AGENDA

City of Sedona
Planning and Zoning Commission Meeting

5:30 PM | **Tuesday, August 21, 2018**

NOTICE:
Pursuant to A.R.S. 38-431.02 notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a public hearing open to the public on Tuesday, August 21, 2018, at 5:30 pm in the City Hall Council Chambers.

NOTES:
- Meeting room is wheelchair accessible. American Disabilities Act (ADA) accommodations are available upon request. Please phone 928-282-3113 at least 24 hours in advance.
- Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: **www.SedonaAZ.gov/planning**

GUIDELINES FOR PUBLIC COMMENT

PURPOSE:
- To allow the public to provide input to the Planning and Zoning Commission on a particular subject scheduled on the agenda.
- Please note that this is not a question/answer session.

PROCEDURES:
- Fill out a "Comment Card" and deliver it to the Recording Secretary.
- When recognized, use the podium/microphone.
- State your Name and City of Residence
- Limit comments to 3 MINUTES.
- Submit written comments to the Recording Secretary.

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE, & ROLL CALL
2. ANNOUNCEMENTS & SUMMARY OF CURRENT EVENTS BY COMMISSIONERS & STAFF
3. APPROVAL OF THE FOLLOWING MINUTES:
   a. July 17, 2018 (R)
   b. August 7, 2018 (SV)
4. PUBLIC FORUM: *(This is the time for the public to comment on matters not listed on the agenda. The Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to A.R.S. § 38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to any criticism, or scheduling the matter for further consideration and decision at a later date.)*
5. CONSIDERATION OF THE FOLLOWING ITEM THROUGH PUBLIC HEARING PROCEDURES:
   a. Discussion/possible action regarding a request for Preliminary Plat approval to allow for a 3 unit subdivision at 460 Peach Lane. The property is zoned Multifamily Residential (RM-3) and is located on the corner of Sunset Lane and Peach Lane. APN: 401-14-100 Applicant: Verde Valley Habitat for Humanity Case Number: PZ18-00001 (SUB, DEV)
   b. Discussion/possible action regarding a request to approve a Conditional Use Permit and Development Review application to allow for a new public utility and public service substation, water tank, and pumping plant for Arizona Water Company at 55 Bell Rock Trail (vacant lot). The property is zoned Single-Family Residential (RS-18b) and is located west of and adjacent to State Route 179 south of W. Mallard Drive. APN: 401-33-031 Applicant: Arizona Water Company Case Number: PZ17-00001 (CUP, DEV)
6. FUTURE MEETING DATES AND AGENDA ITEMS
   a. Tuesday, September 4, 2018; 3:30 pm (Work Session)
   b. Tuesday, September 4, 2018; 5:30 pm (Public Hearing)
   c. Tuesday, September 18, 2018; 3:30 pm (Work Session)
   d. Tuesday, September 18, 2018; 5:30 pm (Public Hearing)
7. EXECUTIVE SESSION

   If an Executive Session is necessary, it will be held in the Vultee Conference Room at 106 Roadrunner Drive. Upon a public majority vote of the members constituting a quorum, the Planning and Zoning Commission may hold an Executive Session that is not open to the public for the following purposes:

   a. To consult with legal counsel for advice on matters listed on this agenda per A.R.S. § 38-431.03(A)(3).
   b. Return to open session. Discussion/possible action on executive session items.
8. ADJOURNMENT

Physical Posting: August 16, 2018 By: DJ

Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: www.SedonaAZ.gov/planning or in the Community Development Office, 102 Roadrunner Drive approximately one week in advance of the meeting.

Note that members of the City Council and other City Commissions and Committees may attend the Planning and Zoning Commission meeting. While this is not an official City Council meeting, because of the potential that four or more Council members may be present at one time, public notice is therefore given for this meeting and/or event.

Staff Report
PZ18-00001 (SUB)
Habitat for Humanity Triplex
Summary Sheet

City Of Sedona Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

Meeting Date: **August 21, 2018**

Hearing Body: **Planning and Zoning Commission**

Action Requested: Review of Preliminary Plat

Staff Recommendation: Recommendation of Approval, with conditions, of Preliminary Plat

Location: 460 Peach Lane

Parcel Number: 401-14-100

Owner/Applicant: Verde Valley Habitat for Humanity, Inc.

Authorized Agent: Dan Surber

Project Summary: Request for 3 unit townhouse subdivision

Site Size: ± 0.26 acres

Sedona Community Plan Designation: Single Family Low Density

Zoning: High Density Multifamily Residential (RM-3), maximum density: 20 units per acre

Current Land Use: Vacant

Surrounding Properties

	Subdivision	Community Plan Designation	Zoning	Current Land Use
NORTH	Mountain Villa	Multi-Family Medium/High Density	RM-3	Apartments
EAST	Mountain Villa	Single Family Medium Density	RS-10b	Single Family Residential/Vacant
SOUTH	Mountain Villa	Public/Semi-Public	P	Municipal Parking Lot
WEST	The Condos at Jordan Road	Multi-Family Medium/High Density	RM-3	Condominiums

Report Prepared By: Matt Kessler, Associate Planner

Attachments

City Of Sedona Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
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PLATTING PROCEDURES

Platting procedures for new subdivisions are laid out in Land Development Code (LDC) Article 7 (Subdivision regulations and Land Divisions), Section 704 (Platting procedures and requirements), and include the following:

- Stage I – Pre-Application Conference
- Stage II – Conceptual Review
- Stage III – Preliminary Plat
- Stage IV – Revised Preliminary Plat
- Stage V – Final Plat

Stage I (Pre-Application Conference) is done with staff and the applicant and was completed in May of 2018. As this property/project was previously reviewed and approved by the Planning and Zoning Commission for Development Review, and any potential visual and aesthetic impacts were addressed at that time, the Community Development Director waived the conceptual plat, Stage II, requirement, as is permitted for subdivisions that are 10 lots or less in size (LDC 704.03).

The applicant has now submitted for Preliminary Plat Review. This stage of the platting process includes detailed subdivision planning, submittal, review and approval of the preliminary plat. LDC 704.09.C outlines the submittal requirements for a preliminary plat and LDC 704.04 outlines the general process for review of the Preliminary Plat, including the following responsibilities of the Commission (LDC 704.04.G):

1. *The Commission shall make a written recommendation to the Council on the proposed preliminary plat. This recommendation may be for approval, conditional approval or denial of the preliminary plat as proposed, after considering the recommendations and findings of the Director and all other appropriate agencies and testimonies of the applicant, interested individuals and the public. The Commission's recommendation shall be based on the following findings:*
    a. *That the proposed subdivision conforms to the adopted goals, objectives and policies of the city;*
    b. *That the proposed subdivision, as reviewed and approved, will not be detrimental to the public health, safety and general welfare;*
    c. *That environmental concerns, including scenic impacts, conform with adopted standards;*
    d. *That the design of the proposed subdivision is sensitive to the physical characteristics of the site;*
    e. *That the proposed subdivision is consistent with the provisions and intents of zoning regulations applicable to the property;*
    f. *That the proposed subdivision conforms with the improvement and design standards set forth in these regulations and other applicable adopted ordinances.*
2. *If the plat is generally acceptable but requires minor revision before proceeding with preparation of the final plat, the Commission may find conditional approval and note the required revisions in the minutes of the hearing.*
3. *If the Commission finds that the plat requires major revision, consideration of the plat may be continued pending revision or resubmittal of the plat or any part thereof. Major revisions shall be subject to the same review requirements as the original submittal.*

4. *If the Commission is unable to make a determination because additional consideration is necessary, the Commission may continue consideration of the plat to its next regularly scheduled public hearing or other properly noticed public hearing as agreed to between the Commission and the applicant.*

After the Planning and Zoning Commission makes a recommendation to Council, Staff will schedule a public hearing with City Council, at which time the Council will approve, approve with conditions, or deny the Preliminary Plat. If the Council approves the Preliminary Plat, the applicant will submit a revised preliminary plat (if necessary) for Staff review, followed by the Final Plat for City Council review. The Commission's involvement in the platting/subdivision process ends after a recommendation on the Preliminary Plat has been forwarded to City Council.

PROJECT SUMMARY

The applicant is seeking approval of a Subdivision application to allow for a three (3) unit townhouse subdivision on approximately 0.26 acres (approximately 11.54 units per acre).

SITE CHARACTERISTICS (EXISTING)

- The site is located at the northwest corner of Peach Lane and Sunset Lane, directly north of the City's municipal parking lot in Uptown Sedona.
- The project site is one parcel of approximately 0.26 acres.
- The property is in Coconino County.
- The property is currently vacant.
- The property is lot 23 of the Mountain Villa subdivision.
- The majority of the property is within the City's 100 Year Flood Plain. There is an existing drainage channel along the eastern property line.
- The property contains minimal existing vegetation.

BACKGROUND

The property proposed for development is zoned High Density Multifamily Residential (RM-3) and is currently vacant. Verde Valley Habitat for Humanity is requesting approval of a three (3) unit townhouse subdivision. This application is in conjunction with a Development Review application, approved by the Planning and Zoning Commission on July 3, 2018, to construct a triplex on the property. This subdivision request would allow for the applicant to sell the units to individuals. Without approval of a subdivision application, the units could not be sold separately but could be rented.

The following is a timeline of events relating to the subdivision application of the project:

- May 10, 2018: Pre-Application meeting held with Staff
- May 22, 2018: Preliminary Plat application submitted
    - June 3, 2018: Comments regarding the application were provided to the applicant.
- July 24, 2018: Resubmittal received by Staff
- August 21, 2018: Planning and Zoning Commission Public Hearing

In addition to the Subdivision application, several other processes related to this project have been completed or are concurrently taking place. These include the following:

- Administrative Waiver: The applicant requested an Administrative Waiver for the reduction of both side setbacks.
    - February 1, 2018: Application Submitted
    - March 6, 2018: Planning and Zoning Commission Review
    - March 13, 2018: Administrative Waiver was approved by Community Development Director

- Request for Financial Contribution and Fee Waivers: Based on the project's contributions to affordable housing in the community, the applicant requested a financial contribution from the City to be used towards payment of sewer capacity and development impact fees and a waiver of building permit fees.
    - March 13, 2018: City Council approved payment of sewer capacity and development impact fees from the City's Affordable Housing Fund along with a waiver of building permit fees.
- Development Review: Section 401.02.C.3 of the Land Development Code states that all multifamily residential projects of three (3) or more units shall require review and approval by the Planning and Zoning Commission.
    - February 1, 2018: Development Review application submitted
    - July 3, 2018: Request approved at Planning and Zoning Commission Public Hearing
- Building Permits: Prior to construction of the project, all applicable building permits must be administratively reviewed and approved by Staff.
    - June 12, 2018: Multifamily Residential building permit application submitted.
        - July 3, 2018: Corrections regarding the submittal issued.

PUBLIC INPUT

- The proposal documents were placed on the Projects and Proposals page of the Community Development Department website (www.sedonaaz.gov/projects).
- The applicant notified property owners within 300 feet of the subject property about the application. A copy of the applicant's Public Participation Report is included as Attachment 2b.
- Required public noticing, including a posting on the property, a mailing to property owners within a 300-foot radius, and a notice in the Red Rock News, was completed for the Planning and Zoning Commission's August 21 Public Hearing.
- All notices contain contact information or directions on how to submit comments. As of August 14, 2018, the City has received one written comment. The public comment is included as Attachment 5.

REVIEWING AGENCY COMMENTS AND CONCERNS

The application documents were routed to review agencies for comments. Comments were received from the following agencies and are included as Attachment 4:

- City of Sedona Community Development
- City of Sedona Public Works
- Sedona Fire District

COMMUNITY PLAN AND ZONING

The project site is designated as Multifamily Medium/High Density on the Future Land Use Map and is zoned High Density Multifamily Residential (RM-3). As the project is proposing to develop in compliance with the existing RM-3 zoning, no Community Plan Amendment or zone change is need for the proposed subdivision. The property is not within a Community Focus Area (CFA) or any other special planning areas designated by the City.

The RM-3 zoning district (LDC 615) contains the property development standards for the property. These standards include the following:

- Minimum lot area: 21,780 square feet (0.5 acres)
    - The property, at 0.26 acres, is under the minimum lot size. However, this lot was platted/established prior to the City's incorporation and is considered a nonconforming lot.

Development of nonconforming lots is permitted in accordance with LDC Section 1201 (Nonconforming lots).

- Minimum lot dimensions: 100 feet wide, 100 feet deep
- Density: Maximum of 20 units per acre

While the above are standards for the overall lot, this application has been submitted as a townhouse subdivision. Townhouse subdivisions are reviewed under the Condominiums section of the Subdivision regulations (LDC Section 711). This allows for individual units to be given separate parcel numbers for the purpose of separate ownership of the units while considering the project as a whole for property development standards such as density and minimum lot size.

DEVELOPMENT PROPOSAL

The applicant is proposing a new three (3) unit townhouse subdivision on approximately 0.26 acres. For the subdivision to be constructed, the following must be approved:

1. Subdivision (SUB) application for the subdivision layout

Phasing

The project is proposed to be developed in a single phase, using a volunteer workforce.

Subdivision Layout

- The subdivision provides access to all three (3) of the units via a common access driveway located on the west side of the property, behind the approved triplex. The driveway would connect to Peach Lane, a public street.
- The size of the townhouse lots range from 3,103 square feet to 4,697 square feet.
- Overall density of the subdivision is 11.54 units per acre.
- Building envelopes are designated on the preliminary plat, and are consistent with the approved building footprint and unit layout of the associated Development Review application. The building location is compliant with district setback regulations and approved administrative waiver reduction.

Access and Traffic

- Vehicular access to the site is proposed off of Peach Lane, at the rear of the residential building.
- A traffic study was provided by the applicant and reviewed by the Public Works Department.
    - The proposed use as a multifamily residential subdivision produces approximately one and one third (1.33) trips at the AM peak and four (4) trips at the PM peak.

Pedestrian Traffic and Connectivity

- No new sidewalks are proposed.
- As all adjoining streets are private and do not have sidewalks, the City is not requiring sidewalks to be installed.

Preliminary Drainage Report and Grading Plan

- A preliminary drainage report and grading plan was provided and reviewed by the Public Works Department.
    - The drainage report concludes that the proposed Grading and Drainage Plan will satisfy the conditions for design while maintaining cost effective, low maintenance drainage facilities and that the project complies with County and City standards for drainage.

- Grading and drainage has been evaluated during the Development Review process, and will be further reviewed during the building permit phase to ensure compliance with applicable grading and drainage regulations.

Wastewater Disposal

- The property can connect to the City's Wastewater System. Applicable fees will be paid out of the City's Affordable Housing Fund, as approved by City Council (R2018-06).

Sedona Land Development Code: Article 7 (Subdivision Regulations and Land Divisions)

- Staff has conducted a comprehensive review of the proposed subdivision for conformance with the City's Subdivision Regulations. Staff's evaluation is included as Attachment 3 (Subdivision Checklist).
- The Letter of Intent includes the applicant's summary of how the project complies with the requirements and intent of LDC Article 7.

Vegetation and Landscaping

- The existing vacant lot contains very little natural vegetation.
- The applicant provided a landscaping plan with their Development Review application, which was reviewed for all applicable landscaping requirements. The final landscaping plan will be reviewed during the building permit stage as well.

Signage

- No signs are included on the Preliminary Plat.

Utilities

- The applicant has provided letters of serviceability from all utilities.
- All new utilities will be required to be underground.

REVIEW, COMMENTARY, AND ANALYSIS

- The following action is requested from the Planning and Zoning Commission: Consideration of a request for Preliminary Plat Approval and recommendation to City Council

DISCUSSION (Subdivision)

In considering an application for a Subdivision/Preliminary Plat, the review process is guided by Article 7 (Subdivision Regulations and Land Divisions) of the LDC. LDC Section 704.04.G states that the Commission must make a recommendation on the preliminary plat to City Council. The Commission's recommendation shall be based on the following findings:

a. That the proposed subdivision conforms to the adopted goals, objectives and policies of the city;
b. That the proposed subdivision, as reviewed and approved, will not be detrimental to the public health, safety and general welfare;
c. That environmental concerns, including scenic impacts, conform with adopted standards;
d. That the design of the proposed subdivision is sensitive to the physical characteristics of the site;
e. That the proposed subdivision is consistent with the provisions and intents of zoning regulations applicable to the property;
f. That the proposed subdivision conforms with the improvement and design standards set forth in these regulations and other applicable adopted ordinances.

EVALUATION OF PROPOSAL (SUBDIVISION)

Finding A: That the proposed subdivision conforms to the adopted goals, objectives and policies of the city;

The proposed subdivision is consistent with the Community Plan and zoning designations. There are no specific plans that apply to this property and the property is not within a Community Focus Area.

Finding B: That the proposed subdivision, as reviewed and approved, will not be detrimental to the public health, safety and general welfare;

Review agencies have evaluated the proposed subdivision, and have determined that no public health, safety, or general welfare concerns exist. Additional review will occur at the building permit stage to ensure the construction of the infrastructure and the houses are not detrimental to public health, safety, and general welfare.

Finding C: That environmental concerns, including scenic impacts, conform with adopted standards;

The proposed subdivision is consistent with the character of the existing neighborhood surrounding it. The site is surrounded by a mix of single-family, multifamily, and public uses. The proposed subdivision is not anticipated to have a greater environmental impact than these existing developments.

Finding D: That the design of the proposed subdivision is sensitive to the physical characteristics of the site;

The site contains little existing significant vegetation, and has minimal slopes. The existing floodplain has been addressed in the design of the triplex and site improvements proposed under the Development Review. Public Works has reviewed the application to ensure the subdivision is sensitive to the drainage issues on site.

Finding E: That the proposed subdivision is consistent with the provisions and intents of zoning regulations applicable to the property;

The property is zoned RM-3, which is intended to provide for the development of high density apartments, condominiums, townhouses and other group dwellings, with provision for adequate light, air, open space and landscaped areas. While the subdivision does not meet the minimum size requirements for the zoning district, the lot size was legally established prior to the City's incorporation and the property may be developed in accordance with LDC Section 1201 (Nonconforming lots). The proposed townhouse lots are reviewed under the condominium section of LDC Article 7 (Subdivision Regulations) and are not required to meet minimum size and dimension requirements on their own. Therefore, the proposed subdivision is consistent with the provisions and intents of the zoning regulations applicable to the property.

Finding F: That the proposed subdivision conforms with the improvement and design standards set forth in these regulations and other applicable adopted ordinances.

The subdivision has been reviewed for compliance with all applicable improvement and design standards set forth in Article 7 of the LDC. Based on Staff's evaluation, the subdivision is in compliance with all applicable subdivision requirements.

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

Staff Recommendation

Based on compliance with ordinance requirements as conditioned, general consistency with the Land Development Code and the requirements for approval of a Preliminary Plat, Staff recommends approval of the proposed Subdivision/Preliminary Plat as set forth in case number PZ18-00001 (SUB), Habitat for Humanity Triplex, subject to applicable ordinance requirements and the conditions as outlined in the staff report.

Sample Motions for Commission Use

(Please note that the below motions are offered as samples only and that the Commission may make other motions as appropriate.)

Recommended Motion for Approval

I move to recommend to the Sedona City Council approval of the proposed Preliminary Plat as set forth in case number PZ18-00001 (SUB), Habitat for Humanity Triplex, based on compliance with all ordinance requirements and satisfaction of the Subdivision criteria and applicable Land Development Code requirements and the conditions as outlined in the staff report.

Alternative Motion for Denial

I move to recommend to the Sedona City Council denial of case number PZ18-00001 (SUB), Habitat for Humanity Triplex based on the following findings (specify findings).

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

As recommended by Staff

1. Development of the subject property shall be in substantial conformance with the applicant's representations of the project, including the Preliminary Plat dated July 2018, grading and drainage plans, and letter of intent dated May 15, 2018, and all other supporting documents, as reviewed, modified and approved by the Planning and Zoning Commission and City Council.
2. The note on the Preliminary Plat that calls out the "Proposed Ingress-Egress Easement" shall be amended to remove "To be granted to the City of Sedona on Final Plat".
3. All elevation call outs on the Preliminary Plat shall be amended to reflect the correct elevations, beginning with 43XX rather than 45XX.
4. The proposed driveway easement has a variable width, and as such the width shall be notated on the plat.
5. The name of the subdivision on the title block of the Preliminary Plat shall be amended to read the correct name of the subdivision, the "Cottages at Peach Lane".
6. The proposed class II drainage easement shall be granted to the City and HOA; or if no HOA, to the other owners.
7. In the basis of bearings section on the plat, please describe, callout, and label the points on the plat.
8. The BFE and finished floor elevations from the grading and drainage plan and the preliminary plat do not match up. Please revise to ensure all plans have the same data. Additionally, the grading and drainage plan contours and elevations are 100' off, which appears to be a typo.
9. Preliminary Plat approval shall expire 36 months from the date approved by the City Council, subject to the following:
    a. Final plats recorded within 12 months of the original Council approval shall be subject to the design and improvement standards applicable at the time of the approval;
    b. Applications for final plats processed through the city more than 12 months after original Council approval of the preliminary plat shall be subject to the design and improvement standards applicable at the time of the application;
    c. Preliminary plat areas for which no final plat has been applied for or recorded within 36 months of original Council approval shall expire and shall require a new subdivision application;
    d. It shall be the responsibility of the subdivider to monitor elapsed time and reflect appropriate design and improvement standards with each submittal.
10. Prior to City Council consideration of the Final Plat, the applicant shall satisfy the following conditions:
    a. The Final Plat shall meet all requirements of SLDC Article 7: Subdivision Regulations.
    b. Sewer line easements for all existing and new sewer lines shall be shown on the Final Plat.
    c. Provide the appropriate dedication language on the Plat.
    d. Street, curb, and gutter design shall be in compliance with the requirements of the SLDC.

e. The Final Plat shall designate the location of any proposed subdivision sign and/or cluster mailbox, if proposed.

f. The applicant shall submit a Final Grading and Drainage Report for review and approval by the City Engineer.

g. Drainage easements shall be provided to the satisfaction of the City Engineer and shall meet the minimum dimensions of Chapter 8 of the SLDC.

h. The roadway cut/fill slopes shall be either in the roadway right-of-way or in a slope maintenance easement (SLDC Section 706.08.A.3.g).

i. Provide a Sewer Design Report.

j. All requirements from the Sedona Fire District shall be met.

k. A copy of the proposed CC&R's shall be provided to the Community Development Department.

11. Prior to recording the Final Plat, the applicant shall satisfy the following conditions:

    a. Financial Assurances which meet the requirements of the City of Sedona, Land Development Code Section 707.07, shall be on file with the City Clerk.

12. Prior to issuance of a grading permit, the following documents and details shall be provided to the City for review and approval:

    a. For projects involving grading of more than 5,000 cubic yards, a haul plan, a dust control plan, a topsoil reutilization plan, a stormwater pollution prevention plan, and a traffic control plan shall be required. Each must be acceptable to and approved by the City Engineer. (LDC Section 806)

    b. Applicant shall provide a Neighbor Contact and Response Plan. The plan shall define site signage, which shall include a hotline number.

    c. Provide utility construction details on plans.

    d. Provide cut and fill earthwork quantities (in cu. yds.) for the project. If applicable, the applicant shall provide bond assurance, which meets the requirements of the City of Sedona, Land Development Code Section 809, prior to issuance of a building permit.

    e. A copy of the ADEQ "Approval to Construct" Water Facilities and Wastewater Facilities shall be provided prior to construction.

    f. Provide construction details for concrete structures (walls, curb, etc.).

    g. Applicant shall provide a Storm Water Pollution Prevention Plan along with the ADEQ NOI (disturbance area appears to be greater than 1 acre). Note: This project appears to be within ¼ mile of Oak Creek - special requirements may apply. SWPP measures shall be in place prior to the start of construction (LDC Article 8). Storm water quality measures shall also comply with City of Sedona Code, Chapter 13.5 requirements.

    h. Determine the need for a 404 permit from the Army Corps of Engineers for work in watercourse areas prior to disturbance of those areas.

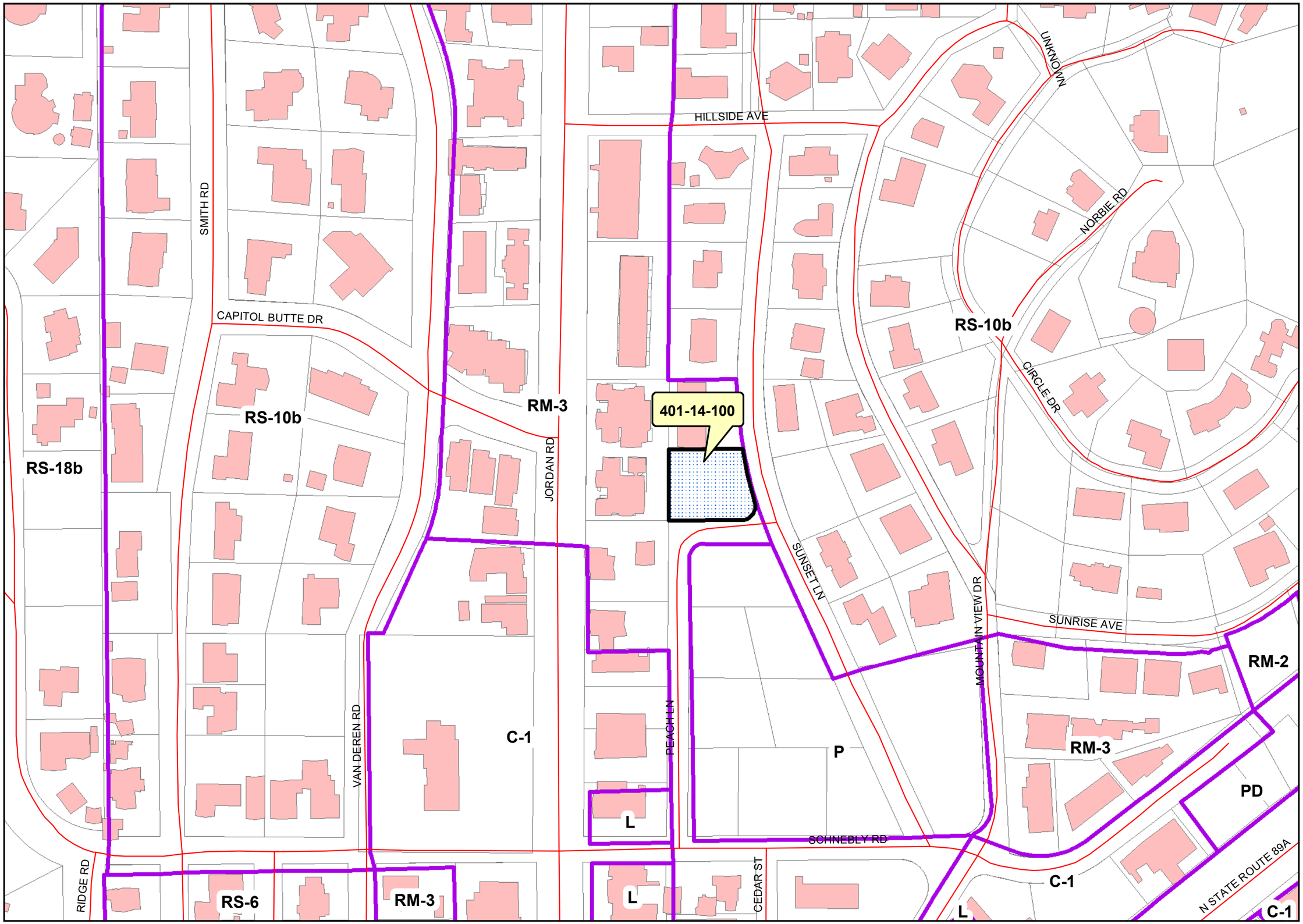
    i. No dumping of excavated material is allowed within city limits without prior authorization from the City of Sedona Engineering Department (LDC Chapter 8).

    j. The site plan, grading plan and landscape plans shall be carefully coordinated and any discrepancies resolved to the satisfaction of the Director of Community Development.

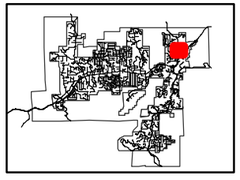
13. Upon completion of the infrastructure for the project and prior to release of the required financial assurances, staff shall verify that all construction is in substantial accordance with the plans as submitted, reviewed, and approved by the Planning and Zoning Commission and the City Council, and the following conditions have been met:
    a. All on-site improvements shall substantially conform to the plans on which the grading permit was issued.
    b. Applicant shall provide copies of all required testing to the Engineering Department.
    c. All new and existing utility lines shall be provided through underground installation.
    d. All requirements of the Sedona Fire District shall have been satisfied.
    e. As-builts shall be provided to the City in digital and hard copy formats acceptable to the City Engineer.
    f. All areas of cut and fill shall be landscaped or dressed in such a manner as to reduce the potential for erosion.
    g. Applicant shall provide a letter, sealed by the engineer of record, verifying that the work, as done, is in substantial accordance with the approved plans.
14. Within thirty days of approval of the Preliminary Plat, the property owner of record of the subject property voluntarily agrees to sign and record a waiver acknowledging their waiver of any right to claim just compensation for diminution in value under A.R.S. §12-1134 related to the granting of this Preliminary Plat approval.

Vicinity Map

Parcel #
401-14-100
Habitat
for Humanity



City Index



GIS, City of Sedona
01/30/2018
g:/pubreq/projects/dansurber/401-14-100/mxds/401-14-100_vicinity.mxd

This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty or fitness is implied.

The information is provided on an "as-is" basis. The City of Sedona shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with or rising from the information contained on this map.

Aerial View

Parcel
#401-14-100
Habitat
for Humanity

Parcel
#401-14-100

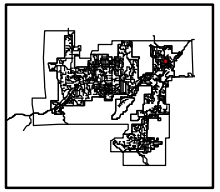
Parcel Boundary

Street Centerline

N

0 5 10 Feet

City Index



GIS, City of Sedona
01/30/2018
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dansurber/401-14-100/mxds/
401-14-100_aerial.mxd

Project Application

City Of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · Fax: (928) 204-7124

The following application is for:

- ■ Conceptual Review
- ❑ Final Review
- ❑ Appeal
- ❑ Time Extension

- ❑ Development Review
- ❑ Conditional Use Permit
- ■ Subdivision
- ❑ Zone Change
- ❑ Variance
- ❑ Major Community Plan Amendment
- ❑ Minor Community Plan Amendment

PROJECT CONTACT:	Tania Simms	Phone:	928-649-6788	App. #:	
Address:	737 S. Main Street, Cottonwod 86326	Cell Phone:	928-301-2067	Date Rec'd:	
E-mail:	tania.simms@vvhabitat.org	Fax:		Rec'd by:	
PROJECT NAME:	Peach Lane Cottages	Parcel #:	40114100	Fee Pd:	
Project Address/ Location:	460 E. Peach Lane, Sedona	Acres:		Zoning:	

Project Description:	A New Multi-family housing project located at 460 Peach Lane, Sedona AZ. Parcel # 40114100. (1) Tri-plex townhome two story unit total of (3) units at approximately 1200 sq. ft. each with carport.

OWNER NAME:	Verde Valley Habitat for Humanity	**APPLICANT NAME:**	Verde Valley Habitat for Humanity
Address:	737 S. Main Street, Cottonwood 86326	Company Name:	Verde Valley Habitat for Humanity
Phone:	928-649-6788	Address:	737 S. Main Street, Cottonwood 86326
Cell Phone:		Phone:	928-649-6788
E-mail:	tania.simms@vvhabitat.org	Cell Phone:	
		E-mail:	tania.simms@vvhabitat.org
ARCHITECT/ ENGINEER:	Dan Surber	**AUTHORIZED AGENT/OTHER:**	John Wesnitzer
Company Name:		Company Name:	Shepherd Wesnitzer
Address:	PO Box 3764, Sedona AZ 86340	Address:	75 Kallof Pl, Sedona, AZ 86336
E-mail:	dsurber78@gmail.com	E-mail:	jwesnitzer@swiaz.com
Phone:	928-821-2182	Phone:	928-282-1061
Cell Phone:		Cell Phone:	
ID #/Exp. Date:	27509		
City Business License #:	BL-000075		

Verde Valley Habitat for Humanity®

May 15, 2018

LETTER OF INTENT FOR SUBDIVISION AND PROJECT INFORMATION FOR: "VERDE VALLEY HABITAT FOR HUMANITY – PEACH LANE COTTAGES"

Verde Valley Habitat for Humanity, the owner/developer, is proposing a new multi-family tri-plex building consisting of two three bedroom units and one two bedroom unit with associated driveway, parking, entry court and patios that will be located on existing vacant site at 460 Peach Lane Sedona, Arizona.The units will be attached and housed in one building structure. The project is being developed for the Sedona community through a partnership between Verde Valley Habitat for Humanity, the City of Sedona, local community leaders and the local contractors to provide affordable housing options for our community workforce.

The subject property/Assessors parcel # 401-14-100,is a 11,326 sq.ft. (.26 acre) parcel and is zoned RM-3 (High Density Multi-family Residential).
Units allowed on parcel = 5 units
Lot Coverage Allowed = 2,832 sq.ft. (11,326 sq.ft. x 25% = 2,832 sq.ft.)
Floor Area Ratio = 5,663 sq.ft. (11,326 sq.ft. x .5 = 5,663 sq.ft.)
The subject parcel is a corner lot and is bordered on the south by Peach Lane and Sunset Lane on the east.
The subject property is surrounded by RM-3 (High Density Multi-family Residential) to the west and north, RS-10b (Single Family Residential) across Sunset Lane to the east and the City of Sedona Public parking lot across Peach Lane on the south.

Pursuant to the Subdivision Submittal requirements for the proposed development of the new Habitat for Humanity Sedona housing units, the following describes the intent of the project.

The subdivision, Peach Lane Cottages, will include three fee simple areas with lot easements.

There are no public use lots.

This is a vacant site, with minimal slope. and there is currently an application to request approval to construct a triplex, for three single family units.

This is a single phase construction project.

Site Design and Building Placement:
Our goal is to develop the existing vacant property with an emphasis meeting current designated zoning, City of Sedona Land development Code and the City of Sedona Community Plan while creating the opportunity to provide three new affordable housing units with pedestrian connections to nearby city activity center and public transportation. The new building location and form will create an inviting focus and the massing, building materials will compliment the surrounding built environment. The lot will be divided into three building lots that will facilitate the home ownership of each unit by three individual owners/families. The layout will provide for one ingress/egress access from Peach Lane in lieu of three separate driveways off of Sunset Lane allowing for access to units and internal circulation within the contiguous properties. The Development is surrounded by high density/multi-family housing, single family housing and a public parking lot and thus relates and complements the existing built environment. The development is located in a high activity area with work, dining and public transportation readily available and will promote alternate modes of transportation. The development will also provide affordable housing options for our community workforce.

Building Information:

The new building will consist of three attached housing units. Units 1 and 2 will be two story units with three bedrooms. The lower floor will have the kitchen, dining/living great room and one bedroom/bath with two bedrooms and bath at upper level. Unit 3 will be two story unit with two bedrooms. The lower floor will have the kitchen, dining/living great room and one bedroom/bath with one bedroom and bath at upper level. The units will be attached and each unit will have an attached single car carport and storage. Each unit will have 904 sq.ft. of lot coverage. (lower level livable + portion of carport) Total lot coverage for parcel will be 2,712 sq.ft.The orientation of the building will run parallel to the longest property dimension running north to south with vehicle and pedestrian access along the west property line.Orientation of units will take advantage of the natural surrounding views to the north and south vistas.

Grading and Drainage:

The existing site has a slight slope from northwest corner to the southeast corner and currently drainage is directed to the southeast corner. The new development will follow the existing conditions with some slight cut and fill. The drainage will be redirected, detained and metered to existing southeast. See civil engineers grading and drainage plan for further explanation and detail.

Waste water and estimate of water demand use will be addressed in a separate letter to be provided by Sefton Engineering.

Access and Parking:

A new 24'-0" Ingress and Egress decomposed granite drive will be located along the west property boundary to access the new parking area in front of the new housing units. The new development requires 7.5 spaces. The applicant is proposing seven spaces, which includes one covered parking space and one guest parking space per unit and a potential of two over-flow spaces, on site, at the entry.

Vegetation and Landscaping

The existing vacant property currently has no trees or vegetation.Their will be new planting located at the west and north property lines to provide screen and privacy for parking and driveway. This planter will have a mixture of trees, shrubs and ground cover. There will be additional landscaping provided adjacent to building at the east and south property to soften and provide screen and buffer from Peach Lane and parking lot to the south and Sunset Lane to the east.

See Landscape Plan for plant list and location.

Wastewater Disposal

The Owners intent is to connect to the existing City of Sedona sewer system at Sunset Lane for the three housing units. Each unit will have its own service and connection to sewer.

Mechanical Units and Trash Receptacles

A remote compressor mechanical unit will be located on the carport of each residence. The parapet wall at the carport is 3'-4" and the unit will be screened and not visible.Each unit will have an individual roll out trash receptacle which will be rolled out to street for weekly collection and be stored in carport.

Exterior Lighting

Our exterior lighting will comply with the City of Sedona lighting regulations. No raised parking lights will be necessary and we intend to employ low voltage mushroom type lighting along the driveways, walkways and planter areas.Exterior building lighting will be fully shielded wall sconces which will direct the light downward with no horizontal or upward illumination.

Utility Connections

Water:existing/currently supplied by Arizona Water Company

Gas:existing Uni-source Energy services.

Telephone:existing/currently supplied by Quest Communications

Sewer:available connection to City of Sedona sewer.

Electric:existing/currently supplied by APS

All utilities exist and extended to site except for gas.

Architectural Design and Details

The primary building structure will be a wood frame building with exterior walls having colored stucco with a red rock stone veneer wainscot at columns and entry walls and the roof will be a sloped gable roof with forest green metal roofing.There will be a change in floor line elevations between units and units will be staggered which will create a desired walls massing and various roof heights adding visual interest. Air-conditioning ground units (remote compressors)will be screened with all unit air-handlers located within the unit. There will be no roof-top units.Colors will be in the darker natural hues and shall conform to City of Sedona Light

Reflective Guidelines.

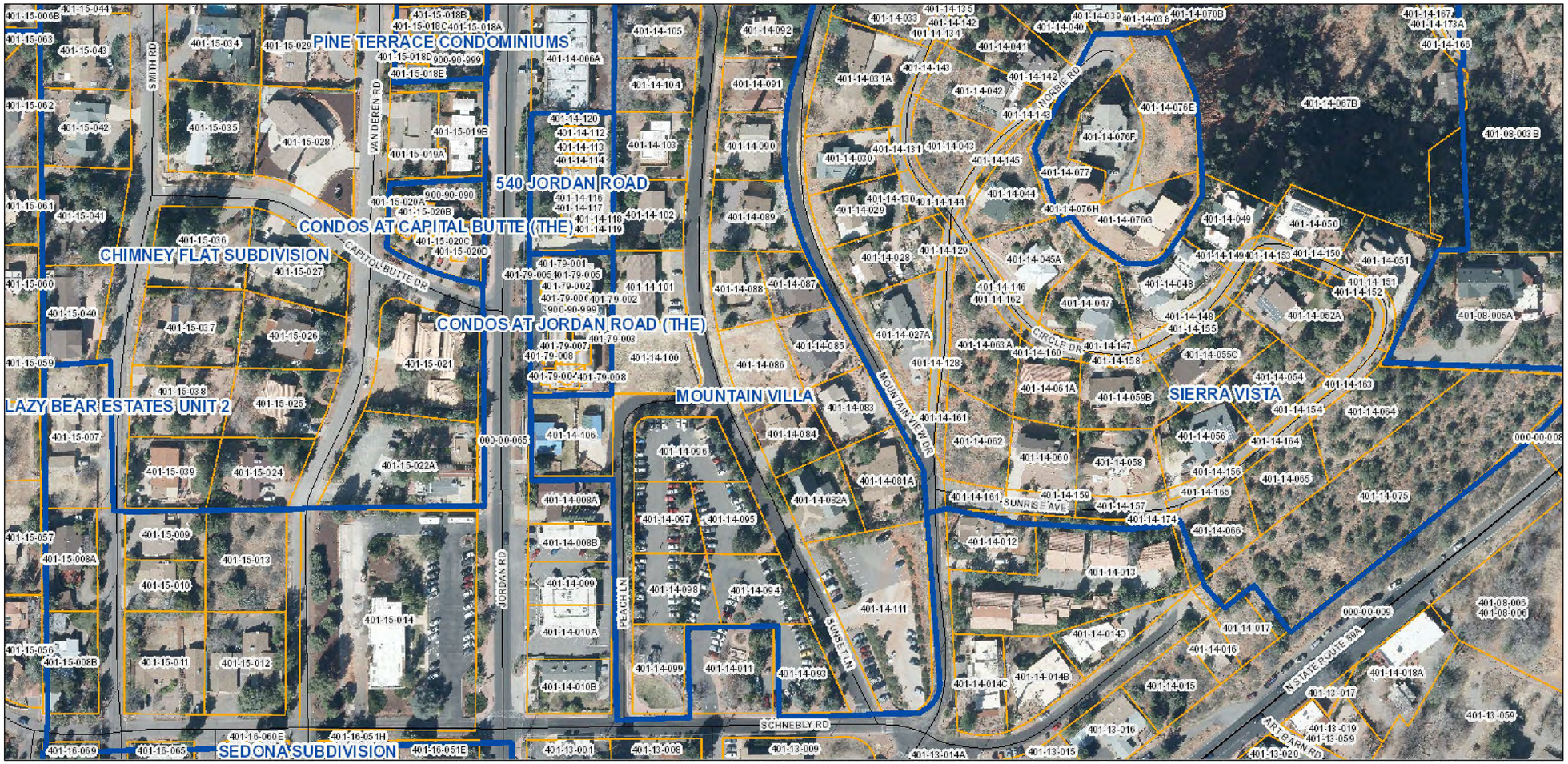
The new buildings will be designed with a logical hierarchy of masses by using materials and massing to create a base and to minimize its perceived heaviness or massiveness as the building rises in elevation. Building materials and colors will compliment the surrounding buildings and create a project that will relate to its surrounding environment. We believe this project will add to the economic vitality of Sedona and will provide a\much needed community affordable housing option with a strong pedestrian connection to an existing community activity center and existing public transportation.

Thank you,

Tania Simms
Executive Director
Verde Valley Habitat for Humanity

737 S. Main Street, Cottonwood, AZ 86326
Phone: (928) 649-6788 Fax: (928) 649-6742
www.vvhabitat.org

COTTAGES AT PEACH LANE
CIRCULATION MAP



STREET RIGHT OF WAY WIDTHS

COLLECTOR STREETS

JORDAN ROAD – 66 FEET

LOCAL STYREETS

SCHNEBLY ROAD – 30 FEET
PEACH LANE – 30 FEET
SUNSET LANE – 40 FEET
MOUNTAIN VIEW DRIVE – 30 FEET
CAPITOL BUTTE DRIVE – 50 FEET
VAN DEREN ROAD – 50 FEET

SCALE: 1" = 80'

0 40 80

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

PRELIMINARY
NOT FOR CONSTRUCTION, BIDDING OR RECORDING

NO.	DESCRIPTION	DATE	BY

Shephard Wesnitzer, Inc.
75 Kallof Place
Sedona, AZ 86336
928.282.1061
928.282.2058 fax
www.swiaz.com

JOB NO:	18063
DATE:	JULY 2018
SCALE:	AS SHOWN
DRAWN:	AMR
DESIGN:	JBW
CHECKED:	JBW

HABITAT FOR HUMANITY
SEDONA ARIZONA

CIRCULATION MAP
COTTAGES AT PEACH LANE
460 PEACH LANE

DRAWING NO. C1
SHT NO. 1 OF 1

PLOTTED: Jul 24, 2018-10:12am
FILE: P:\2018\18063\Survey\Drawings\C3D\18063 Circulation Map.dwg SWI-C3D-18

Re: Habitat subdivision application

Tania Simms <tania.simms@vvhabitat.org>

Tue 8/14/2018 12:36 PM

To:Matthew Kessler <MKessler@sedonaaz.gov>;

Good afternoon Matt,

We have not received any feedback or comments from the subdivision application for 460 Peach Lane property.

If you have additional questions, please let me know. We will have representation attend next week's P&Z meeting.

Yours in Service,

Tania Simms
Executive Director

737 S. Main Street
Cottonwood, AZ 86326
928-649-6788/office
928-202-4756/fax

Sefton Engineering Consultants
Your Ideas to Completion
Surveying • Engineering • Land Planning

Luke Sefton PE, CFM
Tim Huskett, PE, CFM
Dugan McDonald RLS
Clint Gillespie RLS
Sam Musser, Planner

July 23rd 2018

Habitat for Humanity Peach Lane Project
Atten: Tania Simms
737 S. Main Street
Cottonwood, Az 86326

Subject: 3 unit Townhome

Dear Mrs. Simms

Sefton Engineering is currently assisting Habitat for Humanity in the development of the property located APN 401-140-100 in Coconino County. The property is located at the north side of Peach Lane and access will be off Peach Lane

The Institute of Transportation Engineers (ITE) Trip Generation Rates 9th Edition was used to obtain the trip generation rates for the proposed development based on a 3 unit townhome. The results of the calculations are shown below, however be aware that due to rounding of numbers that the trips still happened it may sometime happen before or after the peak hour:

TRIP GENERATION **ITE CODE 252** **Multifamily** **3 Units** Average Rate = 5.81 trips per unit T = (5.81) x (3) Trips = **17.43 Trips**	
AM PEAK HOUR	
Average Rate = 0.44 trips per unit T = (0.44) x (3) Trips = 1.32 **Trips**	
17% Entering 0 Trips	83% Exiting 2 Trips
PM PEAK HOUR	
Average Rate = 0.52 trips per unit T = (0.52) x (3) Trips = 3.96 **Trips**	
67% Entering 3 Trips	83% Exiting 1 Trips

20 Stutz Bearcat Dr. Suite 8, Sedona, Arizona 86336 ~Phone: (928) 202-3999
Email: info@sefengco.com ~ www.SeftonEngineeringCompany.com
In affiliation with:
Heritage Land Surveying & Mapping, Inc. with office in Sedona, Camp Verde & Colorado

Luke Sefton PE, CFM
Tim Huskett, PE, CFM
Dugan McDonald RLS
Clint Gillespie RLS
Sam Musser, Planner

Based on the trip generation calculations the proposed development is not anticipated to generate more than 100 trips during the AM or PM peak hours, therefore a formal Traffic Impact Study is not warranted.

If you have any questions or concerns please do not hesitate to contact me.

Sincerely,

Registered Professional Engineer (Civil)
CERTIFICATE NO.
37322
LUKE A.
SEFTON
Date Signed
ARIZONA U.S.A.

Luke Sefton, P.E., CFM
TEL: (928) 202-3999
Email: ls@sefengco.com

Expires 03/31/20

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Surveying • Engineering • Land Planning

Luke Sefton PE, CFM
Tim Huskett, PE, CFM
Dugan McDonald RLS
Clint Gillespie RLS
Sam Musser, Planner

July 23rd 2018

Habitat for Humanity Peach Lane Project
Atten: Tania Simms
737 S. Main Street
Cottonwood, Az 86326

Subject: 3 unit Townhome Drainage Memo

Dear Mrs. Simms

Sefton Engineering is currently assisting Habitat for Humanity in the development of the property located APN 401-140-100 in Coconino County. The property is located at the north side of Peach Lane and access will be off Peach Lane.

The site is impacted by a City of Sedona floodplain and a full study has been completed. This development will not redirect any flows or raise the water surface elevation on any adjacent properties. The site will drainage will enter and exit the site as it has historic and any changes in characteristics of the drainage will be handled by the onsite retention pond or directed to existing drainage ditches in the City ROW. Down drains will be directed to the retention basin.

If you have any questions or concerns, please do not hesitate to contact me.

Sincerely,

Registered Professional Engineer (Civil)
CERTIFICATE NO.
37322
LUKE A.
SEFTON
Date Signed
ARIZONA U.S.A.
Expires 03/31/20

Luke Sefton, P.E., CFM
TEL: (928) 202-3999
Email: ls@sefengco.com

Sefton Engineering Consultants
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Luke Sefton PE, CFM
Tim Huskett, PE, CFM
Dugan McDonald RLS
Clint Gillespie RLS
Sam Musser, Planner

Ryan Mortillaro
Assistant Engineer
City of Sedona Public Works
rmortillaro@sedonaaz.gov

May 18, 2018

Project: APN: 401-14-100, 460 Peach Lane

Dear Ryan,

We project the estimated water demand for Peach Tree to be **1,000 gallons per day**. The estimated water demand was calculated based on a water usage of 100 gallons per day per capita, 3 residents per three bedroom units and 3 residents per two bedroom unit. .

Sincerely,

Luke Sefton, PE, CFM

TEL: (928) 202-3999, Cell: (928) 646-3494,
Email: ls@SefEngCo.com

Sefton Engineering Consultants
Your Ideas to Completion
Surveying • Engineering • Land Planning

Luke Sefton PE, CFM
Tim Huskett, PE, CFM
Dugan McDonald RLS
Clint Gillespie RLS
Sam Musser, Planner

Ryan Mortillaro
Assistant Engineer
City of Sedona Public Works
rmortillaro@sedonaaz.gov

May 15, 2018

Project: APN: 401-14-100, 460 Peach Lane

Dear Ryan,

We project the estimated Waste Water Discharge for Peach Tree to be **750 gallon per day**. The estimated discharge was calculated based on the average Sedona discharge per residence with this project having a total of 2 residents.

Sincerely,

Luke Sefton, PE, CFM

TEL: (928) 202-3999, Cell: (928) 646-3494,
Email: ls@SefEngCo.com

20 Stutz Bearcat Dr. Suite 8, Sedona, Arizona 86336 ~Phone: (928) 202-3999
Email: info@sefengco.com ~ www.SeftonEngineeringCompany.com
In affiliation with:
Heritage Landscape & Mapping, Inc. with office in Sedona, Camp Verde & Colorado

COTTAGES AT PEACH LANE
PRELIMINARY PLAT

LOT # 23, MOUNTAIN VILLA SUBDIVISION AS RECORDED IN BOOK 2 OF MAPS AND PLATS, PAGE 106 IN THE OFFICE OF THE COCONINO COUNTY RECORDER SITUATE IN SECTION 8, TOWNSHIP 17 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, ARIZONA.

