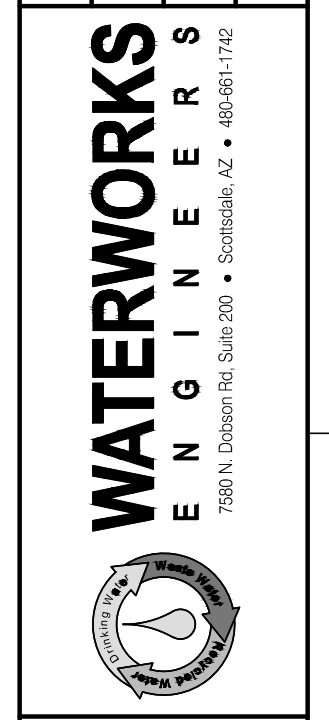


- NOTES:
1. FIRE EXTINGUISHER SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION'S PAMPHLET #10, "STANDARD FOR PORTABLE FIRE EXTINGUISHERS," THE 2002 EDITION.
 2. EXTINGUISHERS SHALL BE CLASSIFIED AT LEAST 2A10BC OR GREATER, CONTAINING AT LEAST 5 POUNDS OF DRY CHEMICAL AGENT. UNITS SHALL BE SERVICED AND TAGGED BY A REPUTABLE FIRE EXTINGUISHER COMPANY PRIOR TO THE UNIT BEING DISPLAYED FOR USE.
 3. FIRE SPRINKLER SYSTEM SHALL BE IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S PAMPHLET #13R, "STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS IN RESIDENTIAL OCCUPANCIES UP TO AND INCLUDING FOUR STORIES IN HEIGHT," THE 20002 EDITION. PLANS, SPECIFICATIONS AND HYDRAULIC CALCULATIONS SHALL BE SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO INSTALLATION.
 4. KNOX BOX BY KNOX BOX COMPANY, (www.knoxbox.com/store/knoxbox-32000-series.cfm.) THE MINIMUM UNIT IS A KNOX BOX 3200 SERIES.

FIRE CONTROL		
1	PUMP ROOM	FIRE SPRINKLER
2	CHEMICAL ROOM	FIRE SPRINKLER
3	ELECTRICAL ROOM	DRY CHEMICAL AGENT
FE		FIRE EXTINGUISHER
FH		FIRE HYDRANT
KB		KNOX BOX

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 DRAWN: SAR
 CHECKED: JHM
 APPROVED: JHM

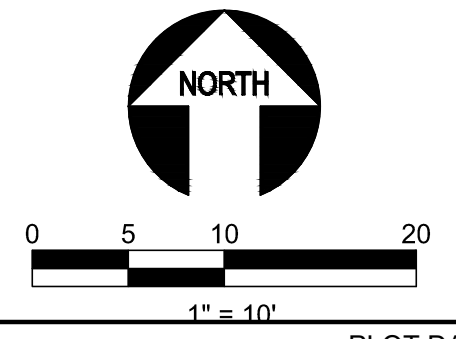


CONCEPTUAL DESIGN & COMMUNITY OUTREACH
 EAST SEDONA
 WATER STORAGE TANK

ARCHITECTURAL
 FIRE CONTROL PLAN

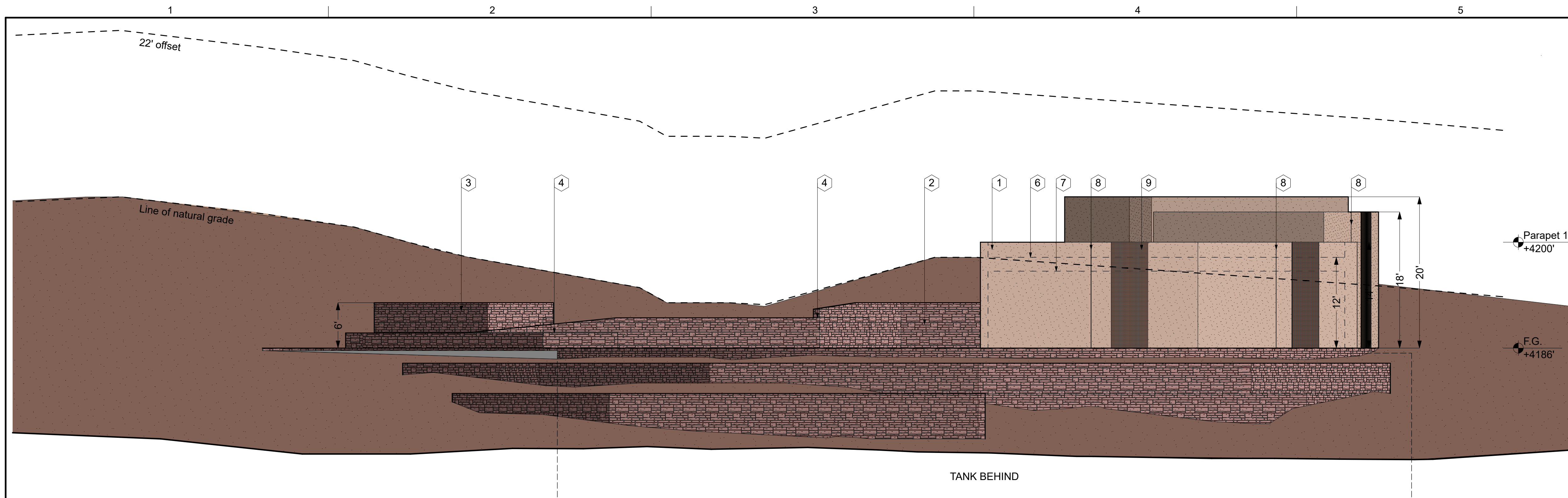
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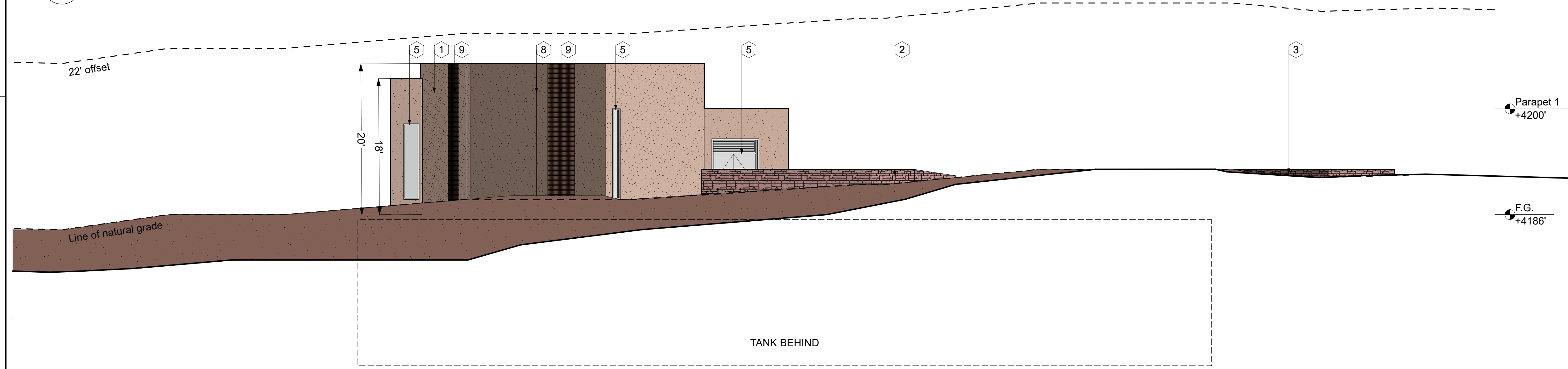


NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

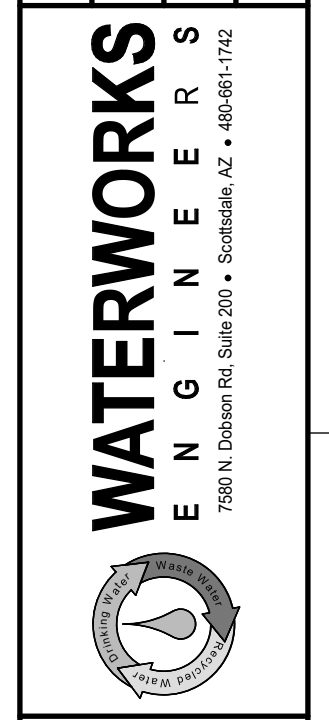


2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

- Descriptive Notes**
1. Stucco finish over CMU wall.
 2. Salvaged site rock retaining wall.
 3. Screen wall.
 4. Integrated planter.
 5. Scheduled window/door, refer to floor plan.
 6. Line of roof beyond.
 7. Bottom of structure beyond.
 8. Reveal.
 9. Accent Screen Wall.