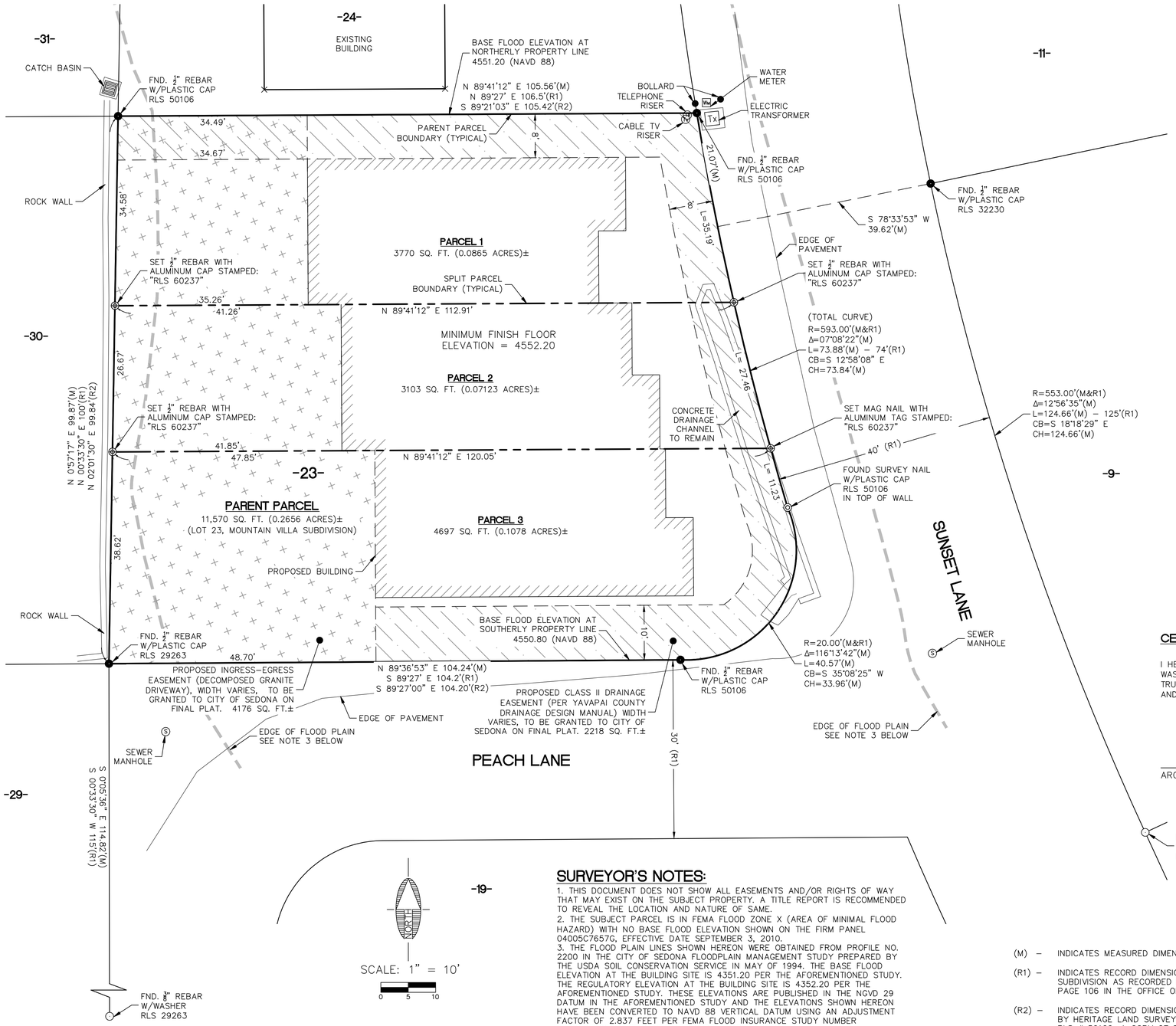
OWNER:
VERDE VALLEY HABITAT FOR HUMANITY, INC.
737 SOUTH MAIN STREET
COTTONWOOD, AZ 86326
PHONE: 928-649-6788

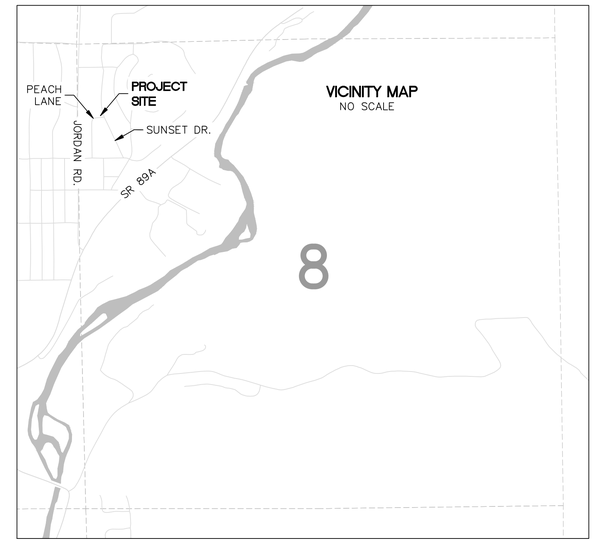
AREAS AND ZONING:

TOTAL ACREAGE	0.26 ACRES
NUMBER OF LOTS	3
ZONING	RM-3
ASSESSOR'S PARCEL NUMBER	401-14-100

ENGINEER:
SEFTON ENGINEERING CONSULTANTS
20 STUTZ BEARCAT DRIVE
SEDONA, AZ 86336
PHONE: 928-202-3999

ARCHITECT:
DAN SURBER, ARCHITECT
1840 GUN FURY ROAD
SEDONA, AZ 86339
PHONE: 928-204-2814





SURVEYOR'S NOTES:

1. THIS DOCUMENT DOES NOT SHOW ALL EASEMENTS AND/OR RIGHTS OF WAY THAT MAY EXIST ON THE SUBJECT PROPERTY. A TITLE REPORT IS RECOMMENDED TO REVEAL THE LOCATION AND NATURE OF SAME.
2. THE SUBJECT PARCEL IS IN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) WITH NO BASE FLOOD ELEVATION SHOWN ON THE FIRM PANEL 04005C7657G, EFFECTIVE DATE SEPTEMBER 3, 2010.
3. THE FLOOD PLAIN LINES SHOWN HEREON WERE OBTAINED FROM PROFILE NO. 2200 IN THE CITY OF SEDONA FLOODPLAIN MANAGEMENT STUDY PREPARED BY THE USDA SOIL CONSERVATION SERVICE IN MAY OF 1994. THE BASE FLOOD ELEVATION AT THE BUILDING SITE IS 4351.20 PER THE AFOREMENTIONED STUDY. THE REGULATORY ELEVATION AT THE BUILDING SITE IS 4352.20 PER THE AFOREMENTIONED STUDY. THESE ELEVATIONS ARE PUBLISHED IN THE NGVD 29 DATUM IN THE AFOREMENTIONED STUDY AND THE ELEVATIONS SHOWN HEREON HAVE BEEN CONVERTED TO NAVD 88 VERTICAL DATUM USING AN ADJUSTMENT FACTOR OF 2.837 FEET PER FEMA FLOOD INSURANCE STUDY NUMBER 04005CV001A, EFFECTIVE DATE SEPTEMBER 3, 2010.

CERTIFICATE OF LAND SURVEYOR

I HEREBY STATE THAT THE SURVEY SHOWN HEREON WAS DONE UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ARON M. REAY, RLS 60237

REGISTERED LAND SURVEYOR CERTIFICATE NO. 60237 ARON M. REAY Date Signed 7/24/18 ARIZONA, U.S.A. Expires 9/30/2018

(M) – INDICATES MEASURED DIMENSION

(R1) – INDICATES RECORD DIMENSION PER PLAT OF MOUNTAIN VILLA SUBDIVISION AS RECORDED IN BOOK 2 OF MAPS AND PLATS, PAGE 106 IN THE OFFICE OF THE COCONINO COUNTY RECORDER.

(R2) – INDICATES RECORD DIMENSION PER AN UN-RECORDED SURVEY BY HERITAGE LAND SURVEY AND MAPPING, CLINT GILLESPIE, RLS # 50106. A COPY OF THIS SURVEY HAS BEEN REQUESTED.

BASIS OF BEARINGS AND COORDINATES

LINEAR UNIT: INTERNATIONAL FEET

GEODETIC DATUM: NAD 1983 (NA2011)

VERTICAL DATUM: NAVD 1988 (SEE BELOW)

SYSTEM: SHEPHARD – WESNITZER 2015

ZONE: SEDONA 2015

PROJECTION
TRANSVERSE MERCATOR
LATITUDE OF GRID ORIGIN: 34°44'00.00000" N
LONGITUDE OF CENTRAL MERIDIAN: 111°48'00.00000" W
NORTHING AT GRID ORIGIN: 0.000 FT
EASTING AT CENTRAL MERIDIAN: 50000.000 FT
SCALE FACTOR ON CENTRAL MERIDIAN: 1.000206 (EXACT)

ALL DISTANCES AND BEARINGS SHOWN HEREON ARE GRID VALUES BASED ON THE PRECEDING PROJECTION DEFINITION. THE PROJECTION WAS DEFINED SUCH THAT GRID DISTANCES ARE EQUIVALENT TO "GROUND" DISTANCES IN THE PROJECT AREA.

THE BASIS OF BEARINGS IS TRUE GEODETIC NORTH. NOTE THAT THE GRID BEARINGS SHOWN HEREON (OR IMPLIED BY GRID COORDINATES) DO NOT EQUAL GEODETIC BEARINGS DUE TO MERIDIAN CONVERGENCE.

ORTHOMETRIC HEIGHTS (ELEVATIONS) WERE TRANSFERRED TO THE SITE FROM SWI BASE STATION USING GPS WITH NGS GEOID MODEL "GEOID12A" REFERENCED TO THE NAVD 88 HEIGHT OF THIS STATION.

THE SURVEY WAS CONDUCTED USING GPS REFERENCED TO THE NATIONAL SPATIAL REFERENCE SYSTEM. A PARTIAL LIST OF POINT COORDINATES FOR THIS SURVEY IS GIVEN BELOW (ADDITIONAL COORDINATES ARE AVAILABLE UPON REQUEST).

POINT #1000

LATITUDE: N34°52'25.93938"	–	NORTHING	51164.241'
LONGITUDE: W111°45'38.23795"	–	EASTING	61814.391'
ELLIPSOID HEIGHT: 4275.914'	–	ELEVATION	4355.54'

POINT #1001

LATITUDE: N34°52'26.93215"	–	NORTHING	51264.676'
LONGITUDE: W111°45'36.95095"	–	EASTING	61921.609'
ELLIPSOID HEIGHT: 4275.142'	–	ELEVATION	4354.76'

POINT #1004

LATITUDE: N34°52'25.94591"	–	NORTHING	51164.942'
LONGITUDE: W111°45'36.98715"	–	EASTING	61918.632'
ELLIPSOID HEIGHT: 4271.475'	–	ELEVATION	4351.10'

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

NO.	DESCRIPTION	DATE	BY

SWI
Shephard Wesnitzer, Inc.
75 Kallof Place
Sedona, AZ 86336
928.282.1061
928.282.2058 fax
www.swiaz.com

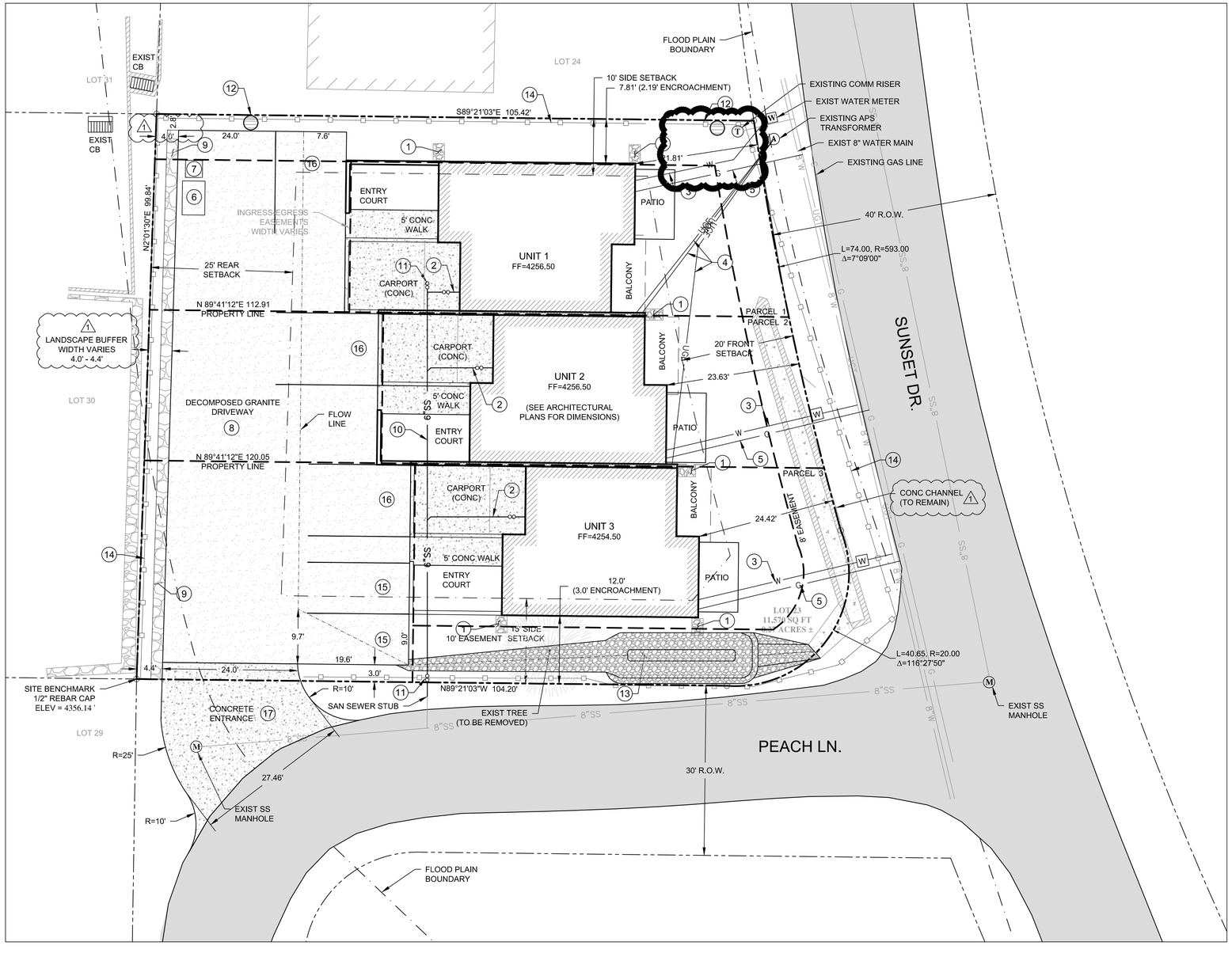
JOB NO:	18063
DATE:	JULY, 2018
SCALE:	1"=10'
DRAWN:	EGW
DESIGN:	N/A
CHECKED:	AMR

HABITAT FOR HUMANITY
SEDONA ARIZONA

PRELIMINARY PLAT
COTAGES AT PEACH LANE
460 PEACH LANE

DRAWING NO. PP1
SHT NO. 1 OF 1

PLOTTED: Jul 24, 2018-10:56am
FILE: P:\2018\18063\Survey\Drawings\C3D\Boundary-C3D\18063 Habitat for Humanity.dwg SWI-C3D-18



LOT 23 "MOUNTAIN VILLA SUBDIVISION"

APN: 401-14-100
ADDRESS: 460 PEACH LANE
SEDONA, AZ

LOCATED IN SECTION 8,
TOWNSHIP 17 NORTH, RANGE 6 EAST,
GILA & SALT RIVER BASE & MERIDIAN,
COCONINO COUNTY, ARIZONA

CONSTRUCTION KEY NOTES:

1. INSTALL 3'x2' RIP RAP PADS UNDERNEATH ALL DOWNSPOUTS
2. INSTALL 4" SEWER SERVICE LINE WITH TWO-WAY CLEANOUT IN BOX - SEE NOTE 5 BELOW
3. INSTALL 1" WATER SERVICE
4. INSTALL 200A UNDERGROUND ELECTRIC SERVICE
5. INSTALL GAS SERVICE
6. LOCATION OF TEMPORARY CONSTRUCTION DUMPSTER
7. LOCATION OF TEMPORARY PORT-A-JOHN
8. 2" THICK DECOMPOSED GRANITE OVER 4" ABS DRIVEWAY OR PER ARCHITECTURAL PLANS
9. 2-3' HIGH NATURAL STONE LANDSCAPE WALL - SEE G&D PLAN
10. INSTALL 6" SEWER SERVICE LINE - SEE DETAIL ON SHEET C-4
11. INSTALL TWO-WAY CLEAN-OUT IN BOX- SEE NOTE 5 BELOW
12. INSTALL MANUFACTURED CMP JUNCTION STRUCTURE - SEE G&D PLAN 1
13. RIPRAP LINED DETENTION POND AND CHANNELS - SEE G&D PLAN
14. TEMPORARY CONSTRUCTION ACCESS FENCE
15. 9' x 18' PARKING STALL - SEE NOTE 6 BELOW
16. 12.5' x 18' PARKING STALL - SEE NOTE 6 BELOW 1
17. CONCRETE ENTRANCE APRON - SEE DETAIL SHEET C-4

CONSTRUCTION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE CORRECT DIMENSIONS OF THE PROPOSED BUILDING AND THAT IT IS LOCATED WITHIN THE PROPER SETBACK LOCATION.
2. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS.
3. TEMPORARY TRAFFIC SURFACING SHALL BE APPLIED PRIOR TO CONSTRUCTION AND SHALL CONSIST OF NO LESS THAN A 4" THICKNESS OF 3/4" AGGREGATE. THE SURFACE SHALL EXTEND FROM THE EXISTING ROADWAY TO THE BUILDING FOOTPRINT.
4. ALL NEW SIDEWALKS, DRIVEWAYS, EXPOSED SURFACES OF CONCRETE DRAINAGE STRUCTURES, AND OTHER EXPOSED CONCRETE SURFACES SHALL BE INTEGRALLY COLORED "SEDONA RED". THE AMOUNT OF CONCRETE COLOR ADDITIVE REQUIRED IS 3.05 LBS OF DAVIS 160 LIQUID PER SACK OF CONCRETE. THIS IS THE SEDONA RED AS MANUFACTURED BY HANSON CONCRETE IN COTTONWOOD ARIZONA. VARIATIONS IN THE ADDITIVE TO ACCOMPLISH THE "SEDONA RED" SHALL BE SUBJECT TO CITY ENGINEER APPROVAL.
5. CLEAN-OUTS SHALL BE TWO-DIRECTIONAL. ONE PER 4" SERVICE LINE AND ONE AT EACH END OF THE 6" SANITARY LINE. CLEANOUTS SHALL BE PROTECTED IN A TRAFFIC RATED BOX AND LID. THE LID SHALL BE MARKED "SEWER" WITH RAISED LETTERS. SEE MAG STD DETAIL SHOWN ON SHEET C-4. 1
6. PARKING STALLS SHALL BE DELINEATED BY A 6" x 6" CONC BORDER RECESSED BELOW GRADE WITH TOP FLUSH WITH DRIVEWAY FINISHED GRADE OR AS SPECIFIED ON ARCHITECTURAL PLANS. BORDERS SHALL NOT RESTRICT WATER FLOW ACROSS DRIVEWAY OR ALONG CENTRAL DRIVEWAY CHANNEL.

BOUNDARY AND PROPOSED EASEMENTS PER SWI PLAN DATED MAY 2018 JOB# 18063

SHEET INDEX

0 5' 10' 20'
SCALE IN FEET

1 4/3/18 REVISION PER CITY COMMENTS
07/23/18 REVISION PER CITY COMMENTS
DATE 07/02/18; ADD SWI BOUNDARY AND EASEMENTS

Contact Arizona 811 at least two full working days before you begin excavation
Call 811 or click Arizona811.com

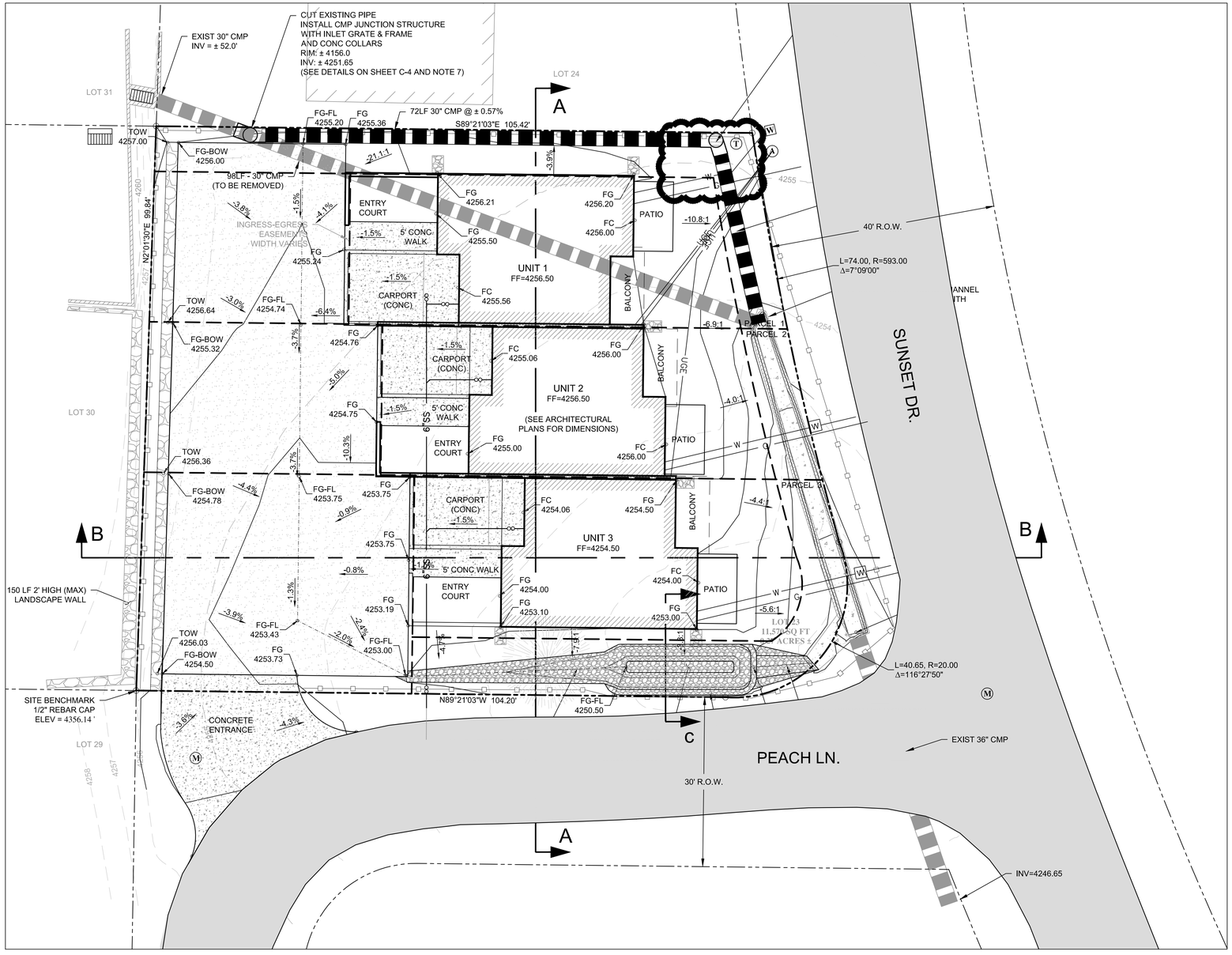
Registered Professional Engineer (Civil)
CERTIFICATE NO. 37322
LUKE A. SEFTON
DATE SIGNED 07-23-18
ARIZONA, U.S.A.
EXPIRES 03/31/20

Sefton Engineering Consultants
Your Ideas to Completion
Surveying • Engineering • Land Planning
20 STUTZ BEARCAT DR. #8
SEDONA, ARIZONA 86336
PH: (928) 202-3999 LS@SEFENGCO.COM

SHEET TITLE: SITE LAYOUT AND UTILITY PLAN

PROJECT TITLE: **COTTAGES AT PEACH LANE**
HABITAT FOR HUMANITY UNITS

DRAWN BY:	RJB
SCALE:	1'=10'
DATE:	07/23/2018
PROJECT NO:	180107
SHEET NO.	C-1



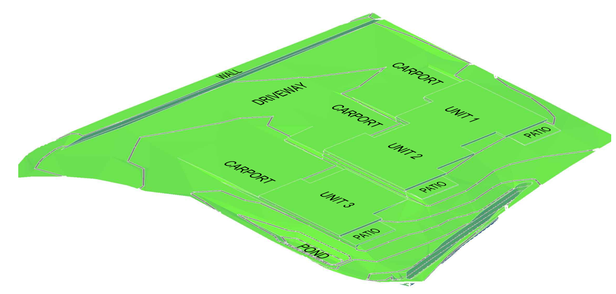
LOT 23 "MOUNTAIN VILLA SUBDIVISION"

APN: 401-14-100
ADDRESS: 460 PEACH LANE
SEDONA, AZ

LOCATED IN SECTION 8,
TOWNSHIP 17 NORTH, RANGE 6 EAST,
GILA & SALT RIVER BASE & MERIDIAN,
COCONINO COUNTY, ARIZONA

GENERAL GRADING AND DRAINAGE NOTES:

1. TOPOGRAPHY DATA PROVIDED BY HERITAGE LAND SURVEY WHICH WAS PERFORMED WITHIN FEBRUARY 2018.
2. SITE BENCHMARK AND ELEVATIONS ARE BASED ON THE CITY OF SEDONA BENCHMARK #25, BRASS CAP EL = 4419.47'
3. TOP OF CUT SLOPES SHALL BE MADE NOT NEARER TO A SITE BOUNDARY LINE THAN 1/5 OF THE THE VERTICAL HEIGHT OF THE CUT WITH A MINIMUM OF 2 FEET. THE TOE OF FILL SLOPES SHALL BE MADE NOT NEARER TO A SITE BOUNDARY LINE THAN 1/2 OF THE VERTICAL HEIGHT OF THE FILL, WITH A MINIMUM OF 2 FEET. ALL CUT OR FILL SLOPES STEEPER THAN 2:1 SHALL BE STABILIZED WITH RIPRAP.
4. THE GROUND SURFACE SHALL BE PREPARED TO RECEIVE FILL BY REMOVING ALL VEGETATION, NON-COMPLYING FILL, AND OTHER UNSUITABLE MATERIALS.
5. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12" SHALL BE ALLOWED IN FILLS IN THE ABSENCE OF A SOILS REPORT AND INSPECTION BY A SOILS ENGINEER.
6. ALL FILLS SHALL BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AND VERIFIED BY A COMPACTION REPORT WHEN SUPPORTING A STRUCTURE. (1)
7. PRIOR TO CONSTRUCTION CONTRACTOR TO POTHOLE EXISTING CMP AND VERIFY INVERT ELEVATION. IF INVERT DOES NOT ALLOW NEW CMP TO BE INSTALLED WITH A 2% MINIMUM GRADE THEN CONTRACTOR SHALL NOTIFY DESIGN ENGINEER.



3D DESIGN SURFACE MODEL

LOOKING NW WITH 1' CONTOURS

SPOT ELEVATIONS LEGEND

FF	FINISHED FLOOR
EG	EXISTING GROUND
FG	FINISHED GROUND
FL	FLOW LINE
TOW	TOP OF WALL
TOC	TOP OF CONCRETE

EARTHWORK VOLUMES

CUT:	250 CY
FILL:	280 CY
NET:	30 CY (FILL)

NOTE: VOLUMES ARE UNADJUSTED FOR EXPANSION OR COMPACTION.

0 5' 10' 20'
SCALE IN FEET

(1) 4/3/18 REVISION PER CITY COMMENTS

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811 BLUE STAKE, INC.
Call 811 or click Arizona811.com

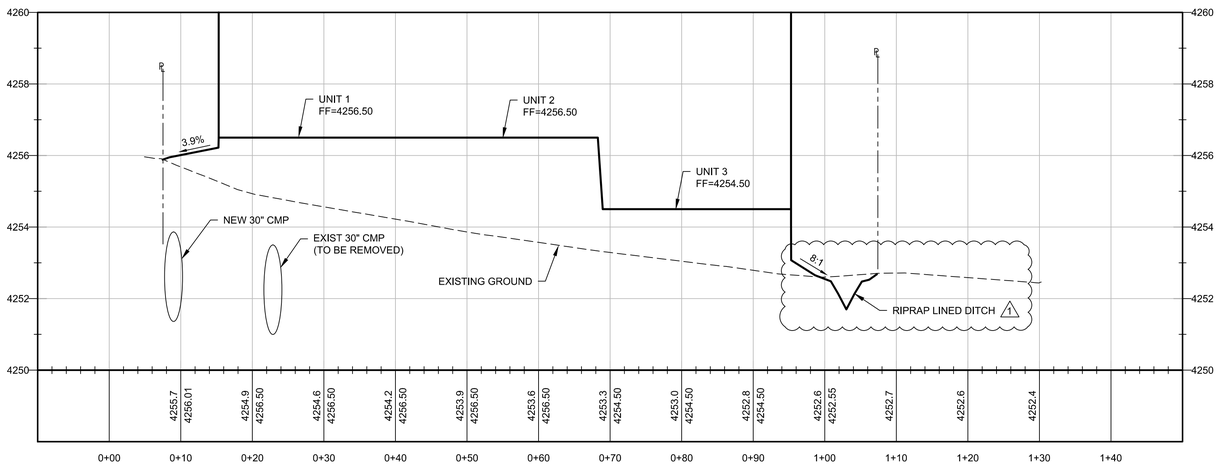
Registered Professional Engineer (Civil)
CERTIFICATE NO. 37322
LUKE A. SEFTON
DATE SIGNED 03-06-18
ARIZONA, U.S.A.
EXPIRES 03/31/20

Sefton Engineering Consultants
Your Ideas to Completion
Surveying • Engineering • Land Planning
20 STUTZ BEARCAT DR. #B
SEDONA, ARIZONA 86336
PH: (928) 202-3999 LS@SEFENGCO.COM

SHEET TITLE: GRADING AND DRAINAGE

PROJECT TITLE: COTTAGES AT PEACH LANE
HABITAT FOR HUMANITY UNITS

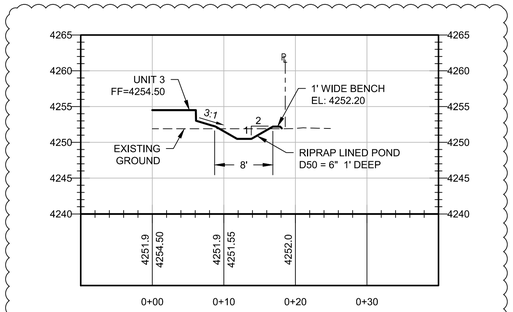
DRAWN BY:	RJB
SCALE:	1'=10'
DATE:	03/06/2018
PROJECT NO:	180107
SHEET NO.	C-2



SECTION A

0 5' 10' 20'

HORIZONTAL SCALE IN FEET
1" = 10'
VERTICAL SCALE IN FEET
1" = 2'

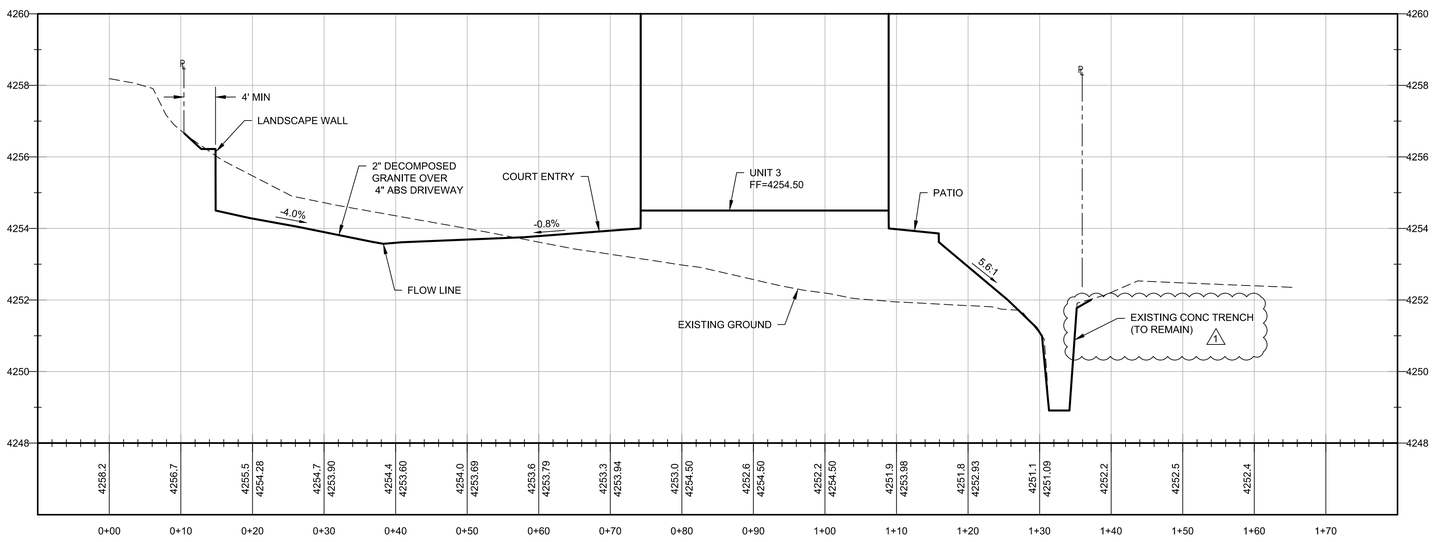


SECTION C

0 5' 10' 20'

HORIZONTAL SCALE IN FEET
1" = 10'
VERTICAL SCALE IN FEET
1" = 10'

1



SECTION B

0 5' 10' 20'

HORIZONTAL SCALE IN FEET
1" = 10'
VERTICAL SCALE IN FEET
1" = 2'

1 4/3/18 REVISION PER CITY COMMENTS

Registered Professional Engineer (Civil)
CERTIFICATE NO. 37322
LUKE A. SEFTON
DATE SIGNED 03-06-18
ARIZONA, U.S.A.
EXPIRES 03/31/20

Sefton Engineering Consultants
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20 STUTZ BEARCAT DR. #8
SEDONA, ARIZONA 86336
PH: (928) 202-3999 LS@SEFENGCO.COM

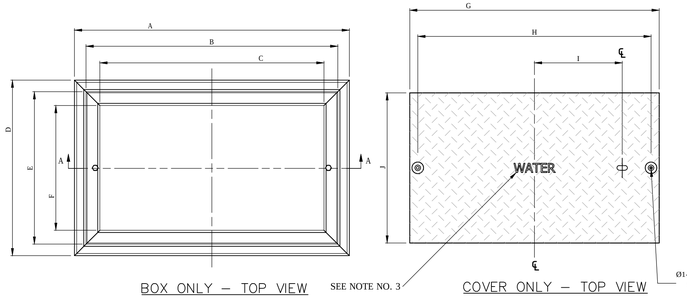
SHEET TITLE: SECTIONS

PROJECT TITLE:

COTTAGES AT PEACH LANE

HABITAT FOR HUMANITY UNITS

DRAWN BY:	RJB
SCALE:	1'=10'
DATE:	03/06/2018
PROJECT NO:	180107
SHEET NO.	C-3



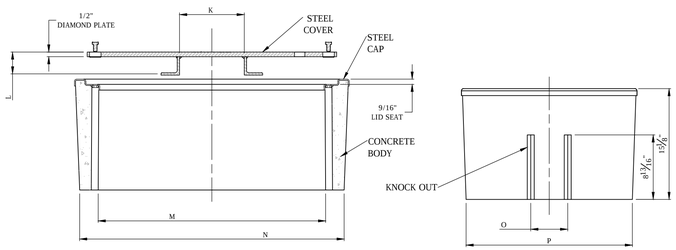
BOX ONLY – TOP VIEW

SEE NOTE NO. 3

COVER ONLY – TOP VIEW

NOTES:

1. COVER AND BOX COMBINATION SHALL MEET AASHTO H20
2. DIMENSIONS SHOWN SHALL NOT VARY MORE THAN A 1/16 OF AN INCH
3. MARKINGS PER AGENCY AND/OR UTILITY
4. STACKABLE EXTENSION AVAILABLE TO ACHIEVE DEPTH DESIRED
5. GROUND BELOW THE BOX TO BE COMPACTED TO 95% MAXIMUM DENSITY
6. 6" CONCRETE COLLAR IF REQUIRED BY AGENCY

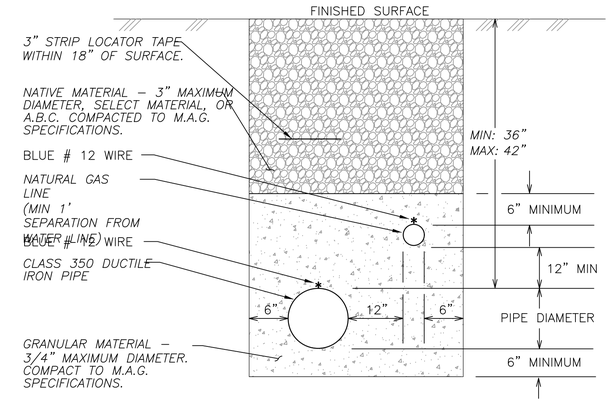


SECTION A–A BODY AND COVER

END VIEW

TRAFFIC BOX DIMENSIONS		
DIMS	BOX NUMBER	
	(1324)	(1730)
A	29–3/4"	36–7/8"
B	27–1/4"	33–1/2"
C	24–1/4"	30"
D	19"	23–3/4"
E	16–1/2"	20–1/2"
F	13–1/2"	17"
G	27"	33–1/4"
H	25–1/4"	31–1/4"
I	9–1/2"	12–1/8"
J	16–1/4"	20–1/4"
K	7"	10–3/4"
L	2–1/2"	3–1/2"
M	24–5/8"	30–5/8"
N	28–5/8"	35–7/8"
O	4"	5–3/4"
P	18"	22–5/8"

DETAIL NO.		STANDARD DETAIL		REVISED	DETAIL NO.
319	MARICOPA ASSOCIATION of GOVERNMENTS	ENGLISH	TRAFFIC RATED BOX AND COVER	01–01–2017	319

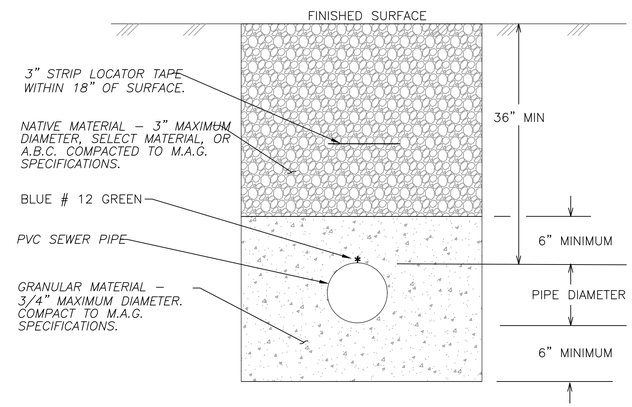


WATER LINE/GAS LINE TYPICAL TRENCH DETAIL

NOT TO SCALE

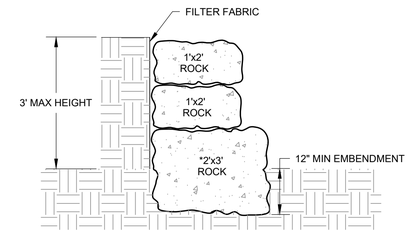
NOTES:

1. WATER AND GAS MAIN MAY BE PLACED IN A COMMON TRENCH AS LONG AS HORIZONTAL AND VERTICAL SEPARATIONS ARE 2 FOOT MINIMUM
2. MINIMUM COVER TO BE MEASURED FROM EXISTING OR PROPOSED FINISHED SURFACE OF PAVEMENT OR FINISHED GRADE.
3. ALL WATER FACILITY CONSTRUCTION TO COMPLY WITH ARIZONA WATER COMPANY'S STANDARD SPECIFICATIONS.



SEWER LINE TYPICAL TRENCH DETAIL

NOT TO SCALE

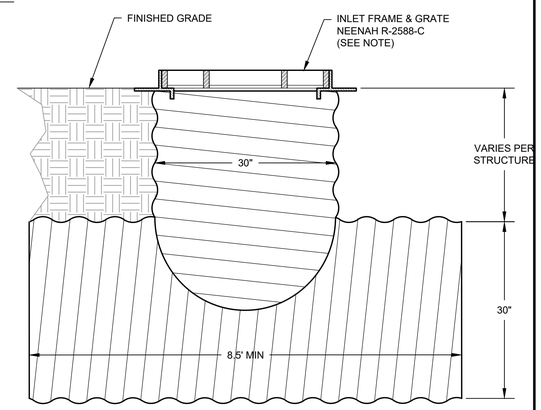


NOTE: SIZE OF BASE ROCK MUST BE 2/3 THE HEIGHT OF THE WALL

NATIVE ROCK LANDSCAPE WALL

(3' MAX HEIGHT)

NOT TO SCALE

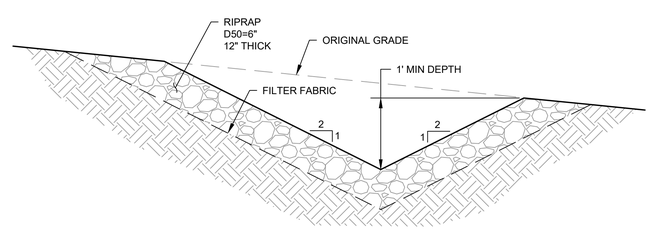


NOTE: OR EQUAL APPROVED BY DESIGN ENGINEER

MANUFACTURED CMP INLET STRUCTURE

NOT TO SCALE

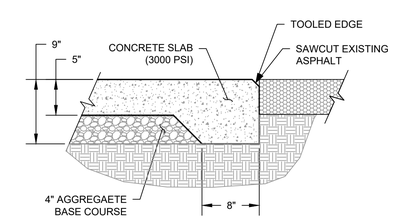
1



RIPRAP LINED DITCH

NOT TO SCALE

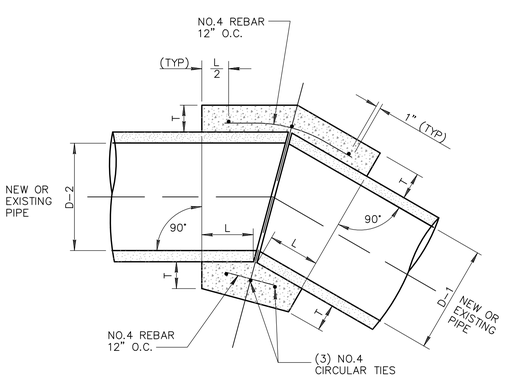
1



CONCRETE DRIVEWAY SECTION

NOT TO SCALE

1



NOTES:

1. A CONCRETE COLLAR IS REQUIRED WHERE PIPES OF DIFFERENT DIAMETERS OR MATERIALS ARE JOINED, OR WHERE THE CHANGE IN ALIGNMENT OR GRADE EXCEEDS THAT ALLOWED FOR ON ORDINARY JOINTS.
2. WHERE PIPES OF DIFFERENT DIAMETERS ARE JOINED WITH A CONCRETE COLLAR, L AND T SHOULD BE THOSE OF THE LARGER PIPE. D=D–1, OR D–2 WHICHEVER IS GREATER.
3. OMIT REINFORCING ON PIPE 24" OR LESS IN DIAMETER.
4. WHERE REINFORCING IS REQUIRED, THE DIAMETER OF THE CIRCULAR TIES SHALL BE THE OUTSIDE DIAMETER OF PIPE+T.
5. FIELD CLOSURES OF PIPE OF THE SAME DIAMETER AND WITHOUT CHANGE IN GRADE OR ALIGNMENT SHALL BE MADE WITH A CONCRETE COLLAR.
6. CONCRETE SHALL BE CLASS B PER SECT. 725.
7. ALL REBAR SHALL HAVE 3" MINIMUM CLEAR COVER.
8. PIPE ENDS TO BE TRIMMED SUCH THAT THE MAXIMUM DISTANCE BETWEEN PIPES AT ANY POINT IS 2".
9. AN ENGINEER APPROVED WATER STOP IS REQUIRED ON ALL PIPES EXCEPT CONCRETE PIPE.

TABLE		
D	L	T
18"	1.0'	5"
24"	1.0'	6"
36"	1.5'	8"
57"	1.5'	10"
66"	1.75'	11"
FOR PIPE SIZES NOT LISTED AND LESS THAN 66" USE THE NEXT SIZE LARGER.		

DETAIL NO.		STANDARD DETAIL		DRAFT	DETAIL NO.
505	MARICOPA ASSOCIATION of GOVERNMENTS	ENGLISH	CONCRETE COLLAR FOR PIPE	01–01–2018	505

1 4/3/18 REVISION PER CITY COMMENTS

Registered Professional Engineer (Civil) CERTIFICATE NO. 37322 LUKE A. SEFTON DATE SIGNED 03-06-18 ARIZONA, U.S.A.
EXPIRES 03/31/20

Sefton Engineering Consultants
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SEDONA, ARIZONA 86336
PH: (928) 202-3999 LS@SEFENGCO.COM

DETAILS

COTTAGES AT PEACH LANE

HABITAT FOR HUMANITY UNITS

SHEET TITLE:

PROJECT TITLE:

DRAWN BY:	RJB
SCALE:	1'=10'
DATE:	03/06/2018
PROJECT NO:	180107
SHEET NO.	C-4

Subdivision Checklist

Land Development Code Article 7

PZ18-00001 (SUB) Habitat for Humanity Triplex

City Of Sedona Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

Article 7 of the Sedona Land Development Code contains principles and standards applicable to the subdivision of properties. This Article sets the minimum criteria for review and approval of all new subdivisions by the City's Community Development Department, Planning & Zoning Commission, and City Council. Applicants of proposed subdivisions must demonstrate compliance with these standards.

Review Date: July 24, 2018

Reviewer: Matt Kessler, Associate Planner

Color Coding	Full Compliance	Partial Compliance	Non-Compliance	Not Applicable

706 Subdivision design principles and standards		
	706.02 Reservation of Land for Public Use	
		Evaluation: No areas of the subdivision are proposed to be reserved for public use. There are no adopted plans that recommend the reservation of land within this subdivision.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
	706.03 Street Location and Arrangement	
		Evaluation: No new streets are proposed as a part of this subdivision. The newly created lots will use a common access driveway that is privately owned and maintained. The layout of the subdivision does not create any landlocked parcels or prevent access to public land.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	706.04 Street and Driveway Design	
		Evaluation: No new public streets are proposed as a part of this subdivision. The subdivision will connect to existing public streets. Access to the new lots will be provided through a shared access easement. The site is relatively flat, and the access easement will not exceed allowable slopes. Site distance requirements at the intersection of the existing streets and proposed access driveway will be maintained.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	706.05 Street Naming	
		Evaluation: No new streets are proposed in conjunction with this subdivision.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
	706.06 Easement Planning	
		Evaluation: The access easement is provided where necessary on the Preliminary Plat. No easements for access to public lands currently exist and none are provided on the plat. Drainage easements have been provided to the satisfaction of the City Engineer and designed to all applicable Code regulations.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	706.07 Lot Planning	
		Evaluation: (A) The subject lot is existing and the proposed number of units complies with the maximum density requirement of the RM-3 zoning district. The location of each unit complies with the setbacks of the zoning district. There are no topographical features or native vegetation that would warrant reduced building envelopes. (B) The subdivision does not abut a public an arterial highway; no additional setbacks are required.

(C) This site is not subject to periodic inundations, subsidence of the earth's surface, high water table, and does not have difficult topography, unstable soil or other natural or manmade hazards that need to be considered in the design of the subdivision.

(D) None of the lots have a depth-to-width ratio that exceeds 3 to 1.

(E) Side lot lines are at substantially right angles to streets and access easements.

(F) Legal access is provided to every lot.

(G) No lots have frontage on 2 streets.

(H) Legal access is provided to every lot.

(I) No corner lots are proposed.

(J) No lots are divided by a city, county, school district, or other taxing agency boundary.

(K) There are no crest or ridge lines on the site.

(L) There are no crest or ridge lines on the site.

(M) There are no slopes in excess of 30%.

(N) The buildings shown on the plat follow the setback requirements for the district and granted administrative waiver reductions. No existing, sensitive. natural conditions on the site require the modification of these envelopes.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

706.08 Hillside Development Area

Evaluation: Hillside development areas are defined as terrain having an average slope exceeding 15%. This subdivision does not meet that definition; therefore, this section does not apply.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

708 Waivers

Summary of waivers requested under Section 708

Evaluation: No waivers have been requested.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

711 Condominium and condominium conversions (airspace planning)

711.04 Standards of Development

Evaluation: A tract map showing the location of all three units has been submitted and is in compliance with applicable subdivision and land division sections of the Code. As there are no existing buildings or structures on the site, no condominium conversion is proposed.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

711.05 Special Conditions

Evaluation: (A) There are no common areas within the plat that would require the inclusion of CC&Rs to dictate ownership and maintenance of those areas. The common access driveway as shown on the plat will be maintained by the individual property owners.
(B) Two patios, a view deck, and entry courtyard are provided for each unit, providing a total of 421 square feet of recreational space for each unit. This satisfies the 400 square feet per unit requirement.
(C) No variations from these conditions were required.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

Other Considerations:

City Of Sedona Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

PZ18-00001 (SUB) Peach Lane Cottages
Current Planning Comments
Reviewer: Matt Kessler, Associate Planner
(928) 203-5090; mkessler@sedonaaz.gov

1. The application submitted is for a minor land division, not a subdivision/preliminary plat as required. Please review the requirements for a Preliminary Plat Submittal (LDC 704.09.C) and ensure that the Plat submitted for review contains all required information.
2. Please revise the title of the submitted plat to accurately reflect that this is a subdivision application for preliminary plat approval, not a minor land division as stated.
3. Please include the location of all proposed site improvements, including buildings and driveways, on the proposed plat.
4. A note on the plat states that the proposed ingress-egress easement will be granted by a separate document. All easements shall be granted in the conjunction with the plat. Please revise the plat and application as necessary.
5. The submitted Waste Water Discharge letter states that the proposed project will contain a total of two residences, not three as indicated on the associated Development Review application. Please revise this letter to reflect the correct number of units.
6. Please see the following comment letter from Public Works regarding other inconsistencies and omissions, and ensure all items are adequately addressed.
7. Staff recommends that the applicant consider the inclusion of a non-vehicular access easement along the south and east property lines, with the exception of the driveway to control future access to the site.

City of Sedona
Public Works Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 204-7111 · Fax: (928) 282-5348;
Ryan Mortillaro, EIT (928) 203-5091

PZ18-00001 (SUB)
Habitat Homes (Preliminary Plat Review)
6/6/2018

Engineering Comments

Please address all comments by the next submittal:

1. Please update the title to reflect the project as a subdivision and the subdivision name.
2. Please update county reference to Coconino County.
3. The edge of existing pavement line work is absent from plot. (text callout is present)
4. Proposed Driveway Easement with variable width, please show the width dimension.
5. Per LDC 704.09C (q) The parcel areas are shown in Square Feet, please include area units in Acres.
6. Per LDC 704.09C (t) Circulation Plan Map, please provide a sketch showing names and widths of all major public/private streets and right-of-way.
7. Per LDC 704.09C (cc) Show the location of floodway and floodplain boundaries and base flood elevations.
8. Per LDC 704.09C (ff) Indicate which improvements are to remain, i.e. existing concrete drainage ditch to remain.
9. For the proposed Drainage Easement, please note if this is intended to be granted to the City and note the easement classification per the Yavapai County Drainage Manual.
10. Revise the grading and drainage plan to include the proposed Ingress/Egress and Drainage easements and existing boundary and proposed Parcel Lines - as shown on the SWI "*Record of Survey, Minor Land Division*" sealed on 05/03/18 will be provided to SEC (Luke Sefton Engineering Co). This information will be used to verify the location of proposed buildings and drainage improvements.
11. Provide a Trip Generation statement.
12. Provide a drainage statement, discussing the minor modifications and retention basins.

RE: City of Sedona Development Applications

Jon Davis <jdavis@sedonafire.org>

Thu 6/14/2018 2:42 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>;

Cc: Warren Campbell <WCampbell@sedonaaz.gov>; Audree Juhlin <AJuhlin@sedonaaz.gov>; Karen Osburn <KOsburn@sedonaaz.gov>;

Regarding PZ18-00009 Ambiente- SFD has no specific comments in regards to Planning or Zoning. It should be noted that this site has many challenges regarding access and water supply. The developer is aware of these challenges and has been in contact with this office. During preliminary discussions the developer has sought input from us and offered possible solutions to some of the problems as well. Based on the these discussions and the willingness of the developer to identify and solve these issues at the preliminary stage, I do not believe that these challenges are insurmountable.