VERIFY SCALE
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IF NOT ONE INCH ON
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SCALES ACCORDINGLY.

DESIGN	NSL	DRAWN	NSL	CHECKED	MEJ	APPROVED	JHM
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602 307 5677 fax
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CONCEPTUAL DESIGN &
COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

Architectural
ELEVATIONS 1

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revision:	A	21 Feb 2018
revision:	B	28 Mar 2018

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

DATE	APRIL 2018
PROJECT NUMBER	16-029
DRAWING NUMBER	A-401
SHEET	OF

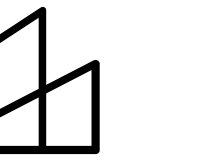
Descriptive Notes

1. Stucco finish over CMU wall.
2. Salvaged site rock retaining wall.
3. Screen wall.
4. Integrated planter.
5. Scheduled window/door, refer to floor plan.
6. Line of roof beyond.
7. Bottom of structure beyond.
8. Reveal.
9. Accent Screen Wall.

VERIFY SCALE
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 ORIGINAL DRAWING.
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 SCALES ACCORDINGLY.

DESIGN	NSL	DRAWN	NSL	CHECKED	MEJ	APPROVED	JHM
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CONCEPTUAL DESIGN &
 COMMUNITY OUTREACH
 EAST SEDONA
 WATER STORAGE TANK

Architectural
 ELEVATIONS 2

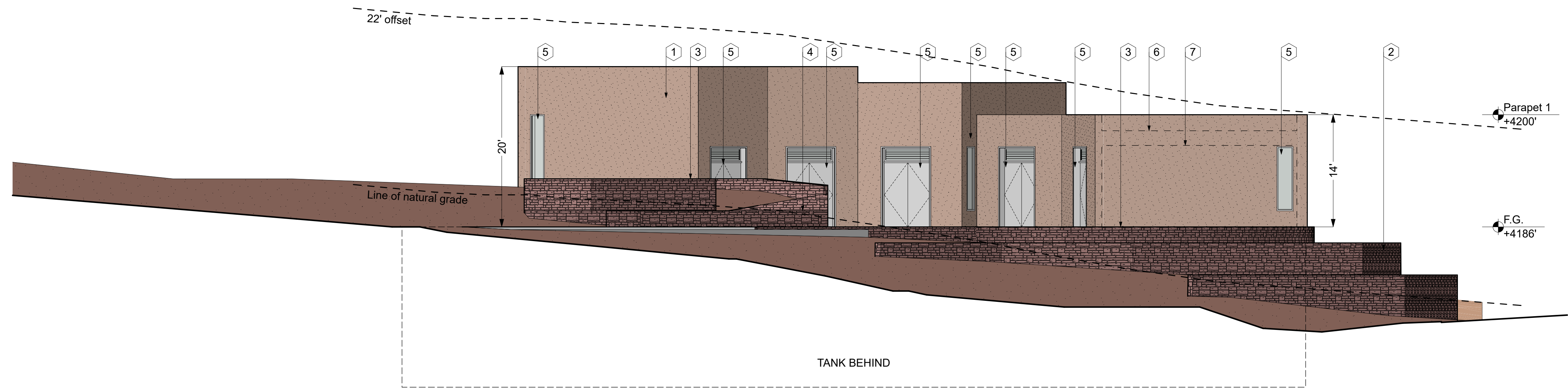
DATE	APRIL 2018
PROJECT NUMBER	16-029
DRAWING NUMBER	A-402
SHEET	OF

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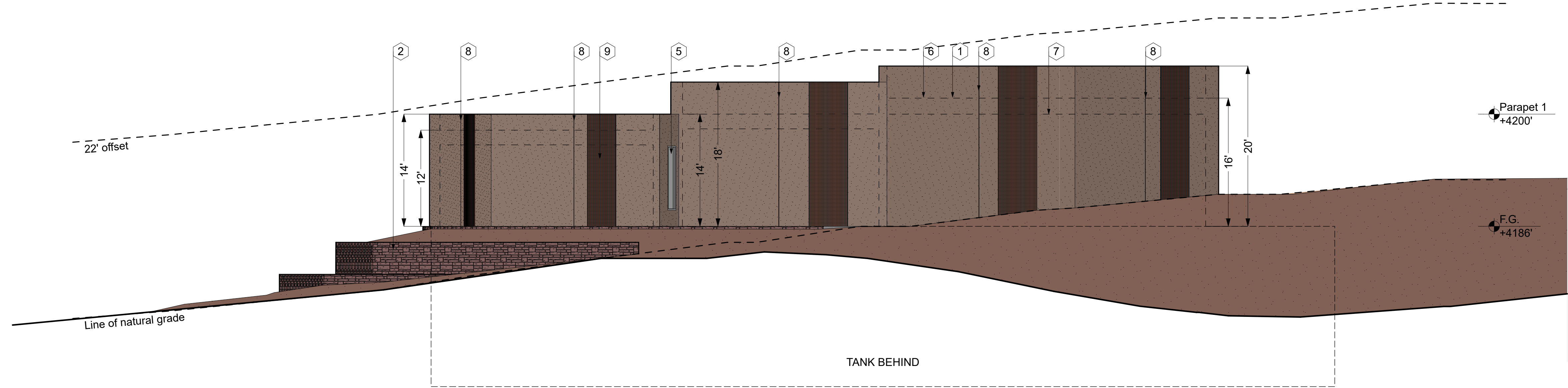
Call 811 or click Arizona811.com

revision:	A	21 Feb 2018
revision:	B	28 Mar 2018

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 CONSTRUCTION**



1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION	BY	APVD



1 View from Corner of Mallard Dr and HWY 179



2 View from Sidewalk along 179

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

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FILENAME: /Volumes/1 work/3 projects/91 ww american water sedona/91 dwgs/91 3d/91 fp.pln

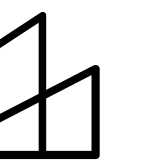
PLOT DATE: 4/9/2018 PLOT TIME: 5:48 PM

SCALE:

VERIFY SCALE
 BAR IS ONE INCH ON
 ORIGINAL DRAWING.
 0 1"
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CONCEPTUAL DESIGN &
 COMMUNITY OUTREACH
 EAST SEDONA
 WATER STORAGE TANK