PZ18-00001 Peach Lane Cottages – Again SFD has no specific comments in regards to Planning or Zoning. This project is also notable in regards to the occupancy type being proposed. A typical tri-plex or condominium built without fire walls would be considered a multi-family use and would therefore require the installation of NFPA 13D fire sprinkler systems in each occupancy. The developer has proposed to build these units with a 2 hour fire wall between each dwelling unit, in essence creating three separate single family dwellings. This negates the requirement for the NFPA 13D fire sprinkler system.

Sincerely,

Jon Davis
Fire Marshal
Sedona Fire District
928-204-8926

From: Cari Meyer [mailto:CMeyer@sedonaaz.gov]
Sent: Monday, June 11, 2018 8:38 AM
Cc: Warren Campbell <WCampbell@sedonaaz.gov>; Audree Juhlin <AJuhlin@sedonaaz.gov>; Karen Osburn <KOsburn@sedonaaz.gov>
Subject: City of Sedona Development Applications

I use the same distribution list for all new development projects. If the project(s) on this list are not in your county or area of service, do not feel obligated to respond, but feel free to contact me with any questions you have or clarifications you may need.

Hello,

The City of Sedona Community Development Department has received the following development applications.

Both applications are for comprehensive review; your review should focus on the completeness and accuracy of the information and whether the project as proposed complies with the requirements of your organization.

1. **PZ18-00009 (DEV) Ambiente Hotel (APN 401-70-107).** The property is in *Coconino County*. The applicant is requesting Development Review Approval for a 40-unit hotel. The property is approximately 3.1 acres in size and is zoned Special Use (SU).
2. **PZ18-00001 (SUB) Habitat for Humanity (Peach Lane Cottages) (APN 401-14-100).** The property is in *Coconino County*. The applicant is requesting Preliminary Plat Approval for a three lot condominium subdivision. This application is in conjunction with a current Development Review application submitted by Verde Valley Habitat for Humanity for the construction of a 3 unit multifamily complex. The property is approximately 0.26 acres in size and is zoned Multi-Family Residential (RM-3).

Please review the materials at the following link: http://sedonaaz.gov/projects.

A review agency meeting will be held on **Thursday, June 21, 2018, at 9:00 am** in the **Schnebly Conference Room in the Community Development Department Office**.

Comments are due by Wednesday, June 27, 2018.

If you are not the correct person in your agency to review these types of projects, please let me know so that I can update my mailing list. Thank you for your time and please let me know if you have any questions.

Cari Meyer, Senior Planner
City of Sedona Community Development

(928) 203-5049

Links:

City of Sedona Website
Community Development Department Webpage
Current Development Proposals
Like us on Facebook!
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Case No: PZ18-00001(SUB) notice of public hearing planning and zoning commision

Catherine Janik <catherine.janik@yahoo.com>

Wed 8/1/2018 1:35 PM

To: Matthew Kessler <MKessler@sedonaaz.gov>;

Cc: William Luyties <wh_luyties@yahoo.com>; Ellie Berman <bermanellie@gmail.com>; Michelle Burgueno <michellesedona@gmail.com>; Beth Johns <bjohns103@yahoo.com>; Judi Brost <judith.brost@gmail.com>; Mark Brost <mabrost@charter.net>; Jennifer Gordon <jenny32903@yahoo.com>; James R. Dydo <jim@emailboxhome.com>; Steve Berman <shberman5160@yahoo.com>;

Dear Mr. Kessler,
As an impacted homeowner I received notice of the above hearing which will be held on August 21, 2018 at 5:30 pm.
I would request that you please make sure that my following comments are noted in the record for purposes of the hearing:

"I have no issue with respect to the good work that the Verde Valley Habitat for Humanity provides to the community. I also have no issue with the initiative to develop the plot of land currently the subject of this zoning commission hearing. What I do take issue with is the need to waive easements and shoe horn 3 units into a space that would otherwise only sustain two units at most. But for the fact that it is the Habitat for Humanity petitioning for this parcel, I find it highly unlikely that the City of Sedona and its zoning commission would allow any other developer the same degree of latitude. Go ahead and develop the multifamily unit. But administer the statutes of the City of Sedona equally amongst all people."

Please confirm you have the ability to ensure this comment is put into the record. If you cannot do so, please advise where I can direct this comment to that I am ensured it is in the minutes.

Thank you in advance.
Catherine Janik
President, Condos at Jordan Road Home Owner's Association

Staff Report
PZ17-00001 (CUP, DEV) Arizona Water Company Tank Facility
Summary Sheet

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

Meeting Date:	August 21, 2018
Hearing Body:	Planning and Zoning Commission
Action Requested:	Consideration of a Conditional Use Permit and Development Review
Staff Recommendation:	Approval, with conditions, of a Conditional Use Permit and Development Review
Location:	55 Bell Rock Trail
Parcel Number:	401-33-031
Applicant:	Arizona Water Company, represented by Water Works Engineers
Site Size:	± 1.03 acres
Zoning:	Single-Family Residential (RS-18b)
Sedona Community Plan Designation:	Single Family Low Density
Current Land Use:	Vacant

	Area Zoning	Area Land Uses
North:	Single-Family Residential (RS-18b)	Residential
South:	Single-Family Residential (RS-18b)	Residential
East:	Right-of-way	State Route 179
West:	Single-Family Residential (RS-18b)	Residential

Report Prepared By: Warren Campbell, Assistant Director

Attachments: **Page**

[1] Additional application documents including technical background information is not included in the packet, but available for review on-line at http://sedonaaz.gov/your-government/departments/community-development/projects-and-proposals/

Staff Report
PZ17-00001 (CUP, DEV) Arizona Water Company Tank Facility

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

PROJECT SUMMARY:

Water Works Engineers, on behalf of the Arizona Water Company, is requesting approval of a Conditional Use Permit (CUP) and Development Review to allow for a new public utility and public service substation, water tank, and pumping plant. The facility is proposed to include a new 1.5 million gallon, mostly subterranean, water tank and booster pump station to provide water to the properties along the State Route 179 corridor of Sedona.

SITE CHARACTERISTICS

- The property is one parcel of approximately 1.03 acres
- The property is located in Coconino County.
- The property is accessed off of Bell Rock Trail, west of State Route 179. Access to State Route 179 is provided at Cathedral Rock Trail
- The site is vacant.
- There is a City-designated floodplain in the northeast corner of the property.

BACKGROUND

The Arizona Water Company is requesting approval of a CUP and Development Review to allow for construction of a new public utility and public service substation, water tank, and pumping plant. The facility is proposed to include a new 1.5 million gallon, mostly subterranean, water tank and booster pump station to provide water to the properties along the State Route 179 corridor of Sedona. In January of 2017, Water Works Engineers, on behalf of the Arizona Water Company, submitted the application for these requests. The application was amended in April and July of 2018 in response to comments from the public, staff, and review agencies. The application packet is included as Attachment 2a.

The property is not part of a subdivision. The Mystic Hills Subdivision is located directly north of the property, across State Route 179, and approximately 230 feet (2 lots) south of the property. The boundary of Yavapino Estates is approximately 130 feet (one lot) to the west of the property. According to Coconino County records, the current lot was created through the combination of four (4) lots, which was recorded on September 11, 2012. The lot was purchased by the Arizona Water Company on December 17, 2012. As the lot is vacant, there has been no further actions.

PUBLIC INPUT

- The proposal documents were placed on the Projects and Proposals page of the Community Development Department website (www.sedonaaz.gov/projects).
- The applicant notified property owners within 300 feet of the subject property regarding the proposed water tank and booster facility application request. As a result, a number of public meetings were held to gather input and inform those attending with details of the proposed project.
- The applicant's Citizen Participation Report is included as (Attachment 2b).
- The City completed the public notification for this project, including a mailing to neighboring property owners, posting the property with a Notice of Public Hearing on August 2, 2018, and a notice in the Red Rock News on August 3, 2018. In addition to posting the property, staff sought and received an ADOT permit to place a public notice within the State Route 179 right-of-way which has greater visibility.

- All notices contained contact information and directions on how to submit comments. Several public comments have been received since the initial application submittal in January 2017.
- All public comments received by the City as of August 14, 2018 are included as Attachment 5. Public comment was received from those:
    - Seeking explanations and an understanding of the proposal and what it entails;
    - Concerned with the design having been done prior to seeking public input;
    - In opposition to the location adjacent to residential properties;
    - Suggesting alternate locations (e.g. under a church parking lot, United States Forest Service Land, in round-about traffic circles, etc.)
    - Concerned with impacts such as noise, flooding, dust and traffic during and after construction;
    - Concerned with the excavation required and the proposed method of blasting to break rock;
    - In general support and opposition of the water tank proposal.

REVIEW AGENCY COMMENTS AND CONCERNS

The submitted documents were routed to review agencies for comments. Comments were received from the following agencies and are included as Attachment 4:

- City of Sedona Community Development Department
- City of Sedona Public Works Department
- Sedona Fire District
- United States Forrest Service

All comments have been addressed, included as recommended conditions of approval, or were advisory comments pertaining to future stages of the project.

DEVELOPMENT PROPOSAL

The applicant is applying for a CUP and Development Review to allow for the construction of a new public utility and public service substation, water tank, and pumping plant. The facility is proposed to include a new 1.5 million gallon, mostly subterranean, water tank and booster pump station to provide water to the properties along the State Route 179 corridor of Sedona. Photo simulations of the proposed changes have been submitted by the applicant and are included in Attachment 2d.

Phasing

- The project is proposed to be developed in a single phase.

Access, Traffic, and Parking

- Access to the site is off Bell Rock Trail which connects to State Route 179 via Chimney Rock Trail, Castle Rock Trail, and Cathedral Rock Trail.
- Along the access to the site, Bell Rock Trail turns into a gravel driveway past several residentially developed lots and two (2) vacant lots. This proposal will use existing access points.
- There are no anticipated changes to current traffic levels as a result of this proposal when completed.
- The parking created on the site will be available for employees visiting the facility. The applicant has indicated that it is expected that an employee will visit the site approximately once per week and deliveries will be made to the site approximately once per month.
- The site will not be designed with a wall or fence surrounding the property, which is the case at other water tank facilities. The proposal is designed so that the surface structure will securely enclose and protect the facility equipment.

Landscaping and Screening

- The accessory equipment necessary for operation of the water tank will be enclosed in a residentially scaled above grade structure.
- The proposal includes the installation of numerous trees and shrubs upon completion of the construction. Areas of existing trees and shrubs along the wash crossing the site will be protected and provide additional screening of the facility.

Grading and Drainage

- The applicant submitted a preliminary grading and drainage plan, which has been reviewed for compliance with applicable regulations and standards. The City's Public Works Department has found the preliminary grading and drainage plan to be in compliance at this juncture.
- The City's Public Works Department will continue to review all building plans to ensure no negative impacts on grading or drainage occur as a part of this project as the grading and drainage plan is refined for construction purposes.

Outdoor Lighting

- The proposal indicates the utilization of dark sky compliant light fixtures. The proposal includes five (5) fixtures on the building's east elevation and three (3) bollard lights along the parking area, which is comparable to other residentially developed properties in Sedona.

Mechanical Equipment and Trash Receptacles

- Mechanical equipment for the facility is proposed to be located on the ground. Mechanical equipment for the operation of the water tank and booster facility will be located within the proposed structure to provide security, noise reduction, and screening.
- No dumpster is proposed for the property. Trash will be carried out by employees during the regular weekly visit.

Signs

- No signs, other than those required by law, are proposed.

REVIEW, COMMENTARY, AND ANALYSIS

The following is requested from the Planning and Zoning Commission:

- Consideration of a request for a Conditional Use Permit and final action
- Consideration of a Development Review request and final action.

DISCUSSION (Conditional Use Permit)

Conditional Use Permit Requirements

Sedona Land Development Code (LDC) Section 605.02.B.6 (Uses Subject to Conditional Use Permit) lists "public utility and public service substation, water tanks, pumping plants and similar installations 650 square feet or greater, but not including public utility offices or repair or storage facilities" as a use requiring a CUP in the RS-18b (Single-Family Residential) Zoning District. LDC Section 605.03 states that, where required, conditional use permits shall be obtained as outlined in SLDC 402. The Conditional Use Permit criteria are noted in Section 402.06 of the LDC and are as follows:

A. *That the proposed location of the conditional use is in accordance with the objectives of this Code and the purpose of the zoning district in which the site is located.*

Staff Evaluation: The purpose of the Single-Family Residential District (RS-18b) zoning district is stated in LDC 605.01 as being to promote and preserve low density single-family residential

development. The proposed public utility and public service substation, water tank, and pumping plant is located to support the overall purpose for promoting and preserving residential development within the community. Public utility and public service substations, water tanks, and pumping plants are listed as a conditional use in all of Sedona's residentially zoned districts. The inclusion of these uses as conditional uses recognizes the necessity of their location throughout the community to serve all development and residential specifically, as residential development comprises approximately 74% of the total developable land area in Sedona. Staff has created a map depicting the location of water utility facilities throughout the city, Attachment 3a. This map shows that similar facilities are dispersed throughout residential areas, often adjacent to other residential properties, and in support of the water needs throughout the community.

The inclusion of public utility and public service substations, water tanks, and pumping plants as a conditional use identifies that uses of this nature may be essential or desirable but may include potentially negative operational characteristics and impacts that should be understood and mitigated. The conditional use review process is designed to consider the potential negative impacts and allows for the inclusion of conditions upon the approval of a use to mitigate those impacts.

B. *That the granting of the conditional use permit will not be materially detrimental to the public health, safety or welfare. The factors to be considered in evaluating this application shall include:*

1. *Property damage or nuisance resulting from noise, smoke, odor, dust, vibration or illumination;*
2. *Any hazard to persons and property from possible explosion, contamination, fire or flood;*
3. *Any impact on surrounding area resulting from unusual volume or character of traffic.*

Staff Evaluation: The proposed public utility and public service substation, water tank, and pumping plant is surrounded by residentially zoned properties on three sides and ADOT right-of-way on the fourth. The surrounding residential development was considered in the design and placement of the proposed water tank and booster pump facility. The design of the tank to be mostly subterranean with a residentially scaled structure on top to fully enclose all the proposed equipment was in direct response to the surrounding residential uses and the recognized need to be sensitive to its potential future neighbors.

The proposed inclusion of the residentially scaled structure on top of the tank results in the ability to provide sound proofing to mitigate the noise created by the equipment filling the tank and the pumps distributing the water into the system for use. In addition, it will provide a secure area to store the associated chemicals necessary for water treatment and protect the equipment from unauthorized personnel. It is common for facilities of this type to include a wall or fence around the perimeter of the facility to secure the site and limit access to authorized personnel. This facility does not include this type of fencing, as the building will serve this purpose as the applicant is attempting to provide a facility that fits into the residential character of the neighborhood and does not stand out as a public utility location.

The proposed structure includes several dark sky compliant exterior light fixtures. The lights will be on only when employees are at the site after dark, which should be infrequently.

There is a wash on the northerly portion of the site which carries a large capacity of storm water and at times had created some flooding down slope from the proposed water tank site. The applicant and staff are aware of these occurrences in the past and the design and review of the proposed preliminary grading and drainage plan has been done with the goal of reducing the

impact of the site upon the drainage. The proposed grading and drainage plan will decrease the quantity and speed by which water flows off the site during a 100-year storm event once the proposed improvements are constructed. The submitted preliminary grading and drainage plan have been found to be addressing these issues with the inclusion of a retention basin on the southwest corner of the site and a storm water manhole on the north side of the water tank. These two features will hold water during all rain events for release at a later point in time after the peak water flows.

The grading and drainage plan for the site, in response to the city's requirements, will result in the site addressing drainage and water run-off in a positive way. The site is proposing to incorporate several water storage features which will reduce run-off from the site during a 100-year storm event by approximately 20% (Attachment 2e). Final grading and drainage reports will be submitted in conjunction with any future building permit and will be accompanied by a Storm Water Pollution Prevention Plan for implementation during construction and a haul plan to address dust control.

As stated in the applicant's submittal materials, once the project is completed and in full operation, visits to the site by employees will occur on average once a week and deliveries to the site will occur approximately once per month. The number of vehicular trips generated by the proposed use will be less than the two (2) residential structures that could be built on the properties prior to the lot combination. It should be noted that the current lot was created by combining four (4) lots, however two (2) of the lots included in that total were small remnant lots which were not developable.

After construction is complete, no impacts from noise, smoke, odor, dust, vibration, or illumination are anticipated. No hazards as a result of explosion, contamination, fire, or flood are anticipated as a result of this use. This use is not anticipated to increase traffic in the area.

C. *That the characteristics of the use as proposed and as may be conditioned are reasonably compatible with the types of use permitted in the surrounding area.*

Staff Evaluation: This site is zoned residential and is surrounded by residential zoned properties, which conditionally permits public utility and public service substations, water tanks, and pumping plants. The applicant took into account the surrounding residential development in the creation of the design for the proposed water tank and booster facility on the site. The table below lists the parameters under which development could occur under existing residential zoning and compares them to what is being proposed for this project.

	RS-18b requirement for 1.03 acre site	**Proposed development**	**Difference**
Lot Coverage	15,703 square feet (35%)	10,276 square feet (23.6%) of which 2,350 (5.4%) is the above grade structure	5,427 square feet less than maximum allowable
Height	22 feet without alternate standards and 27 feet with alternate standards.	24 feet along the northern portion of the proposed building. Utilizes paint colors with an Light Reflectance Value (LRV) of	3 feet lower than maximum allowable with use of alternate

		22% or less as the alternate standard.	standards (LRV less than 38%)
Front Setback	25 feet (Along ADOT right-of-way)	65 feet	40 additional feet
Rear Setback	25 feet western property line	25 feet	Meets minimum
Side Setbacks	10 feet northern and southern property line	45 feet north property line 25 feet south property line	35 additional feet 15 additional feet

In consideration of the surroundings, the design attempts to take advantage of topography on the site to place the water tank below grade with a 2,350 square foot residentially scaled building on top. The proposal meets or exceeds the minimum setbacks and addresses the 2 feet of additional height through alternate standards. The proposed structure on top of the water tank does not include many windows in order to address sound mitigation and security of the materials inside the structure. The above grade structure as proposed meets the city's regulations with regard to design and fenestration minimum requirements.

Due to the location on the site, the distance from other properties, the design of the project, and recommended conditions of approval, Staff believes that the impact to the neighboring properties is minimized.

D. *That the proposed use, as it may be conditioned, will comply with the applicable provisions of this Code, and other ordinances.*

Staff Evaluation: The conditions recommended by staff are intended to mitigate any potential negative impacts on the properties located within the immediate proximity of the proposed water tank and booster facility. By complying with all recommended Conditions of Approval, this project will be in compliance with the applicable provisions of the Land Development Code.

E. *That the proposed expansion or change of a nonconforming use (if applicable) is no more deleterious to other properties in the surrounding area than the existing use.*

Staff Evaluation: The site is vacant, therefore there is no expansion or change of a non-conforming use proposed.

DISCUSSION (DEVELOPMENT REVIEW)

In considering an application for Development Review, the review process is guided by the considerations noted in Article 4 (Review Procedures), Section 401.06 (Considerations) of the LDC:

A. *Does the application comply with all of the applicable provisions of this Code and all other ordinances?*
B. *Has the applicant made a substantial, good faith attempt to comply with the design standards set forth in Article 10 SLDC, Design Review Manual?*
C. *Are the proposed uses in general conformance with the applicable goals, objectives and recommendations described in the Sedona Community Plan and adopted specific plans as manifested in the Land Development Code and Design Review Manual?*

D. *Does the proposed development reasonably attempt to address concerns cited by participating reviewing agencies with jurisdiction in the areas of public health and safety?*
E. *Does the proposed development reasonably attempt to integrate into the natural environment with minimal disturbance to view corridors, existing native vegetation and/or established landscaping, the natural topography of the site, natural drainage ways, known wildlife habitats, rock outcrops, and other natural features?*
F. *Does the proposed development reasonably attempt to integrate into, and become compatible with, the built form of surrounding properties and existing developments with regard to building height and character, landscaping, signage, building materials, historical structures or features, landscaping, exterior lighting and pedestrian and vehicular circulation?*
G. *Are the proposed vehicular ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and solid waste collection facilities reasonably designed to promote public safety and convenience?*
H. *Is pedestrian and bicycle circulation facilitated, where reasonably feasible and possible, both on and off site, through interconnected passages, pathways and plazas that are designed to promote public safety and convenience?*
I. *Does the proposed development provide legally compliant facilities for people with disabilities?*
J. *Has the applicant made a good faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the Citizen Participation Plan for the specific development project?*

Evaluation of Proposal (Development Review)

Finding A: Does the application comply with all of the applicable provisions of this Code and all other ordinances?

Staff Evaluation: For a complete, detailed evaluation, please see Attachment 3b: Development Standards Checklist. The application complies with all applicable sections of Article 9 (Development Standards), with the exception of the following:

1. LDC 904.01, Exterior Color Requirements: The applicant has proposed a palette of four (4) different colors. Based on the required alternate standards, the maximum light reflectance value permitted is 22%. All colors comply with this LRV except proposed exterior paint color 3, Tnemec Kumquat 70GN. In order to address this, Staff recommends a condition of approval limiting all exterior building colors to a maximum LRV of 22%.

2. LDC 905, Alternate Standards: The highest point of the building above natural grade occurs on the north elevation. At this point, the building is 24 feet above natural grade. In order to address this height, a total of 4 credit points is needed under alternate standards. Based on Staff's evaluation, the building would not qualify for any points under unrelieved building planes, therefore, all points must be obtained through paint colors. In order to obtain 4 credit points, the maximum allowable light reflectance value (LRV) is 22%. As one of the proposed paint colors exceeds 22% LRV, one of the recommended conditions of approval is a reduction of the maximum LRV to 22%.

Finding B: Has the applicant made a substantial, good faith attempt to comply with the design standards set forth in Article 10 SLDC, Design Review Manual?

Staff Evaluation: For a complete, detailed evaluation, please see Attachment 3c: Design Review Manual Checklist. The project is in compliance with all other areas of the DRM, and in many areas, the project exceeds the minimum expectations. Therefore, Staff believes that, as a whole, the proposal conforms with the intent of the DRM and the applicant has made a substantial, good faith attempt to comply with the applicable design standards.

Finding C: Are the proposed uses in general conformance with the applicable goals, objectives and recommendations described in the Sedona Community Plan and adopted specific plans as manifested in the Land Development Code and Design Review Manual?

Staff Evaluation: The property as proposed includes a mostly subterranean public utility and public service substation, water tank, and pumping plant development which is in conformance with the Sedona Community Plan. Most specifically, the proposal addresses the Community Plan's Themes of Environmental Stewardship and Sense of Place. This proposal is addressing these Themes as the proposed development will be occurring on lots that would otherwise be developed with residential verses having the utility constructed in areas where development was not previously planned for and anticipated, such as within the boundaries of the USFS. Previous proposals for the water tank in this area of the city were considered on USFS property and ultimately rejected, in part because of the development impact and scaring of the pristine landscape that would result. To construct a facility of this nature in a previously undeveloped area would result in the need to cut a road, clear vegetation, and extend utilities such as water line connections and electricity.

Through the current proposal, the applicant has selected a location already anticipated for development, a location adjacent to the existing water line in the ADOT right-of-way with electricity in close proximity of an already established network of roads and driveways. Furthermore, in response to the surrounding context, the application addresses the Theme of Sense of Place by placing the water tank below the existing grades on the site with a residential scaled structure atop the tank to house the equipment and provide security and noise mitigation. The proposal as designed and submitted prevents the disturbance of pristine locations within the city and is responding to the immediate conditions of development on adjacent properties. Upon completion, given time, the proposed installation of landscaping will mature and obscure the structure atop of the water tank just as the vegetation throughout the neighborhood obscures the existing residential development.

This property is not within a Community Focus Area.

Finding D: Does the proposed development reasonably attempt to address concerns cited by participating reviewing agencies with jurisdiction in the areas of public health and safety?

Staff Evaluation: Yes, the proposal has been routed to all applicable review agencies. All comments have been addressed in the design of the site plan and building. Any outstanding comments are related to future conditions that will be reviewed for and verified during building permit review.

Finding E: Does the proposed development reasonably attempt to integrate into the natural environment with minimal disturbance to view corridors, existing native vegetation and/or established landscaping, the natural topography of the site, natural drainage ways, known wildlife habitats, rock outcrops, and other natural features?

Staff Evaluation: Yes, the proposal is designed in accordance with the LDC and all applicable regulations and standards except as noted otherwise. As stated in the response to Finding C above, the proposed design as submitted is addressing the elements captured within this finding. The project is located on the site which has been anticipated for development and has the infrastructure in place or in proximity to service the water tank and booster facility. The existing wash will remain undisturbed and efforts to preserve those trees not in the location of the proposed tank will be preserved. The placement of the water tank and booster facility on this site which is lower than many properties in the vicinity including the right-of-way helps to preserve the view corridors.

Finding F: Does the proposed development reasonably attempt to integrate into, and become compatible with, the built form of surrounding properties and existing developments with regard to building height and

character, landscaping, signage, building materials, historical structures or features, landscaping, exterior lighting and pedestrian and vehicular circulation?

Staff Evaluation: Yes, the proposed project has been designed with the goal of being compatible with the adjacent residential development. The placement of the water tank below grade with a residentially scaled equipment structure on top of the tank results in a visible structure which is compatible with the surrounding development. Staff reviewed the proposal based upon the prescribed regulations for a residential structure just as all the adjacent developed lots have been with regard to height, massing, setbacks, and lot coverage. The proposed landscaping plan exceeds the minimum requirements in an effort to provide both immediate and future screening for the site. The nature of the site will generate fewer vehicular trips than if it were developed with the potential two (2) residential structures. The proposed stucco exterior and the selected paint colors with Light Reflectance Values of 22% or less will result in a structure which will blend in with the surrounding residential development and the landscaping.

Finding G: Are the proposed vehicular ingress, egress, internal traffic circulation, off-street parking facilities, loading and service areas and solid waste collection facilities reasonably designed to promote public safety and convenience?

Staff Evaluation: Yes, the proposed location for the vehicular driveway has been reviewed by the Public Works Department staff and have been determined to be compliant. The proposed parking area will provide for the necessary parking when employees are present on the site. Trash will be removed from the site by employees upon each visit. There will be no trash service needed at the site. All vehicular areas have been designed in accordance with the Land Development Code requirements and have been reviewed by the Sedona Fire District for access and safety concerns.

In an effort to reduce the potential negative impacts upon the surrounding residential development, the applicant has been discussing with the Arizona Department of Transportation (ADOT) the potential for the construction of a temporary access road from the proposed site up to State Route 179 within the right-of-way. If an agreement can be reached between the applicant, city staff, and ADOT the temporary construction access road would be in place during the duration of construction. Upon the completion of construction, the road would be removed with the previously existing grades and landscaping restored upon the completion of the construction process. The existence of the drainage wash on the north side of the property will be a consideration in the design on any temporary construction access road.

Finding H: Is pedestrian and bicycle circulation facilitated, where reasonably feasible and possible, both on and off site, through interconnected passages, pathways and plazas that are designed to promote public safety and convenience?

Staff Evaluation: Bicycle and pedestrian circulation is not facilitated by the proposal as it is a utility facility located at the end of a private street. The site is adjacent to a pedestrian and bicycle path which parallels State Route 179. A development of this type in this location would not be anticipated as being an integral part of the pedestrian and bicycle network.

Finding I: Does the proposed development provide legally compliant facilities for people with disabilities?

Staff Evaluation: The proposed water tank and booster pump facility will not be open to the public and therefore does not fall within the scope of the Americans with Disabilities Act (ADA).

Finding J: Has the applicant made a good faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the Citizen Participation Plan for the specific development project?

Staff Evaluation: The applicant has developed and executed a Citizen Participation Plan to inform the public and gather input. A copy of the applicant's Citizen Participation Report, including their responses to comments received by participants, is provided as Attachment 2b.

Recommendation and Motion

PZ17-00001 (CUP, DEV) Arizona Water Tank Facility

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

Staff Recommendation

Based on compliance with all ordinance requirements and satisfaction of the Conditional Use Permit findings of the Land Development Code, staff recommends approval of case number PZ17-00001 (CUP, DEV), Arizona Water Company Water Tank and Booster Facility at 55 Bell Rock Trail to allow for a new public utility and public service substation, water tank, and pumping plant, subject to all applicable ordinance requirements and the attached conditions of approval:

Recommended Motion for Approval

I move for approval of case number PZ17-00001 (CUP, DEV), Arizona Water Company Water Tank and Booster Facility at 55 Bell Rock Trail, to allow for a new public utility and public service substation, water tank, and pumping plant based on compliance with all ordinance requirements and satisfaction of the Conditional Use Permit findings and applicable Land Development Code requirements and the conditions as outlined in the staff report.

Alternative Motion for Denial

I move for denial of case number PZ17-00001 (CUP, DEV), based on the following findings (*specify findings*).

(*Please note that the above motions are offered as samples only and that the Commission may make other motions as appropriate*.)

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
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As recommended by Staff

PZ17-00001 (CUP)

1. The use shall be in substantial conformance with the applicant's representations of the project, including the site plan, letter of intent, and all supporting documents, as reviewed, modified, and approved by the Planning and Zoning Commission. Proposed changes in operation or activities to the approved Conditional Use Permit determined to be substantial by the Community Development Director shall require reconsideration by the Planning and Zoning Commission at a public meeting.
2. The applicant shall ensure that the use is operating in compliance with the Land Development Code requirements and applicable conditions of approval. If contacted by City Staff regarding a potential violation in the operation of this use, the applicant shall work with City Staff to address the issue in a timely manner. If a satisfactory solution is not found, City Staff may initiate proceedings to revoke the CUP.
3. The Conditional Use Permit shall remain valid as long as the building and site is used as a public utility substation, water tank, and pumping plant. If this use ceases for more than twelve (12) months, a new conditional use permit application shall be submitted, reviewed, and approved before the use may be reinstated.
4. The applicant shall obtain a building permit for the proposed modifications.
5. All requirements of the Sedona Fire District shall be satisfied.
6. Within thirty days of approval of the Conditional Use Permit, the property owner of record of subject property voluntarily agrees to sign and record a waiver acknowledging their waiver of any right to claim just compensation for diminution in value under A.R.S. §12-1134 related to the granting of this Conditional Use Permit.
7. The applicant shall continue to work with the Arizona Department of Transportation (ADOT) and the City of Sedona Public Works Department to explore the possibility of providing temporary direct access to and from the site, during the construction phase only. If a design can be agreed to by the applicant, ADOT, and the City of Sedona Staff it shall be implemented prior to the start of material excavation on the site. Any temporary construction access shall be removed with previously existing grades and native vegetation resorted prior to the issuance of a certificate of occupancy by the city.
8. The approval of this conditional use permit is contingent upon approval of the subsequent Development Review application associated with this permit. Should a motion for the Development Review fail the motion for the conditional use permit shall become invalid.

Recommendation and Motion

PZ17-00001 (CUP, DEV) Arizona Water Tank Facility

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(928) 282-1154 · www.sedonaaz.gov/cd

Staff Recommendation

Based on compliance with ordinance requirements as conditioned, general consistency with the Land Development Code and the requirements for approval of Development Review, Staff recommends approval of the proposed Development Review as set forth in case number PZ17-00001 (CUP, DEV), Arizona Water Company Water Tank and Booster Facility at 55 Bell Rock Trail to allow for a new public utility and public service substation, water tank, and pumping plant, subject to applicable ordinance requirements and the conditions as outlined in the staff report.

Recommended Motion for Approval

I move for approval of case number PZ17-00001 (CUP, DEV), Arizona Water Company Water Tank and Booster Facility at 55 Bell Rock Trail to allow for a new public utility and public service substation, water tank, and pumping plant, based on compliance with all ordinance requirements and satisfaction of the Conditional Use Permit findings and applicable Land Development Code requirements and the conditions as outlined in the staff report.

Alternative Motion for Denial

I move for denial of case number PZ17-00001 (CUP, DEV), based on the following findings (*specify findings*).

(*Please note that the above motions are offered as samples only and that the Commission may make other motions as appropriate*.)

Conditions of Approval

PZ17-00001 (CUP, DEV) Arizona Water Tank Facility

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

As recommended by Staff

PZ17-00001 (DEV)

1. Development of the subject property shall be in substantial conformance with the applicant's representations of the project, including the site plan, landscape plan, letter of intent, and all other supporting documents, as reviewed, modified, and approved by the Planning & Zoning Commission. Proposed changes determined to be substantial by the Community Development Director shall require reconsideration by the Planning & Zoning Commission at a public meeting.
2. Hours of work, for grading operations, shall be limited to 7 a.m. to 6 p.m., Monday through Friday and 9 a.m. to 5 p.m. on Saturday. No grading work shall occur on Sunday.
3. The exterior colors and materials shall be in compliance with all City color and materials requirements.
    a. Due to the application of Alternate Standards, the lightest paint color shall not exceed 22% light reflectance value (LRV).
4. All vents, down spouts, gutters, posts, etc. shall be painted to match the exterior wall or roof color or be in compliance with the color provisions of the Land Development Code.
5. All landscaping shall be maintained to ensure visibility triangle requirements are met at the driveway entrance and intersection.
6. All exterior mechanical equipment shall be screened and/or painted to the satisfaction of the Community Development Director.
7. The applicant shall obtain Right-of-Way Permits from the City of Sedona for any work in the Right-of-Way.
8. The plans submitted for building permits shall include the following revisions:
    a. Finish floor of all units shall be lowered to a maximum elevation height of 4355.
    b. Balconies shall be removed from the front yard setback in compliance with LDC 901.03 Encroachments into Yards.
    c. The submitted Landscaping Plan shall be modified to comply with all requirements of LDC Section 910, including the required percentages of evergreen and native species.
    d. All portions of walls and fences within a front or street side yard setback area shall be limited to 3 feet in height.

9. Prior to the issuance of grading and building permits, the applicant shall satisfy the following conditions and provide written documentation of such compliance to staff:
    a. Provide Final Grading and Drainage Plans. The Site Plan shall meet the grading and drainage requirements of SLDC Section 803, Permit Required - Exceptions.
    b. Provide Final Drainage Report.
    c. Parking areas shall to meet current United States Department of Justice ADA requirements. Construction of ADA compliant pedestrian facilities shall meet ADA grade tolerances. Additional accessible parking spaces shall be added to the existing parking areas to meet the minimum number of accessible spaces required.

d. The applicant shall provide a Storm Water Pollution Prevention (SWPP) Plan along with the Arizona Department of Environmental Quality (ADEQ) Notice of Intent (NOI) (Arizona Pollutant Discharge Elimination System [AZPDES] - disturbance area appears to be greater than 1 acre). SWPP measures shall be in place prior to the start of construction (SLDC Article 8). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)

e. The plans shall delineate oil separators for all paved surfaces prior to its release into the City's storm sewer system. Manufacturer or engineer's specifications and a maintenance schedule shall be provided.

f. Construction details shall be provided for sewer construction/connection.

g. Provide utility construction details on plans.

h. The applicant shall submit landscaping plans that comply with all applicable City codes.

i. The applicant shall submit outdoor lighting plans that comply with all applicable City codes.

j. All requirements of the Sedona Fire District shall be satisfied.

10. Prior to the issuance of a Certificate of Occupancy, staff shall verify that all construction is in substantial accordance with the plans as submitted, reviewed, and approved by the Planning and Zoning Commission, and meets the following conditions:

a. All on-site improvements shall substantially conform to the plans on which grading and building permits were issued.

b. Installation of all proposed landscaping shall be complete and in accordance with the approved landscape plan.

c. All outside lighting shall have been installed in accordance with the approved plans. All lighting sources shall be fully shielded so that the direct illumination is confined to the subject property boundaries and so no light is directed above the horizontal plane. Staff shall conduct a night inspection and if deemed necessary, additional shielding will be required.

d. All new utility lines shall be provided through underground installation.

e. All mechanical equipment and trash receptacles shall be completely screened from surrounding areas by use of a wall, fence, landscaping or shall be enclosed within a building. All electrical panels shall be located so as not to be visible from public rights-of-way.

f. All requirements of the Sedona Fire District shall be satisfied.

g. The applicant shall provide copies of all required testing to the Engineering Department.

h. As-built plans shall be provided to the City in digital and hard copy formats acceptable to the City Engineer.

i. All areas of cut and fill shall be landscaped or dressed in such a manner as to reduce the potential for erosion.

j. The applicant shall provide a letter, sealed by the engineer of record, verifying that the work, as done, is in substantial accordance with the approved plans.

k. All construction shall comply with the Storm Water Regulations in Chapter 14 of the City of Sedona City Code. Storm water quantities and velocities shall not be greater than the historic values at the downstream property line.

11. Within thirty days of approval of the Development Review, the property owners of record of the subject properties shall sign and record a waiver acknowledging their waiver of any right to claim just

compensation for diminution in value under A.R.S. §12-1134 related to the granting of this Development Review.

Aerial View

Parcel
#401-33-031
Arizona Water
Company Tank

Parcel
#401-33-031

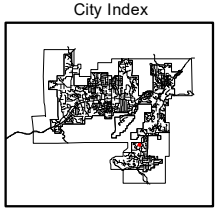
Parcel Boundary

Street Centerline

N

0 10 20 Feet

City Index



GIS, City of Sedona
01/19/2017
g:/pubreq/projects/azwaterco/
sr179watertank/mxds/
401-33-031_aerial.mxd

East Sedona Water Storage Tank, Booster Pump Station and Related Appurtenances

Conditional Use Permit Package April 2018

Responses to June 2018 Comments submitted July 2018

East Sedona Water Storage Tank,

Booster Pump Station and Related Appurtenances

City of Sedona

Planning and Zoning Commission

Resubmittal

July 19, 2018

Project: Arizona Water Company - East Sedona Water Storage Tank and Booster Pump Station Project

55 Bell Rock Trail, City of Sedona

APN 401-33-031 (029T, 029V, 029W and 029Y)

Dear Planning and Zoning Commission

Arizona Water Company (Company) has received your comments dated June 18, 2018 and attached are responses to the comments.

The review procedures under Development Review (LDC 401.06) and Findings for Conditional Use Permit Review (LDC 402.06) were considered and a checklist outlining each of the sections is attached. We have provided comments and notes on how we believe we have addressed each section. Through consideration of the project area, we have incorporated the surrounding architectural and landscape design into our design concept and remained diligent in our strides to remain compliant with the City of Sedona code, including the Development Standards discussed in LDC Article 9.

Water Works Engineers, LLC

John H Matta, PE
Principal

Attachments - Checklist

PZ17-00001 (CUP, DEV) AZ Water Tank

CURRENT PLANNING COMMENTS – 2nd Review

1. COMMENT: Please ensure that changes made based on the following comments are reflected on all applicable pages.

   Response – Noted.

2. COMMENT: Various sections of the Sedona Land Development Code (SLDC) are referenced in these comments. The SLDC can be found online at http://www.codepublishing.com/AZ/Sedona/ldc.html

   Response – Noted. Our design team has reviewed the SLDC and ensured that the project is in compliance with it.

3. Letter of Intent (LOI):
   a. Please include a section that addresses the considerations for Development Review (LDC 401.06) and the Findings for Conditional Use Permit Review (LDC 402.06).

   Response – Noted. A checklist has been added to the LOI.

   b. Please include a section that addresses how the project complies with Development Standards (LDC Article 9).

   Response – Verbiage added to the LOI to address this comment.

4. Site Plan:
   a. The highest point of the building above natural grade is the northwest corner of the Chemical Room. The parapet height is at an elevation of 4204 while the natural grade is at 4179.5, an overall height of 24.5 feet, 2.5 feet above the 22 foot limitation without alternate standards. For this height, the building will require a total of 5 points under alternate standards. Please refer to LDC Section 905 (Alternate Standards) and Table 9-G (Application of Alternate Standards to Commercial, Multifamily Residential and Public/Semi-Public Buildings or Structures) and provide an explanation of how this building will comply with alternate standard requirements. Please note the color currently proposed would not qualify for any points under alternate standards.

Response – Parapet height will be adjusted to match the 22-foot overall height limitation.

5. Elevations:
    a. Please provide scalable elevations for review. Due to the anticipated use of alternate standards, Staff must be able to review the elevations for the largest unrelieved building plane as described in LDC Section 905.B.2.

Response – Scalable elevations are provided with the drawings (see drawing A-401). Parapet height is adjusted to match the 22-foot overall elevation limitation, alternate standards will not be used.

6. Exterior Materials Board: Physical Samples of all proposed materials and colors must be provided. Printouts are not acceptable as do not depict the true color of the selected materials.

Response – A physical material board is provided.

Engineering Comments

1. On the architectural plans, the parking surface is noted to be concrete, however on the Civil grading section plan, it is depicted as ABC, please clarify and ensure all plans match. In the event that the parking surface is impermeable, runoff from the parking area shall be treated with either an oil/water separation device or first flush retention.

   Response – The parking area will be concrete and first flush retention is provided using the storm drain manhole.

2. On sheet C-101, please add the section E onto the plan.

   Response – Section E is added.

3. On sheet C-101, please label all contours and differentiate major from minor contours and improve the differentiation of the proposed vs existing contours.

   Response – Contours modified to show major and minor contours.

4. For the roadway, please provide grades/maximum grades.

   Response – Grades re provided as requested.

5. For the roadway, please notate cover for the sewer line and that the manhole is adjusted to grade.

   Response – In the area over the sewer line that will be impacted by the project, the cover will be increased between 6"-12". The manhole area will not be impacted by this project. A note has been added on Drawing C-101 to require the Contractor to adjust the Manhole cover as required.

6. For the roadway, there is a 3:1 fill slope adjacent, since it is near the wash and floodplain please provide stabilization (i.e. rip-rap).

   Response – Roadway design has been modified to maintain existing contours as much as possible. Slope stabilization has been added as shown on Drawing C-101.

7. For the 3:1 fill slope at the northernmost retaining wall, please provide stabilization.

   Response – Slope stabilization has been added. Refer to Drawing C-101.

8. On sheet C-201, section E, the 24" OFL is shown uncovered, please provide fill cover for the entire pipe.

Response – Overflow pipe has been shortened and fully covered as shown on Drawing C-201.

9. The outlet from the rock pocket requires stabilization for outlet/erosion protection.

   Response – Outlet erosion protection is added for the rock pocket outlet. Refer to Drawing C-101.

10. Adjust the CAD visibility of the sump pump rock pocket.

    Response – Noted. See Drawing C-101.

11. Show striping for the parking area.

    Response – Noted. Striping is shown on Drawing C-101 and will be incorporated into final design of parking area.

12. Stormwater storage shall be a principal outlet of 12" diameter.

    Response – Assuming that this comment applies to the drain pipe associated with the pumps used to drain the stormwater manhole, we request that this pipe be allowed to be smaller than 12-inch to support the pump hydraulic requirements.

13. Please provide drain time of the stormwater storage. Drain time maximum is 24 hours.

    Response – Drain time has been added on Drawing C-101.

14. Please delineate the floodplain boundaries on the grading plan.

    Response – Floodplain boundaries are shown on Drawing C-101.

15. Is the outlet from the tank into the storm drain manhole an overflow outlet?

    Response – No, it is a controlled drain equipped with a valve.

16. The natural drainage patterns at the southern portion of the driveway near the meter vault appears to be obstructed; please allow drainage to flow through.

    Response – Flow through drainage is provided – see revised Drawing C-101.

17. The scale bar on C-201 appears to be off.

Response – Noted. Scale bar adjusted.

ARIZONA WATER COMPANY

East Sedona Water Storage Facility

Citizen Participation Report
to the City of Sedona
April 2018

East Sedona Water Storage Facility Public Participation Report

As a long-time member of the Sedona community, Arizona Water Company ("Arizona Water") has a deep understanding of the need for public participation in large projects such as the East Sedona Water Storage Facility ("Project") we are proposing.

Below are the requirements for the report set by the City of Sedona ("City") (in **bold**), followed by the steps we have taken to comply.

A. Purpose.

1. **To ensure that applicants pursue early and effective citizen participation in conjunction with their applications, giving them the opportunity to understand and try to mitigate any real or perceived impacts their application may have on the community.**

2. **To ensure that the citizens and property owners within the community have an adequate opportunity to learn about applications that may affect them and to work with applicants to resolve concerns at an early stage of the process.**

3. **Facilitate ongoing communication between the applicant, interested citizens and property owners, staff, Planning and Zoning Commissioners and elected officials throughout the application review process.**

Arizona Water filed its Conditional Use Permit application for the Project with the City on January 17, 2017. Following the submission to the City, we began our communications and community outreach with the local residents. We used two separate lists to reach out to residents and homeowners within the 500-foot radius of our project. The first was created by Arizona Water using Coconino County's GIS system and the second was purchased directly from the City. The two lists were substantially the same and we made sure that no one was left off of the final list.

In addition, Arizona Water set up a project-related web page that contains key documents about the project. The web page can be found at: http://www.azwater.com/east-sedona-water-storage/.

Our initial communication about the project was on February 8, 2017 via a two-page letter that was both hand delivered to each residence and mailed via USPS to each mailing address.

Since February 8, 2017 Arizona Water has held three open community meetings to discuss details of the project. We also met with the Mystic Hills Homeowner's Association's Design Review Board. All community meetings were held at the United Methodist Church, 110 Indian Cliffs Road, Sedona, AZ. The HOA Design Review Board meeting was held at the HOA's Clubhouse on East Mallard Drive.

Meeting 1: March 15, 2017. Discussed general reasons for and design of the project.

Meeting 2: October 4, 2017. Met with HOA Design Review Board.

Meeting 3: January 10, 2018. Discussed location issues and construction details.

Meeting 4: February 21, 2017. Met with local residents to discuss runoff and drainage issues.

B. Citizen Participation Plan. The Citizen Participation Plan is not intended to produce complete consensus on all applications, but to encourage applicants to be good neighbors and to allow for informed decision making.

The following is taken from the application submitted to the City January 17, 2017:

East Sedona Water Storage Tank, Booster Pump Station and Related Appurtenances

CITIZEN PARTICIPATION PLAN

Arizona Water has a keen appreciation for the importance of public involvement in important public decisions. In fact, the project we hereby submit to the residents and City of Sedona has been very strongly influenced by previous efforts to build a storage reservoir to serve this part of our system.

Our goal has been to discuss this project early, even before it was submitted, and often, so that all key stakeholders can weigh in. Arizona Water Company will undertake all the steps related to the citizen participation process as described in the city's Project Application Instructions:

1. We will contact neighboring property owners (typically within 500 feet of the project site) and any affected Homeowner's Associations. Based on the size and scope of the project, a larger notification radius by be required.

2. Arizona Water Company will hand deliver a letter to introduce ourselves, describe the project, and provide property owners with a way to contact us directly.

3. A community meeting/open house will be scheduled after we have been able to discuss the best time and location with members of the community and city staff. We will find a location for the meeting, set a date that works for the largest possible group of stakeholders. At the community meeting, we will provide visual materials, answer questions, document the discussion, and obtain the names of those in attendance.

4. During the City's deliberation process, Arizona Water Company will keep track of all contacts with neighboring property owners and other stakeholders, including name, date, and item of concern.

5. Before the first public hearing, we will present a report to City Staff documenting comments received though the public involvement process, with emphasis on comments related to significant changes in the application.

6. We understand that Citizen Participation Report is required to be submitted prior to scheduling a public hearing.

In addition to the required activities, Arizona Water Company will be very responsive to the needs of residents, stakeholders and city decision-makers if additional information, materials or community meetings are deemed necessary.

C. Target Area. The level of citizen interest and area of involvement will vary depending on the nature of the application and the location of the site. The target area for early notification will be determined by the applicant after consultation with the Director. At a minimum, the target area shall include the following:

1. **Property owners within the public hearing notice area required by other sections of this Code.**

2. **The head of any homeowners association, or community/neighborhood appointed representative adjoining the project site.**

3. **Other interested parties who have requested that they be placed on the interested parties' notification list.**

4. **Those residents, property owners, or interested parties that may be affected by the application.**

5. **The Director may determine that additional notices or areas be included.**

Arizona Water used two lists of homeowners using a 500-foot radius, one from the City and one we created from the Coconino County GIS database.

In addition, Arizona Water added the names of residents outside the 500-foot radius who signed in at the first and subsequent community meeting, and several others not on our list but who lived along the ingress/egress route.

Arizona Water identified the Mystic Hills Home Owners Association as the only active HOA in the area. We invited members of the HOA to attend our first community meeting, and requested a meeting with HOA's Design Review Board in April of 2017.

Representatives of the Mystic Hills HOA were not able to meet with Arizona Water representatives until October, 2017 but in the meantime, Arizona Water received a series of questions from them, all of which were answered in writing and can be found on our project website.

D. Citizen Participation Plan. At a minimum, the Citizen Participation Plan shall include:

1. **How those interested in and potentially affected by an application will be notified that an application has been submitted.**

2. **How those interested and potentially affected parties will be informed of the substance of the change, amendment, or development proposed by the application.**

3. **How those affected or otherwise interested will be provided an opportunity to discuss the applicant's proposal with the applicant and express any concerns, issues or problems they may have with the proposal in advance of the public hearing.**

4. **The applicant's schedule for completion of the Citizen Participation Plan.**

5. **How the applicant will keep the Department of Community Development informed on the status of their citizen participation efforts.**

The following is taken from the application submitted to the City January 17, 2017:

East Sedona Water Storage Tank, Booster Pump Station and Related Appurtenances

CITIZEN PARTICIPATION PLAN

Arizona Water has a keen appreciation for the importance of public involvement in important public decisions. In fact, the project we hereby submit to the residents and City of Sedona has been very strongly influenced by previous efforts to build a storage reservoir to serve this part of our system.

Our goal has been to discuss this project early, even before it was submitted, and often, so that all key stakeholders can weigh in. Arizona Water Company will undertake all the steps related to the citizen participation process as described in the city's Project Application Instructions:

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2. Arizona Water Company will hand deliver a letter to introduce ourselves, describe the project, and provide property owners with a way to contact us directly.

3. A community meeting/open house will be scheduled after we have been able to discuss the best time and location with members of the community and city staff. We will find a location for the meeting, set a date that works for the largest possible group of stakeholders. At the community meeting, we will provide visual materials, answer questions, document the discussion, and obtain the names of those in attendance.

4. During the City's deliberation process, Arizona Water Company will keep track of all contacts with neighboring property owners and other stakeholders, including name, date, and item of concern.

5. Before the first public hearing, we will present a report to City Staff documenting comments received though the public involvement process, with emphasis on comments related to significant changes in the application.

6. We understand that Citizen Participation Report is required to be submitted prior to scheduling a public hearing.

In addition to the required activities, Arizona Water Company will be very responsive to the needs of residents, stakeholders and city decision-makers if additional information, materials or community meetings are deemed necessary.

We made certain that the staff from the Community Development Department were informed of each community meeting. Staff did attend our first meeting and one City Council member attended our final meeting.

E. Public Notice. These requirements are in addition to public notice provisions required by the Land Development Code.

F. Additional Meetings. The Director may require the applicant to hold additional citizen participation meetings based on:

1. The length of time between the last citizen participation meeting and the date of the submittal of the application.

2. The extent of changes that have occurred to the development proposal since the last citizen participation meeting was held.