Architectural
RENDERED PERSPECTIVES

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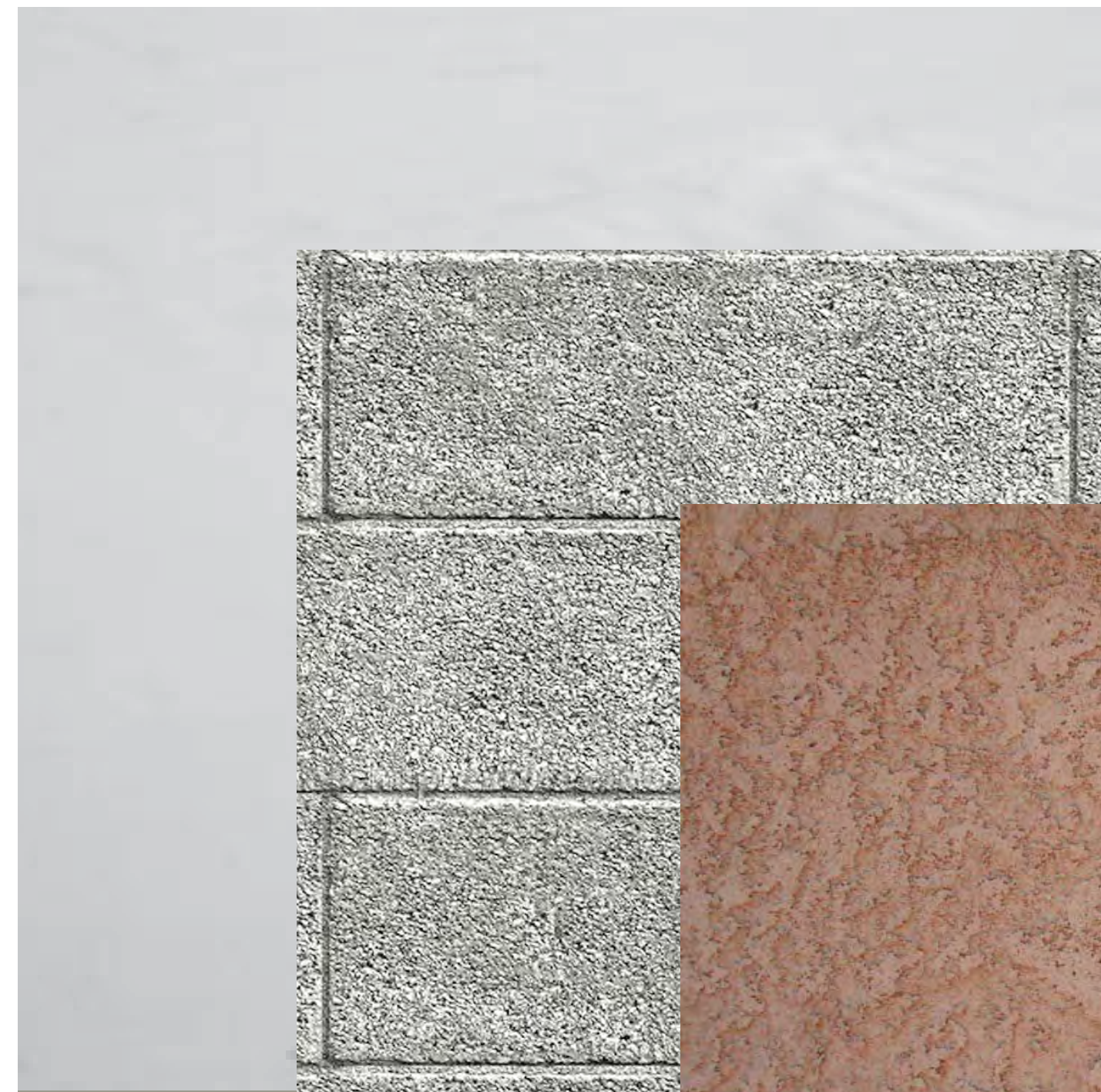
Call 811 or click Arizona811.com