3. The length of time between last public hearing (such as a conceptual review hearing) and the date of submittal for further development application.

Arizona Water's most recent community meeting was held February 21, 2018 at the request of the residents who specifically asked for more details about drainage and stormwater issues.

We are prepared to hold additional meetings if the City staff so directs.

G. Citizen Participation Report. The applicant shall provide a written report to the Director and the Planning and Zoning Commission on the results of their citizen participation effort (prior to the notice of public hearing). The Citizen Participation Report shall include the following information:

1. Details of techniques the applicant used to involve the public, including:

a. Dates and locations of all meetings where citizens were invited to discuss the applicant's proposal.

On February 8, 2017, Arizona Water hand-delivered and mailed notices to everyone within the 500-foot radius.

On Wednesday, March 15, 2017, Arizona Water hosted its first community meeting at the United Methodist Church located at Sedona United Methodist Church, 110 Indian Cliffs Road, Sedona, AZ.

On October 4, 2017, Arizona Water met with members of the Mystic Hills HOA Design Review Board at the Mystic Hills Club House, 104 East Mallard Drive, Sedona, AZ.

A second community meeting was held on January 10, 2018, at Sedona United Methodist Church, 110 Indian Cliffs Road, Sedona, AZ.

A third community meeting was held on February 21, 2018 at the same location. This meeting was at the request of residents who wanted to focus on stormwater runoff and drainage from the project.

b. Content, dates mailed, and numbers of mailings, including letters, meeting notices, newsletters and other publications.

Notices

c. Where residents, property owners, and interested parties receiving notices, newsletters, or other written materials are located.

Within 500 foot radius

d. The number of people that participated in the process.

Approximately 50 to 60 people participated in the 3 community meetings held between March 15, 2017 and February 21, 2018.

On October 4, 2017, Arizona Water met with four members of the Mystic Hills HOA Design Review Board.

The content of each meeting notice and presentation materials used at the meetings can be found in the Appendix to this report.

2. A summary of concerns, issues, and problems expressed during the process including:

a. The substance of the concerns, issues, and problems.

Substantial concerns included:

- Construction impacts – noise and traffic
- Operations noise and lighting
- Backup power
- Stormwater runoff from the project site
- Alternative locations
- Loss of tax revenue
- Loss of residential property value

b. How the applicant has addressed or intends to address concerns, issues and problems expressed during the process.

Construction impacts remain a significant issue for a number of residents. Noise and truck traffic will be considerable, as they would if two single-family residents were being built. Arizona Water is looking for ways to mitigate both noise and traffic.

Regarding the noise problem, we have proposed to use blasting technology rather than heavy duty jack hammers and other heavy equipment to excavate the site. Blasting will cut weeks from of the excavation process. Arizona Water is also considering the use of sound absorbing barriers to reduce the construction noise.

Arizona Water is looking at a variety of ways to reduce the truck traffic using local streets. Arizona Water has had preliminary discussions with ADOT about accessing the site from Highway 179 or West Mallard but, no formal plan with ADOT has been developed. Arizona Water will also consider how to stage and time the excavation so we keep trucks off the highway and out of community during peak traffic times.

Operations noise and traffic are pretty much non-issues. The on-site equipment will be virtually inaudible from even the nearest home. Traffic into and out of the site for routine checks will occur during normal business hours (8:00 am to 5:00 pm) and average two to three trips per week; less than most of the nearby homes.

Backup power – An on-site generator is possible but, no decision has been made. Arizona Water has access to portable generators which can be delivered to the site and provide the needed back up power during an emergency. On-site generators require fuel storage, routine maintenance and regular operation for testing of the equipment; which is unnecessary with portable generators.

Stormwater runoff from the project site – During our last community meeting Arizona Water demonstrated that by including two retention basins the run-off from the site is reduced below the run-off from the site in its current natural state.

Alternative locations – Many residents expressed vague concerns that the project was being proposed in the wrong location, but without pinpointing any actual impact from the project. Arizona Water communicated to the residents that we have been looking for a site for well over a decade, including U.S. Forest Service property nearby. The USFS has been clear from the beginning that they discourage the use of USFS property.

Loss of tax revenue – After the project is complete, Arizona Water estimates it will pay approximately $27,000 annually in property taxes.

Loss of residential property – Some residents worried that a water storage facility should not be built on one of the few residential lots still available in that part of Sedona. Arizona Water showed the residents photos of many significant water infrastructure locations right in residential areas.

c. Concerns, issues and problems the applicant is unwilling or unable to address, and why.

The most common comment we get is that the project should be built at an alternative location.

Our response to residents is that the need for the project is real and that the alternatives were examined previously and found wanting. Many suggested that USFS land nearby would be a better alternative, but the USFS project manager Judy Adams told us directly that USFS land cannot be developed if private property is available.

The USFS position seems very clear and convinced Arizona Water that we should not pursue additional locations on USFS land.

Appendices

Meeting 1 Documents

ARIZONA WATER COMPANY

65 COFFEE POT DRIVE, SUITE 7, SEDONA, AZ 86336-4554
PHONE: (928) 282-7092 • FAX: (928) 282-6131 • TOLL FREE: (800) 649-8393 • www.azwater.com

February 28, 2017

Dear Neighbor,

Arizona Water Company invites you to join us at a community meeting at the Sedona United Methodist Church located at 110 Indian Cliffs Road, Sedona on Wednesday, March 15 at 6 pm to discuss the details of our proposed East Sedona Water Storage Facility.

Our application to develop this project was filed with the City of Sedona on January 17, 2017. All important documents, including a drawing of what the site is anticipated to look like when completed, may be viewed on our web page, which you can find at www.azwater.com.

The project will include the following facilities:

- Water storage tank with up to 1.5 million gallon capacity.
- Most of the tank will not be visible because it will be built underground. Operational facilities will be built on top of the reservoir in an architectural style building similar to surrounding homes.
- A booster pump station capable delivering up to 3000 gallons per minute.

Participating in the meeting for the company will be Fred Schneider, Vice President of Engineering, and Keith Self, Division Manager for the Sedona area, and representatives of the company who have been hired to design and construct the project.

The East Sedona Water Storage Facility site layout was planned with careful attention to the City of Sedona requirements for open space, integration with the surrounding properties and preserving the delicate nature of Sedona.

To that end, we have identified a number of important elements that have been addressed during the planning process, including:

- Land use and site organization in relation to building form, character and scale of existing and proposed development.

- Sensitivity and nature of adjoining land uses.
- Location of property boundaries and setbacks.
- Location of adjacent roads, driveways, off-street vehicular connections, pedestrian ways, access points and easements.
- Existing surrounding structures and other improvements.

Thank you for taking the time to participate in this process. We look forward to seeing you at the meeting.

Sincerely,

Keith Self

Keith Self
Division Manager
Arizona Water Company

East Sedona Water Storage Facility Project

Artist's rendering of proposed project from Highway 179 and West Mallard Drive.

Community Participation Meeting

Arizona Water Company recently applied to the City of Sedona to build an underground drinking water storage facility in your neighborhood and we want to make sure you are thoroughly informed about the project and the approval process.

The company has completed a water resource master plan that concludes that the east Sedona area needs additional storage capacity in order to make sure the community is reliably and adequately served.

After years of careful consideration, we are proposing to build the East Sedona Water Storage Facility on property the Arizona Water owns at the intersection of West Mallard Drive and Highway 179.

Our application to develop this project was filed with the City of Sedona on January 17, 2017. All important documents, including an artist's rendering of what we anticipate the site to look like when completed, may be viewed on our web page at www.azwater.com.

Thank you for taking the time to participate in this community meeting. Working with neighbors and stakeholders on significant projects like this one is of vital importance for maintaining the beauty and the spirit of the Sedona community.

We want to make sure your comments are accurately understood and taken into consideration so we ask that you write down your question on one of the cards available

around the room. Please include your name and address. If you would prefer to keep in touch via email, please include your email address, as well.

Your concerns and questions will be included in a report to the City's Community Development Department for consideration during the Conditional Use Permit (CUP) approval process.

Project Description

As noted earlier, our proposed design places nearly all of the reservoir underground, making it virtually invisible to neighbors and passers-by. A structure built atop the reservoir will approximate the size and architectural style of a local residences and be heavily sound proofed to mitigate sound of mechanical equipment needed to operate the reservoir. Key points of the project include:

- Water storage reservoir to hold up to 1.5 million gallons
- Booster pumps capable delivering up to 3,000 gallons per minute into the local water system
- Reservoir will be underground, virtually invisible
- Booster pumps and other operating equipment will be housed in a structure built on top of the reservoir in an architectural style similar to surrounding homes.

The East Sedona Water Storage Facility site layout was planned with careful attention to the City of Sedona requirements for open space, integration with the surrounding properties and preserving the delicate nature of Sedona.

To that end, we have identified a number of important elements that have been addressed during our planning process, including:

- Land use and site organization in relation to building form, character and scale of existing and proposed development.
- Sensitivity and nature of adjoining land uses.
- Location of property boundaries and setbacks.

- Location of adjacent roads, driveways, off-street vehicular connections, pedestrian ways, access points and easements.
- Existing structures and other built improvements.
- Other features of the site and/or surrounding area that may be impacted by or may impact the proposed development.

Overhead view of project site with artist's rendering. Building will be similar to neighboring homes.

<u>Conditional Use Permit Process</u>

The CUP approval process is designed to ensure that the proposed project is in compliance with the various sections of the Sedona Land Development Code (SLDC). The CUP process includes approval for site use, site plan, landscaping plan, setbacks and building concept including architecture and construction material, site access and drainage.

Once the CUP is approved, the project can then proceed to detailed design where City safety, code and building reviews are required. Site plan and building permits are required. State permits will be acquired from the Arizona Department of Environmental Quality including an Approval to Construct, and Approval of Construction.

Name	Address	Email	Phone
Tom & Sharon Foulds	225 Geneva	sharonoks1@gmail.com	480 326 3725
Ken Ledeen	91 W. Mallard		
Pat Caperna	PO Box 3875	pat@mrimadison.com	608 444 1876
JESUS			
Nancy + Bob Campbell	55 Bell Rock Trail		
Jake Sefton	20 Stitz Bar Ct DR	js@sefengco.com	928 646-349
Myrna Jacobs	407 Percy Dr		
Gerri Beaudin	100 Penelope Way	gerbeaul@msn.com	203-9709

Kerry > City of Sedona
Matt

Name	Address	email	phone #
LARRY & FERN KANE	332 ACACIA	LKANE@MSN.COM	
D Bernhart	20 Jungen Trl		
Carol Roland & Duane Roland	804 W Chapel	carolwittner@gmail.com	
Barbara Burpa	94 W. Mallard Dr., Sedona AZ 86336		
Bruce Huelat	92 W Mallard Dr Sedona		
Michelle McGeary	20 Cathedral Rock Trail Sedona	michelleinsedona@gmail.com	
CAROLE HAMPTON & DALE	60 CATHEDRAL ROCK TRAIL	C_L_HAMPTON@YAHOO.COM	
Katie Sluder	91 W. Mallard, Sedona		
ADRIAN PARKER	93 W MALLARD DR SEDONA AR 86336		
MARILYN PAINCHAUD	404 ACACIA SEDONA AZ 86336		
Patrick Dunnigan	123 E Mallard Dr, SEDONA AZ		
Ron Mizer	401 Acacia Dr		
Kevin & Desiree Brackin	95 W Mallard Dr		
JOHN MATTA	7580 N Dobson		
Marlene / Ron Hanson	117 E. Mallard Dr. Sedona, AZ		
Doug & Suzanne Hawk	113 E Mallard		

Arizona Water Company
East Sedona Water Storage Facility

Name CAROL ROLAND & DUANE ROLAND
Address 804 W. CHAPEL RD, SEDONA AZ 86336
Email carolwittner@gmail.com Phone 928-203-0669

Questions/Comments

WE ARE COMPLETELY OPPOSED TO THIS PLAN.
THIS TANK DOES NOT BELONG IN OUR NEIGHBORHOOD!
YOUR PLAN IS FLAWED. YOU HAVE LEFT TOO MANY
AREAS OPEN TO POTENTIAL PROBLEMS.
BRUCE HUELET'S SUGGESTION IS VERY GOOD!
PLEASE RESEARCH IT

3-15-17

Arizona Water Company
East Sedona Water Storage Facility

Name Al Beaudin
Address 100 Penelope Way Sedona, AZ 86336
Email gerbeau1@msn.com Phone 928-203-9709

Questions/Comments

Why should this be placed abutting
residential lots which loose value
as well as tax revenue to the city.
The owners of these properties will lose
their value quickly. There have to be
many other locations that this could
be placed.

3-15-17

Arizona Water Company
East Sedona Water Storage Facility

Name Barbara Barker
Address 94 W. Mallard Dr., Sedona AZ 86336
Email bbarker@ptd.net Phone 610-428-0210

Questions/Comments

The final design should be submitted to the M.H. homeowners association design review committee.

Must be a supplemental emergency generator on site.

3-15-17

Arizona Water Company
East Sedona Water Storage Facility

Name Tom & Sharon Foulds
Address 225 Geneva Dr. (Mystic Hills)
Email sharonok1@gmail.com Phone 480 326 3725

Questions/Comments

Understand the need but NOT in residental area of Mystic Hills.

Please hold meeting with Mystic Hills HOA for residence feedback.
CONSIDER SMALLER TANKS IN THE MIDDLE OF EVERY ROUNDABOUT ON 179

3-15-17

Arizona Water Company
East Sedona Water Storage Facility

Name Marlene / Ron Hanson
Address 117 E. Mallard Dr.
Email rhanson2@centurylink.net Phone (928) 282-2032

Questions/Comments

Two better ideas:
1. Bruce Auclat's idea to put it in the ravine
2. Little Horse Trail expanded parking lot with water tank below

3-15-17

Arizona Water Company
East Sedona Water Storage Facility

Name Bob Campbell
Address 55 Bell Rock Trail
Email Phone

Questions/Comments

A scale model of the project, might help overcome negative concerns. / Also would be good to present this type of model to Forest Service area instead of putting it in residential. People can't visualize + need something tangible.

3-15-17 GOOD LUCK!!!

Arizona Water Company
East Sedona Water Storage Facility

Name DAVID HAMPTON
Address 60 CATHEDRAL ROCK TRAIL
Email DHAMPTON17@GMAIL.COM Phone 303-859-8854

Questions/Comments

PROVIDE REALISTIC ASSESMENT OF IMPACT TO RESIDENTIAL NEIGHBORHOOD DURING CONSTRUCTION PHASE.

3-15-17 YOU ARE NOT BEING HONEST TO PUBLIC

Arizona Water Company
East Sedona Water Storage Facility

Name CAROLE HAMPTON
Address 60 CATHEDRAL ROCK TRAIL
Email C_C_HAMPTON@YAHOO.COM Phone 303 859-8855

Questions/Comments

PLEASE FIND ANOTHER LOCATION! WE DON'T WANT COMMERCIAL WATER FACILITY IN RESIDENTIAL AREA
I DON'T HAVE AN ISSUE WITH THE "USED" ON THE EAST BUT WE HAVE A BIG ISSUE WITH LOCATION
WE NEED TO INVOLVE FOREST SERVICE IN THIS LOCATION DISCUSSION

3-15-17 WE ARE CONCERNED ALSO THAT THERE WILL BE NO BACK UP GENERATOR ON SITE IN CASE OF EMERGENCY

Comments from cards submitted
after the March community meeting

Comment: David Hampton - Realistic assessment of construction impact. Not being honest with public.

Response: A discussion of the construction impact will be part of the next meeting.

Comment: Carole Hampton – Don't want it. Involve Forest Service. Concerned about lack of backup generator.

Response: A backup generator can certainly be added to the plan. The Forest Service has clearly stated a preference that this project be built on privately owned land.

Comment: Bob Campbell – A scale model would be helpful.

Response: It is under consideration.

Comment: Marlene and Ron Hanson – Put it in the ravine. Build below Little Horse Trail parking lot.

Response: The US Forest Service has made it clear this project should be built on privately owned land.

Comment: Tom and Sharon Foulds – Not in residential areas. Meet with Mystic Hills HOA. Roundabouts.

Response: It is very common for water facilities like water storage tanks, wells, pumps, and treatment facilities to be located in or adjacent to residential neighborhoods. We will show examples of that later in this presentation.

Building in the roundabouts would be impossible.

Comment: Barbra Barker – Submit final design to Mystic Hills Design Review Committee. Must have backup power.

Response: We have been working to set up a meeting with the Mystic Hills HOA. Back-up power can be added to the project.

Comment: Al Beaudin – Why in residential area? Will quickly lower home values, loss of tax revenue.

Response: It is typical for water facilities such as this to be located in or adjacent to residential areas. There is no reason to expect that a project such as ours would have a negative effect on home values or tax revenue. In fact, a high-value project would expand tax revenue, not decrease it.

Comment: Carol and Duane Roland – Completely opposed. Doesn't belong in residential area. Too many potential problems. Look into Bruce Huelat's idea.

Response: Water facilities are often located in or adjacent to residential neighborhoods. It is difficult to respond to general comments like "Too many potential problems." Knowing which specific problems are of concern is the only way we can address them.

Email Comments

Comment: Larry Kane – Why not more support from Fire Department? Why not look at CC&Rs? The footprint of the above ground facilities is too large and wouldn't be allowed in the area. The site is outside any reasonable use. Check alternatives.

Response: The Fire Marshall does support the project. We have looked at the CC&Rs and we have been trying to schedule a meeting with the Mystic Hills Design Review Committee.

As mentioned before, this type of facility is completely within the reasonable uses of this property. Many water facilities in the Sedona area are in residential neighborhoods.

Comment: Ron Minzer – It will cause more flooding, traffic, noise, possible chemical spills, pump noise, electrical noise and interference with our homes electrical systems. Property values damaged.

Response: There will be no or very little increase in runoff from our project beyond what a single family home would generate. If, however, the City is convinced that there is a danger of excess runoff, it would be a simple matter to capture that runoff on site.

Once this project is complete, it will generate less traffic than a typical single family home.

The pumps and operating equipment will be indoors and sound insulation will be added. Also, there is no reason to believe that it will interfere with electrical systems in the area.

We see no evidence for lower property values.

Comments submitted via Ron Eland, reporter for the Red Rock News

Comments: Anonymous, via Ron Eland, reporter – **Claims that Keith stated that we had been working with the city to develop the plan. Drainage.** The site requires removal of 25-30 feet of bedrock up to 165 feet in diameter. That is 13,000 - 15,557 cu ft. of ROCK … Look at other sites. In full "frontal" view of Highway 179. Why is the tank so large?

Response: AWC developed this proposal completely on its own without any input from the City of Sedona staff or any elected officials.

Regarding drainage, our project will meet the City's requirements for runoff and will not create more runoff than a single family home.

The size of the tank was determined by analyzing requirements for fire fighting water flows plus the need to provide for peak demand in case of a system emergency.

Response: The estimate of 13,000 to 15,557 cubic feet of rock removed from the site is pretty accurate. We are going to use some of that material on site, and we are looking at options for how to handle the remainder.

The only thing visible from Highway 179 will be a building that looks very much like one of the homes in the community.

ARIZONA WATER COMPANY

65 COFFEE POT DRIVE, SUITE 7, SEDONA, AZ 86336-4554
PHONE: (928) 282-7092 • FAX: (928) 282-6131 • TOLL FREE: (800) 649-8393 • www.azwater.com

July 13, 2017

Bruce Huelat
Ron Minzer
Larry Kane
Kevin Brackin
Mystic Hills Homeowner Association
Design Review Board

Via email

Dear Design Review Board Members:

At your request, Arizona Water Company has reviewed the list of questions you forwarded to us about our proposed Water Storage Facility project in your community and provided our answers to each. We would now like to move ahead and set a time for a meeting between the Design Review Board and our project team.

We look forward to discussing the issues that concern the Mystic Hills community.

Sincerely,

Keith Self
Verde Valley Division Manager

Questions and Answers for
Mystic Hills Homeowners Association Design Review Board

Q: Why a 1.5 million gallon water tank?
What are the future plans that would call for this much water storage? Especially when the entire city has just under 900,000 gallons of storage, and is land locked (surrounded by national forest) and is 70+% built out. Further, it is being proposed on the smaller populated, east side of town which has no remaining development space and only scattered lots available for development. AWC has stated their service ends at Back O' beyond and has no interest in the VOC. Then why a 66% greater than the total of all the 3 water storage tanks that the entire city uses today? By simple deduction AWC should only need 200,000-300,000 water storage for full service of the east side.

A: Arizona Water has approximately 3.4 million gallons of water storage serving our Sedona customers, including a one million gallon tank in the Jordan Park subdivision and another in the Harmony High neighborhood.

An analysis completed by the company in 2010, notes that there are 850 connections in the portion of the service area where the tank is located. These service connections have a peak demand of about 880,000 gallons per day.

In addition, we must conform to the fire code adopted by the local fire district, which calls for fire protection flows of 3,000 gallons per minute for three hours, which totals 540,000 gallons.

Virtually all of the East side of our system is supplied by a single water main. In order to maintain service and fire protection for 24 hours in the event of a main break, we need approximately 1.34 million gallons in storage, ready to be pumped into the system.

Q: Why would the City even consider granting a waiver for conditional use in a known extensive flooding area of residential property?
The homes on West Mallard have had continuous flooding from year to year, and this is well documents. By AWC acknowledgement, they would clear cut nearly all of the 1 acre for construction. This proposed site is in the drainage draw for the entire east side of Hwy 179; Mystic Hills and the Chapel area. Drainage is routed under 179 directly into this lot, then around two sides of the lot directly into the property of an <u>existing home</u>. The tunnel under the road has seen over 8 feet of flooding, as evidenced by the water lines in the tunnel and debris the city has had to clean out of the tunnel after heavy rains. Two (2) of the homes have had water in their homes, while two others have had significant damage to their property. Sedona continues to have significant flood prone and flood damage areas. To approve one more project that directly impacts existing homes and property is in-excusable. Who is placing a bond for several million dollars for water and or construction/ blasting damage? Damages, from shifting could take years to manifest.

A: The proposed project will have minimal impact. What little runoff there is, can be captured on site by using retention basins. The equipment room will be located above the flood zone.

With regard to potential damage to homes from construction activity, Arizona Water Company's contractors are required to be fully insured. When the facility goes into operation, AWC is also fully insured for the operation of its system.

Q: Why allow a prime residential lot surrounded by high end property and high tax revenue to be taken out of real estate tax inventory?
The proposed water tank is enormous tank (by any standards) on existing Residential zoned property. This will diminish property as well as tax values of the adjacent lots as well as homes in the area. Would you put your $1,500,000 home adjacent to a 1,500,000 gallon tank and pump house? Especially, when an alternate site could be with a few hundred yards.... Honestly? We bet not. Further, what is the tax rate for a water tank vs a home on the same lot? Will AWC pay the same real estate tax rate as if a $1,500,000 home was on this property?

A: The project is allowed under current zoning regulations and there are examples of million dollar homes adjacent to water tanks in Sedona today. We have designed this proposed project to conceal the tank. The operating equipment will be located inside a structure resembling the surrounding residences. We see no reason to believe it will diminish property values because the water storage tank will resemble a high-end home, not a water storage tank.

Regarding tax revenue, we estimate that property taxes on the site after our project is completed would be approximately $27,000 per year.

Q: Why Was This Entire Project Done in Secrecy?
Five years ago AWC purchased the proposed lot. The answer given by the AWC presenter, at the public meeting was: "We have been working with the city to develop this site". City Staff has sought review from numerous departments since the January 2017 project submittal application for waiver for conditional use. The City in April, 2017, posted on its website, that the Project was in 'final approval stage'. Yet no one in the area was even contacted until April. No one in the community was informed nor working with AWC to develop community involvement, EVER! Yet the city Staff had the project up for final approval! This City belongs to its Citizens and they should be involved long before any submittal is ever presented, for any consideration or department reviews. The City is run by its elected leaders as guided by the laws and regulation duly authorized. Yet, there is the appearance that AWC is doing all possible to circumvent reasonable procedures and keep the public in the "dark".

A: Our community meeting was the first step in the approval process, not the final step. The city has a well-established and detailed process for approving projects, and community input comes at the beginning and throughout the process.

Q: Why were there no Alternatives sites submitted for review or evaluated?
"This is the only site being considered" statement that was made by AWC. Yet several alternate sites were suggested. As residents of Sedona, we have been, blatantly misled by AWC. When asked by Homeowners, why not use one of various sites on forest service property, we were told "they won't let us". Yet, when pushed on previous failures to gain approval on other sites, AWC acknowledge community resistance, not the Forest Service was the cause of failures. Each time AWC once again offered only one choice. Further, each of these tanks were above ground tanks. We submit they failed on not one, not two, but three different times, because they refuse to get the community involved before project was developed into a proposal. When we asked AWC, why they selected a residential lot, their answer was "that's what our real estate department gave us". There are several alternative sites that are close by and would not impede on existing home or residential lots. Of course, AWC does not

own any of this alternative property, but with a little effort on AWC's part, more than one would be an ideal site that should work for AWC considering previous sites they wanted for water tanks.

A: Arizona Water Company has been looking at other sites for several years. This one meets our criteria very well.

Additional Questions

This proposal is a tremendous undertaking in size, scope, complexity and time. Numerous questions, were offered and minimal or no detail, responses were offered by AWC. Significantly better and more detailed answers are needed.

Q: Why a 1.5 million-gallon tank?
A: The storage capacity is needed for proper fire flow, storage and to meet peak water demand in case of emergencies. The size was calculated using industry standards and Arizona Water's experience in Sedona.

Q: Why attempt to extract hundreds of thousands of tons of bedrock?
A: Arizona Water plans to build the water storage tank underground to minimize impact on the neighborhood. In order to build the tank underground, we must remove the bedrock.

Q: How long will excavation take?
A: We estimate it will take 3 to 4 months.

Q: Could excavation take longer?
A: Unlikely, since our team has completed two geotechnical surveys of the site and consulted with contractors that specialize in excavation. They have completed more than 10 projects in the area and are very familiar with the site conditions.

Q: Your engineering report is vague on blasting to remove this rock. Will you have to blast?
A: Blasting will not be required to excavate the site. However, the excavation contractors tell us that blasting can reduce the excavation time by several weeks and lower the noise level from excavation.

Q: Why not put it under parking lots, tennis courts, or Forest Service land instead of on a residential lot?
A: It is not unusual to locate these facilities such as the proposed reservoir in a residential area. AWC must control the property on which the tank sits because we must have 24/7/365 access to the tank. If we built under parking lots or tennis courts we would not have full access to the tank to ensure safe, reliable water service and fire flows. Additionally, problems with our tank or equipment would have an adverse effect on those facilities in case of an emergency. Even routine maintenance could be disruptive.

We have evaluated the Forest Service land option, as well. The Forest Service has discouraged Arizona Water from building on public lands if there were any alternatives available.

Q: What is the noise level of the completed tank and all its support?
A: The estimated noise level will be less than 37 dB at the property boundary when equipment is running. This is the equivalent of a personal computer. The following link compares decibel levels to common, household items and experiences. www.noisehelp.com/noise-level-chart.html

Q: How much power will you need?
A: The facility will use an 800 amp, three phase service, located within the building, to run four 100-horse power pumps in addition to other smaller equipment.

Q: What are the utility requirements, including back-up generators?
A: A stationary or portable generator can support the facility. The Company is willing to discuss this issue.

Q: What kind lighting on the facilities and will the lights be on 24/7?
A: External lights will be provided to meet the City ordinance and the surrounding area. The facility does not need lights to be on 24/7.

Q: 100's of trucks will be required for extraction, and then construction and countless cement trucks? What exact route/roads will be used?
A: From Highway 179, cars and trucks will reach our property by taking the following route: Cathedral Rock Trail to Castle Rock Trail to Chimney Rock Trail to Bell Rock Trail to our property.

Q: Have all affected homeowners along the routed been notified?
A: There are a handful of homeowners on or near the access route whose property is outside the 500-foot notification requirement who have not been notified as of the beginning of July. We will add them to our notification list and make sure they are brought up to speed.

Q: Can the Residential route and HWY 179, 89A take the all the heavy loads? Where is all the extracted material being sent?
A: The haul trucks used for construction will be regular trucks that meet ADOT and City of Sedona standards, so local streets and highways are fully capable of handling the loads.

We plan on reusing as much of the excavated material on the site as possible for landscaping and construction purposes. The contractor usually determines where the material will be disposed of in accordance with all local regulations; however, we are open to ideas from the community.

Q: The tank will have some above ground footage, is there a "not exceed" height?

A: The support buildings are one story and the tank itself will not extend more than four feet above the surface at the downhill side of the property. Landscaping will conceal the area of the tank that extends above the surface.

This is not an end all of questions. However, it is a meaningful start towards developing a positive solution. They require facts and detail in the answer. Once you have answers to the above we would welcome meaningful discussions with the City and AWC.

Sincerely,
Concerned Citizens of Sedona

Bruce Huelat
92 W. Mallard

Ron Minzer
407 Acacia

Larry Kane
332 Acacia

Kevin Brackin
95 W. Mallard

Meeting 2 Documents

ARIZONA WATER COMPANY

December 21, 2017

Dear Neighbor,

As you may know, Arizona Water Company is proposing to construct an underground drinking water storage facility in your community. In order to keep residents and government officials aware of our activities, we will host a second community meeting on the subject:

East Sedona Water Storage Facility Community Meeting
Wednesday, January 10, 2018
6 pm to 8 pm
Sedona United Methodist Church
110 Indian Cliffs Road
Sedona, AZ

At our first community meeting in March, residents raised a number of questions and we have done our best to answer them all. In addition, we have received questions from the Mystic Hills Homeowners Association's Design Review Board, which have also been answered. Please check our project website at www.azwater.com/east-sedona-water-storage/ for all those materials.

As a reminder, the project will include:

- Water storage tank with a capacity to hold between 1 million and 1.5 million gallons.
- Most of the tank will be underground and not visible to neighbors or drivers on Highway 179
- Operating equipment, including booster pumps capable of delivering 3,000 gallons per minute, will be inside a building on top of the tank that will be designed to look like neighboring homes.

At the upcoming meeting, we will present more detail about construction techniques and other technical issues. In addition, we will report on our meeting with the Mystic Hills HOA Design Review Board and our meeting with Judy Adams of the US Forest Service.

Thank you again for your participation in this process. We look forward to seeing you at the meeting.

Sincerely,

Keith Self
Verde Valley Division Manager
Arizona Water Company

65 COFFEE POT DRIVE, SUITE 7, SEDONA, ARIZONA 86336
PHONE: (928) 282-5555 · FAX: (928) 282-6131 · WWW.AZWATER.COM

ARIZONA WATER COMPANY

East Sedona Water Storage Facility

January 10, 2018 Community Meeting

LOCATION

Where does one find a water storage or treatment facility?

Mesa, Arizona
Range Rider

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Scottsdale, Arizona
Bell Rd. and 108th St.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Scottsdale, Arizona
Pima and Thomas

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Southwest Center Well No. 8 and arsenic treatment plant a few feet from Adobe Grand Villas and down the street from City Hall.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

View of well and arsenic treatment system and work yard from the Adobe Grand Villas 2nd floor.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Single family home adjacent to Southwest Center treatment system and work yard. City Hall is across the street.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Harmony High Park, one million gallon storage tank and booster station.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Sedona West Storage Facility, a 102,800 gallon tank between two homes.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Sedona West Storage Facility, a
102,800 gallon tank between two homes.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Shadow Rock Storage Tank, 700,000 gallons
and visible from many of homes in the area.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Jordan Park neighborhood,
one million gallon storage tank.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Jordan Park home adjacent to
one million gallon storage tank.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Town tank, 300,000 gallon storage tank, surrounded by homes. Homes built after tank.

Right next door.

Arizona Water Company

Where does one find a water storage or treatment facility?

Broken Arrow Well No. 10 and arsenic removal facility. Located next to homes. Homes on two sides, located on State Route 179.

Right next door.

Arizona Water Company

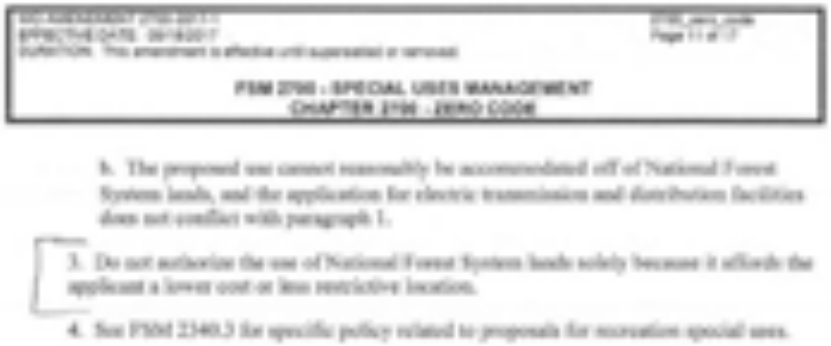
What about using Forest Service land?

On November 9 Arizona Water met with Judy Adams, USFS, to ask about using USFS land. Her response: No building on USFS land if a private site is available elsewhere.

From US Forest Service brochure -

"Alternatives – You must first consider using nonfederal land. Lower costs or fewer restrictions are not adequate reasons for use of NFS lands. Provide alternative locations for the proposal in your applications."

From US Code -



FSM 2700 - SPECIAL USES MANAGEMENT
CHAPTER 2700 - ZERO CODE

b. The proposed use cannot reasonably be accommodated off of National Forest System lands, and the application for electric transmission and distribution facilities does not conflict with paragraph 1.

3. Do not authorize the use of National Forest System lands solely because it affords the applicant a lower cost or less restrictive location.

4. See FSM 2340.3 for specific policy related to proposals for recreation special uses.

CONSTRUCTION

Construction Issues: Blasting the Bedrock

Blasting significantly reduces the time needed for excavation when compared to other methods. It also reduces overall noise.

VIDEO

Sound Absorbing Wall

Sound absorbing panels like these can significantly reduce noise from construction sites.

Truck Traffic

This is typical of the sort of dump truck to be used for removal of material excavated on the site.

We estimate one or two of these trucks per hour will enter and leave the property.

OPERATIONS

Noise

Approximately 30db at the edge of the property.
Equivalent to a desktop computer.

Stormwater Runoff

No runoff in excess of what a single family home would add.

Traffic

Less than a typical single-family home.
Two to three visits per week by workers in pickup trucks.

Taxes

Arizona Water Company estimates it will pay $27,000 per year in property taxes.

Property Values

There is no evidence that property values will be affected by the presence of this underground reservoir.

COMMENTS AND RESPONSES

Comment Cards

Arizona Water Company thanks everyone who attended our community meeting on March 15. Below is a list of the comments we received, paraphrased by us. Copies of the actual comment cards and the emails we received later, can be viewed at our website.

Comment: *David Hampton - Realistic assessment of construction impact. Not being honest with public.*
Response: A discussion of the construction impact will be part of the next meeting.

Comment: *Carole Hampton – Don't want it. Involve Forest Service. Concerned about lack of backup generator.*
Response: A backup generator can certainly be added to the plan. The Forest Service has clearly stated a preference that this project be built on privately owned land.

Comment: *Bob Campbell – A scale model would be helpful.*
Response: It is under consideration.

Comment Cards

Comment: *Marlene and Ron Hanson – Put it in the ravine. Build below Little Horse Trail parking lot.*
Response: The US Forest Service has made it clear this project should be built on privately owned land.

Comment: *Tom and Sharon Foulds – Not in residential areas. Meet with Mystic Hills HOA. Roundabouts.*
Response: It is very common for water facilities like water storage tanks, wells, pumps, and treatment facilities to be located in or adjacent to residential neighborhoods.
We met with Mystic Hills HOA Design Review Board on October 4.
Building in roundabouts would be impossible.

Comment: *Barbra Barker – Submit final design to Mystic Hills Design Review Committee. Must have backup power.*
Response: We met with the Design Review Board on October 4. Back-up power can be added.

Comment Cards

Comment: *Al Beaudin – Why in residential area? Will quickly lower home values, loss of tax revenue.*

Response: It is typical for water facilities such as this to be located in or adjacent to residential areas. There is no reason to expect that a project such as ours would have a negative affect on home values or tax revenue. We estimate $27,000 annual property tax revenue.

Comment: *Carol and Duane Roland – Completely opposed. Doesn't belong in residential area. Too many potential problems. Look into Bruce Huelat's idea.*

Response: Water facilities are often located in or adjacent to residential neighborhoods. It is difficult to respond to general comments like "Too many potential problems." Knowing which specific problems are of concern is the only way we can address them.

Emailed Comments

Comment: *Larry Kane – Why not more support from Fire Department? Why not look at CC&Rs The footprint of the above ground facilities is too large and wouldn't be allowed in the area. The site is outside any reasonable use. Check alternatives.*

Response: The Fire Marshall does support the project. We met with the Mystic Hills Design Review Committee. On October 4.

As mentioned before, this type of facility is completely within the reasonable uses of this property. Many water facilities in the Sedona area are in residential neighborhoods.

Emailed Comments

Comment: *Ron Minzer – It will cause more flooding, traffic, noise, possible chemical spills, pump noise, electrical noise and interference with our homes electrical systems.*
Property values damaged.

Response: There will be no or very little increase in runoff from our project beyond what a single family home would generate. If, however, the City is convinced that there is a danger of excess runoff, it would be a simple matter to capture that runoff on site.
Once this project is complete, it will generate less traffic than a typical single family home.
The pumps and operating equipment will be indoors and sound insulation will be added.
Also, there is no reason to believe that it will interfere with electrical systems in the area.
We see no evidence for lower property values.

Emailed Comments

Comments: *Anonymous, via Ron Eland, reporter –* ***Claims that Keith stated that we had been working with the city to develop the plan. Drainage.*** *The site requires removal of 25-30 feet of bedrock up to 165 feet in diameter. That is 13,000 - 15,557 cu ft. of ROCK … Look at other sites. In full "frontal" view of Highway 179.*
Why is the tank so large?

Response: AWC developed this proposal completely on its own without any input from the City of Sedona staff or any elected officials.
Regarding drainage, our project will meet the City's requirements for runoff and will not create more runoff than a single family home.
The size of the tank was determined by analyzing requirements for fire fighting water flows plus the need to provide for peak demand in case of a system emergency.

Emailed Comments

Comments: *Anonymous, via Ron Eland, reporter – Claims that Keith stated that we had been working with the city to develop the plan. Drainage.* ***The site requires removal of 25-30 feet of bedrock up to 165 feet in diameter. That is 13,000 - 15,557 cu ft. of ROCK …*** *Look at other sites. In full "frontal" view of Highway 179. Why is the tank so large?*

Response: The estimate of 13,000 to 15,557 cubic feet of rock removed from the site is pretty accurate. We are going to use some of that material on site, and we are looking at options for how to handle the remainder.

The only thing visible from Highway 179 will be a building that looks very much like one of the homes in the community.

Mystic Hills HOA Comments and Questions

Received 7-14-17

Q -Why a 1.5 Million Gallon Water Tank?

What are the future plans that would call for this much water storage? Especially when the entire city has just under 900,000 gallons of storage, and is land locked (surrounded by national forest) and is 70+% built out. Further, it is being proposed on the smaller populated, east side of town which has no remaining development space and only scattered lots available for development. AWC has stated their service ends at Back O' beyond and has no interest in the VOC. Then why a 66% greater than the total of all the 3 water storage tanks that the entire city uses today? By simple deduction AWC should only need 200,000- 300,000 water storage for full service of the east side.

A -Arizona Water has approximately 3.4 million gallons of water storage serving our Sedona customers, including a one million gallon tank in the Jordan Park subdivision and another in the Harmony High neighborhood.

An analysis completed by the company in 2010 notes that there are 850 connections in the portion of the service area where the tank is located. These service connections have a peak demand of about 880,000 gallons per day.

In addition, we must conform to the fire code adopted by the local fire district, which calls for fire protection flows of 3,000 gallons per minute for three hours, which totals 540,000.

Virtually all of the East side of our system is supplied by a single water main. In order to maintain service and fire protection for 24 hours in the event of a main break, we need approximately 1.34 million gallons in storage, ready to be pumped into the system.

Mystic Hills HOA Comments and Questions

Q - Why would the City Even Consider Granting a Waiver for Conditional Use in a Known Extensive Flooding Area of Residential Property?

The homes on West Mallard have had continuous flooding from year to year, and this is well documents. By AWC acknowledgement, they would clear cut nearly all of the 1 acre for construction. This proposed site is in the drainage draw for the entire east side of Hwy 179; Mystic Hills and the Chapel area. Drainage is routed under 179 directly into this lot, then around two sides of the lot directly into the property of an existing home. The tunnel under the road has seen over 8 feet of flooding, as evidenced by the water lines in the tunnel and debris the city has had to clean out of the tunnel after heavy rains. Two (2) of the homes have had water in their homes, while two others have had significant damage to their property. Sedona continues to have significant flood prone and flood damage areas. To approve one more project that directly impacts existing homes and property is in-excusable. Who is placing a bond for several million dollars for water and or construction/ blasting damage? Damages, from shifting could take years to manifest.

A -The proposed project will have minimal impact on the three homes that are now in the path of the stormwater. What little runoff there is can be captured on site by using retention basins and other techniques. The equipment room will be located above the flood zone.

With regard to potential damage to homes from construction activity, Arizona Water Company's contractors are required to be fully insured. When the facility goes into operation, AWC is also fully insured for the operation of its system.

Mystic Hills HOA Comments and Questions

Q -Why allow a Prime Residential Lot Surrounded by High End Property and High Tax Revenue to be Taken Out of Real Estate Tax Inventory?

The proposed water tank is enormous tank (by any standards) on existing Residential zoned property. This will diminish property as well as tax values of the adjacent lots as well as homes in the area. Would you put your $1,500,000 home adjacent to a 1,500,000 gallon tank and pump house? Especially, when an alternate site could be with a few hundred yards.... Honestly? We bet not. Further, what is the tax rate for a water tank vs a home on the same lot? Will AWC pay the same real estate tax rate as if a $1,500,000 home was on this property?

A -The project is allowed under current zoning regulations and there are examples of million dollar homes adjacent to water tanks in Sedona today. We have designed this proposed project to conceal the tank. The operating equipment will be located inside a structure resembling the surrounding residences. We see no reason to believe it will diminish property values because the water storage tank will resemble a high-end home, not a water storage tank.

Regarding tax revenue, we estimate that property taxes on the site after our project is completed would be approximately $27,000 per year.

Mystic Hills HOA Comments and Questions

Q - Why Was This Entire Project Done in Secrecy?

Five years ago AWC purchased the proposed lot. The answer given by the AWC presenter, at the public meeting was: “We have been working with the city to develop this site”. City Staff has sought review from numerous departments since the January 2017 project submittal application for waiver for conditional use. The City in April, 2017, posted on its website, that the Project was in 'final approval stage'. Yet no one in the area was even contacted until April. No one in the community was informed nor working with AWC to develop community involvement, EVER! Yet the city Staff had the project up for final approval! This City belongs to its Citizens and they should be involved long before any submittal is ever presented, for any consideration or department reviews. The City is run by its elected leaders as guided by the laws and regulation duly authorized. Yet, there is the appearance that AWC is doing all possible to circumvent reasonable procedures and keep the public in the “dark”.

A -Our community meeting was the first step in the approval process, not the final step. The city has a well-established and detailed process for approving projects, and community input comes at the beginning and throughout the process.

Mystic Hills HOA Comments and Questions

Q - Why Were There No Alternatives Sites Submitted for Review or Evaluated?

"This is the only site being considered" statement that was made by AWC. Yet several alternate sites were suggested. As residents of Sedona, we have been, blatantly misled by AWC. When asked by Homeowners why not use one of various sites on forest service property, we were told "they won't let us". Yet, when pushed on previous failures to gain approval on other sites, AWC acknowledge community resistance, not the Forest Service was the cause of failures. Each time AWC once again offered only one choice. Further, each of these tanks were above ground tanks. We submit they failed on not one, not two, but three different times, because they refuse to get the community involved before project was developed into a proposal. When we asked AWC, why they selected a residential lot, their answer was " that's what our real estate department gave us". There are several alternative sites that are close by and would not impede on existing home or residential lots. Of course, AWC does not own any of this alternative property, but with a little effort on AWC's part, more than one would be an ideal site that should work for AWC considering previous sites they wanted for water tanks.

A - Arizona Water Company has been looking at alternative sites for several years. This one meets our criteria very well.

Mystic Hills HOA Comments and Questions

Q - Why Were There No Alternatives Sites Submitted for Review or Evaluated?

"This is the only site being considered" statement that was made by AWC. Yet several alternate sites were suggested. As residents of Sedona, we have been, blatantly misled by AWC. When asked by Homeowners why not use one of various sites on forest service property, we were told "they won't let us". Yet, when pushed on previous failures to gain approval on other sites, AWC acknowledge community resistance, not the Forest Service was the cause of failures. Each time AWC once again offered only one choice. Further, each of these tanks were above ground tanks. We submit they failed on not one, not two, but three different times, because they refuse to get the community involved before project was developed into a proposal. When we asked AWC, why they selected a residential lot, their answer was " that's what our real estate department gave us". There are several alternative sites that are close by and would not impede on existing home or residential lots. Of course, AWC does not own any of this alternative property, but with a little effort on AWC's part, more than one would be an ideal site that should work for AWC considering previous sites they wanted for water tanks.

A - Arizona Water Company has been looking at alternative sites for several years. This one meets our criteria very well.

Mystic Hills HOA Comments and Questions

Additional Questions

This Proposal Is a Tremendous Undertaking in Size, Scope, Complexity and Time. Numerous questions, were offered and minimal or no detail, responses were offered by AWC. Significantly better and more detailed answers are needed.

Q -Why a 1.5 million-gallon tank?
A -The storage capacity is needed for proper fire flow, storage and to meet peak water demand in case of emergencies. The size was calculated using industry standards and Arizona Water's experience in Sedona.

Q -Why attempt to extract hundreds of thousands of tons of bedrock?
A – Arizona Water plans to build the water storage tank underground to minimize impact on the neighborhood. In order to build the tank underground, we must remove the bedrock.

Q -How long will excavation take?
A -We estimate it will take 3 to 4 months.

Mystic Hills HOA Comments and Questions

Q -Could excavation take longer?
A -Unlikely, since our team has completed two geotechnical surveys of the site and consulted with contractors that specialize in excavation. They have completed more than 10 projects in the area and are very familiar with the site conditions.

Q -Your engineering report is vague on blasting to remove this rock, will you have to blast?
A–Blasting will not be required to excavate the site. However, the excavation contractors tell us that blasting can reduce the excavation time by several weeks and lower the noise level from excavation.

Q -Why not put it under parking lots, tennis courts, or Forest Service land instead of on a residential lot?
A–It is not unusual to locate these facilities such as the proposed reservoir in a residential area. AWC must control the property on which the tank sits because we must have 24/7/365 access to the tank. If we built under parking lots or tennis courts we would not have full access to the tank to ensure safe, reliable water service and fire flows. Additionally, problems with our tank or equipment would have an adverse effect on those facilities in case of an emergency. Even routine maintenance could be disruptive.

We have evaluated the Forest Service land option, as well. The Forest Service has discouraged Arizona Water from building on public lands if there were any alternatives available.

Mystic Hills HOA Comments and Questions

Q -What is the noise level of the completed tank and all its support?
A -The estimated noise level will be less than 37 dB at the property boundary when equipment is running. This is the equivalent of a personal computer. The following link compares decibel levels to common, household items and experiences. http://www.noisehelp.com/noise-level-chart.html

Q - How much power will you need?
A - The facility will use an 800 amp, three phase service, located within the building, to run four 100-horse power pumps in addition to other smaller equipment.

Q -What are the utility requirements, including back-up generators?
A -A stationary or portable generator can support the facility. The Company is willing to discuss this issue.

Mystic Hills HOA Comments and Questions

Q -What kind lighting on the facilities and will the lights be on 24/7?
A -External lights will be provided to meet the City ordinance and the surrounding area. The facility does not need lights to be on 24/7.

Q -100's of trucks will be required for extraction, and then construction and countless cement trucks? What exact route/roads will be used?
A - From Highway 179, cars and trucks will reach our property by taking the following route:
Cathedral Rock Trail to Castle Rock Trail to Chimney Rock Trail to Bell Rock Trail to our property.

Q -Have all affected homeowners along the routed been notified?
A -There are a handful of homeowners on or near the access route whose property is outside the 500-foot notification requirement who have not been notified as of the beginning of July. We will add them to our notification list and make sure they are brought up to speed.

Mystic Hills HOA Comments and Questions

Q -Can the Residential route and HWY 179, 89A take the all the heavy loads? Where is all the extracted material being sent?
A - The haul trucks used for construction will be regular trucks that meet ADOT and City of Sedona standards, so local streets and highways are fully capable of handling the loads.

We plan on reusing as much of the excavated material on the site as possible for landscaping and construction purposes. The contractor usually determines where the material will be disposed of in accordance with all local regulations; however, we are open to ideas from the community.

Q -The tank will have some above ground footage, is there a, “not exceed” height?
A - The support buildings are one story and the tank itself will not extend more than four feet above the surface at the downhill side of the property. Landscaping will conceal the area of the tank that extends above the surface.

Meeting 3 Documents

ARIZONA WATER COMPANY

January February 2, 2018

Dear Neighbor,

At our community meeting on January 10th, Arizona Water Company was asked to host an additional meeting specifically to discuss the effect of our proposed East Sedona Water Storage Facility on storm water runoff.

We have scheduled the meeting for:

Stormwater Runoff Meeting
Wednesday, February 21, 2018
6 pm to 8 pm
Sedona United Methodist Church
110 Indian Cliffs Road
Sedona, AZ

Per request, we intend to have a discussion of the technical details of how stormwater runoff is calculated and what options might be available to mitigate it when necessary.

As a reminder, the proposed project includes:

- Water storage tank with a capacity to hold up to 1.5 million gallons
- Most of the tank will be underground and not visible to neighbors or drivers on Highway 179
- Operating equipment, including booster pumps capable of delivering 3,000 gallons per minute, will be inside a building on top of the tank that will be designed to look like neighboring homes

Thank you again for your participation in this process. We look forward to seeing you at the meeting.

Sincerely,

Keith Self
Verde Valley Division Manager
Arizona Water Company

65 COFFEE POT DRIVE, SUITE 7, SEDONA, ARIZONA 86336
PHONE: (928) 282-5555 · FAX: (928) 282-6131 · WWW.AZWATER.COM

ARIZONA WATER COMPANY

East Sedona Water Storage Facility

February 21, 2018 Community Meeting

STORMWATER RUNOFF

Issue: Runoff sometimes flows out of the wash at bottlenecks in front of several homes on W. Mallard

Questions:

How will Arizona Water's project affect runoff?

How is stormwater runoff calculated?

Arizona Water Company's Existing Site

- 1.05 Acres (45,738 sq. ft.) – Two lots
- Topsoil is 2 to 3.5 ft. +/- deep
- Sloped
- Site drains to North and Southwest

Sedona Routinely Handles Drainage Issues

City's Land Development Code includes a well-defined formula for calculating runoff and managing flood risk.

Rational Drainage Equation: Q (cfs) = C x I x A

Q Quantity of stormwater runoff, in cubic feet per second (cfs)

C Runoff Coefficient determines the amount of rainfall that is NOT absorbed by the ground

I Precipitation. Drainage Design – Table 8.1 – Applicable Sections

A Area

Determining the Coefficient: Start with Type of Soil
Q=C x I x A

Four factors as defined by the U. S. Department of Agriculture, Hydrologic Soils Group

A - Soils having high infiltration rates even when thoroughly wetted and consisting chiefly of deep and well to excessively drained sands and gravels. These soils have a high rate of water transmission.

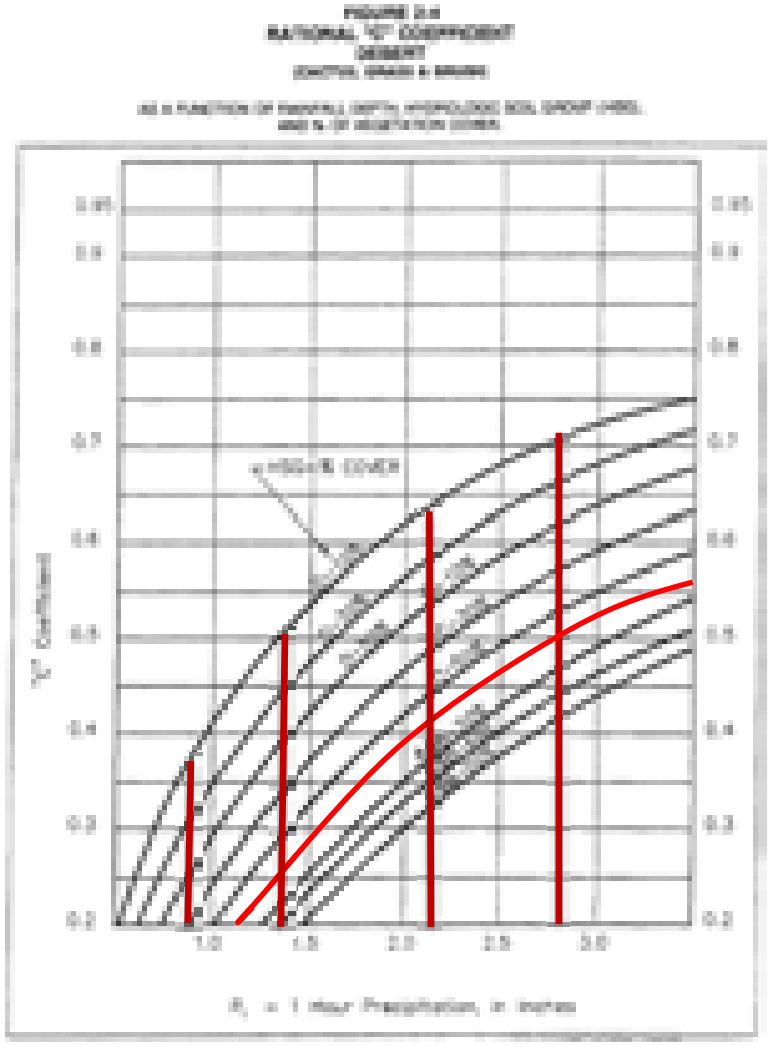
B - Soils having moderate infiltration rates when thoroughly wetted and consisting chiefly of moderately deep to deep, moderately well to well drained soils with moderately fine to moderately coarse textures. These soils have a moderate rate of water transmission.

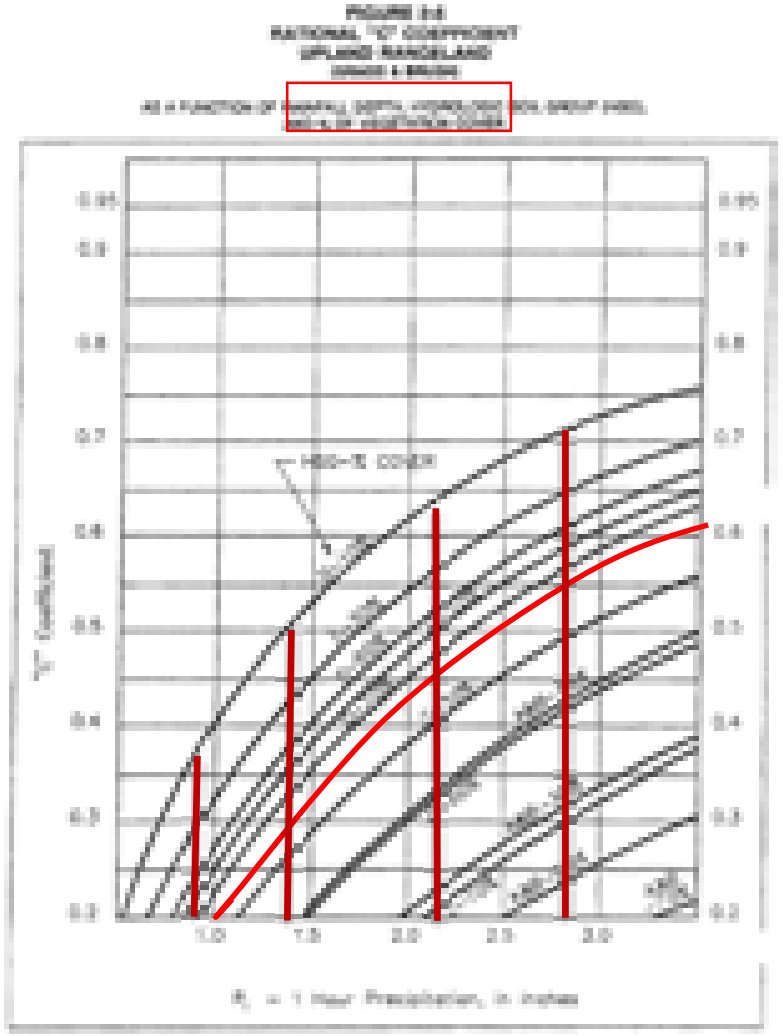
C - Soils having slow infiltration rates when thoroughly wetted and consisting chiefly of soils with a layer that impedes downward movement of water, or soils with moderately fine to fine texture. These soils have a slow rate of water transmission.

D - Soils having very slow infiltration rates when thoroughly wetted and consisting chiefly of clay soils with a high swelling potential, soils with a permanent high water table, soils with a claypan at or near the surface, and shallow soils over nearly impervious material. These soils have a very slow rate of water transmission.

Arizona Water Company Site Analysis
Q = C x I x A

Arizona Water Company Site Analysis
Q = C x I x A





Precipitation and Drainage Design – Tables 8.2, 8.3

Q = C x I x A

Tables copied from Sedona Land Development Code

Table 8.2

Mean Precipitation Frequency Estimates

Freq (yr)	5-min	10-min	15-min	30-min	60-min	120-min	3-hr	6-hr	12-hr	24-hr	2-day	4-day	7-	10-	20-
1	0.21	0.33	0.40	0.54	0.67	0.80	0.86	1.05	1.34	1.72	2.02	2.33			
2	0.28	0.42	0.52	0.70	0.86	1.01	1.08	1.30	1.66	2.14	2.52	2.91			
5	0.37	0.56	0.70	0.94	1.16	1.33	1.39	1.61	2.03	2.66	3.14	3.65			
10	0.45	0.68	0.85	1.14	1.41	1.60	1.65	1.89	2.33	3.08	3.64	4.25			
25	0.56	0.85	1.06	1.43	1.77	1.99	2.03	2.28	2.75	3.67	4.33	5.10			
50	0.66	1.00	1.24	1.67	2.06	2.31	2.35	2.60	3.07	4.13	4.87	5.78			
100	0.76	1.15	1.43	1.93	2.38	2.67	2.71	2.96	3.41	4.61	5.44	6.50			
200	0.87	1.32	1.64	2.20	2.73	3.06	3.10	3.32	3.75	5.10	6.03	7.25			
500	1.03	1.56	1.94	2.61	3.23	3.63	3.66	3.87	4.22	5.76	6.83	8.30			
1,000	1.16	1.77	2.19	2.95	3.65	4.10	4.13	4.31	4.60	6.30	7.46	9.13			

Table 8.3

Upper Limit Precipitation Frequency Estimates

Freq (yr)	5-min	10-min	15-min	30-min	60-min	120-min	3-hr	6-hr	12-hr	24-hr	2-day	4-day	7-day	10-day	20-day
1	0.26	0.39	0.48	0.65	0.80	0.93	0.99	1.16	1.49	1.88	2.23	2.57	3.00	3.43	4.43
2	0.33	0.50	0.62	0.83	1.03	1.18	1.26	1.44	1.84	2.36	2.79	3.21	3.75	4.27	5.50
5	0.44	0.67	0.83	1.12	1.39	1.55	1.60	1.79	2.24	2.94	3.47	4.02	4.64	5.26	6.68
10	0.54	0.82	1.01	1.36	1.69	1.87	1.91	2.10	2.57	3.41	4.01	4.68	5.39	6.05	7.56
25	0.67	1.02	1.26	1.70	2.10	2.31	2.34	2.54	3.03	4.05	4.77	5.60	6.43	7.10	8.70
50	0.78	1.19	1.47	1.98	2.46	2.69	2.71	2.89	3.38	4.55	5.36	6.34	7.27	7.94	9.56
100	0.90	1.37	1.70	2.29	2.84	3.12	3.14	3.29	3.76	5.08	5.99	7.14	8.16	8.80	10.40
200	1.03	1.57	1.95	2.63	3.25	3.57	3.59	3.72	4.14	5.63	6.66	7.97	9.06	9.66	11.21
500	1.23	1.88	2.33	3.12	3.88	4.24	4.27	4.37	4.70	6.40	7.56	9.18	10.37	10.84	12.26
1,000	1.40	2.13	2.65	3.56	4.41	4.79	4.85								

Sedona Routinely Handles Runoff and Flooding Issues

$$Q = C \times I \times A$$

4.0	Open Channels	Storm Frequency:	25-yr. 100-yr. (check)
		Froude No.:	FN ≤ 0.86; 1.13 ≤ FN ≤ 2.0
		Freeboard (Minimum):	
		Subcritical Flow	FB = 0.25*[y+(v^2/2g)] (1-ft. min.)
		Supercritical Flow	FB = 0.25*[y+(v^2/2g)] (2-ft. min.)
		Maintenance Road:	12 ft. wide, 1 side of channel
		Maximum Velocity:	per channel lining material
		Maximum Side Slope:	(ss = from slope stability analysis)
		Vegetal/Earth	3:1 or ss
		Loose Riprap	3:1 or ss
		Rigid Lining	ss
		Shotcrete	1:1
		Soil Cement	1:1
		Building Setback from Channel Bank and Floodway:	1.5 x the channel depth, unless otherwise approved by the City Engineer for engineering reasons. However, in any case, the more restrictive requirements within this article shall apply.
5.0	Stormwater Storage	Storm Frequency:	2-, 10-, 25-, and 100-yr. storms
		Criteria:	post-proj. Q ≤ pre-proj. Q
		When Required:	1 acre or larger development or when post-development flow will exceed pre-development flow by ≥ 1 cfs.
		Maintenance Road:	12-ft. access road
		Maximum Depth:	
		Parking Areas	
		Emergency Spillway:	pass post-developed 100-yr. Q
		Maximum Drain Time:	12 hrs. upstream watershed areas ≤ 10 ac. and 24 hrs. for an upstream watershed area > 10 ac.
		Freeboard (Minimum):	1 ft. (post developed 100-yr. event)
		Min. Principal Outlet:	12 inch
		Maximum Side Slopes:	
		Depth < 3 ft.	2:1, protected; 3:1, unprotected
		Depth ≥ 3 ft.	4:1

Table Copied from Sedona Land Development Code

Runoff Calculations

- Q = C x I x A

Yavapai County Drainage Policies & Standards	V=C(P/12)A	
100 Yr- 1 Hr Storm Rainfall Depth, inch	2.84	City of Sedona Precipitation Frequency Estimates

Existing						
Description – Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.55	0.16	0.01	573
Grass and Brush - Area 2	41,338	0.95	0.55	1.48	0.12	5,381
Pavement & Rooftops						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.55**	**1.64**	**0.1**	**5,954**

Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.55	0.16	0.01	573
Grass and Brush - Area 2	20,357	0.47	0.55	0.73	0.06	2,650
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.55	0.10	0.01	369
Pavement & Rooftops						
Roadway/Concrete Pads	360	0.01	0.88	0.02	0.002	75
Reservoir	7,186	0.16	1.00	0.47	0.039	1,701
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.35	0.03	1,254
Total	**45,738**	**1.05**	**0.61**	**1.82**	**0.15**	**6,622**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**668**
Excess Runoff (Retention Volume Required, cft)						**668**

Runoff Coefficient Sensitivity Analysis
Runoff increase still < 1 cfs of existing conditions

Yavapai County Drainage Policies & Standards	V=C(P/12)A	
100 Yr- 1 Hr Storm Rainfall Depth, inch	2.84	Sedona Precipitation Frequency Estimates

Existing						
Description - Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.70	0.20	0.02	729
Grass and Brush - Area 2	41,338	0.95	0.70	1.89	0.16	6,848
Pavement & Rooftopes						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.70**	**2.09**	**0.2**	**7,577**

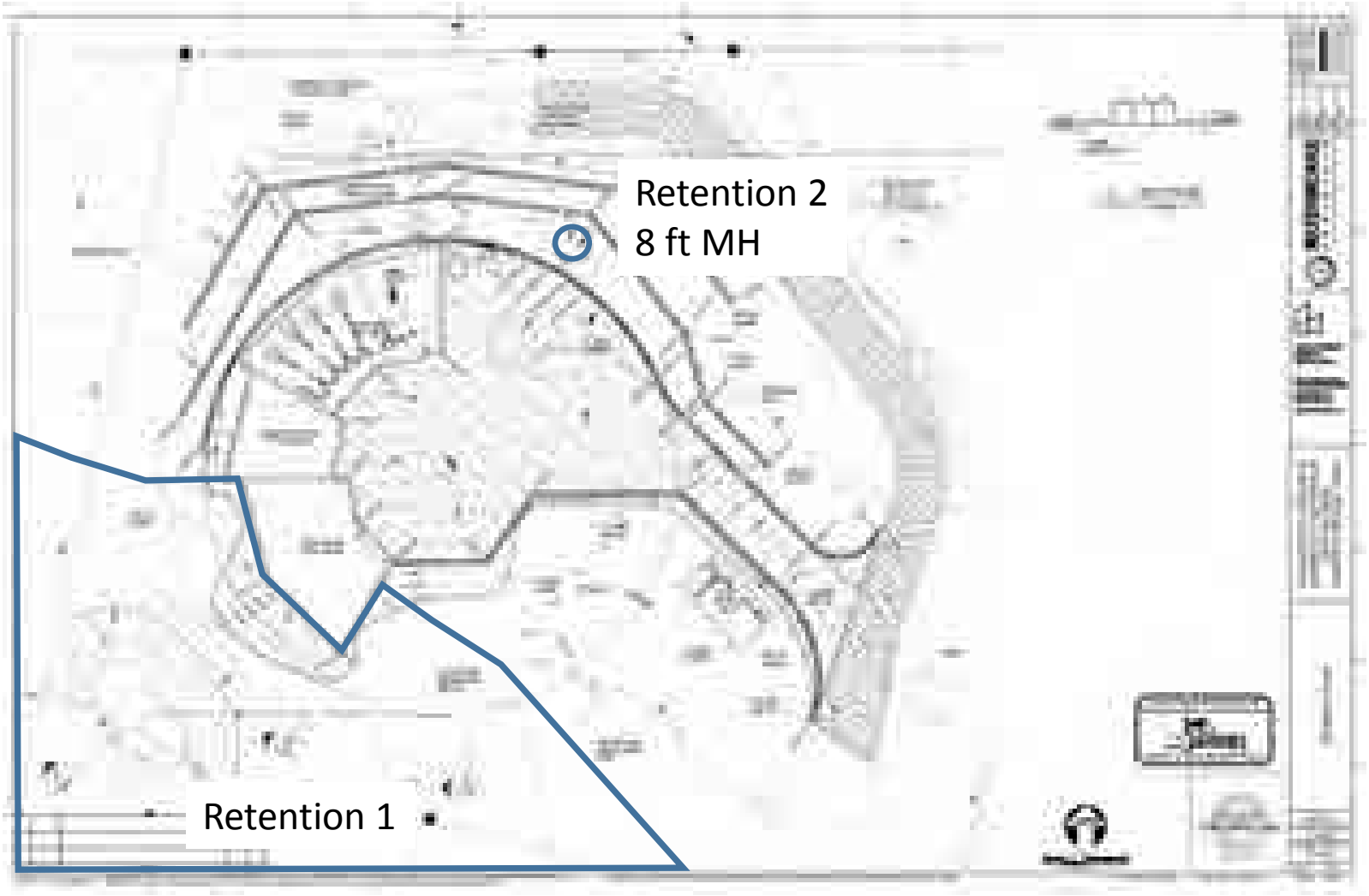
Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.70	0.20	0.02	729
Grass and Brush - Area 2	20,357	0.47	0.70	0.93	0.08	3,372
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.70	0.13	0.01	470
Pavement & Rooftopes						
Roadway/Concrete Pads	360	0.01	0.88	0.02	0.002	75
Reservoir	7,186	0.16	1.00	0.47	0.039	1,701
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.35	0.03	1,254
Total	**45,738**	**1.05**	**0.70**	**2.09**	**0.17**	**7,601**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**24**
Excess Runoff (Retention Volume Required, cft)						**24**

Yavapai County Drainage Policies & Standards	V=C(P/12)A	
100 Yr- 1 Hr Storm Rainfall Depth, inch	2.84	Sedona Precipitation Frequency Estimates

Existing						
Description - Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.25	0.07	0.01	260
Grass and Brush - Area 2	41,338	0.95	0.25	0.67	0.06	2,446
Pavement & Rooftopes						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.25**	**0.75**	**0.1**	**2,706**

Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.25	0.07	0.01	260
Grass and Brush - Area 2	20,357	0.47	0.25	0.33	0.03	1,204
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.25	0.05	0.00	168
Pavement & Rooftopes						
Roadway/Concrete Pads	360	0.01	0.88	0.02	0.002	75
Reservoir	7,186	0.16	1.00	0.47	0.039	1,701
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.35	0.03	1,254
Total	**45,738**	**1.05**	**0.43**	**1.28**	**0.11**	**4,662**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**1,956**
Excess Runoff (Retention Volume Required, cft)						**1,956**

Project Conditions



Existing Site

- 1.05 acres
- 113 ft. diameter tank
- 10 ft. ring around tank – sand
- Building above tank
- 2,840 sq.ft. soil cover over tank
- Impermeable area – 7,200 sq.ft.

Retention Basin Calculations – 1 hr. Rain Duration

					Retention						
Storm Frequency	Inch in 1 hr	Exist Cndts	Project Cndts	Increase	Required	Match Existing Cndts	Proposed Retention 1	Proposed Retention 2	Total	Storm Water Flow w Proposed Retention	% Reduction
(yr)		(cfs)	(cfs)	(cfs)	(cft)	(cft)	(cft)	(cft)	(cft)	(cfs)	%
2	0.86	0.18	0.36	0.18	0	657	450	1005	1455	0.00	100.0%
10	1.41	0.44	0.68	0.24	0	865	450	1005	1455	0.28	59.2%
25	2.1	0.99	1.22	0.22	0	811	450	1005	1455	0.81	33.2%
100	2.84	1.64	1.82	0.18	0	668	450	1005	1455	1.42	22.2%

- Retention 1 – located along the southwest corner of the site
- Retention 2 – 8 ft. manhole located north of the proposed tank

Retention Basin Calculations – 2 hr. Rain Duration

					Retention						
Storm Frequency	Inch in 2 hrs	Exist Cndts	Project Cndts	Increase	Required	Match Existing Cdts	Proposed Retention 1	Proposed Retention 2	Total Retention	Storm Water Flow w Proposed Retention	% Reduction
(yr)		(cfs)	(cfs)	(cfs)	(cft)	(cft)	(cft)	(cft)	(cft)	(cfs)	%
2	1.01	0.58	0.65	0.07	0	238	450	1005	1455	0.24	62.3%
10	1.6	0.92	1.03	0.10	0	376	450	1005	1455	0.62	39.3%
25	2.31	1.33	1.48	0.15	0	543	450	1005	1455	1.08	27.2%
100	3.12	1.80	2.00	0.20	0	734	450	1005	1455	1.60	20.2%

- Retention 1 – located along the southwest corner of the site
- Retention 2 – 8 ft. manhole located north of the proposed tank

WATERSHED DISCUSSSION

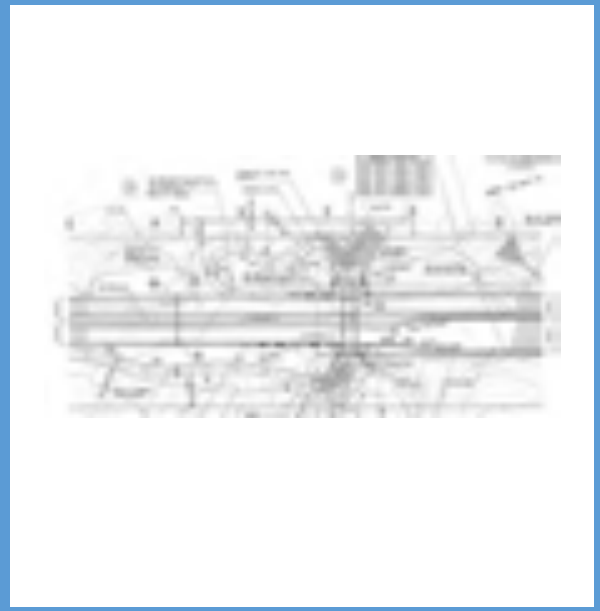
Sedona Watersheds

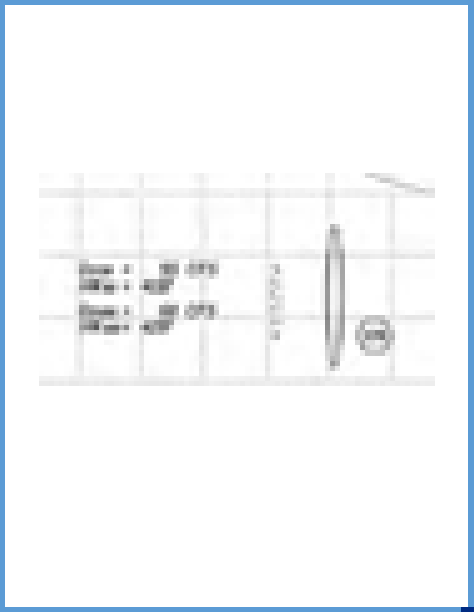
Sedona Watersheds

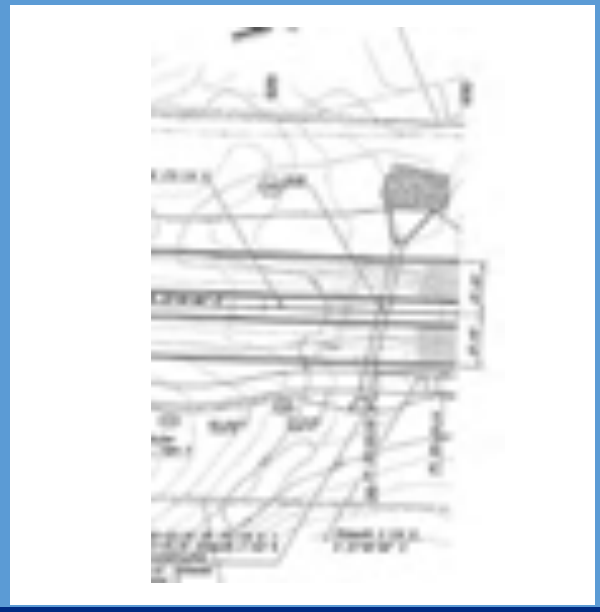

Culvert
Culvert
Project Site
Wash
Wall
2 – 30/36”
Culverts
2 Culverts of
various sizes

On Site Runoff Compared to Wash Flows

- Two culverts convey storm water runoff from east to west of SR 179
- Culvert information obtained from ADOT drawings:
  - Culvert 100 – box culvert
    - 100 yr. storm flow – 240 cfs
    - 50 yr. storm flow – 190 cfs
  - Culvert 109 – 54” pipe
    - 100 yr. storm flow – 68 cfs
    - 50 yr. storm flow – 55 cfs
- Additional drainage from SR 179
- In comparison, site runoff is less than 1% of flow in wash







Unnamed Wash Floodplain Analysis

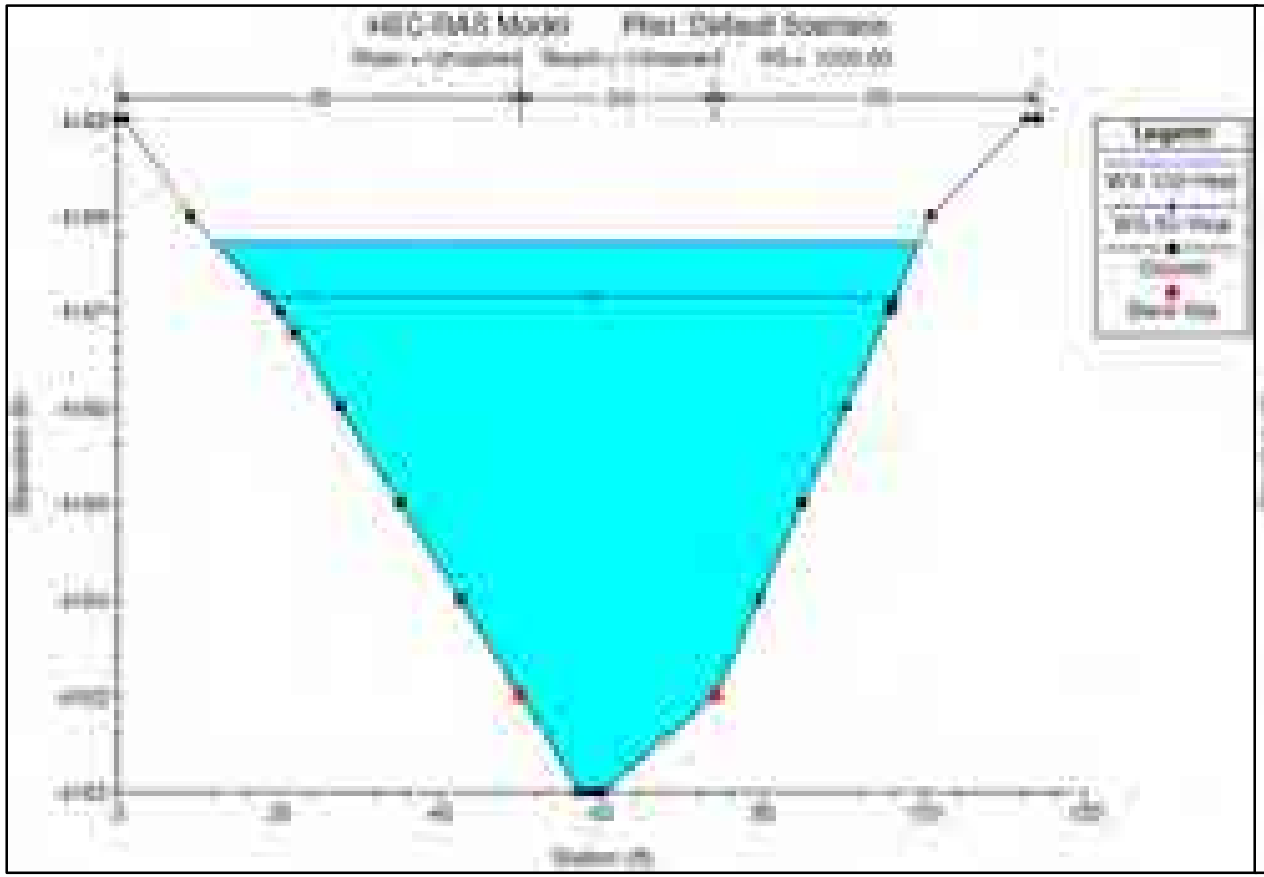
- USACE HEC-RAS floodplain modeling software
- Existing and proposed conditions
- 100-year (standard) and 50-year storm events, Discharges from ADOT plans
- No ineffective flow areas, no obstructions, and no structures
- Manning's roughness values
  - 0.040 main channel
  - 0.050 overbanks
- Subcritical flow regime
  - Standard for natural watercourses
  - Downstream boundary condition only

Floodplain Analysis: Boundary Condition

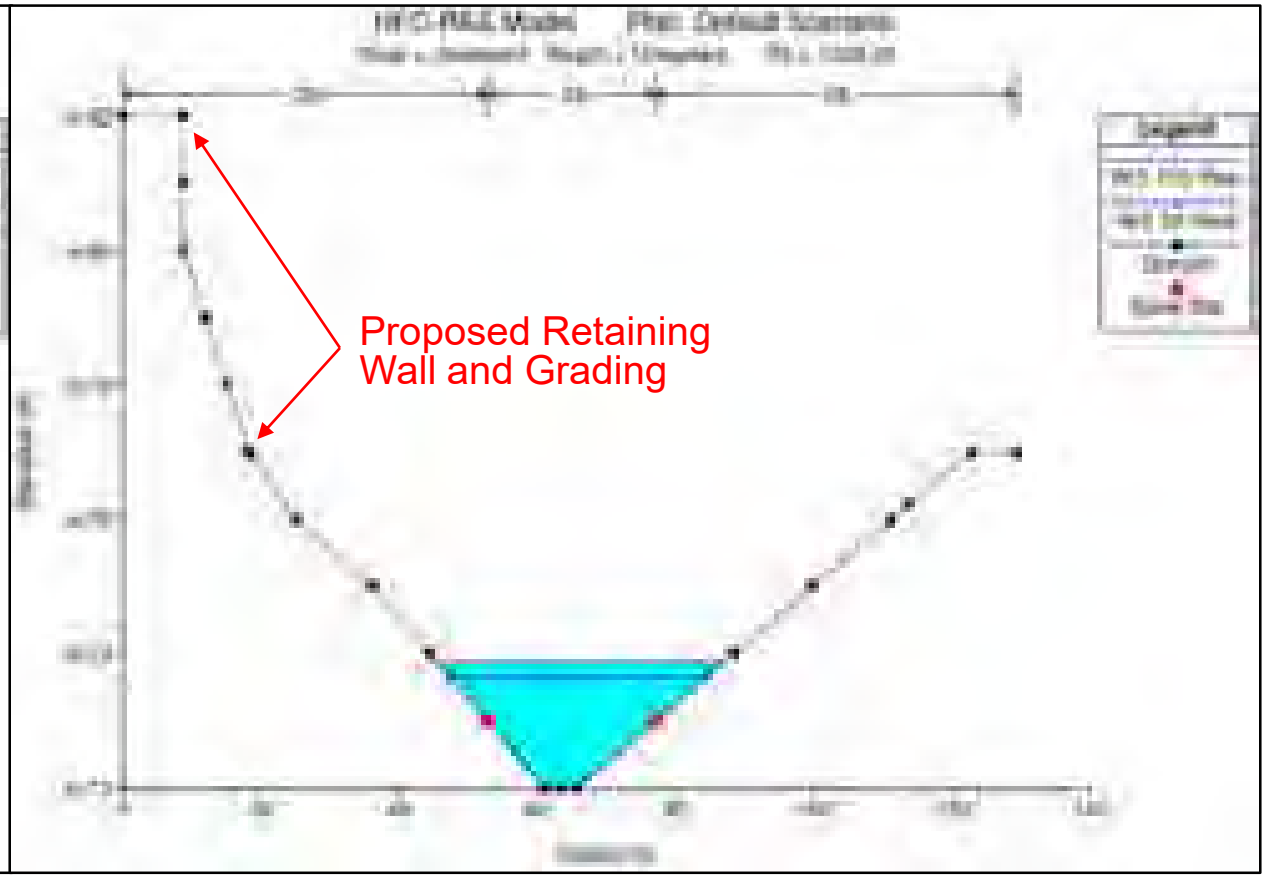
- Known water surface elevation
- Existing culverts and driveway impede natural flowpath
- Modeled as a combination of culverts and weir
  - CulvertMaster
  - FlowMaster
- Resulted in ~5.7’ of flow depth → WSE

Floodplain Modeling Results: Cross-Sections

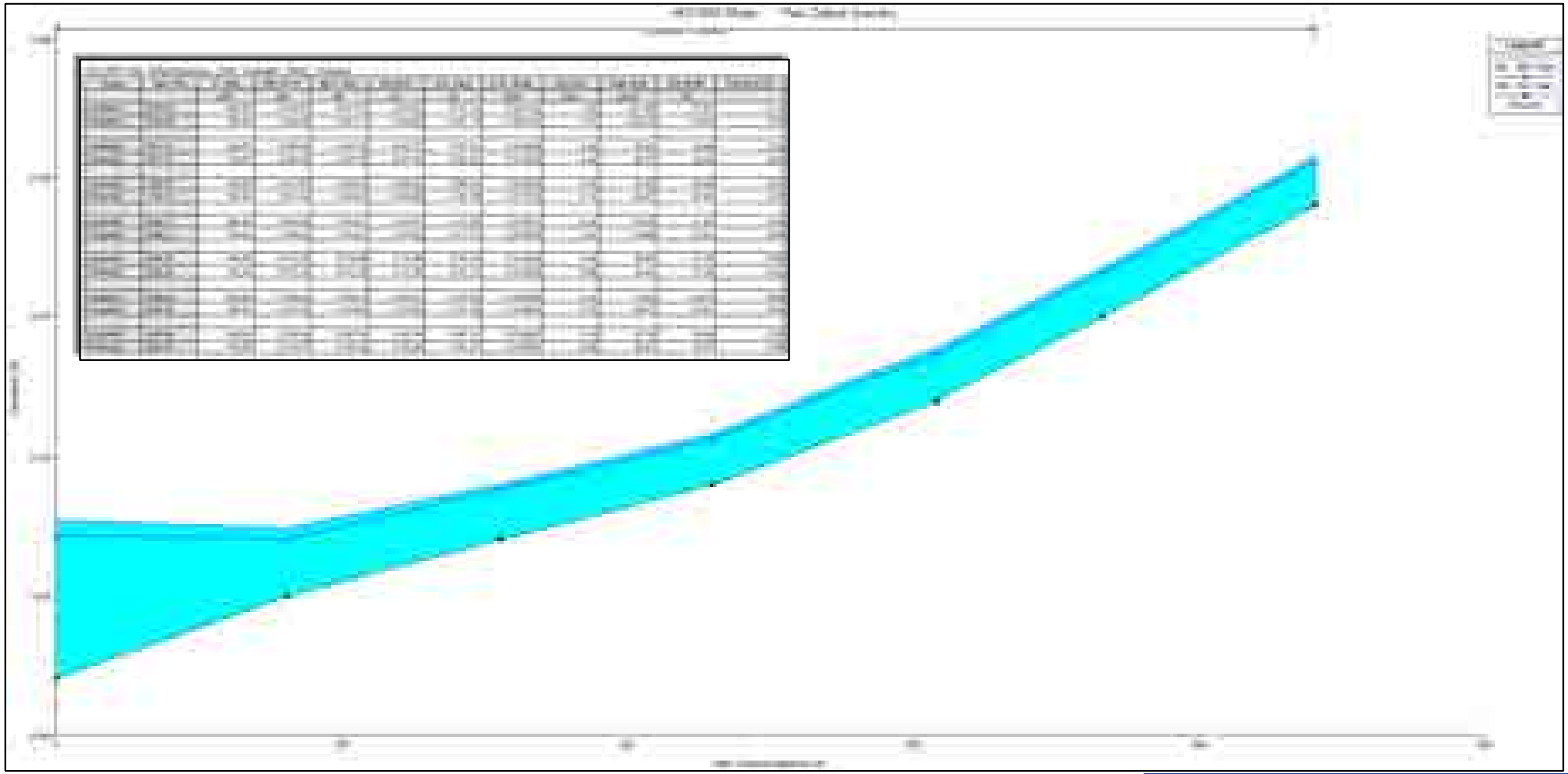
@ Downstream Driveway



@ Proposed Tank



Floodplain Modeling Results: Flowline Profile



Floodplain Modeling Results: WSEs

100-Year Floodplain Results

Cross Section	Existing WSE	Proposed WSE	Difference (ft)
1000.00	4167.72	4167.72	0.00
1081.47	4167.72	4167.72	0.00
1155.75	4169.03	4169.03	0.00
1269.31	4170.81	4170.81	0.00
1308.24	4171.86	4171.86	0.00
1386.89	4176.25	4176.25	0.00
1440.05	4180.75	4180.75	0.00

50-Year Floodplain Results

Cross Section	Existing WSE	Proposed WSE	Difference (ft)
1000.00	4167.17	4167.17	0.00
1081.47	4167.17	4167.17	0.00
1155.75	4168.31	4168.31	0.00
1229.81	4170.63	4170.63	0.00
1308.24	4173.46	4173.46	0.00
1386.89	4176.56	4176.56	0.00
1440.05	4180.54	4180.54	0.00

Floodplain Modeling Results: Map

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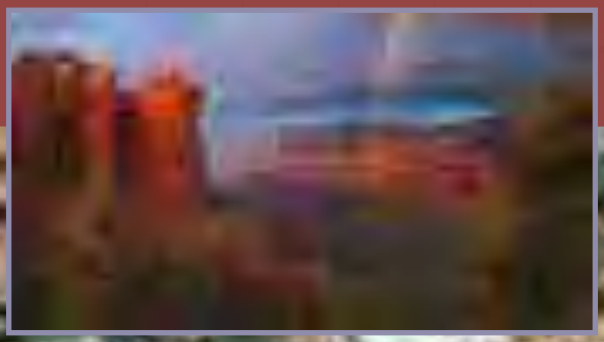
Myrna Jacobs
407 Acacia Drive
Sedona, AZ 86336-6967

AP IDENTIFIE	APN	OWNER NAME	SITUS ADDRESS	SITUS CITY	SITUS STATE	SITUS ZIPCODE	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE	OWNER PHONE NUMBER
29	40133008C	PARKER RODERICK J	60 BELL ROCK TRL	SEDONA	AZ	86336	PO BOX 417	WHITNEY POINT	NY	13862	NO CURRENT AWC ACCT - FB 10/2006
14	40173009	HOWDEN DAVID BRUCE	311 ACACIA DR	SEDONA	AZ	86336	7642 W MAUI LN	PEORIA	AZ	85381	NO AWC ACCT
15	40173010	MILLER ROBERT & MARYLU	309 ACACIA DR	SEDONA	AZ	86336	309 ACACIA DR	SEDONA	AZ	86336	201-652-1221
16	40173011	WALLS DALE L JT ; WALLS CATHERINE A JT	307 ACACIA DR	SEDONA	AZ	86336	8026 E FERZON TR	SCOTTSDALE	AZ	85258	NO AWC ACCT
11	40172020	FRICKE DANIEL & DONETTA A	303 ACACIA DR	SEDONA	AZ	86336	16112 LIVE OAK CIR	CANYON COUNTRY	CA	91387	NO AWC ACCT
10	40172021	MCKEE SHIRLEY J SURVIVING TRUSTEE ; MCKEE J & S TRUST C/B/D T	107 E MALLARD DR	SEDONA	AZ	86336	107 E MALLARD DR	SEDONA	AZ	86336	928-282-0947
18	40172022	STAUB MA RVCBL LIVING TRUST DTD 4-21-06	99 E MALLARD DR	SEDONA	AZ	86336	8669 AUGUSTA LN	HOLLAND	OH	43528	928-204-2002
12	40172024	YOUNG EMILY J	304 ACACIA DR	SEDONA	AZ	86336	55 SEDONA VIEW DR	SEDONA	AZ	86336	Tammie Quinlan 928-862-2028 (possible tenant??)
6	40133010	HAYES RUTH F TRUST	98 W MALLARD DR	SEDONA	AZ	86336	4421 HIGHLAND DR	CARLSBAD	CA	92008	760-434-9806
28	40133009A	LANG PATRICIA	35 BELL ROCK TRL	SEDONA	AZ	86336	303 FOX RUN DR	VENETIA	PA	15367	412-580-5886
5	40133011	CHRISTMAS MICHAEL A &BRENDA HAYES CPWROS	96 W MALLARD DR	SEDONA	AZ	86336	PO BOX 130475	CARLSBAD	CA	92013	760-510-1995
4	40133012	BOVEE LIVING TRUST	94 W MALLARD DR	SEDONA	AZ	86336	2916 E COBRE DR	PHOENIX	AZ	85028	602-980-1585 - Russell & Bernadette Bovee
3	40133013	HUELAT BC & TR RVCBL TRUST DTD 10/30/00	92 W MALLARD DR	SEDONA	AZ	86336	92 W MALLARD DR	SEDONA	AZ	86336	620-231-4313
2	40133014	SHAW JENNIFER	90 W MALLARD DR	SEDONA	AZ	86336	PO BOX 20944	SEDONA	AZ	86341	415-902-2998
24	40133015	GENOA LLC	89 W MALLARD DR	SEDONA	AZ	86336	333 VIA LIDO SOUD	NEWPORT BEACH	CA	92663	949-723-0068
23	40133016	SLUDER A KATIE	91 W MALLARD DR	SEDONA	AZ	86336	95 COPPERMINE RD	CONCORD	MA	01742	Kenneth Ledeen 978-371-0223 (same mailing address)
22	40133017	PARKER ADRIAN & GEORGIANA	93 W MALLARD DR	SEDONA	AZ	86336	93 W MALLARD DR	SEDONA	AZ	86336	623-221-5259
21	40133018	BRACKIN LIVING TRUST DTD 4-14-15	95 W MALLARD DR	SEDONA	AZ	86336	95 W MALLARD DR	SEDONA	AZ	86336	928-284-2042
20	40133019	MCGOWAN MARK J	97 W MALLARD DR	SEDONA	AZ	86336	500 N LENZNER AVE APT C-14	SIERRA VISTA	AZ	85635	NO AWC ACCT
19	40133020	SMITH JOHN J & SHARON J	99 W MALLARD DR	SEDONA	AZ	86336	8621 HUNTERS TRACE LN	PLANO	TX	75024	NO AWC ACCT ***01/24/18 MAIL RETURNED ATTEMPTED NOT KNOWN**
34	40133021	MCGEARY VINCENT E	20 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	31 KINGSRIDGE	FRENCHTOWN	NJ	08825	908-328-5827
35	40133022	ENTRUST ADMINISTRATION FBO ; HAMPTON DAVID IRA #28686	40 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	555 12TH ST STE 1250	OAKLAND	CA	94607	303-697-6020 (60 Cathedral Rock Trl-no acct for 40 Catherdral)
7	40172001	PETREE COURTYARD INC	100 E MALLARD DR	SEDONA	AZ	86336	343 PIONEER DRIVE STE 404	GLENDALE	CA	91203	City of Sedona only acct under this address 928-204-2234
8	40172002	VIGIL BILLY COSME JT ; VIGIL-LIGHT ATHENA D JT	102 E MALLARD DR	SEDONA	AZ	86336	2602 S TERRACE RD	TEMPE	AZ	85282	NO AWC ACCT
9	40172003	PRICE FAMILY TRUST DTD 9-11-13	104 E MALLARD DR	SEDONA	AZ	86336	20 FAWN SPUR	SEDONA	AZ	86336	NO AWC FOR 104 Mallard/Cust has acct 20 Fawn Spur 847-945-3199
17	40172019	SWIDLER STEVEN M	305 ACACIA DR	SEDONA	AZ	86336	1277 SWEETWOOD CIRCLE	AUBURN	AL	36830	334-502-0047
13	40173012	SCHUSTER TONY SIMON & JILL C	306 ACACIA DR	SEDONA	AZ	86336	13900 TAHITI WAY APT 309	MARINA DEL REY	CA	90292	928-274-8096
36	40133005	HRUSCHKA GILBERT J	70 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	70 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	714-534-5173
40	40133006A	BEHR INVESTMENT GROUP, LLC	86 CHIMNEY ROCK TRL	SEDONA	AZ	86336	PO BOX 1354	CHICAGO	IL	60690	979-530-6894 Herbert / Ann Weiner on AWC ACCT
39	40133007	O'BRIEN JOHN & JEANNE FAMILY TRUST ; DTD 12-19-06	30 BELL ROCK TRL	SEDONA	AZ	86336	426 E MCLELLAN BLVD	PHOENIX	AZ	85012	602-277-6108
31	40133029G	PACE-CAMPBELL NANCY ANN	55 BELL ROCK TRL	SEDONA	AZ	86336	55 BELL ROCK TRAIL	SEDONA	AZ	86336	949-859-0730 Nancy / Bob Campbell name on AWC Acct
37	40133029H	DONNELLY DANIEL & CONSTANCE CPWROS	45 BELL ROCK TRL	SEDONA	AZ	86336	45 BELL ROCK TRL	SEDONA	AZ	86336	480-231-8131
33	40133029J	DONNELLY DANIEL & CONSTANCE CPWRS	49 BELL ROCK TRL	SEDONA	AZ	86336	45 BELL ROCK TRL	SEDONA	AZ	86336	480-231-8131 NO AWC ACCT for this address, same cust as above
30	40133029N	TOWNSON JOSHUA J & WENDYLYNN	N/A	SEDONA	AZ	86336	4513 S COUNTY ROAD 1270	MIDLAND	TX	79706	no service address listed / NO AWC ACCT
32	40133029R	WINBORNE SANDRA G	N/A	SEDONA	AZ	86336	125 GRAY FOX DR	SEDONA	AZ	86351	no service address listed / NO AWC ACCT
38	40133029Z	ASH LOWELL	N/A	SEDONA	AZ	86336	4903 W 24TH AVE	KENNEWICK	WA	99338	no service address listed / NO AWC ACCT
1	N/A	USDA FOREST SERVICE	N/A	SEDONA	AZ	86336	1824 SOUTH THOMPSON ST	FLAGSTAFF	AZ	86001	928-527-3600
25	408-14-033	SCHALLERT JAMES B & SHELLEY D TRUST	135 RED ROCK TRAIL	SEDONA	AZ	86336	62897 E TERRACE WIND DRIVE	TUCSON	AZ	85739	520-818-3459
26	408-14-024B	KRIPES THEODORE R & JEANINE	140 CHIMNEY ROCK TRL	SEDONA	AZ	86336	23023 SE 448TH ST	ENUMCLAW	WA	98022	Jorge Zafra name on AWC acct 928-239-1139 (tenant??)
27	408-14-023	WOODROFFE KARIN	90 CHIMNEY ROCK TRL	SEDONA	AZ	86336	35 WILLOW GROVE BLVD	SHARON	ON, CANADA	L0G 1V0	905-478-1351
	401-33-004A	BENSON BILL	20 CASTLE ROCK TRL	SEDONA	AZ	86336	206 WINDMERE CT	SEDONA	AZ	86336	928-204-2643
	401-33-001	DEBOE BART	115 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	PO BOX 322	HUNTINGTON BEACH	CA	92648	714-381-4222
	401-33-024	LASIA MARIA & PAWEL	55 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	PO BOX 20521	SEDONA	AZ	86341	928-203-1703 CELL #928-592-7554
	401-33-001	HAMPTON DAVID V & CAROLE L	75 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	PO BOX 382	MORRISON	CO	80465	NO AWC ACCT / OWNS 60 CATHEDRAL ROCK ALSO 303-697-6020
	401-33-023	HAMPTON DAVID V & CAROLE L	60 CATHEDRAL ROCK TRL	SEDONA	AZ	86336	PO BOX 382	MORRISON	CO	80465	303-697-6020
	408-14-021	BEZILLA CHARLES / KASCHENBACH BRANDY	75 CHIMNEY ROCK TRL	SEDONA	AZ	86336	75 CHIMNEY ROCK TRL	SEDONA	AZ	86336	410-929-1099 BRANDY C#410-585-7053
	408-14-022	PRESTWICK NANCY	80 CASTLE ROCK TRL	SEDONA	AZ	86336	PO BOX 1112	SEDONA	AZ	86339	928-282-3059
	408-14-009A	MCBEE GARY & MORROW MONICA	25 CASTLE ROCK TRL	SEDONA	AZ	86336	10002 N 95TH DR APT A	PEORIA	AZ	85345	NO AWC ACCT

*****SEE MAILING LABEL #5 - NAMES FROM LAST MEETING SIGN IN***

East Sedona Water Storage Tank, Booster Pump Station and Related Appurtenances

Conceptual Design Report
April 2018



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1 INTRODUCTION

Arizona Water Company recently completed a water masterplan for the east Sedona area to address water demands, water supply sources, storage, and booster pump station requirements. The masterplan recommended the East Sedona Water Facility to provide water storage and a pumping facility. The selected site is located at the intersection of W Mallard Dr and Hwy 179 as shown in Figure 1 below.

Figure 1 Vicinity Map

The site will include the following major facilities:

- Water storage tank with 1.5 million gallon (Mgal) maximum capacity
- Booster station with pumping flow ranging between 350 and 3000 gallons per minute (gpm)
- Ancillary Facilities

2 SITE DESIGN

The East Sedona Water facility site layout was planned with careful attention to the City of Sedona requirements for open space, integration with the surrounding properties and preserving the

delicate nature in Sedona. Refer to Appendix A for the conceptual design drawings depicting the overall site layout, elevations and landscaping drawings.

As stated in the City of Sedona site planning guidelines, the proposed layout is developed to preserve the physical characteristics of the site and the contextual influences of the surrounding area as much as possible. Key physical site attributes that were identified, analyzed, and considered in the planning process include:

- Topography, existing landforms and significant rock outcrops, with slope areas over 25% highlighted.
- Existing vegetation and trees, especially areas that have been minimally disturbed.
- Soil properties and depth to bedrock.
- Existing watercourses, floodway and flood plain areas, and drainage patterns.
- Important site features that are either potential amenities or hazards.
- View corridors and prominent views from points surrounding the site as well as from the site.

Key contextual influences that were identified, analyzed, and considered in the planning process include:

- Land use and site organization in relation to building form, character and scale of existing and proposed development.
- Sensitivity and nature of adjoining land uses.
- Location of property boundaries and setbacks.
- Location of adjacent roads, driveways, off-street vehicular connections, pedestrian ways, access points and easements.
- Existing structures and other built improvements.
- Other features of the site and/or surrounding area that may be impacted by or may impact the proposed development.

2.1 Site Design and Planning Principles

As indicated by the City guide manual, the principal goal of site design and planning is to sensitively fit the built environment into the natural environment with minimal disturbance to the natural ecosystem.

- The proposed design will locate the tank below the finished grade and restore the site to its pre-construction conditions except for the superstructure which will include the pump room, electrical room and chemical area. The superstructure concept is developed to blend with the surrounding residential, rural aspect of the area.
- Site grading is developed to maintain the existing contours as much as possible including the existing drainage ways while keeping the top of the tank below grade or 2 to 3 ft above

grade. Finished floor elevations of the building and parking areas will transition with the grades of the site.

- Existing vegetation and mature trees will be restored to pre-existing conditions where applicable.
- The tank is located below grade and top of tank and the building are sited to take advantage of the natural topography of the site so that the apparent mass and bulk of large structures can be reduced.
- Site design will be influenced and guided by significant site features, such as rock outcrops, washes and prominent views enjoyed by key locations within the public realm.
- The existing disturbed easement and access roads were kept and their use maximized.
- Natural features and vegetation are preserved wherever possible, rather than removed and replaced.

2.2 Arrangement of Spaces

Successful site planning requires the arrangement of outdoor spaces and buildings in ways intended to create attractive and functional spaces for people's relaxation, business or pleasure. As stated in the City's guidelines, site designs should respond to local contextual influences and to the design and layout of adjoining developments. Applicable elements that were coordinated with adjacent sites include:

- Shared driveways for accessing adjoining streets – the proposed design uses the existing driveway to access the site.
- Linkages/continuation of open space systems – a perimeter wall will not be provided to allow for the landscaped areas and natural areas to integrate with the surrounding landscape.
- Perimeter open space and landscape buffer zones – to blend in with the surrounding properties.
- Areas and access for refuse collection – will be coordinated with the access driveway.
- Drainage and detention facilities – will be designed to take advantage of the site natural drainage.
- Shared utility easements.

The site arrangement also took into consideration the setback requirements stated in Table 1.

Table 1 Minimum Setback Requirements

Description	Value
Front	25 feet
Side	25 feet
Rear	25 feet

2.3 Viewshed Analysis

Due to the value and importance of scenic beauty in the Sedona area, an essential project goal is to preserve, where feasible, existing views important to neighboring properties. The project also considered the probable impact of the proposed superstructure on future potential building and developments. The project team evaluated the views from the site and into the site as stated below:

- Views from within the site are not critical due to the function of the site. The design identified open views to surrounding landscape and red rock formations.
- Views into the site were considered more critical and identified the area corridors from which the new development could be seen. The site plan is developed to minimize visual impact and identify possible mitigating measures such as locating the tank below grade.

2.4 Sensitivity to Historical Sites, Structures and Roadways

This criterion is not applicable to this site. The existing lot does not contain any historical structures or buildings.

2.5 Community Context

The proposed building is consistent with the profile and architecture encouraged by the City which avoids flat surfaces and uses "projected" shapes to enhance the architectural character of the proposed building.

2.6 Drainage Way Design

The tank and building are located to preserve the existing drainage courses in their natural pre-construction conditions. Specific consideration was given to the following:

2.6.1 Flood Zone

The Water Facility Site is located outside of the 100-year flood zone. Refer to Appendix B showing FEMA flood zone map of the area.

2.6.2 Drainage Ways

The drainage design within the site will be based on the City of Sedona drainage requirements. The existing site grade slopes to the northwest corner. This flow pattern will be preserved. Soil stabilization, when needed, will be performed using native rocks from the excavation performed at the site. The rocks will be laid in naturally shaped areas where the drainages are most prone to erosion along the northwest area of the site. The site area will be stabilized by preserving vegetative cover with permanent landscaping, which should be installed in a timely manner to prevent rapid runoff, erosion, and downstream siltation.

2.6.3 Storm Water Detention Basins

The proposed site grading elevations will be similar to the existing site grading. The site grade will generally slope from the east to the northwest corner with storm water managed via surface runoff. An onsite retention basin is not required, however, a retention basin and storm water manhole/sump pump will be provided.

2.6.4 Soil Erosion and Sedimentation Control

The proper control of sedimentation and management of soil erosion on construction sites is very important in Sedona. Recommended erosion and sedimentation control practices will be specified to manage soil erosion and control sedimentation during construction:

- Preservation of existing trees and natural vegetation on the site where feasible.
- Installation of perimeter fencing using for example, silt fences that are trenched in and backfilled.
- Rock dams or straw bales are suggested in concentrated flow locations such as ditches or swales.
- Erosion control blankets
- Straw mulch
- Temporary or permanent seeding with native grasses or wild flowers
- Rip rap on steep slopes
- Placement of crushed rock or gravel on job site access driveways to control mud and dirt on public roads.

2.6.5 Geotechnical Investigation

Reference Appendix C for the site's geotechnical investigation.

2.7 Building Placement and Orientation

2.7.1 Proposed Building And Structures

The building will be planned to blend with the surrounding residential properties. The building will include a pump room, a chlorine storage and feed room and an electrical room.

2.7.2 Architectural Character and Building Form

Texture of the blocks and integral color requirements will be selected to match, to the greatest extent possible, the theme of the adjacent properties. Preliminary selection includes:

1. Floor: sealed concrete slab

2. Exterior building walls: 8" concrete masonry unit with foam block filler, painted at interior, 3/4" stucco over vapor barrier over 1" rigid insulation
3. Interior walls: 8" concrete masonry unit with foam block filler, painted both sides
4. Roof: foam roof on 1/2" exterior board on metal deck on steel bar joists with batt insulation and scrim.
5. Doors: painted hollow metal doors + frames
6. Windows: painted hollow metal frames with 1" insulted glass
7. Louvers: painted hollow metal frames with metal blades
8. Overhead doors: painted insulated steel doors
9. Landscape walls: stacked rock salvaged from the site

2.7.2.1 Pump Room

The pump room will house four pumps, hydropneumatics tank and associated piping. Roof hatches will be provided above each pump to facilitate pump removal. Refer to the conceptual design drawing for the pump room layout.

2.7.2.2 Chemical Room

The chemical storage and feed system will be housed indoor and will include a spill containment area. Table 2 presents the onsite chemical storage design criteria.

Table 2 Chemical Facility Design Criteria

Parameter	Value
Design Code	2012 IBC and 2012 IFC as adopted and amended by the City of Sedona
Use and Occupancy Classification	Factory Group, F-1
Sodium Hypochlorite	12.5% (Liquid)
Storage Location	Shade Structure

Refer to the conceptual design drawing for chemical storage and feed facility layout.

2.7.2.3 Electrical Room

The electrical equipment (e.g. 2500A main switch board, VFDs and motor starters) for the booster pump station, and ancillary equipment will be housed in an air conditioned electrical room. Table 3 presents the electrical room design criteria. Refer to the design drawings for electrical room layout.

Table 3 Electrical Room Design Criteria

Parameter	Value
Design Code	2012 IBC, 2006 IFC and 2011 NEC as adopted and amended by the City of Sedona
IBC Use and Occupancy Classification	Factory Group, F-1
NEC Clearance Requirement for Electrical Panel	4 feet minimum
Construction Type	CMU Construction rate as 4-hour fire walls
Fire Mitigation	Fire Sprinklers

Site electrical service will be provided by Arizona Public Service (APS) company. The three phase service entrance will feed the booster pumps and support systems. The SES line up, located in the electrical room will include a metering section, a transfer switch, and a distribution section. The main switchboard (SWBD) will provide feeders (LSI Breakers etc.) to four Booster Pumps standalone VFD, redundant air compressors, air conditioning units, lighting panel (LP) and separate instrument power panel (IP). All booster pumps will be VFD operated. Each Booster Pump will be provided with a standalone drive panel located in the electrical room.

In addition, a lightening protection system of air terminals, down conductors and buried grid bonding cabling shall be included in the design per NFPA 780 (2011 Edition).

The Water Facility will be controlled by an onsite Ethernet PLC/HMI based control system (Master Control Panel, MCP-001) with local and remote monitoring by the City of Sedona SCADA system.

3 Relationship to Adjacent Developments

The proposed building is developed to show that the contextual influences of neighboring properties have been considered. The various building segments are configured to break up the "urban strip-like" character of Sedona's commercial corridors. The proposed building is located to minimize impact on existing roadways and reduce visual impact. The drawings and models developed show the neighboring buildings and site features. Specific consideration is given to the following:

- Aligned circulation
- Building placement will allow for interconnected access driveways.
- The open spaces and landscaped areas will connect visually with the adjacent sites.

3.1 Relationship to the Public Realm

The proposed building will follow the surrounding pattern which is residential properties and will preserve the "no fence" arrangement. Specific consideration is given to the following:

3.1.1 *Site Access*

Access to the site is planned from SR 179 via Cathedral Rock Trail then northwest to Castle Rock Trail, followed by heading northerly to Chimney Rock Trail then Bell Rock Trail. The existing driveway accessing the site from the south will be the main site access. Table 1 presents the site access requirements and design criteria.

Table 4 Site Access Requirements and Design Criteria

Parameter	Value
Design Code	2012 IFC as adopted and amended by the City of Sedona
Design Vehicle (Fire Truck)	WB-50
Access Driveway Width	20 feet minimum
Site Access Road Construction	Match existing drive

3.1.2 *Traffic Study*

The East Sedona Water Facility will mostly be remotely operated. The traffic to the water facility will be limited to Company operation staff and delivery vehicles. Estimated number of trips to the site by the operation staff could be up to one trip per week. Estimated number of trips for delivery vehicles (e.g. sodium hypochlorite delivery) is approximately once per month.

3.1.3 *Building Entries*

Building entries are easily identifiable and are visible from the public realm. The building entries are placed to accommodate automobile or pedestrian approaches as well. The building will be recessed to allow for vehicular parking and avoid obstructing the access driveway.

3.1.4 *Public Space*

The building is situated to provide a strong visual and pedestrian relationship. Parking is provided in front of the building, adjacent to the landscaped area.

3.1.5 *Parking*

Building use and occupancy is limited to one or two operators performing routine weekly inspection. The parking space provided will be able to accommodate up to three vehicles which exceeds the normal daily needs.

3.1.6 *Parking Area Design and Landscaping*

The parking area is designed to integrate with the proposed landscaping. The parking spaces are nestled within the landscaping retaining walls.

3.1.7 *Exterior Lighting*

Facility area lighting will be provided for site security and safety with minimal impact on surrounding properties. A Lighting Plan and light fixture cut sheets are included in the drawing set. Lighting criteria for the site are as follows:

1. Specific lighting levels (indoors and outdoors) shall be per the latest published version of the Illuminating Engineering Society (IES) of North America Handbook.
2. Interior lighting will utilize fluorescent, compact fluorescent, metal halide, high intensity discharge and be high efficiency rated.
3. Exterior lighting will be "Dark Sky Compliant with photometric control, motion control and/or hand/off/auto switches. The facility will utilize High Pressure Sodium HID or Metal, Halide HID lamps. Lamps to be high efficiency rated.
4. Switch-controlled local task lighting will be provided in critical operations areas, and where night time maintenance or repairs may be necessary.
5. Lighting for building entrances will be wall-mounted lighting fixtures.
6. Emergency lighting will either be in the form of separate, wall-mounted fixtures, or by the use of emergency battery packs and ballasts in-ceiling or wall-mounted lighting fixtures.

3.1.8 *Signage*

The site will have limited signage with the exception of address signs and chemical decal posted at the facility doors. A Signage Plan is included with the drawings.

3.1.9 *Service areas, loading zones and refuse enclosures, Mechanical and electrical equipment*

Service areas are not needed for this facility since the equipment is provided indoor with adequate accessibility. It is expected that the amount of refuse generated will be less than a typical residential property, hence residential refuse bins will be located indoor and will follow the routine residential refuse collection schedule.

The electrical service entrance will be located indoor with the transformer located along the eastern boundary of the property. The building mechanical equipment will be located at grade and will be screened by the landscaping. In case roof, mounted equipment is used, it will be screened by the building parapet.

3.1.10 Fences and Walls

The site design will not include property perimeter fencing.

3.1.11 Sound Attenuation

The mechanical and electrical equipment (pump and motors) will be specified to generate a noise level of less than 80 dba at 3 ft from equipment. The building walls and roofing system will be designed to reduce the noise levels between 30 and 35 dba at the property boundary.

4 Architectural Character and Building Form

Texture of the blocks and integral color requirements will be selected to match, to the greatest extent possible, the theme of the adjacent properties. Preliminary selection includes:

1. Floor: sealed concrete slab
2. Exterior building walls: 8" concrete masonry unit with foam block filler, painted at interior, 3/4" stucco over vapor barrier over 1" rigid insulation
3. Interior walls: 8" concrete masonry unit with foam block filler, painted both sides
4. Roof: foam roof on 1/2" exterior board on metal deck on steel bar joists with batt insulation and scrim.
5. Doors: painted hollow metal doors + frames
6. Windows: painted hollow metal frames with 1" insulted glass
7. Louvers: painted hollow metal frames with metal blades
8. Overhead doors: painted insulated steel doors
9. Landscape walls: stacked rock salvaged from the site

The building has been located on the site to screen activity, and minimize neighborhood interference once constructed. Similarly, roof equipment will be screened by parapet walls.

Following Sedona's Architectural guidelines, the building mass is broken up as much as possible to minimize the scale of the building, while recessing into the revegetated greenery of the site.

Simple construction methods are used to define the enclosure for the pump equipment, and have been chosen to balance function with a varied, but reserved expression.

The preliminary building materials are chosen to complement adjacent housing and to respect Sedona's natural character.

Refer to attached drawings for additional information.

5 LANDSCAPE

The landscape and site design for the East Sedona Water Storage Tank, Booster Pump Station and Related Appurtenances project meets and exceeds the Development Standards found in Article 9 of the SLDC, and the approval criteria listed in Section 401.06 of the Land Development Code. Proposed improvements meet the following specific standards and criteria:

The proposed development is carefully integrated into the natural environment through site placement and orientation, the selection of materials and the massing and heights of structures. Disturbance to view corridors is minimal and existing vegetation is preserved to the greatest extent possible. The natural topography of the site will be maintained through the careful placement of structural stone retaining walls intended to blend into the landscape. Drainage, known wildlife habitat and natural features are preserved and protected to the greatest extent possible.

The proposed landscaping for the development is intended to restore the existing landscape to an enhanced natural condition that is indistinguishable from the surrounding landscape in form, color, species etc. The landscape will be enhanced in the sense that species endemic to the area will be planted in locations and massings to provide maximum screening. Exterior lighting will be reserved to that necessary for operations and life safety- no decorative or ornamental lighting will be used. Pedestrian and vehicular circulation is designed to work with the topography and disturb as little of the site as possible.

Vehicular ingress, egress, internal traffic circulation, off street Parking facilities, loading and service areas and solid waste collection facilities are designed to promote public safety and convenience.

The proposed development has been located on the site to minimize removal of existing trees. Removal of trees required for building and infrastructure will be performed in accordance with all guidelines and requirements outlined in section 909- TREES.

Trees that are to be preserved in place will be protected during construction and construction limits will be strictly adhered to and enforced.

All trees that are designated to remain in place on site that are removed or damaged for any reason during construction will be replaced with like species in accordance with requirements.

Trees will be used throughout the site to soften the lines of the building and structures, and to blend it with the surrounding natural terrain. The proposed tree plan will meet or exceed all requirements outlined in section 909-F.

The proposed landscape for the development will restore the site to and enhanced natural condition through a careful and deliberate revegetation process. The landscape will:

1. Preserve and enhance the natural environment and aesthetic qualities of the city by restoring the site with native vegetation.
2. Preserve and enhance the appearance, character and value of surrounding properties by not intruding on them visually or competing with view corridors.
3. Minimize the visual impacts of developed parking areas by screening with native vegetation.
4. Minimize the negative impacts of erosion and prevent runoff of eroded material into the storm system through careful grading and the use of swales and berms to encourage passive water harvesting and storm water management.
5. Minimize noise and air pollution through screening using native trees.
6. Promote water conservation through the exclusive use of native and low water-use plant species

Native vegetation will be used to

1. Separate vehicular and pedestrian areas
2. Screen site lighting
3. Soften building mass
4. Provide continuity in the landscape between adjacent development and undisturbed areas
5. Complement the visual effect of the building
6. Provide continuity in the landscape from the street
7. Promote energy conservation through shade and cooling of the building
8. Minimize heat island effect through the use of permeable surfaces

Site Grading will be used to reduce noise pollution and surface runoff through the use of depressed landscaped areas such as bio-swales and vegetated swales for passive rainwater harvesting.

Additional details of the landscape plan and plant palette are included in the Landscape drawings and Plant Palette list included in Appendix D.

6 Design Standards and Permitting

6.1 Design Standards

The design will follow the City of Sedona design requirements in addition to complying with ADEQ and Coconino County requirements. The following lists the design standards and codes applicable to the project.

1. Arizona Department of Environmental Quality Bulletin 10
2. 2012 Building Code (2012 IBC) as adopted and amended by the City of Sedona
3. 2012 Fire Code (2012 IFC) as adopted and amended by the City of Sedona
4. 2012 Mechanical Code (2012 IMC) as adopted and amended by the City of Sedona
5. 2011 National Electric Code (2011 NEC) as adopted and amended by the City of Sedona
6. American Water Works Association (AWWA) Standards
7. Hydraulic Institute (HI) Standards

6.2 Regulatory Permit Coordination

Table 5 lists the permits required for the facility:

Table 5 List of Permits

Agency	Permit
City of Sedona	Building Permit
	Fire Permit
	Site Plan and Landscaping permit
	Civil Grading and Drainage Permit
ADEQ	Approval to Construct for: Water Booster Station Storage Tank Disinfection System
	Approval of Construction and Certificate of Construction

6.3 Agency Coordination

The site will require services from the City of Sedona and various agencies and private companies as listed below. The design will be coordinated with these organizations to incorporate their design standards, required permits and services. "Will Serve" letters have been received and are attached in Appendix E.

1. Electrical – Arizona Public Service (APS)
2. Water – Arizona Water Company
3. Sewer – Not needed
4. Storm Drain – City of Sedona
5. Fire – Sedona Fire District
6. Police – City of Sedona

7 Water System Components

7.1 Well Water Supply

The primary water supply will be from groundwater wells including Sedona #9 well, Sedona #2 well, Broken Arrow #10 well and Sky Mountain well. The wells are connected to the distribution system which will be used to fill and draw from the proposed tank.

7.2 Tank

The proposed tank will be constructed mostly below grade to eliminate any visual impact. The tank details are summarized Table 6.

Table 6 Tank Design Criteria

Parameter	Value
Tank Type	Pre-stressed, circular
Diameter Range	110 to 113 ft
Height Range	22 to 24 ft
Active Depth	20 ft
Maintenance/Dead Zone	2 ft
Freeboard	2 ft
Hatches	2

7.3 Booster Pump Station

The booster pump station will be sized based on the maximum day demand plus fire flow or peak hour demand, whichever is larger. Table 7 presents the governing minimum firm capacity of the East Sedona Water Facility booster pump station.

Table 7 Booster Pump Station Sizing

Parameter	Value (gpm)
Governing Flow	3,000
Booster Pump 1	1,000
Booster Pump 2	1,000
Booster Pump 3	1,000
Booster Pump 4	1,000
Firm Capacity	3,000
Total Capacity	4,000

The estimated booster pump station operating pressure range was determined based on system modeling results and field observations. The operating pressure is expected to range between 100 and 150 psi. Table 8 presents the design criteria for the booster pumps.

Table 8 Booster Pump Design Criteria

Parameter	Low Pressure Zone
Pump Type	Vertical Turbine Pumps
Pump Size	1,000 gpm/TDH of 230 to 350 ft
Drive Type	Variable Frequency Drive (VFD)
Motor Size/Power	125 HP/460V/3 PH/ 60Hz
Pump Can Diameter	20 inches
Noise dba	80 dba at 3 ft

7.3.1 Surge Mitigation

A hydropneumatic tank will maintain the distribution system pressures and minimize the pump start/stop frequency. The hydropneumatic tank will be designed to absorb surge pressures experienced at the booster pump station. In addition, a surge anticipator valve on the booster pump station discharge will relieve surge pressures from the booster pump station discharge header. Table 9 presents the hydropneumatic tank design criteria.

Table 9 Hydropneumatic Tank Design Criteria

Parameter	Values
Design Standards	ASME Section VIII, Division 1
Design	Horizontal Above grade
Number of Hydropneumatic Tanks	1
Tank Volume	10,000 gallons
Tank Diameter	12 ft
Tank Length - (Shell length only)	12 feet
Pressure Class/Design Pressure Rating	200 psi
Air Recharge	Air Compressor
Pressure Relief and Surge Anticipator	Cla Val 52-01 or Equal

An air compressor system will recharge the air in the hydropneumatic tank and supply air for maintenance tools.

7.4 Sodium Hypochlorite Storage and Feed Facility

Sodium hypochlorite (NaOCl) will be used for disinfection and to maintain a chlorine residual in the tank. A single feed point will be located at the tank fill line. The NaOCl storage tote or drum will be located indoor with a spill containment sized for the tote plus water volume produced by the fire sprinkler system. Table 10 presents the sodium hypochlorite storage and feed design criteria.

Table 10 Chemical Storage Design Criteria

Parameter	Values
Sodium Hypochlorite Target Dose	2 mg/l as Cl_2
Concentration	12.5% liquid NaOCl
Tank Construction	Tote - HDPE
Storage	30 Days
Number of Tanks	1
NaOCl Volume	55 to 400 gallons

Table 11 presents the chemical metering pumps design criteria.

Table 11 Chemical Feed Design Criteria

Parameter	Value
Metering Pump	Grundfos or equal
Power	120V/60Hz
Maximum Pump Turn Down	800:1
Maximum Pressure	30 psig
Flow Range	.06 gph – 2.4 gph

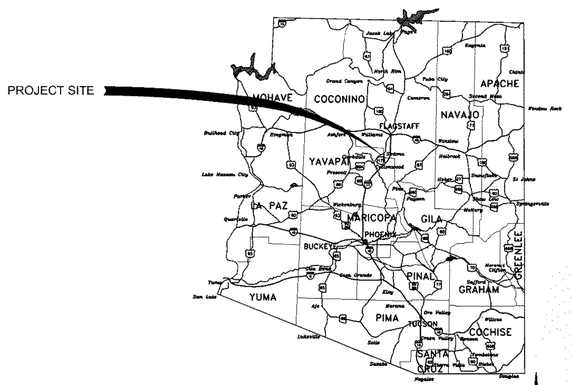
Appendix A Conceptual Drawings

CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA
WATER STORAGE TANK

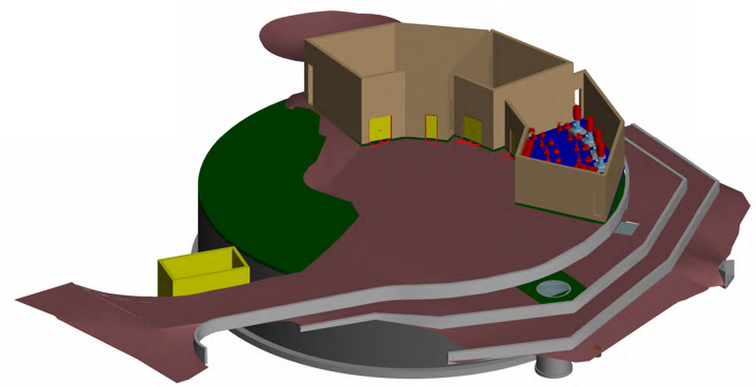
55 BELL ROCK TRAIL, SEDONA, ARIZONA 86336

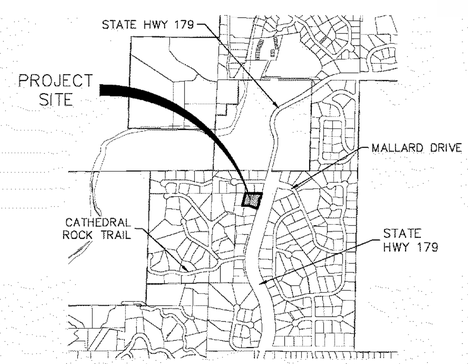
VOLUME 3
CONCEPTUAL DESIGN

APRIL 2018/ REVISED JULY 2018
(RESPONSES & COMMENTS JUNE 2018)



VICINITY MAP
NTS





LOCATION MAP
NTS

PREPARED BY:

WATERWORKS ENGINEERS

CONTACT:

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PROJECT MANAGER
7500 N DOBSON RD, SUITE 200
SCOTTSDALE, AZ 85256
PHONE: (628) 231-2621x511
EMAIL: johnm@wwengineers.com

HOLLY STREET STUDIO ARCHITECTS

CONTACT:

MICHAEL E JACOBS, AIA
PROJECT ARCHITECT
822 N. CENTRAL AVENUE
PHOENIX, AZ 85004
PHONE: (602) 258-8555
EMAIL: michael@hollystreetstudio.com

DRAWINGS INDEX

PROJECT SUMMARY

TOTAL ACREAGE:	1.05 ACRES
PERCENT LOT COVERAGE	5.2%
FLOOR AREA RATIO	2400 SF
PARKING SPACES:	2 REQUIRED, 3 PROVIDED
LANDSCAPED AREA	75%
OPEN AREA	8.5%
ROADWAYS	11.3%

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

NOT FOR CONSTRUCTION

NO	DATE	REVISION	BY	APVD
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DESIGN SAR | DRAWN SAR | CHECKED JHM | APPROVED JHM

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HOLLY STREET STUDIO ARCHITECTS
822 N. Central Avenue
Phoenix, AZ 85004-2003
602 258 8555 tel
602 307 5677 fax
HollyStreetStudio.com

CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

GENERAL
COVER SHEET

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER G-001
SHEET 1 OF -

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NOTE:
SEWER EASEMENT SHOWN HERE HAS BEEN ADDED BY WATERWORKS ENGINEERS PER INFORMATION PROVIDED BY CITY OF SEDONA.

LEGEND

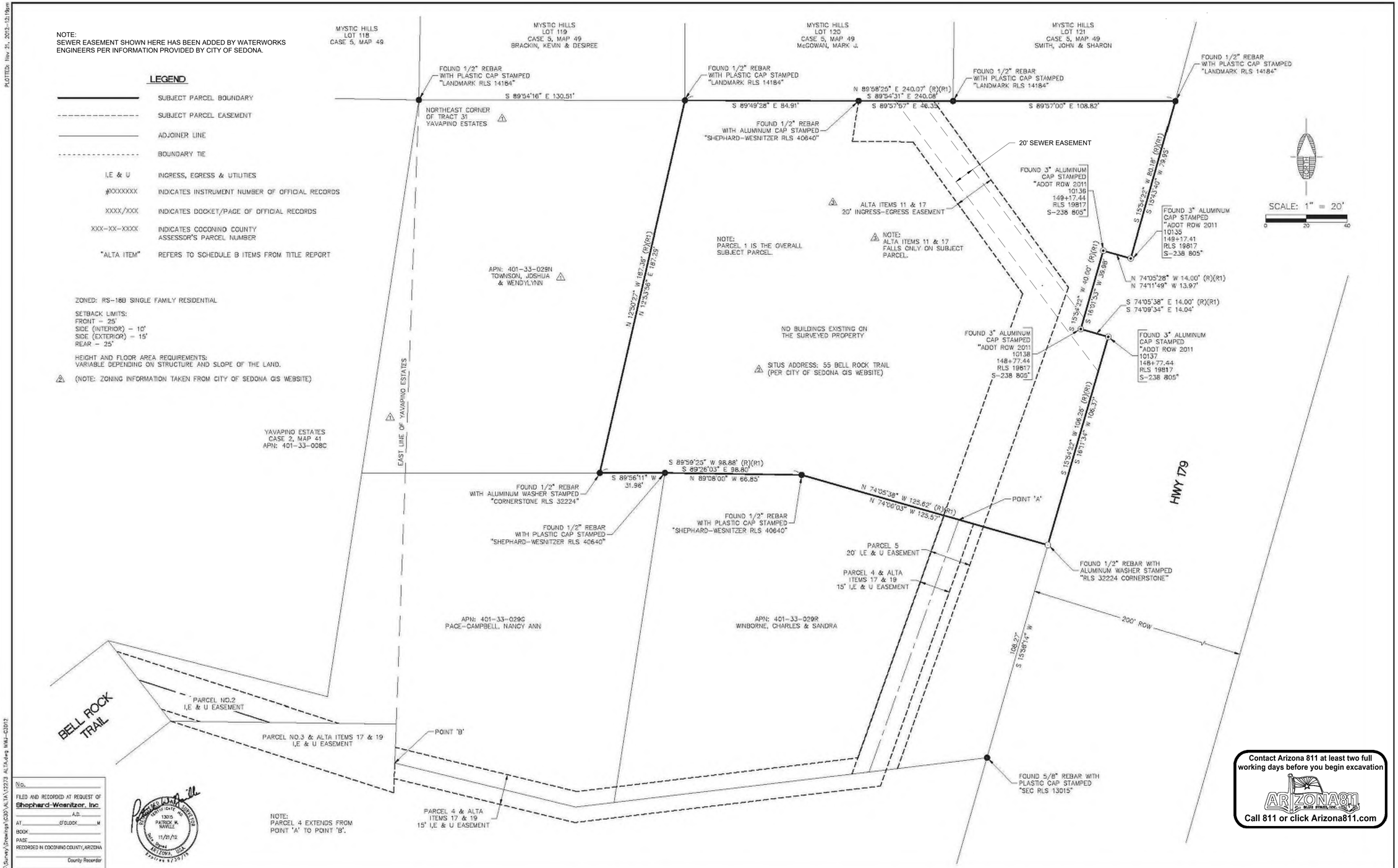
———	SUBJECT PARCEL BOUNDARY
- - - - - -	SUBJECT PARCEL EASEMENT
———	ADJOINER LINE
- - - - - -	BOUNDARY TIE
I,E & U	INGRESS, EGRESS & UTILITIES
#XXXXXXX	INDICATES INSTRUMENT NUMBER OF OFFICIAL RECORDS
XXXX/XXX	INDICATES DOCKET/PAGE OF OFFICIAL RECORDS
XXX-XX-XXXX	INDICATES COCONINO COUNTY ASSESSOR'S PARCEL NUMBER
"ALTA ITEM"	REFERS TO SCHEDULE B ITEMS FROM TITLE REPORT

ZONED: RS-18B SINGLE FAMILY RESIDENTIAL

SETBACK LIMITS:
FRONT – 25'
SIDE (INTERIOR) – 10'
SIDE (EXTERIOR) – 15'
REAR – 25'

HEIGHT AND FLOOR AREA REQUIREMENTS:
VARIABLE DEPENDING ON STRUCTURE AND SLOPE OF THE LAND.

(NOTE: ZONING INFORMATION TAKEN FROM CITY OF SEDONA GIS WEBSITE)



No.
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Shephard-Wesnitzer, Inc.
A.D.
AT O'CLOCK M
BOOK
PAGE
RECORDED IN COCONINO COUNTY, ARIZONA
County Recorder
Deputy Recorder

CERTIFICATE NO. 13015 PATRICK M. NAVILLE 11/21/12 ARIZONA, U.S.A. Expires 6/30/13

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

NO.	DESCRIPTION	DATE	BY
1	ADD/REVISE INFORMATION	11/15/12	PN
2	REVISED FOR NEW TITLE REPORT	11/19/12	PN
3	REVISED TO MAKE CORRECTIONS	11/20/12	PN

SWI Shephard Wesnitzer, Inc.
75 Kellof Place
Sedona, AZ 86336
928.282.1061
928.282.2056 fax
www.swiaz.com

JOB NO:	12273 .002
DATE:	NOV. 2012
SCALE:	AS SHOWN
DRAWN:	MNJ
DESIGN:	N/A
CHECKED:	PWN

APN: 401-33-029T, 029V, 029W & 029Y
COCONINO COUNTY ARIZONA

ALTA/ACSM LAND TITLE SURVEY BOUNDARY GEOMETRY

DRAWING NO. AA2
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CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

GENERAL
ALTA SURVEY

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER G-101
SHEET - OF -

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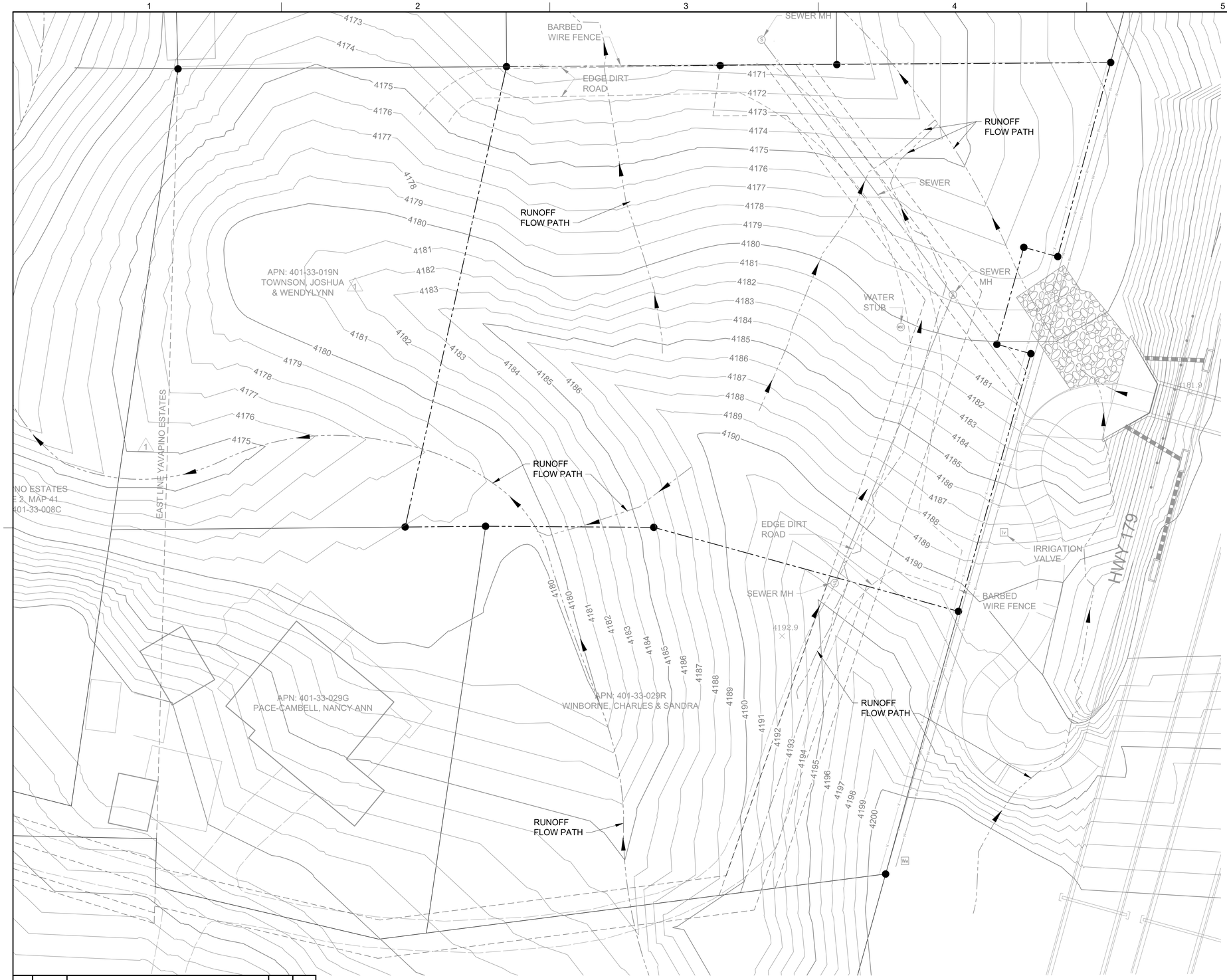

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Call 811 or click Arizona811.com

NORTH

20 0 20 40 FEET

SCALE 1"=20'

NOT FOR CONSTRUCTION

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

GENERAL

EXISTING CONDITIONS

DATE JULY 2018

PROJECT NUMBER 16-029

DRAWING NUMBER G-102

SHEET - OF -

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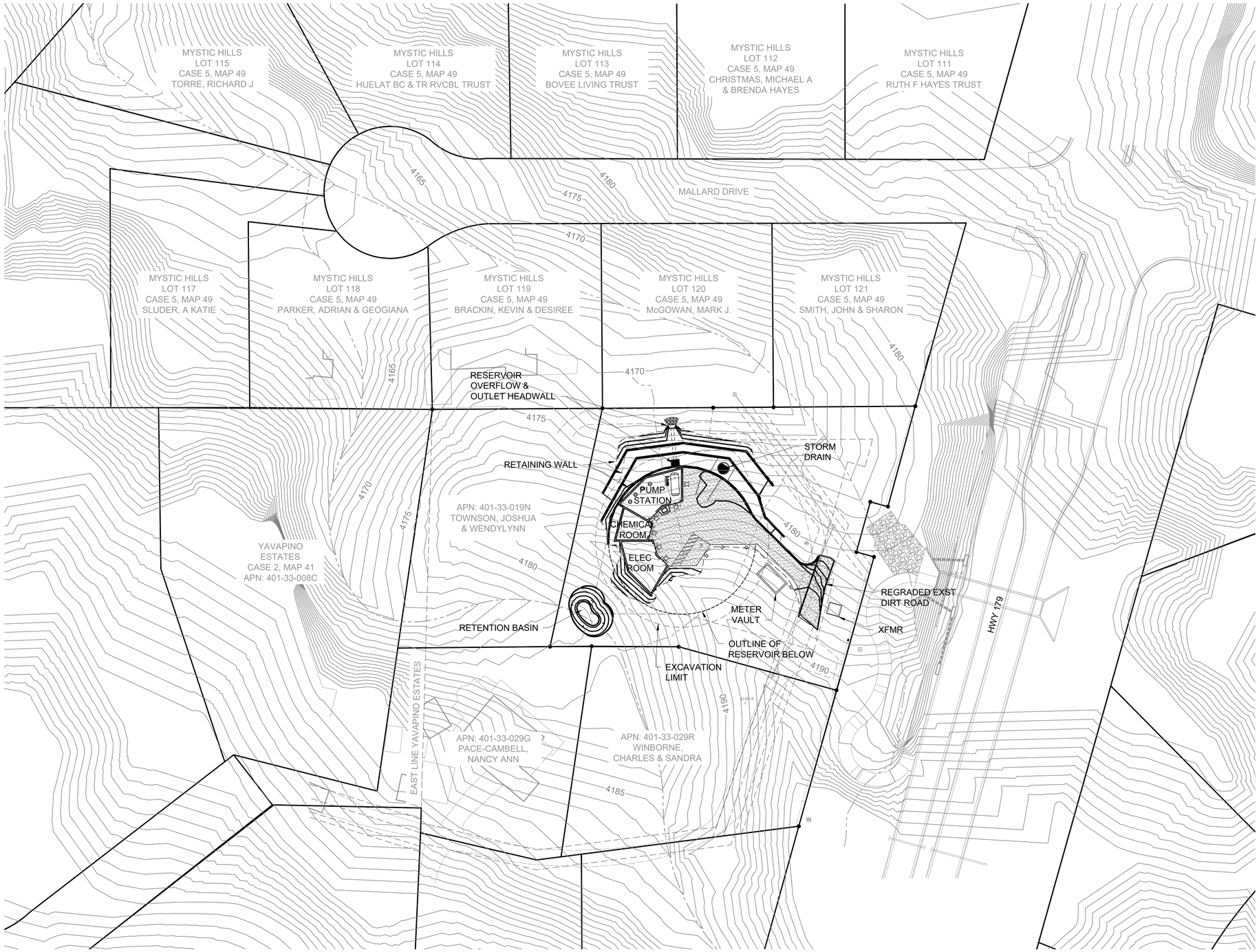

PLAN

1" = 40'

0 20 40 80

1" = 40'

NORTH

Contact Arizona 811 at least two full working days before you begin excavation

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

GENERAL

AREA SITE PLAN

DATE JULY 2018

PROJECT NUMBER 16-029

DRAWING NUMBER G-103

SHEET - OF -

FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-G103.DWG

PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .08'

MYSTIC HILLS
LOT 118
CASE 5, MAP 49

MYSTIC HILLS
LOT 119
CASE 5, MAP 49
BRACKIN, KEVIN & DESIREE

MYSTIC HILLS
LOT 120
CASE 5, MAP 49
McGOWAN, MARK J.

MYSTIC HILLS
LOT 121
CASE 5, MAP 49
SMITH, JOHN & SHARON

BARBED WIRE FENCE

HEADWALL W/ RIPRAP

10' SEWER ESMT

SEWER MH

EDGE DIRT ROAD

20' SEWER ESMT

25' SETBACK

RESERVOIR OVERFLOW

WATERLINE

RETAINING WALL

STORM DRAIN MANHOLE

SEWER

EXISTING DIRT ROAD

PUMP STATION

HYDROPNEUMATIC TANK

CHEMICAL ROOM

ELEC ROOM

APN: 401-33-019N
TOWNSON, JOSHUA & WENDYLYNN

SEWER MH

WATER STUB

25' SETBACK

12'

METER VAULT

Ø113' RESERVOIR

10'

FH

RESERVOIR INLET

OUTLINE OF RESERVOIR BELOW

25' SETBACK

XFMR

RETENTION BASIN
BOTTOM EL = 4176.50
VOLUME = 556 CU FT

25' SETBACK

LIMITS OF EXCAVATION

REGRADED DIRT ROAD

EDGE DIRT ROAD

IRRIGATION VALVE

HWY 179

YAVAPINO ESTATES
CASE 2, MAP 41
APN: 401-33-008C

EAST LINE YAVAPINO ESTATES

SEWER MH

BARBED WIRE FENCE

4192.9

APN: 401-33-029G
PACE-CAMBELL, NANCY ANN

APN: 401-33-029R
WINBORNE, CHARLES & SANDRA

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA811

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NORTH

20 0 20 40 FEET

SCALE 1"=20'

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

VERIFY SCALE

BAR IS ONE INCH ON ORIGINAL DRAWING.
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN JHM
DRAWN SAR
CHECKED JHM
APPROVED JHM

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA WATER STORAGE TANK

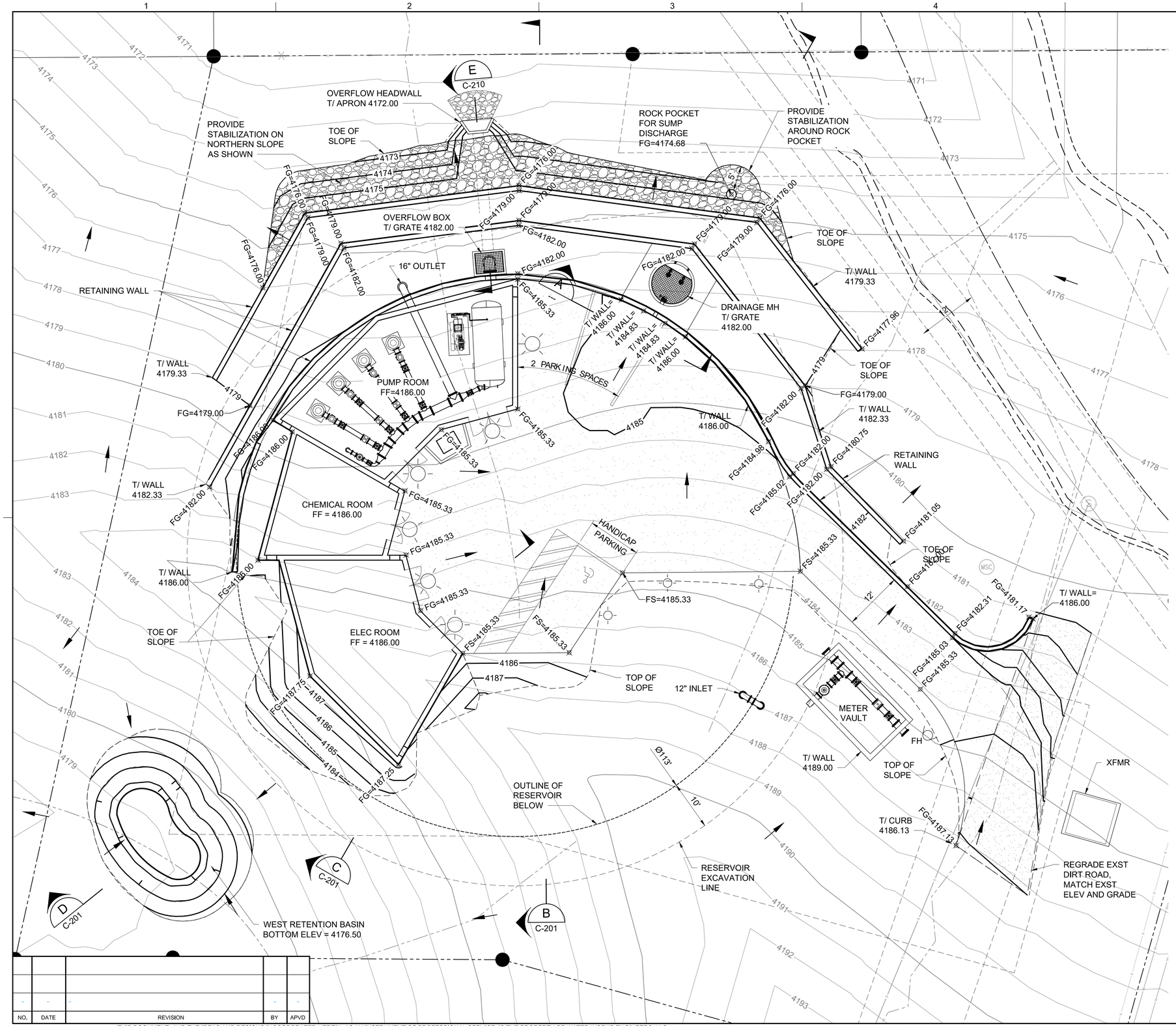
GENERAL

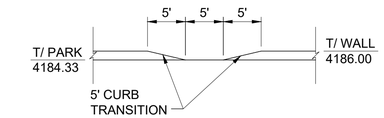
SITE PLAN

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER G-104
SHEET - OF -

FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-G104.DWG

PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .08'





A SECTION
--- 1" = 10'

RETENTION VOLUMES		
ITEM	VOLUME	DRAIN TIME
WEST RETENTION BASIN	556 CU FT (2' DEEP W/ 1' FREEBOARD)	<12 HRS EXISTING OR W/ CONNECTION TO SAND BACKFILL
DRAINAGE MANHOLE	809 CU FT (8'Ø x 20.5' DEEP)	UP TO 0.17 HRS

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NORTH
0 5 10 20
1" = 10'

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

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DESIGN JHM
DRAWN SKR
CHECKED JHM
APPROVED JHM

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602 258 8555 tel
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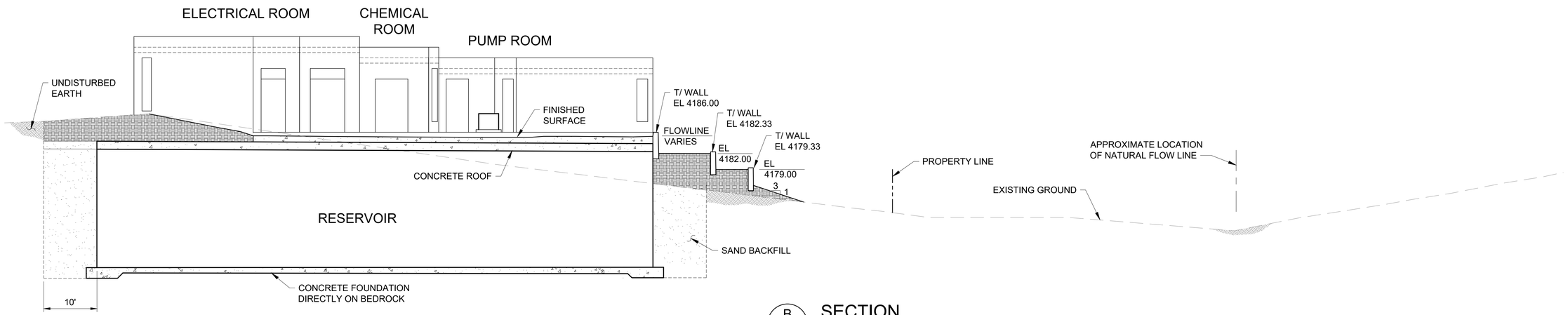
CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA WATER STORAGE TANK

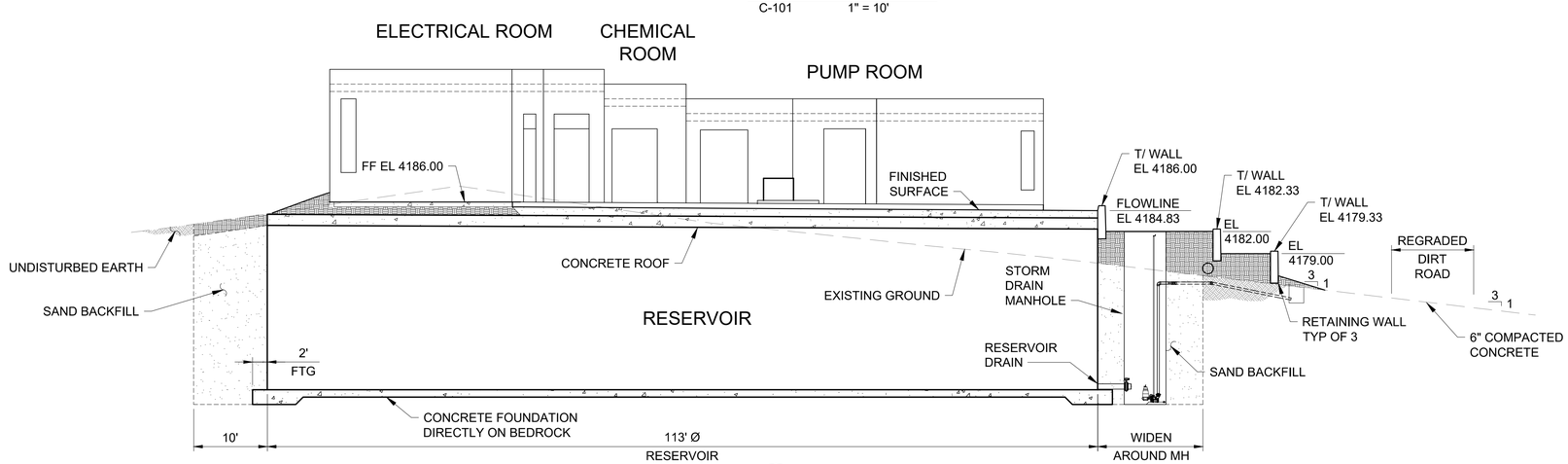
CIVIL
GRADING PLAN

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER C-101
SHEET - OF -

FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-C101.DWG PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .08'



B C-101 SECTION 1" = 10'



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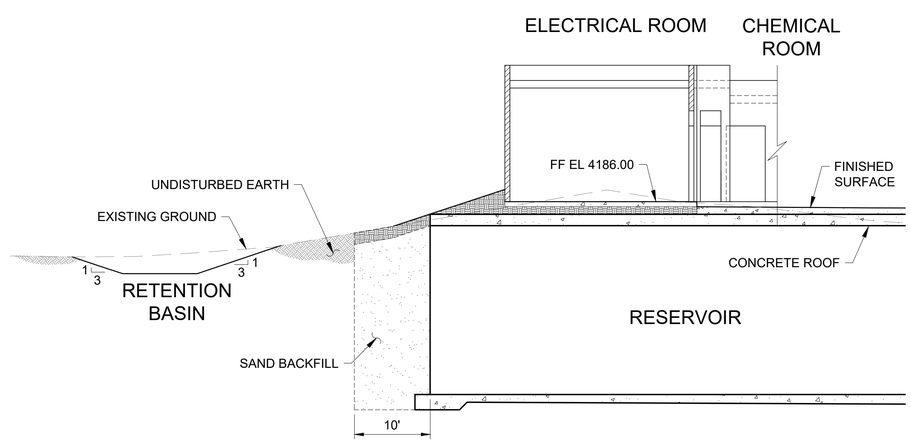
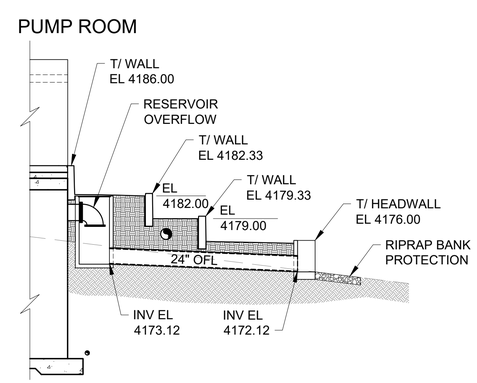


D C-101 SECTION 1" = 10'



E C-101 SECTION 1" = 10'

0 5 10 20
1" = 10'

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-	-	-	-	-

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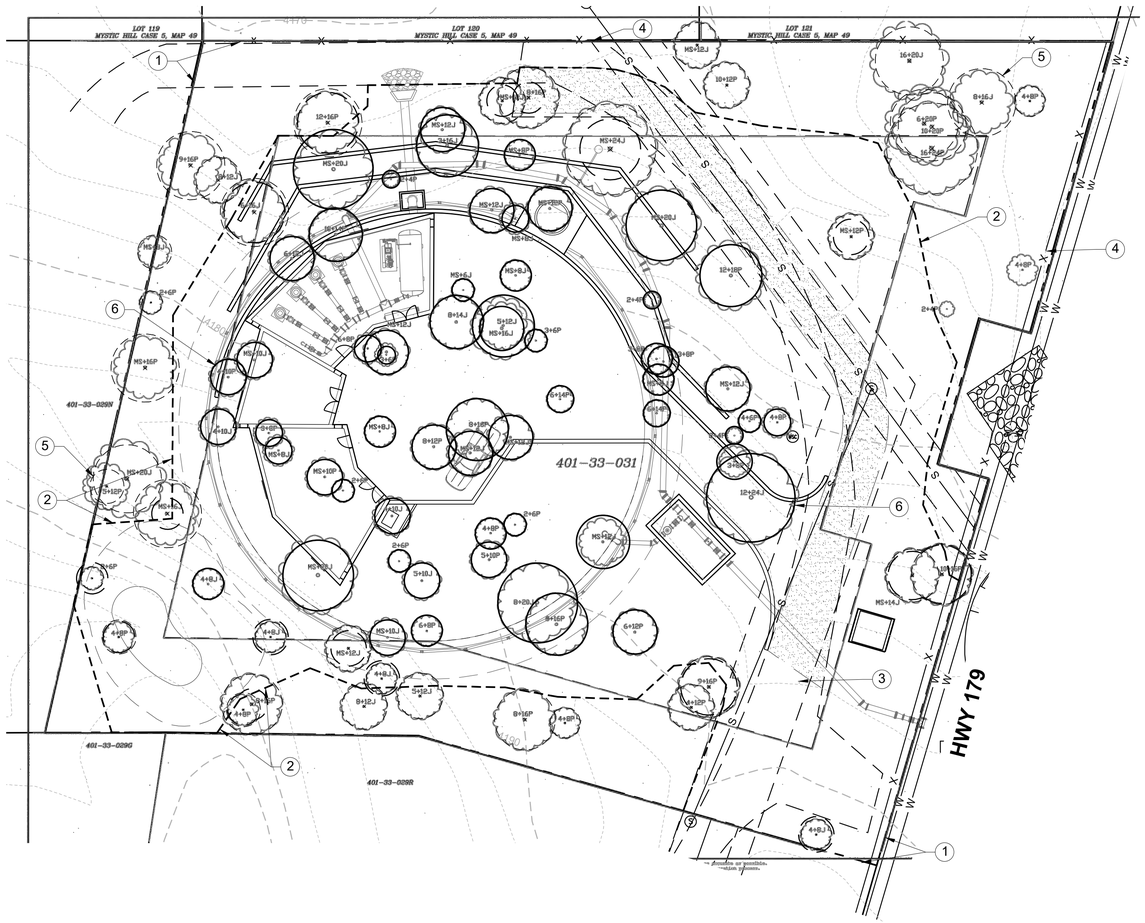
CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

CIVIL
GRADING SECTIONS

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER C-201
SHEET - OF -

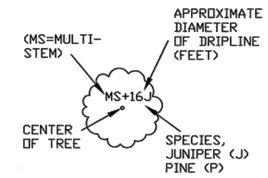
FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-C201.DWG PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .08'



TREE SURVEY

LOCATED IN SECTION 19, T.17N., R.6E., G. & S.R.M., COCONINO COUNTY, ARIZONA ASSESSOR PARCEL 401-33-031

TREE LEGEND



NOTES

THE PURPOSE OF THIS PLAT IS TO SHOW TREES. NO CURRENT BOUNDARY SURVEY WAS PERFORMED. NO TOPOGRAPHY SURVEY WAS PERFORMED.

ALL LINEWORK AS SHOWN, OTHER THAN TREES AND TREE DATA, WAS RECEIVED FROM WATERWORKS ENGINEERS VIA HOLLY STREET STUDIO ARCHITECTS, ON MARCH 08, 2017.

S.E.C., INC. AND MARK J. FARR, R.L.S., MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE RECEIVED LINEWORK.

LANDSCAPE SALVAGE LEGEND

Existing tree to be salvaged or removed from site

Existing tree to remain in place, typical (typ.)

Protective fence - 4' orange snow fence

SALVAGE GENERAL NOTES

1. Refer to tree survey plan from Jacobs Section 19 T.17N., R6E.
2. Refer to architectural site plans for additional demolition information.
3. Protective fencing - 4' orange snow fence with t-post placed 6' on center. Place fence at drip-line of all trees to be preserved in place and defined limits of disturbance prior to any site clearing or grubbing.
4. General contractor shall coordinate with Native Resources International to review plant material within grading limit for plant salvagability.
   Resources International:
   office: 623. 869.6757
5. Per the plant inventory plan provided by Jacobs Surveying: 29 Juniperus species and 30 Pinus species are located within proposed grading disturbance limits.
6. General contractor shall coordinate salvage operations with Native Resources to secure all viable and salvageable material within grading limit for landscape restoration.
7. Landscape plans indicate species quantities in total. If vegetation cannot be salvaged, contractor shall purchase new trees per species indicated on plans from nursery for installation at minimum of 8' in height and 2" caliper.
8. General contractor to coordinate salvage process and landscape contractor scope of work upon successful salvage operations and landscape restoration implementation per approved landscape plan.

EXISTING VEGETATION KEY NOTES

1. Property line
2. Limit of disturbance
3. Existing driveway
4. Existing fence
5. Existing tree to remain (typical)
6. Existing tree to be removed (typical)

SHEET INDEX

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email cw@cwadesign.com
landscape architecture urban design

Scale - 1"= 20'

0 10' 20' 40'

NORTH

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

FILENAME:

PLOT DATE: 2018.04.08 PLOT TIME:

VERIFY SCALE
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DESIGN ERB
DRAWN ERB
CHECKED CW
APPROVED JHM

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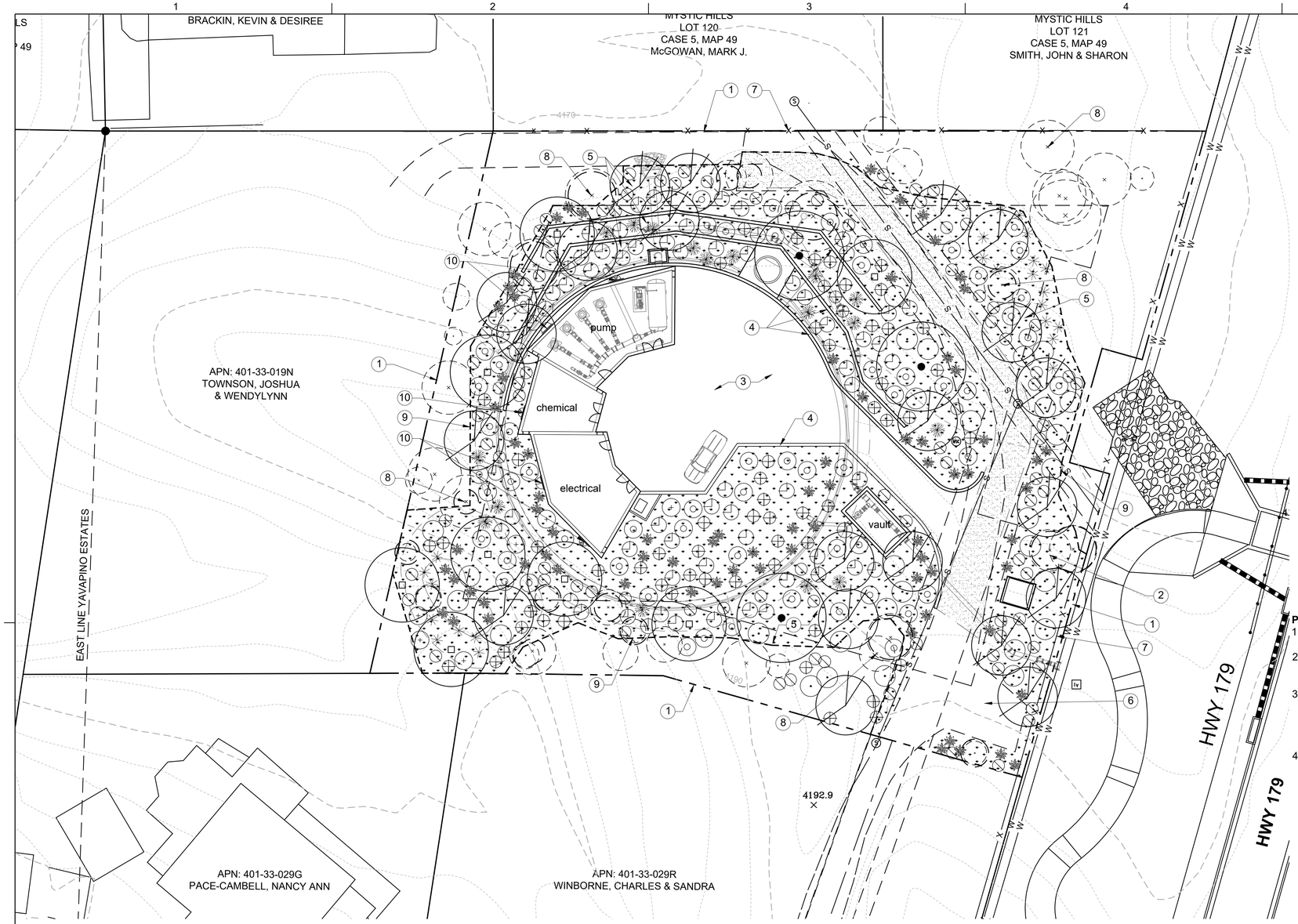
CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA WATER STORAGE TANK

EXISTING VEGETATION PLAN

DATE APRIL 2018
PROJECT NUMBER PZ17-00001
DRAWING NUMBER L-101
SHEET 1 OF 2

SCALE: 1" = 20'-0"



LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance. H' x W' is estimated full growth of plant material at maturity.

Trees	Size	Qty
Celtis reticulata *netleaf hackberry*	8' tall 2.5" caliper 35'h x 30'w	3
Pinus edulis or monophylla pinyon or singleleaf *pine*	site salvage/ or new 8' tall 2" caliper 15'-20'h x 25'-35'w	8
Juniperus coahuilensis *redberry juniper*	site salvage or new 8' tall 2" caliper 20'h x 35'w	21
Existing tree to remain in place		

Shrubs / Ground Covers	Size	Qty
Rhus trilobata *skunkbush*	15 gallon	29
Lycium pallidum *wolfberry*	5 gallon	6
Atriplex canescens *four-wing saltbush*	5 gallon	61
Rhamnus ilicifolia *hollyleaf buckthorn*	15 gallon	66
Ephedra viridis *mormon tea*	5 gallon	61
Ceanothus greggii *desert ceanothus*	5 gallon	86
Cacti/Succulents	**Size**	**Qty**
Yucca baccata *banana yucca*	24" box	17
Muhlenbergia rigens deer grass	5 gallon	77
Nolina microcarpa *beargrass*	5 gallon	23
Vines	**Size**	**Qty**
Parthenocisus sp. *hacienda creeper*	15 gallon	2
Cissus trifolists arizona grape ivy	15 gallon	3

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.

Hydro-seed - mix 1

24 lbs pure live seed - refer to specs.

hydro seed mix - 1

Botanical Name	Common Name	lbs/ac
Baileya multiradiata	*desert marigold*	3.0
Bouteloua curtipendula	*sideoats grama*	2.0
Bouteloua gracilis	*blue grama*	2.0
Gutierrezia sarothrae	*snakeweed*	2.0
Melampodium leucanthum	*blackfoot daisy*	3.0
Muhlenbergia rigens	deergrass	2.0
Penstemon barbatus	*beardlip penstemon*	2.0
Penstemon eatonii	*eatons penstemon*	2.0
Penstemon linarioides	*toadflax penstemon*	2.0
Penstemon palmerii	*palmers penstemon*	2.0
Penstemon pseudospectabilis *desert penstemon*		2.0

LANDSCAPE KEY NOTES

1. Property line
2. Street frontage landscape border
3. Pavement - refer to civil
4. Screen wall - refer to architect
5. Desert seed hydro-seed mix - re-vegetate all disturbed areas
6. Existing driveway
7. Existing fence
8. Existing tree to remain
9. Limit of disturbance
10. Decorative screen - refer to architect

PLANTING NOTES:

1. All trees shall be a minimum of 8' tall and 2" caliper at time of installation.
2. All shrubs and accents shall be minimum of 2' tall at time of installation excluding container.
3. During bidding of the project, contractor shall up-size any plant material container size for species not meeting or exceeded minimum 2' height planting installation required and clearly indicate in bid.
4. Any material needing to be up-sized after award of bid shall be at no additional cost to the owner.

RESTORATION AND REVEGETATION NOTES:

The intent of site restoration and revegetation is to return the physical condition of the landscape on developed sites to a state that visually and ecologically matches the local undisturbed desert landscape and ecosystem. Sites generally fall under 2 general categories- undisturbed desert landscapes which should be restored to their original condition or re-development sites which should be restored to a natural desert landscape and ecosystem. The following steps are recommended:

1. The building or development envelope should be clearly marked on site prior to performing native plant inventory and analysis or physical salvage of existing landscape material.
2. The owner or general contractor should identify a nursery and storage location for all salvaged landscape material either on or off site. The holding area should be level and free of debris etc. If the selected area occurs within the building envelope on site follow steps 1 through 3 below to prepare. Adequate space should be provided for the separate storage of boulders, rocks, soil, decomposed granite, organic landscape materials, and salvaged plant material. An automatic irrigation system should be provided for all plant material. Fencing and security should conform to code requirements and guidelines identified in the general conditions of the construction contract.
3. Prior to commencement of site demolition and grading existing landscape material should be inventoried, salvaged and stored in a secure location. Boulders and stones larger than 3" which occur on the surface of the landscape should be gathered and stored right side up. Separate boulders and rocks which were partially buried from those which occur on the surface. Organic elements such as cacti skeletons, clusters of twigs and branches, seed pods et. should be preserved as well.
4. Following the inventory and storage of above mentioned material all plants identified for salvage or demolition should be removed. Prior to excavation or demolition carefully scrape the top 2" to 3" of top soil and decomposed granite from around the base of all plant material to a distance equal or greater to 2 times the required box size for salvage plant material and a 4' radius for plants to be demolished. Remove and store topsoil and decomposed granite in a separate pile from boulders and rocks. Following salvage and demolition of all plant material in building envelope remove the remaining top 2" to 3" of top soil and decomposed granite throughout the landscape area within the building envelope and store as noted above.
5. Following the completion of site and building construction the landscape contractor should schedule a meeting with the general contractor to walk the site and identify the limits of the landscape areas to be restored. All disturbed landscape areas on site identified for restoration should be cleared of construction debris and excess fill and brought to rough grade prior to restoration.
6. Large boulders and rocks should be re-placed in the landscape with landscape architect per plans and field instruction. Boulders and rocks which were originally buried should be re-buried to their original depth so that the entire surface patina is visible following final application of topsoil and decomposed granite. Do not place rocks and boulders which occurred on the surface until all plant material is installed and top soil and decomposed granite is placed.
7. After all buried rocks and boulders are placed- but prior to placement of topsoil, decomposed granite, surface rocks and seed mix- install all irrigation system components and plant material called out on plans. All revegetation plant material should be placed on site by contractor per plan. Following placement but prior to installation verify locations and layout with L.A. in field. Schedule site visit with LA not less then 7 days in advance of placement date. New plant material in disturbed areas should match existing natural landscape in species and density unless otherwise called out on plans.
8. Following installation of plant material and irrigation system replace topsoil and decomposed granite to a depth of 2"-3" over the entire area. Do not cover boulders or rocks. Level and lightly compact all soil. Place all surface rocks and boulders and remaining organic or inorganic landscape materials salvaged from site per landscape architects instruction in a manner which replicates the existing surrounding natural landscape.
9. Following placement of all boulders, rock, top soil and decomposed granite lightly rake all landscape areas to receive revegetation seed mix. Install seed mix per supplier specifications and instruction. See plans for recommended supplier and seed mix specifications.
10. Contractor shall provide maintenance for a period of time required for the establishment of revegetation. The length of this maintenance period will depend on the physical nature of the site, the date of final completion and acceptance and the landscape type restored. During the maintenance period the contractor shall visit the site regularly to insure the appropriate amount of water is being delivered to plant material either by an automatic system or hand watering as required. During the maintenance period invasive species should be carefully removed by hand with care taken not to disturb emerging or existing plant material.
11. Following establishment of plant material and revegetation seed mix a final walk through on site should be scheduled with the owner and LA to walk the site to officially terminate the required maintenance period.

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

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landscape architecture urban design

Scale - 1"= 20'

0 10' 20' 40'

NORTH

NOT FOR CONSTRUCTION

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING.
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN ERB | DRAWN ERB | CHECKED CW | APPROVED JHM

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

LANDSCAPE PLAN

DATE APRIL 2018

PROJECT NUMBER PZ17-00001

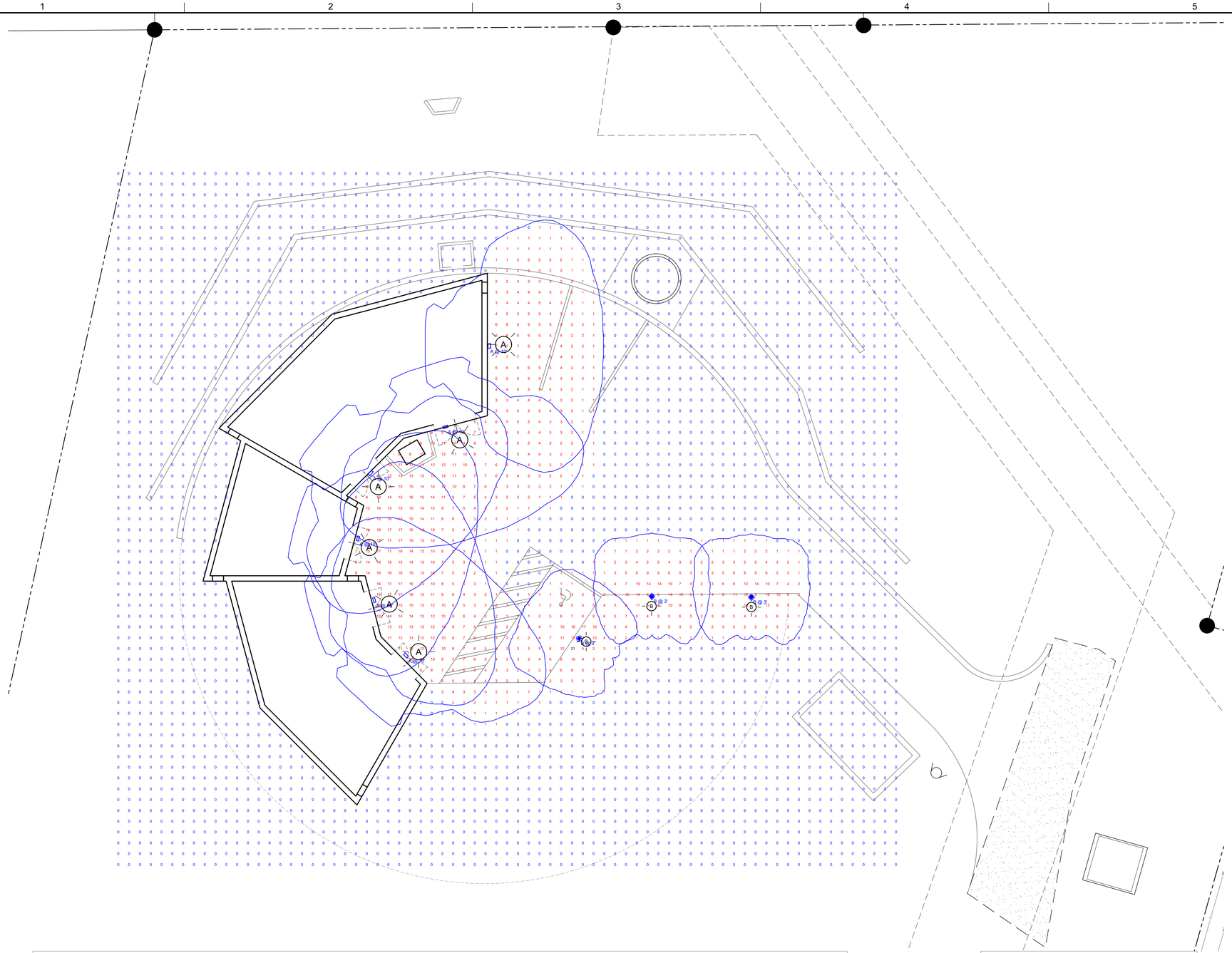
DRAWING NUMBER L-102

SHEET 2 OF 2

FILENAME:

PLOT DATE: 2018.04.08 PLOT TIME:

SCALE: 1" = 20'-0"



Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A	6	Lithonia Lighting	MRW LED	MRW LED, 3000K, TYPE 3 , 120-277V	3000 MIN	0.91	47
	B	3	Lithonia Lighting	DSXB LED 12C 530 30K ASY	D-SERIES BOLLARD WITH 12 3000K LEDS OPERATED AT 530mA AND ASYMMETRIC DISTRIBUTION	1719	0.91	22

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE FC AFG	+	1 fc	21 fc	0 fc	N/A	N/A

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NORTH

0 5 10 20

1" = 10'

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APPROVED JHM

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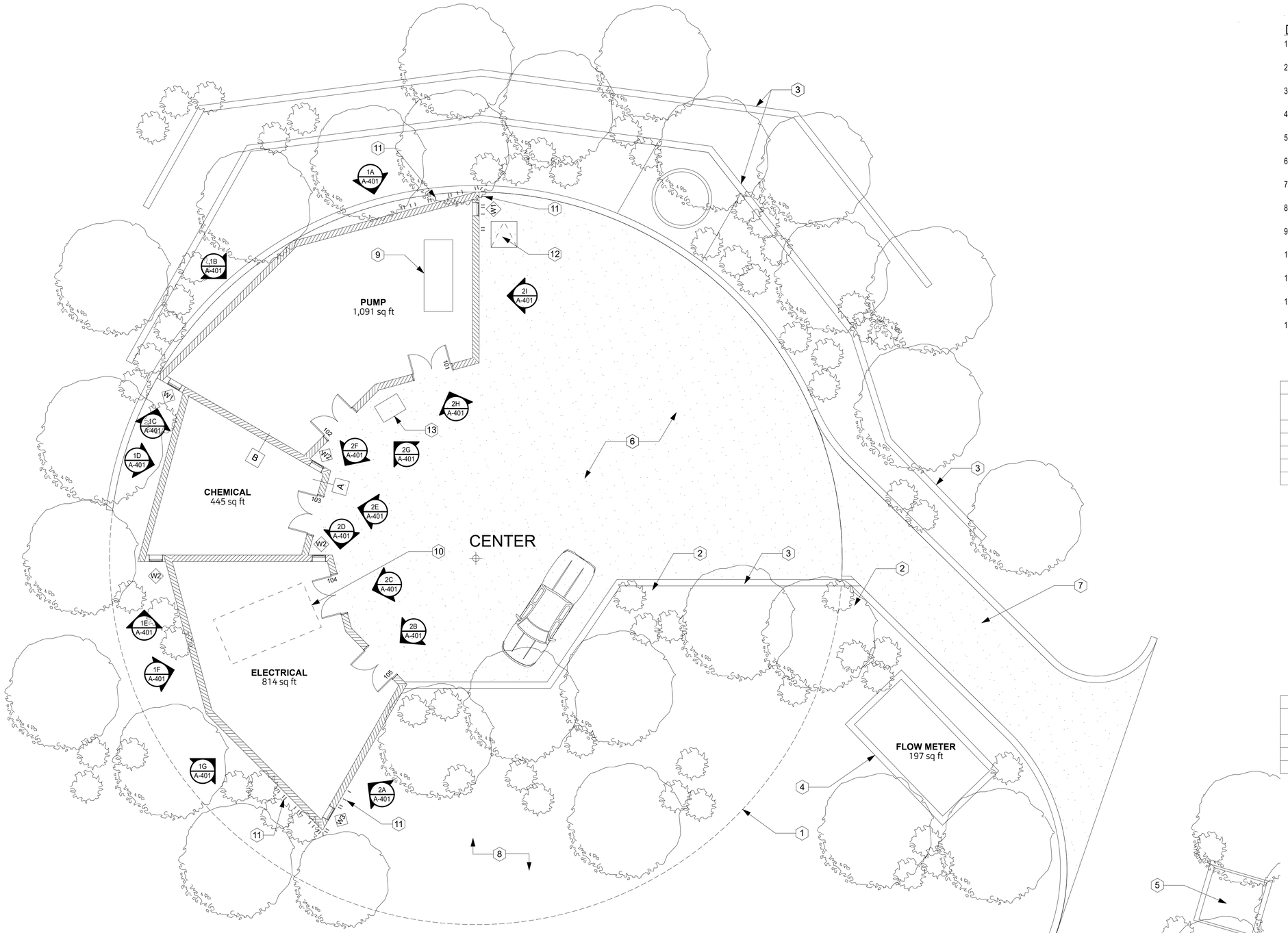
CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA WATER STORAGE TANK

SITE LIGHTING

SITE LIGHTING PLAN

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER LT-101
SHEET - OF -

FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-L101.DWG PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .0833'



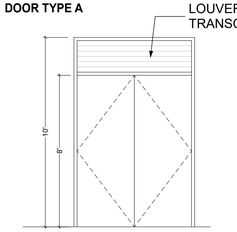
Descriptive Notes

1. Line of tank below.
2. Planter integrated into retaining wall.
3. Retaining wall.
4. Flow meter vault.
5. Transformer.
6. Concrete, Broom Finish, Color: Sedona Brown.
7. Regraded access road.
8. Area to be regraded.
9. Pump system.
10. Electrical.
11. Accent screen wall.
12. Tank access hatch.
13. Ground mounted A/C unit.

DOOR SCHEDULE

ID	DOOR			
	TYPE	W	HT	THK
101	A	6'-4 1/2"	10'	0'-1 3/4"
102	A	6'-4 1/2"	10'	0'-1 3/4"
103	A	6'-4 1/2"	10'	0'-1 3/4"
104	A	6'-4 1/2"	10'	0'-1 3/4"
105	A	6'-4 1/2"	10'	0'-1 3/4"

DOOR TYPE A



WINDOW SCHEDULE

ID	SIZE		TYPE
	WIDTH	HEIGHT	
W1	2'	8'	---
W2	2'	10'	---
W3	2'	12'	---

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1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

revision : A 21 Feb 2018
revision : B 28 Mar 2018
revision : C 19 Jul 2018

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DESIGN NSL
DRAWN NSL
CHECKED MEJ
APPROVED JHM

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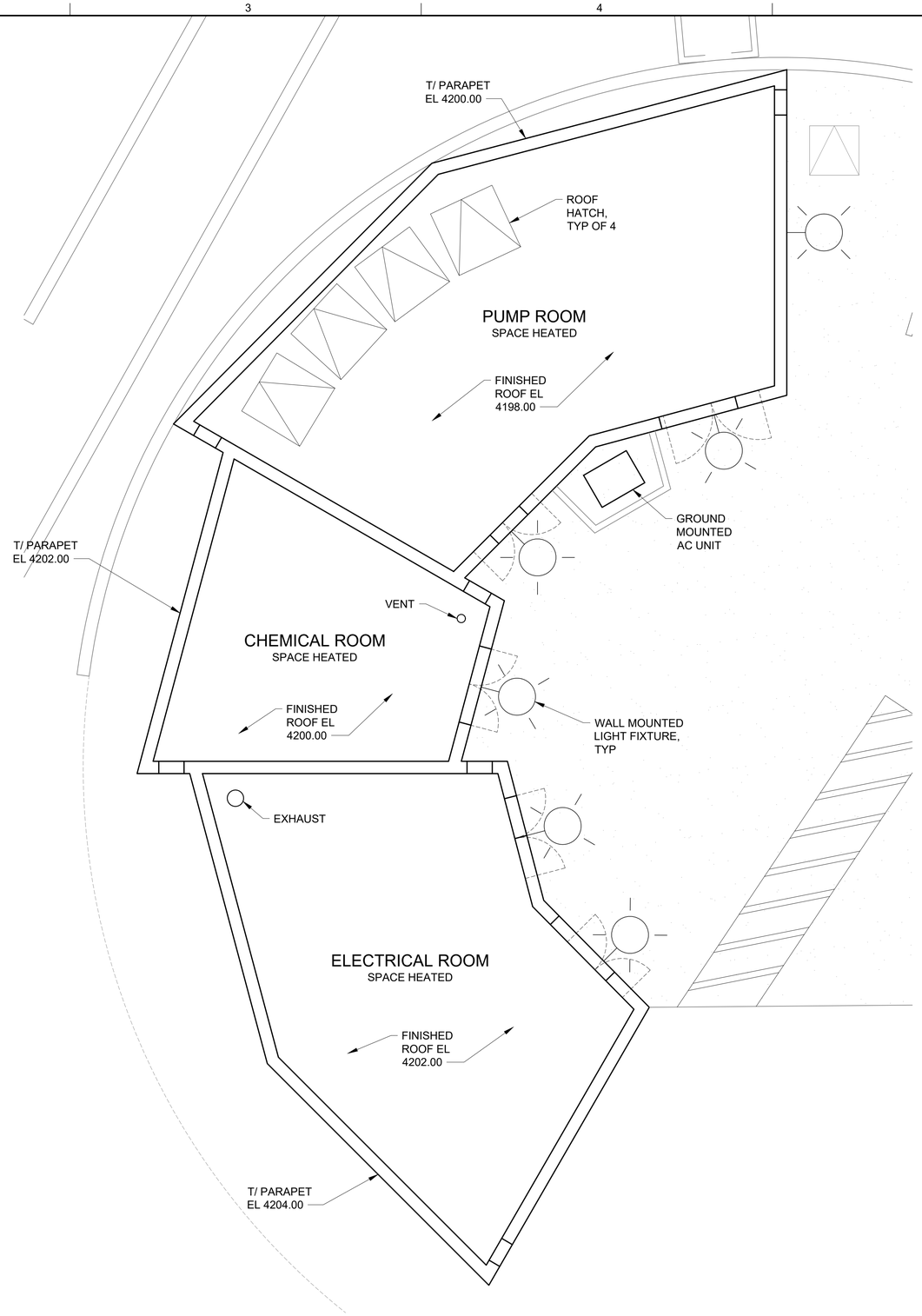
CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

Architectural
FLOOR PLAN

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER A-101
SHEET OF

FILENAME: /Volumes/1 work/3 projects/91 ww american water sedona/91 dwgs/91 3d/91 fp.pln PLOT DATE: 7/13/2018 PLOT TIME: 2:43 PM SCALE: 1/8" = 1'-0", 1' =



Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

NORTH

0 2 4 8

3/16" = 1'-0"

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

VERIFY SCALE

BAR IS ONE INCH ON ORIGINAL DRAWING.

0 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN JHM
DRAWN SAR
CHECKED JHM
APPROVED JHM

WATERWORKS ENGINEERS

7580 N. Dobson Rd, Suite 200 • Scottsdale, AZ • 480-991-1742

CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

ARCHITECTURAL

ROOF PLAN

DATE JULY 2018

PROJECT NUMBER 16-029

DRAWING NUMBER A-102

SHEET - OF -

FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-A102.DWG

PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .0833'

SIGNAGE:

1. STREET ADDRESS
2. PUMP ROOM
3. CHEMICAL ROOM
4. ELECTRICAL ROOM

OVERFLOW HEADWALL

ROCK POCKET FOR SUMP DISCHARGE

OVERFLOW BOX

RETAINING/NATURAL STONE WALL

16" OUTLET

DRAINAGE MH

REGRADE EXST DIRT ROAD, MATCH EXST ELEV AND GRADE

12'

PUMP ROOM

CHEMICAL ROOM

ELEC ROOM

RETAINING WALL

12" INLET

METER VAULT

FH

XFMR

OUTLINE OF RESERVOIR BELOW

RESERVOIR EXCAVATION LINE

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

NORTH

0 5 10 20

1" = 10'

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

VERIFY SCALE

BAR IS ONE INCH ON ORIGINAL DRAWING.

0 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN JHM | DRAWN SAR | CHECKED JHM | APPROVED JHM

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

ARCHITECTURAL

SIGNAGE PLAN

DATE JULY 2018

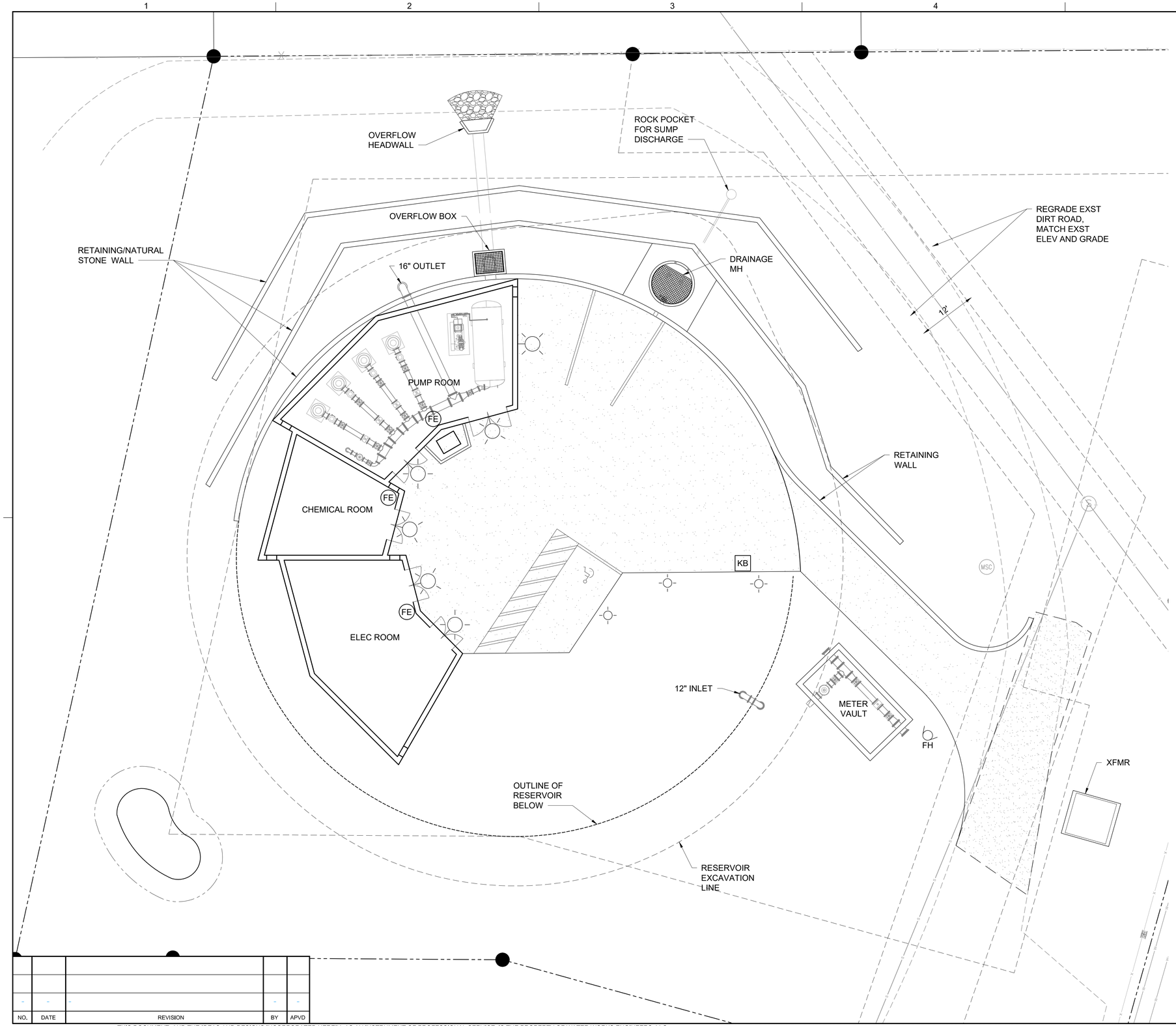
PROJECT NUMBER 16-029

DRAWING NUMBER A-103

SHEET - OF -

FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-A103.DWG

PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .08'



NOTES:

1. FIRE EXTINGUISHER SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION ASSOCIATION'S PAMPHLET #10, "STANDARD FOR PORTABLE FIRE EXTINGUISHERS," THE 2002 EDITION.
2. EXTINGUISHERS SHALL BE CLASSIFIED AT LEAST 2A10BC OR GREATER, CONTAINING AT LEAST 5 POUNDS OF DRY CHEMICAL AGENT. UNITS SHALL BE SERVICED AND TAGGED BY A REPUTABLE FIRE EXTINGUISHER COMPANY PRIOR TO THE UNIT BEING DISPLAYED FOR USE.
3. FIRE SPRINKLER SYSTEM SHALL BE IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION'S PAMPHLET #13R, "STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS IN RESIDENTIAL OCCUPANCIES UP TO AND INCLUDING FOUR STORIES IN HEIGHT," THE 20002 EDITION. PLANS, SPECIFICATIONS AND HYDRAULIC CALCULATIONS SHALL BE SUBMITTED TO THIS OFFICE FOR REVIEW PRIOR TO INSTALLATION.
4. KNOX BOX BY KNOX BOX COMPANY, (www.knoxbox.com/store/knoxbox-32000-series.cfm.) THE MINIMUM UNIT IS A KNOX BOX 3200 SERIES.

FIRE CONTROL		
1	PUMP ROOM	FIRE SPRINNKLER
2	CHEMICAL ROOM	FIRE SPRINKLER
3	ELECTRICAL ROOM	DRY CHEMICAL AGENT
FE		FIRE EXTINGUISHER
		FIRE HYDRANT
KB		KNOX BOX

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA811 BLUE STAKE, INC.

Call 811 or click Arizona811.com

NORTH

0 5 10 20

1" = 10'

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

VERIFY SCALE

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

ARCHITECTURAL

FIRE CONTROL PLAN

DATE JULY 2018

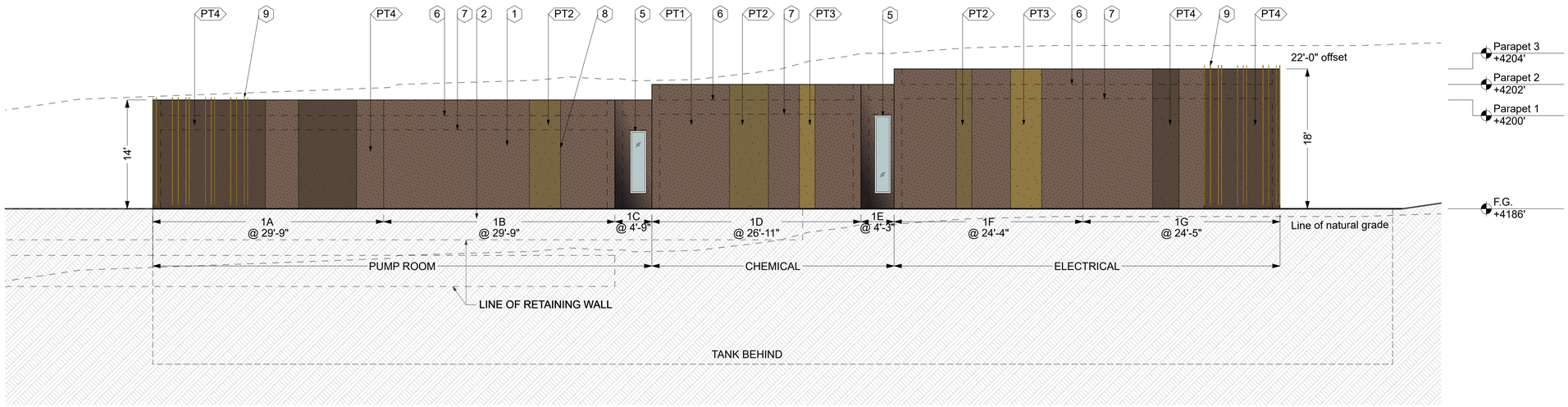
PROJECT NUMBER 16-029

DRAWING NUMBER A-104

SHEET - OF -

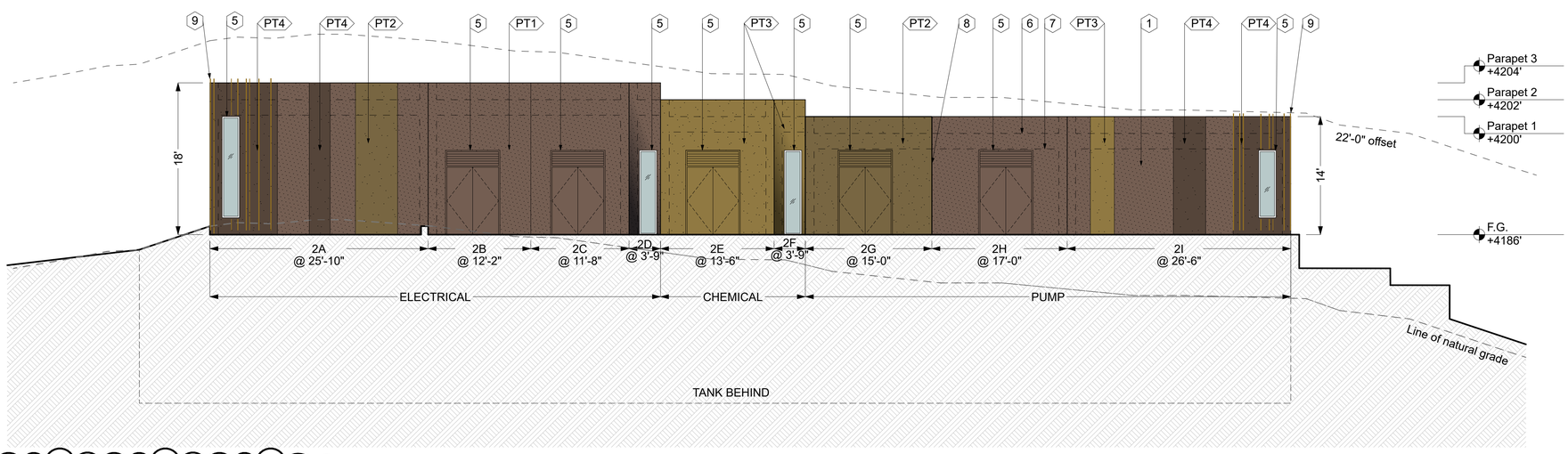
FILENAME: S:\CAD\PROJECTS\16-029 SEDONA WATER STORAGE TANK\PROJECT FILES\DELIVERABLES\1629D-A104.DWG

PLOT DATE: 7/19/2018 PLOT TIME: 8:49 AM SCALE: 1" = .08'



1 UNFOLDED ELEVATION - OUTER

SCALE: 1/8" = 1'-0"



2 UNFOLDED ELEVATION - INNER

SCALE: 1/8" = 1'-0"

Descriptive Notes

1. Stucco finish over CMU wall.
2. Salvaged site rock retaining wall.
3. Screen wall.
4. Integrated planter.
5. Scheduled window/door, refer to floor plan. See General Note 6.
6. Line of roof beyond.
7. Bottom of structure beyond.
8. 1" Reveal, typical at all paint color transitions.
9. Accent Screen Wall.

General Notes

1. Typical Wall Construction - Stucco Finish over CMU Wall.
2. Exterior General Field Paint - PT1 - Tnemec, Sedona Brown, 41RD - See Material Board.
3. Exterior Accent Paint - PT2 - Tnemec - See Material Board.
4. Exterior Accent Paint - PT3 - Tnemec - See Material Board.
5. Accent Screen Wall - Weathered Steel Vertical Slat System - See Material Board.
6. All door, door frame, and louver color shall match adjacent wall paint color.

Material Legend

- PAINT, PT1
- PAINT, PT2
- PAINT, PT3
- PAINT, PT4

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

revision : A — 21 Feb 2018

revision : B — 28 Mar 2018

revision : C — 19 Jul 2018

NOT FOR CONSTRUCTION

VERIFY SCALE
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DESIGN NSL | DRAWN NSL | CHECKED MEJ | APPROVED JHM

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HOLLY STREET STUDIO ARCHITECTS
822 N. Central Avenue
Phoenix, AZ 85004-2003
602 258 8555 tel
602 307 5677 fax
HollyStreetStudio.com

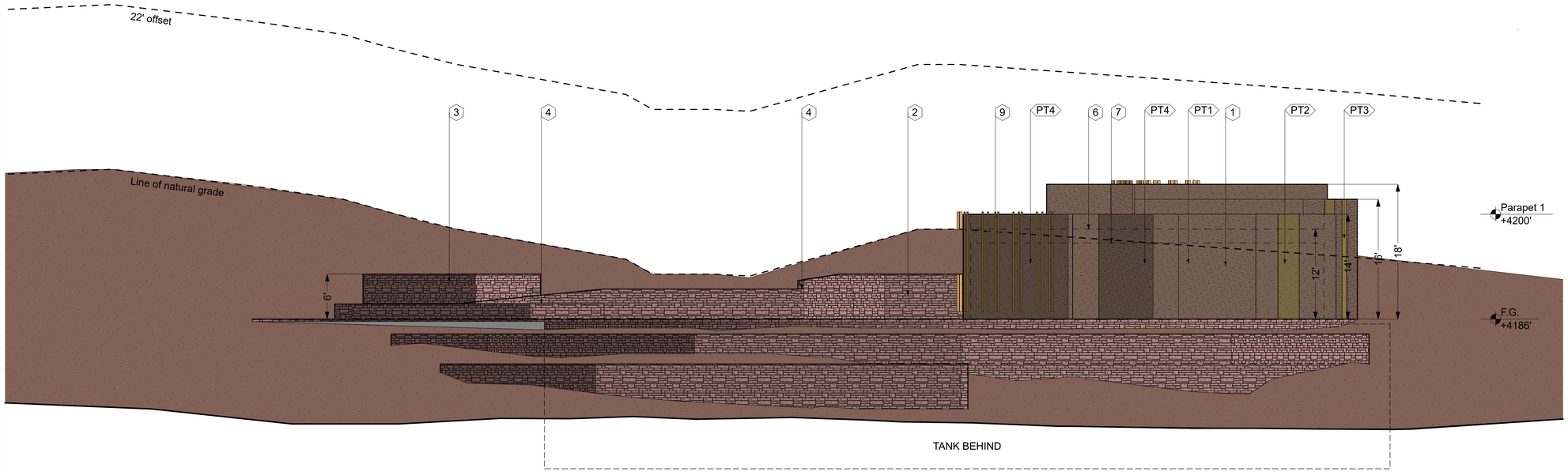
CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA WATER STORAGE TANK

Architectural

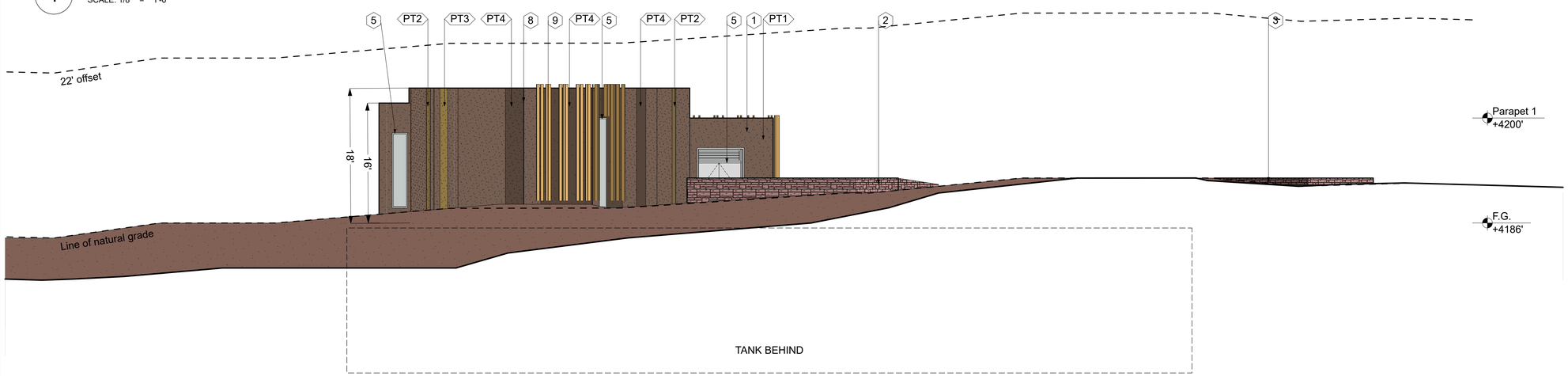
ELEVATIONS 1

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER A-401
SHEET OF

FILENAME: /Volumes/1 work/3 projects/91 ww american water sedona/91 dwgs/91 3d/91 fp.pln PLOT DATE: 7/13/2018 PLOT TIME: 3:21 PM SCALE: 1/8" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

Descriptive Notes

1. Stucco finish over CMU wall.
2. Salvaged site rock retaining wall.
3. Screen wall.
4. Integrated planter.
5. Scheduled window/door, refer to floor plan. See General Note 6.
6. Line of roof beyond.
7. Bottom of structure beyond.
8. 1" Reveal, typical at all paint color transitions.
9. Accent Screen Wall.

General Notes

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3. Exterior Accent Paint - PT2 - Tnemec - See Material Board.
4. Exterior Accent Paint - PT3 - Tnemec - See Material Board.
5. Accent Screen Wall - Weathered Steel Vertical Slat System - See Material Board.
6. All door, door frame, and louver color shall match adjacent wall paint color.

Material Legend

- PAINT, PT1
- PAINT, PT2
- PAINT, PT3
- PAINT, PT4

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Call 811 or click Arizona811.com

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

revision : A 21 Feb 2018
revision : B 28 Mar 2018
revision : C 19 Jul 2018

NOT FOR CONSTRUCTION

VERIFY SCALE
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DESIGN NSL
DRAWN NSL
CHECKED MEJ
APPROVED JHM

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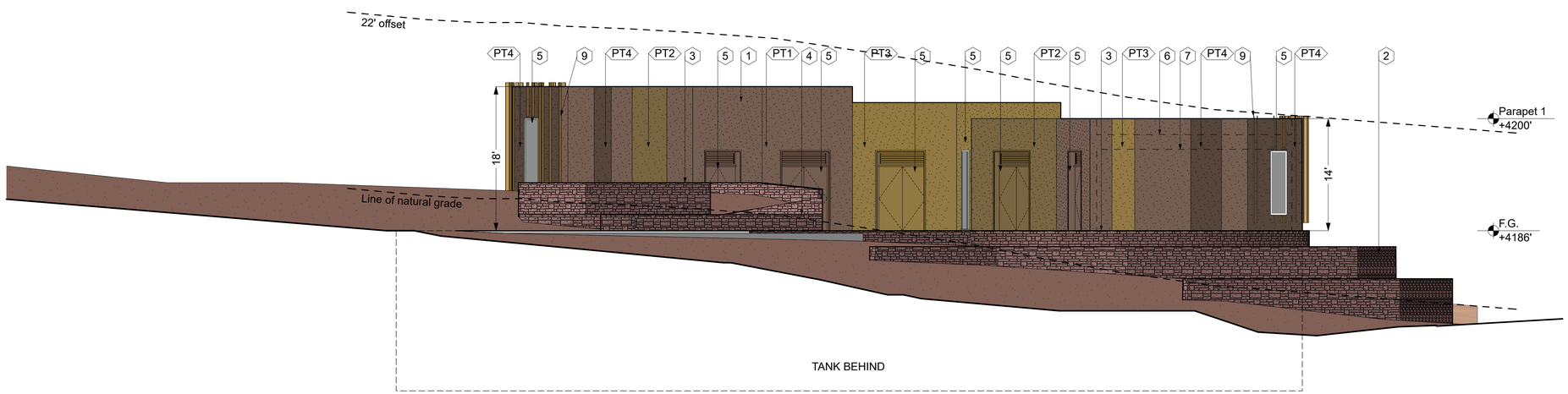
Phoenix, AZ 85004-2003
602 258 8555 tel
602 307 5677 fax
HollyStreetStudio.com

CONCEPTUAL DESIGN & COMMUNITY OUTREACH EAST SEDONA WATER STORAGE TANK

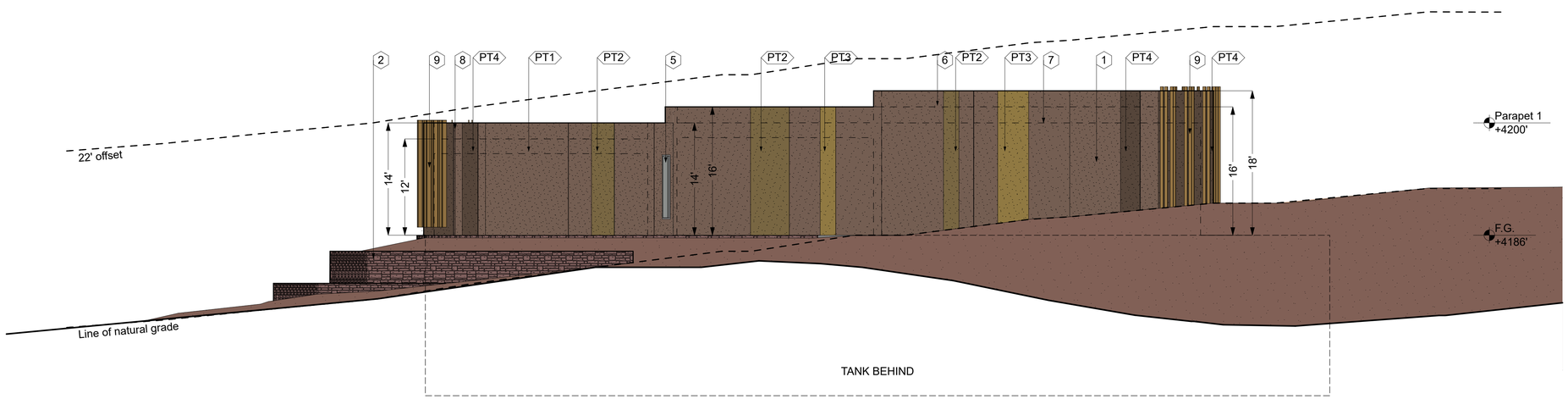
Architectural
ELEVATIONS 2

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER A-402
SHEET OF

FILENAME: /Volumes/1 work/3 projects/91 ww american water sedona/91 dwgs/91 3d/91 fp.pln PLOT DATE: 7/13/2018 PLOT TIME: 7:04 PM SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Descriptive Notes

1. Stucco finish over CMU wall.
2. Salvaged site rock retaining wall.
3. Screen wall.
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3. Exterior Accent Paint - PT2 - Tnemec - See Material Board.
4. Exterior Accent Paint - PT3 - Tnemec - See Material Board.
5. Accent Screen Wall - Weathered Steel Vertical Slat System - See Material Board.
6. All door, door frame, and louver color shall match adjacent wall paint color.

Material Legend

- PAINT, PT1
- PAINT, PT2
- PAINT, PT3
- PAINT, PT4

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

revision : A 21 Feb 2018
revision : B 28 Mar 2018
revision : C 19 Jul 2018

NOT FOR CONSTRUCTION

VERIFY SCALE
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0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN NSL
DRAWN NSL
CHECKED MEJ
APPROVED JHM

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA WATER STORAGE TANK

Architectural
ELEVATIONS 3

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER A-403
SHEET OF

FILENAME: /Volumes/1 work/3 projects/91 ww american water sedona/91 dwgs/91 3d/91 fp.pln PLOT DATE: 7/13/2018 PLOT TIME: 7:04 PM SCALE: 1/8" = 1'-0"

1 View from Corner of Mallard Dr and HWY 179

2 View from Sidewalk along 179

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

revision : A
21 Feb 2018

revision : B
28 Mar 2018

revision : C
19 Jul 2018

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	BY	APVD
-	-	-	-	-

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING.
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN NSL
DRAWN NSL
CHECKED MEJ
APPROVED JHM

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CONCEPTUAL DESIGN & COMMUNITY OUTREACH
EAST SEDONA WATER STORAGE TANK

Architectural

RENDERED PERSPECTIVES

DATE JULY 2018
PROJECT NUMBER 16-029
DRAWING NUMBER A-404
SHEET OF

FILENAME: /Volumes/1 work/3 projects/91 ww american water sedona/91 dwgs/91 3d/91 fp.pln PLOT DATE: 7/13/2018 PLOT TIME: 7:05 PM SCALE:

Appendix B FEMA Flood Insurance Rate Map (FIRM)

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The **community map repository** should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations** (BFEs) and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Universal Transverse Mercator (UTM) Zone 12N. The **horizontal datum** was NAD 83, GRS80. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at http://www.ngs.noaa.gov or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, N/NGS12
National Geodetic Survey
SSMC-3, #9202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench**

MAP SCALE 1" = 500'

250 0 500 1000 FEET

METER

NFIP

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 7659G

FIRM

FLOOD INSURANCE RATE MAP

COCONINO COUNTY, ARIZONA
AND INCORPORATED AREAS

PANEL 7659 OF 8475
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
COCONINO COUNTY	040019	7659	G
SEDONA, CITY OF	040130	7659	G

Notice to User: The **Map Number** shown below should be used when placing map orders; the **Community Number** shown above should be used on insurance applications for the subject community.

MAP NUMBER
04005C7659G

EFFECTIVE DATE
SEPTEMBER 3, 2010

Federal Emergency Management Agency

Appendix C Geotechnical Reports

(as separate attachment)

Appendix D Plant Palette

EAST SEDONA WATER STORAGE TANK AND BOOSTER STATION

Proposed Plant Palette
November 21, 2016

Chris Winters & Associates + **ARC** studios

820 north 3rd street : phx arizona 85004
tel 602 955 8088: fax 602 253 3606
email cw@cwadesign.com

landscape architecture urban design

EAST SEDONA WATER STORAGE TANK AND BOOSTER STATION

Plant Palette

Supply and install the following plant material. Landscape architect to field verify location prior to planting. All plant material to meet ANA specifications and be of sound health and appearance.

Tree	Size
Alnus oblongifolia	Standard
Arizona alder	24" box
Acer grandidentatum	Standard
Bigtooth Maple	24" box
Acer negundo	Standard
Box Elder	24" box
Acacia greggii	Standard
Catclaw acacia	24" box
Canotia holocantha	Standard
Crucifuxion thorn	24" box
Celtis reticulata	Standard
Netleaf hackerry	24" box
Chilopsis linearis	Standard
Desert willow	24" box
Cupressus arizonica	Standard
Arizona Cypress	24" box
Juglans major	Standard
Arizona Walnut	24" box
Juniperus deppeana	Standard
Alligator Juniper	24" box
Juniperus monosperma	Standard
One-seed Juniper	24" box
Juniperus osteosperma	Standard
Utah Juniper	24" box
Fraxinus velutina	Standard
Arizona Ash	24" box
Parkinsonia florida	Standard/ Multi
Blue Palo Verde	24" box
Platanus wrightii	Standard
Arizona Sycamore	24" box
Populus fremontii	Standard
Fremont Cottonwood	24" box
Prosopis veluntia	Standard
Vetvet Mesquite	24" box
Prunus virginiana	Standard
Common Chokecherry	24" box
Pinus edulis	Standard
Pinyon Pine	24" box
Pinus monophylla	Standard
Single leaf Pinyon	24" box

Pinus ponderosa	Standard
Ponderosa pine	24" box
Quercus arizonica	Standard
Arizona White Oak	24" box
Quercus emoryi	Standard
Emory Oak	24" box
Quercus gambelii	Standard
Gambel Oak	24" box
Quercus palmeri	Standard
Palmer (Dunn) Oak	24" box
Salix gooddingii	Standard
Goodding Willow	24" box
Sapindus saponaria	Standard
Western Soapberry	24" box

Plant Palette Continued

Shrubs	**Size**
Arctostaphylos pungens	
Pointleaf manzanita	5 gallon
Atriplex canescens	
Four-wing Saltbush	5 gallon
Calliandra sp..	
Fairy Duster	5 gallon
Berberis fremontii	
Algerita	5 gallon
Cercocarpus montanus var. paucidentatus	
Hairy Mountain Mohogany	5 gallon
Cowania mexicana	
Cliffrose	5 gallon
Dalea formosa	
Feather Dalea	5 gallon
Eurotia lanata	
Winter-fat	5 gallon
Ephedra sp.	
Mormon Tea	5 gallon
Eschscholtzia mexicana	
Mexican Gold Poppy	5 gallon
Guara coccinea	
Scarlet Gaura	5 gallon
Krameria parvifolia	
Ranger Ratany	5 gallon
Larrea tridentata	
Creosote Bush	5 gallon
Minosa biuncifera	
Wait-a-Minute Bush	5 gallon
Parthenium incanum	
Mariola	5 gallon
Penstemon eatoni	
Eatoni Penstemon	5 gallon
Purshia subintegra	
Arizona Cliffrose	5 gallon
Quercus turbinella	
Shrub Live Oak	5 gallon
Sphaeralcea ambigua	
Globe mallow mixed color	5 gallon
Tequilia (Coldenia) canescens	
Shrubby Coldenia	5 gallon
Viguiera parishii (Deltoidea)	
Goldeneye	5 gallon

Ziziphus obtusifolia var. canescens Graythorn	5 gallon

Accents	**Size**
Agave parryi Century plant	5 gallon
Agave delumeteri Tonto basin agave	5 gallon
Dasylirion wheeleri Desert Spoon	5 gallon
Fouquieria splendens Ocotillo	Seed grown 24" box
Nolina microcarpa Bear Grass	5 gallon
Opuntia leptocaulis Christmas Cactus cholla	5 gallon
Opuntia phaeacanthia Desert Prickly Pear	5 gallon
Yucca baccata Banana Yucca	5 gallon
Yucca elata Soaptree Yucca	Specimen plant 24" box

Vines	**Size**
Vitis arizonica Arizona Grape	5 gallon

Appendix E "Will Serve" Letters

Darin Begay

From: Sandra.Finley@aps.com
Sent: Monday, December 5, 2016 11:44 AM
To: Darin Begay
Cc: Sandra.Finley@aps.com
Subject: 55 Bell Rock Tr - Will Serve

December 5, 2016

Darin Begay
Water Works Engineers
7580 N. Dobson Road #200
Scottsdale, AZ 85256

Re: 55 Bell Rock Tr, Sedona

Dear Mr. Begay,

The above referenced project is located in Arizona Public Service Company's electric service area. The Company extends its lines in accordance with the "Conditions Governing Extensions of Electric Distribution Lines and Services," Schedule 3, and the "Terms and Conditions for the Sale of Electric Service," Schedule 1, on file with the Arizona Corporation Commission at the time we begin installation of the electric facilities.

Application for the Company's electric service often involves construction of new facilities for various distances and costs depending upon customer's location, load size and load characteristics. With such variations, it is necessary to establish conditions under which Arizona Public Service will extend its facilities.

The enclosed policy governs the extension of overhead and underground electric facilities to customers whose requirements are deemed by Arizona Public Service to be usual and reasonable in nature.

Please give me a call at 928-646-8463 so that we may set up an appointment to discuss the details necessary for your project.

Thank you,

Sandy Finley
Sr. Customer Project Manager, Verde District
1250 E. State Route 89A, Cottonwood, AZ 86326 M.S. 4718
Tel (928)646-8463
sandra.finley@aps.com **aps.com**

CenturyLink™

CenturyLink Engineering
500 S Calvary Way
Cottonwood, AZ 86326

December 5, 2016

Darin Begay
WW Engineers
Scottsdale, AZ

RE: 55 Bell Rock Trail, Sedona, AZ 86351

Darin,

The above mentioned property is located in a parcel located in Section 19, Township 17N and Range 6E in Coconino County.

In response to your "Service Availability" request for the above mentioned property, this letter is to acknowledge, the property is within the CenturyLink serving territory.

The tariff Rates and Regulations prescribed for service for this location are on file with your State Utilities Commission, and may be examined at your CenturyLink Business Office.

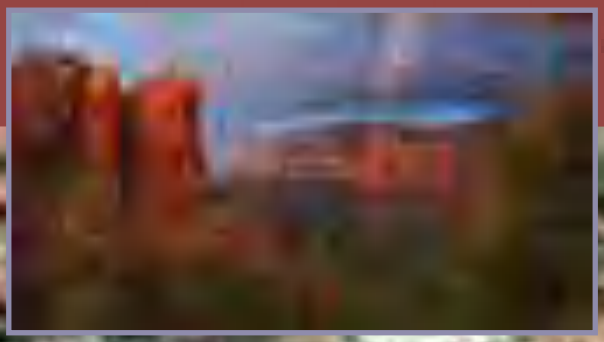
Sincerely,

Armen McNerlin

Armen McNerlin
CenturyLink Engineer
500 S Calvary Way
Cottonwood, AZ 86326
office 928.634.2102
cell 928.821.4609

East Sedona Water Storage Tank, Booster Pump Station and Related Appurtenances

Drainage Report
April 2018



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1 GENERAL LOCATION AND DESCRIPTION

1.1 INTRODUCTION

Arizona Water Company recently completed a water masterplan for the east Sedona area to address water demands, water supply sources, storage, and booster pump station requirements. The masterplan recommended the East Sedona Water Facility to provide water storage and a pumping facility. The selected site is located at the intersection of W Mallard Dr and Hwy 179 as shown in Figure 1 below.

Figure 1 Vicinity Map

1.2 Location and Ownership

Table 1-1 Location and Ownership Information

1. Owner/Developer Name.	**Arizona Water Company**
2. Assessor's Parcel Number(s).	401-33-031
3. City, County, State Highway and local streets within 3 miles of the subdivision, or the area to be served by the drainage improvements.	City of Sedona, Coconino County State Route 179
4. Township, range, section, ¼ sections.	T17N R06E
5. Major drainageways and facilities.	Unnamed wash along Bell Rock Trail
6. Names of surrounding developments.	Yavapino Estates Mystic Hills

1.2.1 General project description.

The project major components include the following facilities:

- Water storage tank with 1.5 million gallon (Mgal) maximum capacity
- Booster station
- Ancillary Facilities

1.3 Description of Property

1.3.1 Area in acres.

The site area is documented at 1.05 Acres.

1.3.2 Ground cover (type of ground cover and vegetation).

Based on a geotechnical evaluation conducted by Ninyo & Moore, the site area soil is a GM/SM classification. See Appendix A for the geotechnical logs from the study. The soil is described as red, dry to damp, ranges from medium to very dense, and is comprised of silty sand as well as fine to coarse silty gravel. Pockets within the area were found to have a GP soil classification, described as fine to coarse gravel with sand, however, for the analyses conducted only the GM/SM soil was used in order to take a conservative approach. The excavation explored depths from 2 to 3.5 feet, as well

as down to 31 feet for drilled core samples. Groundwater was not encountered during the study. The vegetation is classified as grass and brush with approximately 30% cover over the site area.

1.3.3 Major drainageways, floodplains.

The existing site grade slopes to the northwest corner. Under SR 179 construction, ADOT constructed two culverts to convey storm water runoff from east to west of the highway. There are also additional culverts on the north and northwest end of the site area within the residential zone.

1.3.4 Existing irrigation facilities, such as ditches and canals.

The existing site has no irrigation facilities.

1.3.5 Existing and proposed land use.

The existing parcel is a vacant parcel located in a residential area. The proposed land use is for the construction of a water facility, including a below grade water tank, a booster station and auxiliary facilities.

2 DRAINAGE BASINS AND SUB-BASINS

2.1 Major Basin Description

2.1.1 Reference to all drainageway planning studies such as flood hazard delineation reports, drainageway planning reports, and flood insurance rate maps (FIRMs).

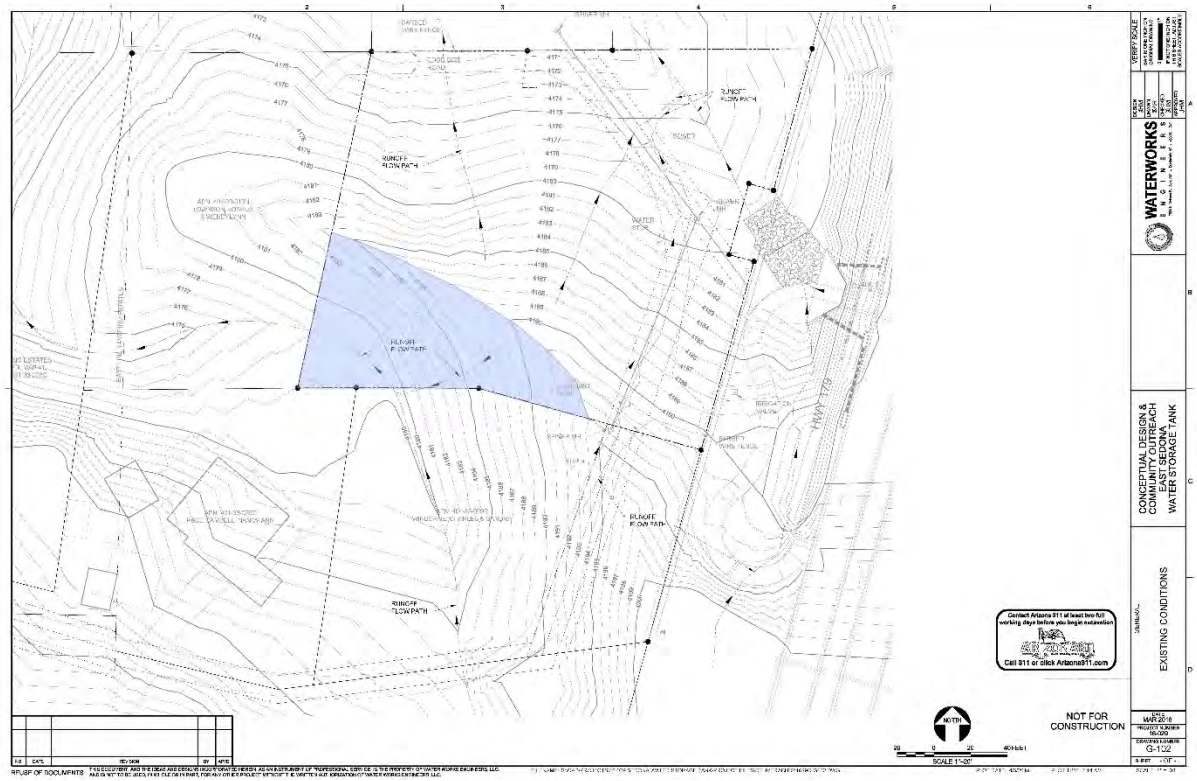
The site area is located outside of the 100-year flood zone. Refer to Appendix B for the floodplain analysis, including the FEMA flood zone map of the area. The drainage design and analysis will follow the City of Sedona Land Development Code.

Calculations were done using the rational drainage equation for 2, 10, 25, and 100-year 1-hour storms, as well as for a 100-year 2-hour storm, as required by the City of Sedona Land Development Code.

2.1.2 Basin drainage characteristics, existing and planned land uses within the basin, as defined by the Planning Department.

The proposed site grading elevations will be similar to the existing side grading. The site grade will generally slope to the north while maintaining the southwest corner drainage. Storm water will be managed via surface runoff. The drainage patterns are shown in Figure 2 below.

Figure 2 Existing Site Grading Conditions



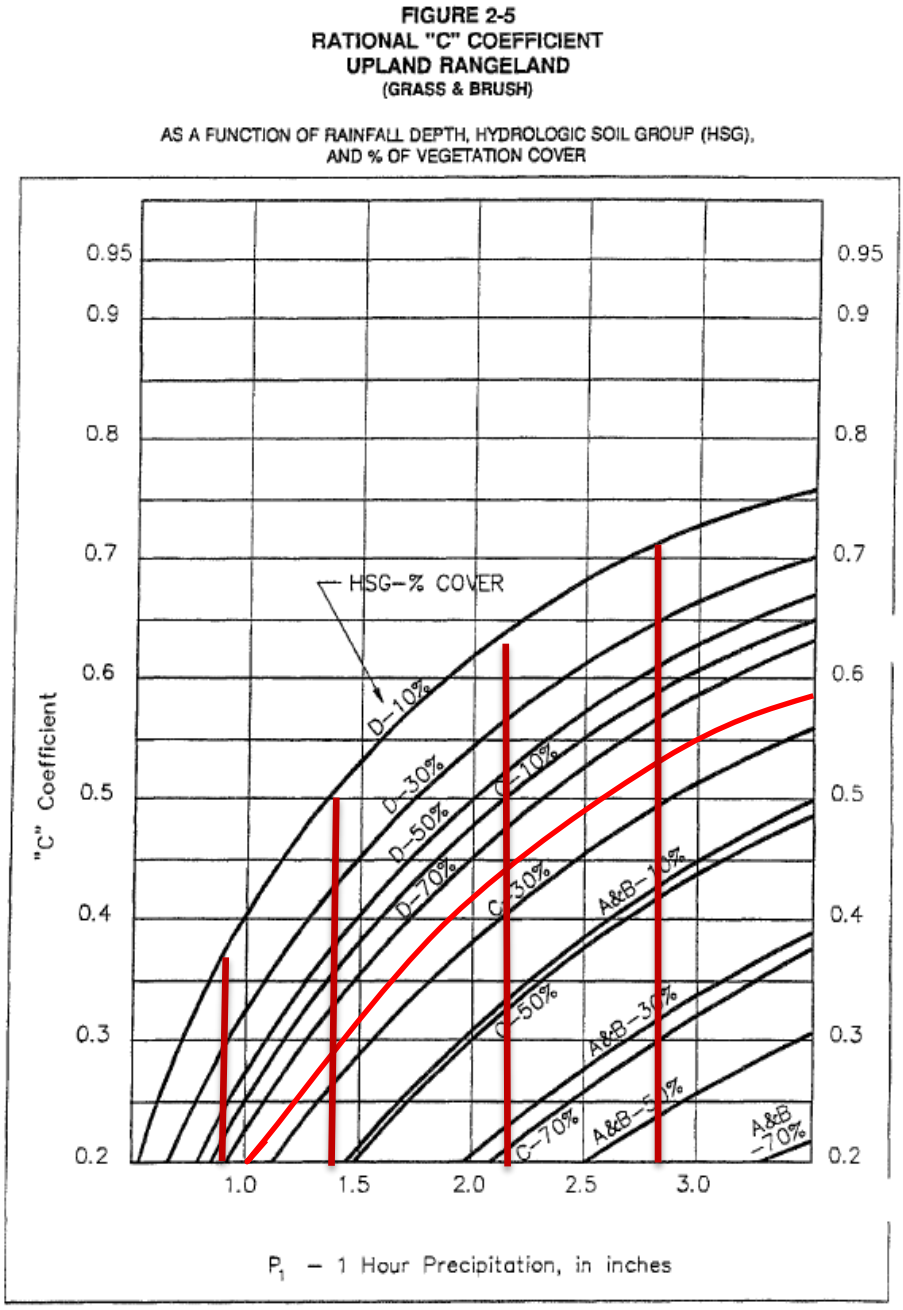
2.1.3 *IDENTIFICATION OF ALL NEARBY IRRIGATION FACILITIES WITHIN ½ MILE OF THE PROPERTY BOUNDARY, WHICH WILL INFLUENCE OR BE INFLUENCED BY THE LOCAL DRAINAGE.*

There are no irrigation facilities within half a mile of the property boundary that will be impacted by the local drainage.

2.1.4 *SOILS CLASSIFICATION MAP.*

Based on the upland rangeland classification for the site area, and the consideration of approximately 30% vegetation cover, a rational coefficient of "C" was selected, as shown in Figure 3 below.

Figure 3 Rational "C" Coefficient Upland Rangeland



Based on the graph and the "C" classification, the C-coefficient value were estimated as follow for the various design storms:

Table 2-1 C Factor Values

Storm Frequency	C Factor
2 yrs – 1 hr	0.2
10 yrs – 1 hr	0.3
25 yrs – 1 hr	0.45
100 yrs – 1 hr	0.55
100 yrs – 2 hrs	

A lower "C" coefficient value indicates a higher infiltration rate and a lower runoff rate.

2.1.5 Identification of all detention facilities.

There are no existing detention facilities at the site area.

2.2 Sub-Basin Description Drainage Design Manual for Yavapai County Documentation Requirements 19-4 July 2015

2.2.1 Discussion of historic drainage patterns of the property in question.

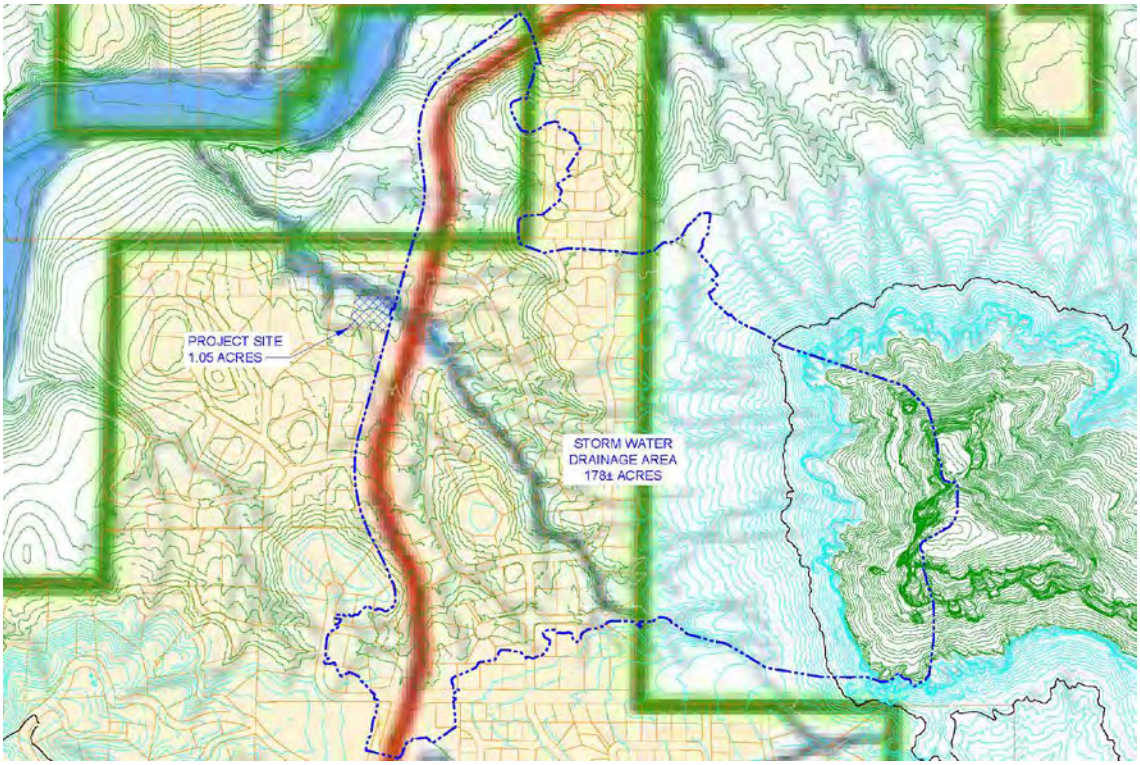
It is assumed that the historic general drainage is preserved. There may be minor modifications to limited natural or constructed drainage channels implemented under SR179 construction or other local residential construction projects. This project will not alter any of the historical drainage patterns.

2.2.2 Discussion of off-site drainage patterns and impact on development under existing and fully developed basin conditions, as defined by the Planning Department.

The site area is located adjacent to an unnamed drainage area of approximately 180 acres, as shown in Figure 4 below. The two culverts from the SR 179 construction previously discussed convey the storm water runoff from east to west of the highway. According to ADOT documents, the box culvert is capable of conveying up to 240 cfs during a 100-year storm and 190 cfs during a 50-year storm. The second culvert is a 54" pipe capable of conveying 68 cfs during a 100-year storm

and 55 cfs during a 50-year storm. Additional drainage is also provided from SR 179 and ultimately the site runoff is less than 1% of flow in the wash, as shown in the subsequent sections.

Figure 4 Sedona Watershed Analysis



2.2.3 DISCUSSION OF PROPOSED METHODS FOR MANAGING STORMWATER QUALITY DURING THE CONSTRUCTION PHASE.

Managing storm water quality depends on sedimentation control and management of soil erosion on construction sites. These issues are very important in Sedona. The following recommended erosion and sedimentation control practices will be specified to manage soil erosion and control sedimentation during construction:

- Preservation of existing trees and natural vegetation on the site where feasible.
- Installation of perimeter fencing using for example, silt fences that are trenched in and backfilled.
- Rock dams or straw bales are suggested in concentrated flow locations such as ditches or swales.
- Erosion control blankets
- Straw mulch
- Temporary or permanent seeding with native grasses or wild flowers

- Rip rap on steep slopes
- Placement of crushed rock or gravel on job site access driveways to control mud and dirt on public roads

3 DRAINAGE FACILITY DESIGN

3.1 GENERAL CONCEPT

3.1.1 DISCUSSION OF EXISTING DRAINAGE PATTERNS.

The existing drainage patterns flow to the north and southwest corner.

3.1.2 DISCUSSION OF OFF-SITE RUNOFF CONSIDERATIONS.

Due to the topography of the property, off-site runoff is minimal and does not impact the drainage design. As per the City of Sedona's Land Development Code, the Rational Drainage Equation was used in order to calculate runoff to better understand and manage flood risks.

3.1.3 DISCUSSION OF ANTICIPATED AND PROPOSED DRAINAGE PATTERNS AND IMPROVEMENTS.

The tank and building are located to preserve the existing drainage courses in their natural pre-construction conditions, as much as practically possible. Soil stabilization, when needed, will be performed using native rocks from the excavation performed at the site. The rocks will be laid in naturally shaped areas where the drainages are most prone to erosion along the northwest area of the site. The site area will be stabilized by preserving vegetative cover with permanent landscaping installed in a timely manner to prevent rapid runoff, erosion, and downstream siltation. A retention basin will also be added at the southwest corner of the site area in order to capture the southwest flow. Additionally, a manhole will be added on the north side to capture the balance of the flow.

3.1.4 DISCUSSIONS OF THE CONTENT OF TABLES, CHARTS, FIGURES, MAPS OR DRAWINGS PRESENTED IN THE REPORT.

As discussed in section 2.1.4, the C coefficient was estimated to range between 0.2 and 0.55 for the native soil. The following C factors were used for the site after construction:

- Landscaped area 0.55
- Concrete tank and building area 1
- Driveway area 0.88
- Backfill ring around tank 0.50

For the 2-year and 10-year 1-hour storms, the mean precipitation frequency estimates were used from Table 8.2 in the City of Sedona's Land Development Code. For the 25-year and 100-year 1-

hour storms (as well as the 100-year 2-year storm), the upper limit precipitation frequency estimates was used from Table 8.3 in the City of Sedona's Land Development Code. Using these values, runoff calculations were done on the existing and the proposed future conditions. Table 3-1 below summarizes the precipitation frequency estimates used.

Table 3-1 Precipitation Frequency Estimates

Frequency (yr)	60-min	120-min
2	0.86	NA
10	1.41	NA
25	2.10	NA
100	2.84	3.12

The results of the 2, 10, 25 and 100-yr runoff calculations are summarized in Table 3-2 shown below.

Table 3-2 Runoff Calculations Summary for 1-hr Duration

Storm Frequency	Inch in 1 hr.	Exist Conditions	Project Conditions	Increase
(yr)		(cfs)	(cfs)	(cfs)
2	0.86	0.18	0.36	0.18
10	1.41	0.44	0.68	0.24
25	2.1	0.99	1.22	0.22
100	2.84	1.64	1.82	0.18

A runoff coefficient sensitivity analysis was also performed using C coefficient values of 0.70 and 0.25. The stormwater runoff flow calculated from a 1-hour 100-year storm under existing conditions was 1.64 cfs. The flow increased to 1.82 cfs under the proposed future conditions. The sensitivity analysis results also showed that the peak discharge flow still increased by less than 1 cfs from existing to proposed future conditions. For full tables of the runoff calculations see Appendix C.

3.1.5 Discussion of Hydrologic, Hydraulic and Other Analysis Methodologies Used in the Report.

3.1.5.1 On Site Drainage

According to the City of Sedona Land Development Code, stormwater storage is required either when the development is 1 acre or larger or when the post-development flow will exceed pre-development flow by ≥ 1 cfs. Although the runoff calculation results determined the increase in flow for all storm intensities were less than 1 cfs (Table 3-2), retention basins were still included in the design.

The Rational Method calculations were used to calculate the runoff volume for the existing and proposed future conditions. The excess runoff for the proposed future conditions compared to the existing conditions was then calculated in order to determine the retention volume required. Taking into account the retention volume that will be provided by the proposed SW and N retention basins, no extra retention volume would be required to adequately manage stormwater runoff from any of the storm frequencies calculated for the 1-hour or 2-hour duration. The results are shown in Table 3-3 below.

Table 3-3 Retention Basin Calculations

Storm Frequency	Inch in 1 hr.	Exist Cndts	Project Cndts	Increase	Required	Match Existing Cndts	Proposed Retention 1	Proposed Retention 2	Total	Storm Water Flow w Proposed Retention	% Reduction
(yr)		(cfs)	(cfs)	(cfs)	(cft)	(cft)	(cft)	(cft)	(cft)	(cfs)	%
2	0.86	0.18	0.36	0.18	0	657	450	1005	1455	0.00	100.0%
10	1.41	0.44	0.68	0.24	0	865	450	1005	1455	0.28	59.2%
25	2.1	0.99	1.22	0.22	0	811	450	1005	1455	0.81	33.2%
100	2.84	1.64	1.82	0.18	0	668	450	1005	1455	1.42	22.2%

3.1.5.2 Hydrology and Hydraulics in Adjacent Wash

A floodplain analysis for the unnamed wash was also conducted using USACE HEC-RAS floodplain modeling software for existing and proposed conditions. The analysis was completed for 100-year and 50-year storm events. Manning's roughness values of 0.040 and 0.050 were used for the main channel and overbanks, respectively. The analysis was also performed using a subcritical flow regime. The analyses showed no difference in watershed elevation between existing and proposed conditions for the 100-year or 50-year storm events. The floodplain analysis report performed by Lyon Engineering is included in Appendix B.

3.2 Specific Details

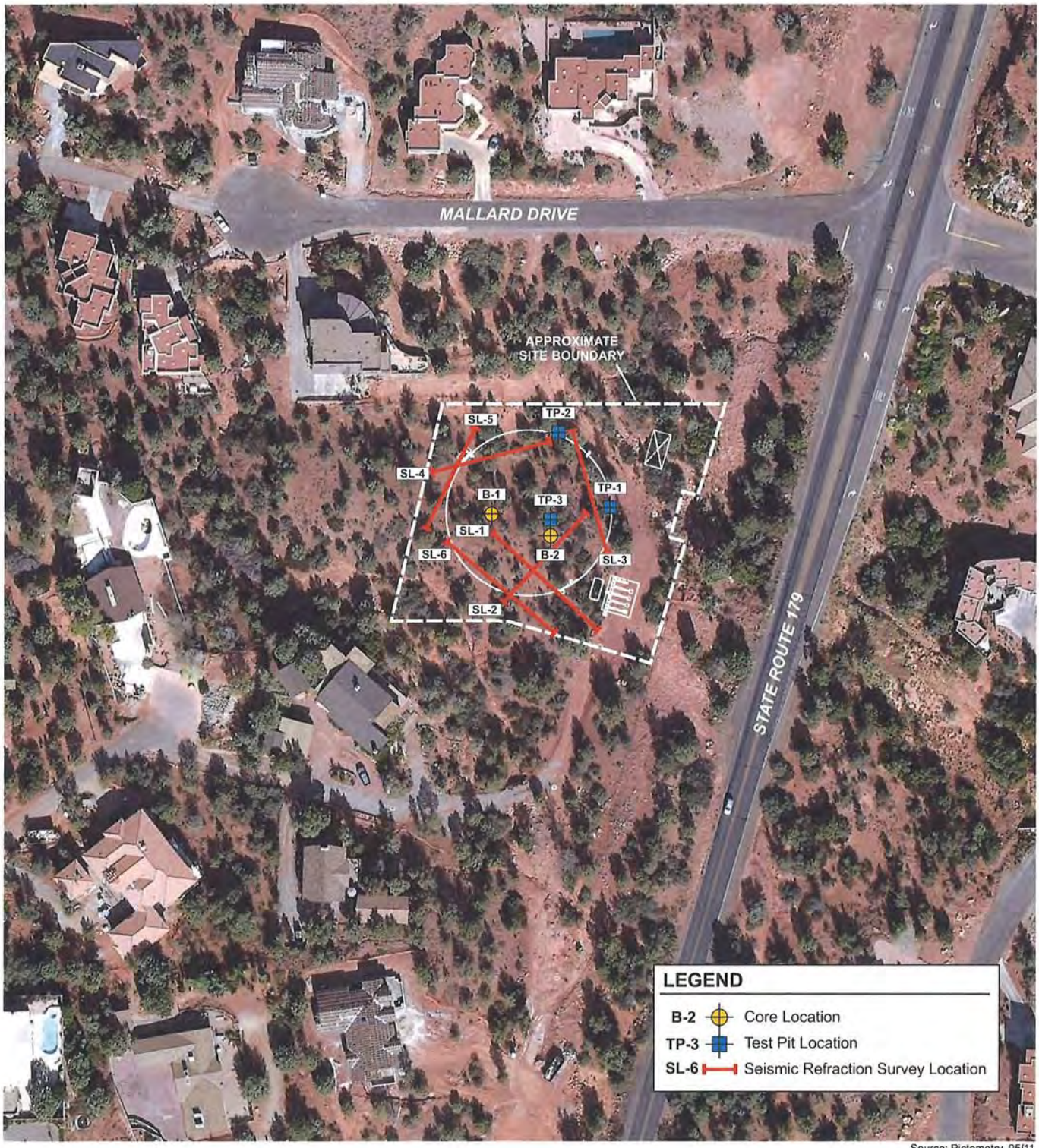
3.2.1 Discussion of drainage problems encountered and solutions at specific design points.

The site area is located outside the 100-year flood zone condition.

3.2.2 Discussion of detention storage and outlet design.

The retention basin located at the SW corner of the site has a retention volume of 450 cft. The retention located at the north side of the site will consist of an 8 ft manhole with a 20 ft depth for a total volume of 1005 cft. The manhole will include a pump system that will pump water out after the storm has recessed. The total retention volume between the areas is 1455 cft. The pumping capacity will be limited to 1.64 cfs to match the existing conditions.

Appendix A Geotechnical Report Logs



Source: Pictometry, 05/11.

N

0 120

Approximate Scale:
1 inch = 120 feet

Note: Dimensions, directions, and locations are approximate.

Ninyo & Moore

EXPLORATION LOCATIONS

FIGURE

2

PROJECT NO:	DATE:	GEOTECHNICAL EVALUATION CHAPEL HILLS WATER CAMPUS - MALLARD DRIVE AND STATE ROUTE 179 SEDONA, ARIZONA
603971001	10/16	

file no: 3971srl1016

Ninyo & Moore

TEST PIT LOG

CHAPEL HILLS WATER CAMPUS
MALLARD DRIVE AND STATE ROUTE 179
SEDONA, ARIZONA

PROJECT NO.	DATE
603971001	10/16

DATE EXCAVATED 11/13/12 TEST PIT NO. TP-1

GROUND ELEVATION -- LOGGED BY DM

METHOD OF EXCAVATION JD 310 SG Backhoe, 14" Bucket

LOCATION Sedona, Arizona

DEPTH (FEET)	SAMPLES: Bulk	SAMPLES: Driven	SAMPLES: Sand Cone	MOISTURE (%)	DRY DENSITY (PCF)	CLASSIFICATION U.S.C.S.	DESCRIPTION
0	■					GM	COLLUVIUM: Red, dry, very dense, fine to coarse silty GRAVEL.
	■			3.0	87.5		Backhoe refusal on bedrock.
2							Total Depth = 2 feet. (Refusal) Groundwater not encountered during excavation. Backfilled on 11/13/12 promptly after completion of excavating. Note: Groundwater, though not encountered at the time of excavating, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report.
4							
6							
8							
10							

SCALE = 1 in./2 ft.

FIGURE A-1

Ninyo & Moore

TEST PIT LOG

CHAPEL HILLS WATER CAMPUS
MALLARD DRIVE AND STATE ROUTE 179
SEDONA, ARIZONA

PROJECT NO.	DATE
603971001	10/16

DATE EXCAVATED 11/13/12 TEST PIT NO. TP-2

GROUND ELEVATION -- LOGGED BY DM

METHOD OF EXCAVATION JD 310 SG Backhoe, 14" Bucket

LOCATION Sedona, Arizona

DEPTH (FEET)	SAMPLES: Bulk	SAMPLES: Driven	SAMPLES: Sand Cone	MOISTURE (%)	DRY DENSITY (PCF)	CLASSIFICATION U.S.C.S.	DESCRIPTION
0	■	■				SM	COLLUVIUM: Red, dry to damp, medium dense, silty SAND; few fine to coarse gravel.
	■						Backhoe refusal on bedrock.
2							Total Depth = 2 feet. (Refusal) Groundwater not encountered during excavation. Backfilled on 11/13/12 promptly after completion of excavating.
4							Note: Groundwater, though not encountered at the time of excavating, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report.
6							
8							
10							

SCALE ~ 1 in./2 ft.

FIGURE A-2

Ninyo & Moore

TEST PIT LOG

CHAPEL HILLS WATER CAMPUS
MALLARD DRIVE AND STATE ROUTE 179
SEDONA, ARIZONA

PROJECT NO.	DATE
603971001	10/16

DATE EXCAVATED 11/13/12 TEST PIT NO. TP-3

GROUND ELEVATION -- LOGGED BY DM

METHOD OF EXCAVATION JD 310 SG Backhoe, 14" Bucket

LOCATION Sedona, Arizona

DEPTH (FEET)	SAMPLES: Bulk	SAMPLES: Driven	SAMPLES: Sand Cone	MOISTURE (%)	DRY DENSITY (PCF)	CLASSIFICATION U.S.C.S.	DESCRIPTION
0	■					GM	COLLUVIUM: Red, dry to damp, very dense, fine to coarse silty GRAVEL.
	■	■		2.7	112.1		
2	■						
							Backhoe refusal on bedrock.
4							Total Depth = 3.5 feet. (Refusal) Groundwater not encountered during excavation. Backfilled on 11/13/12 promptly after completion of excavating. Note: Groundwater, though not encountered at the time of excavating, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report.
6							
8							
10							

SCALE = 1 in./2 ft.

FIGURE A-3

DATE DRILLED 10/06/16 CORE NO. B-1

GROUND ELEVATION 4,194'± (MSL) SHEET 1 OF 1

METHOD OF DRILLING Core Rig D-120 DRILLER D&S Drilling, Inc.

BASELINE STATION N/A LATERAL OFFSET N/A

SAMPLED BY DCW LOGGED BY DCW REVIEWED BY FAR

DEPTH (feet)	Samples: Driven	BLOWS/FOOT	INTERVAL CORED (feet)	RECOVERY (%)	RQD (%)	DRILLING RATE (minutes per ft.)	FRACTURE DIP (degrees)	SYMBOL	CLASSIFICATION U.S.C.S.	DESCRIPTION/INTERPRETATION
0									GP	COLLUVIUM: Dry, dense, fine to coarse GRAVEL with sand; trace silty.
										SCHNEBLY HILL FORMATION: Reddish brown; moist; soft; highly weathered SANDSTONE; very intensely fractured.
										No recovery; sandstone clast in shoe.
10										
			5	80	63	11				@ 11' to 16': Reddish brown; moist; moderately soft; moderately weathered; intensely to moderately fractured.
			5	95	92	10				@ 16' to 21':Reddish brown; moist; moderately hard; moderately weathered; moderately to slightly fractured.
20										
			5	100	95	7				@ 21' to 26': Reddish brown; moist; moderately hard; moderately weathered; slightly fractured.
			5	90	70	5				@ 26' to 31': Reddish brown, moist, moderately hard; slightly weathered; slightly fractured.
30										

Total Depth = 31 feet.
Groundwater not encountered during drilling.
Backfilled on 10/06/16 shortly after completion of drilling.

Notes:
Groundwater, though not encountered at the time of drilling, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report.

The ground elevation shown above is an estimation only. It is based on our interpretations of published maps and other documents reviewed for the purposes of this evaluation. It is not sufficiently accurate for preparing construction bids and design documents.

Ninyo & Moore

CORE LOG

MALLARD DRIVE AND HIGHWAY 179
SEDONA, ARIZONA

PROJECT NO.	DATE	FIGURE
603971001	10/16	A-4

DATE DRILLED 6 CORE NO. B-2

GROUND ELEVATION 4,194'± (MSL) SHEET 1 OF 1

METHOD OF DRILLING Core Rig D-120 DRILLER 4,194'± (MSL)

BASELINE STATION N/A LATERAL OFFSET N/A

SAMPLED BY DCW LOGGED BY DCW REVIEWED BY FAR

DEPTH (feet)	Samples: Driven	BLOWS/FOOT	INTERVAL CORED (feet)	RECOVERY (%)	RQD (%)	DRILLING RATE (minutes per ft.)	FRACTURE DIP (degrees)	SYMBOL	CLASSIFICATION U.S.C.S.	DESCRIPTION/INTERPRETATION
0									GP	COLLUVIUM: Reddish brown, dry, dense, fine to coarse GRAVEL with sand.
										SCHNEBLY HILL FORMATION: Reddish brown; moist; soft; high weathered SANDSTONE; very intensely fractured.
10										No recovery; sandstone clast in shoe.
			5	40	47	3				@ 16' to 22': Reddish brown; moist; moderately hard; slightly weathered; moderately to slightly fractured.
20			5	90	85	5				@ 22' to 27':
			3	20	17	4				@ 27' to 30': Reddish brown, moist, moderately hard; moderately weathered; intensely to moderately fractured.
30										Total Depth = 30 feet. Groundwater not encountered during drilling. Backfilled on 10/06/16 shortly after completion of drilling. Notes: Groundwater, though not encountered at the time of drilling, may rise to a higher level due to seasonal variations in precipitation and several other factors as discussed in the report. The ground elevation shown above is an estimation only. It is based on our interpretations of published maps and other documents reviewed for the purposes of this evaluation. It is not sufficiently accurate for preparing construction bids and design documents.

Ninyo & Moore

CORE LOG

MALLARD DRIVE AND HIGHWAY 179
SEDONA, ARIZONA

PROJECT NO.	DATE	FIGURE
603971001	10/16	A-5

Appendix B Floodplain Analysis/FEMA Flood Insurance Rate Map (FIRM)

(as separate attachment)

Appendix C Runoff Calculations

Yavapai County Drainage Policies & Standards	V=C(P/12)A
2 Yr- 1 Hr Storm Rainfall Depth, inch	0.86

Sedona Precipitation Frequency Estimates

Existing						
Description - Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.20	0.02	0.00	63
Grass and Brush - Area 2	41,338	0.95	0.20	0.16	0.01	593
Pavement & Rooftopes						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.20**	**0.18**	**0.02**	**656**

Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.20	0.02	0.00	63
Grass and Brush - Area 2	20,356.84	0.47	0.20	0.08	0.01	292
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.20	0.01	0.001	41
Pavement & Rooftopes						
Roadway/Concrete Pads	360	0.01	0.88	0.01	0.001	23
Reservoir	7,186	0.16	1.00	0.14	0.012	515
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.10	0.01	380
Total	**45,738**	**1.05**	**0.40**	**0.36**	**0.030**	**1,313**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**657**
Excess Runoff (Retention Volume Required, cft)						**657**

Yavapai County Drainage Policies & Standards	V=C(P/12)A	
10 Yr- 1 Hr Storm Rainfall Depth, inch	1.41	Sedona Precipitation Frequency Estimates

Existing						
Description - Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.30	0.04	0.00	155
Grass and Brush - Area 2	41,338	0.95	0.30	0.40	0.03	1,457
Pavement & Rooftopes						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.30**	**0.44**	**0.0**	**1,612**

Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.30	0.04	0.00	155
Grass and Brush - Area 2	20,357	0.47	0.30	0.20	0.02	718
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.30	0.03	0.00	100
Pavement & Rooftopes						
Roadway/Concrete Pads	360	0.01	0.88	0.01	0.001	37
Reservoir	7,186	0.16	1.00	0.23	0.019	844
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.17	0.01	623
Total	**45,738**	**1.05**	**0.46**	**0.68**	**0.06**	**2,477**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**865**
Excess Runoff (Retention Volume Required, cft)						**865**

Yavapai County Drainage Policies & Standards	V=C(P/12)A
25 Yr- 1 Hr Storm Rainfall Depth, inch	2.1

Sedona Precipitation Frequency Estimates

Existing						
Description - Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.45	0.10	0.01	347
Grass and Brush - Area 2	41,338	0.95	0.45	0.90	0.07	3,255
Pavement & Rooftopes						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.45**	**0.99**	**0.1**	**3,602**

Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.45	0.10	0.01	347
Grass and Brush - Area 2	20,357	0.47	0.45	0.44	0.04	1,603
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.45	0.06	0.01	223
Pavement & Rooftopes						
Roadway/Concrete Pads	360	0.01	0.88	0.02	0.001	55
Reservoir	7,186	0.16	1.00	0.35	0.029	1,258
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.26	0.02	927
Total	**45,738**	**1.05**	**0.55**	**1.22**	**0.10**	**4,413**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**811**
Excess Runoff (Retention Volume Required, cft)						**811**

Yavapai County Drainage Policies & Standards	V=C(P/12)A	
100 Yr- 1 Hr Storm Rainfall Depth, inch	2.84	City of Sedona Precipitation Frequency Estimates

Existing						
Description – Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.55	0.16	0.01	573
Grass and Brush - Area 2	41,338	0.95	0.55	1.48	0.12	5,381
Pavement & Rooftops						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.55**	**1.64**	**0.1**	**5,954**

Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.55	0.16	0.01	573
Grass and Brush - Area 2	20,357	0.47	0.55	0.73	0.06	2,650
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.55	0.10	0.01	369
Pavement & Rooftops						
Roadway/Concrete Pads	360	0.01	0.88	0.02	0.002	75
Reservoir	7,186	0.16	1.00	0.47	0.039	1,701
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.35	0.03	1,254
Total	**45,738**	**1.05**	**0.61**	**1.82**	**0.15**	**6,622**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**668**
Excess Runoff (Retention Volume Required, cft)						**668**

Yavapai County Drainage Policies & Standards	V=C(P/12)A	
100 Yr- 1 Hr Storm Rainfall Depth, inch	2.84	Sedona Precipitation Frequency Estimates

Existing						
Description - Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.70	0.20	0.02	729
Grass and Brush - Area 2	41,338	0.95	0.70	1.89	0.16	6,848
Pavement & Rooftopes						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.70**	**2.09**	**0.2**	**7,577**