revision: **A**
 21 Feb 2018

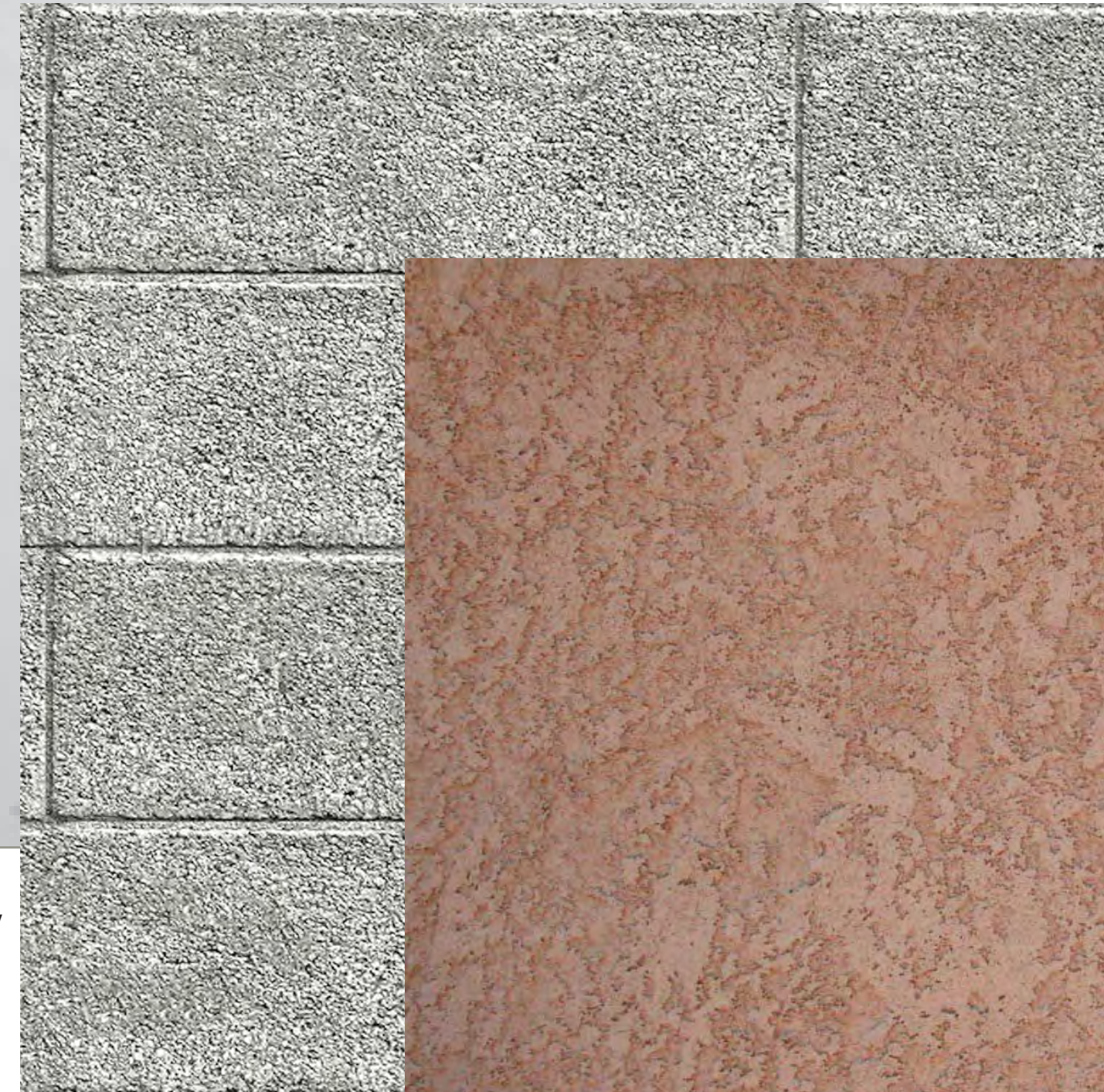
revision: **B**
 28 Mar 2018

**NOT FOR
 CONSTRUCTION**

DATE	APRIL 2018
PROJECT NUMBER	16-029
DRAWING NUMBER	A-403
SHEET	OF



epdm roofing, white



running bond cmu



stucco - munsell color code: 10R 6/4



site salvaged rock



int. concrete, polished



ext. concrete, broom finish



view from 179, looking southwest



Appendix B FEMA Flood Insurance Rate Map (FIRM)

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The **community map repository** should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Universal Transverse Mercator (UTM) Zone 12N. The **horizontal datum** was NAD 83, GRS80. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, N/NGS12
National Geodetic Survey
SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

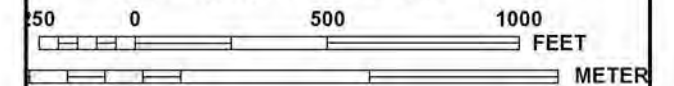
To obtain current elevation, description, and/or location information for bench

111°46'52.5"
34°50'37.5"

1395000 FT



MAP SCALE 1" = 500'



NFIP

PANEL 7659G

FIRM
FLOOD INSURANCE RATE MAP
COCONINO COUNTY,
ARIZONA
AND INCORPORATED AREAS

PANEL 7659 OF 8475
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
COCONINO COUNTY	040019	7659	G
SEDONA, CITY OF	040130	7659	G

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.

MAP NUMBER
04005C7659G

EFFECTIVE DATE
SEPTEMBER 3, 2010

Federal Emergency Management Agency

NATIONAL FLOOD INSURANCE PROGRAM

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov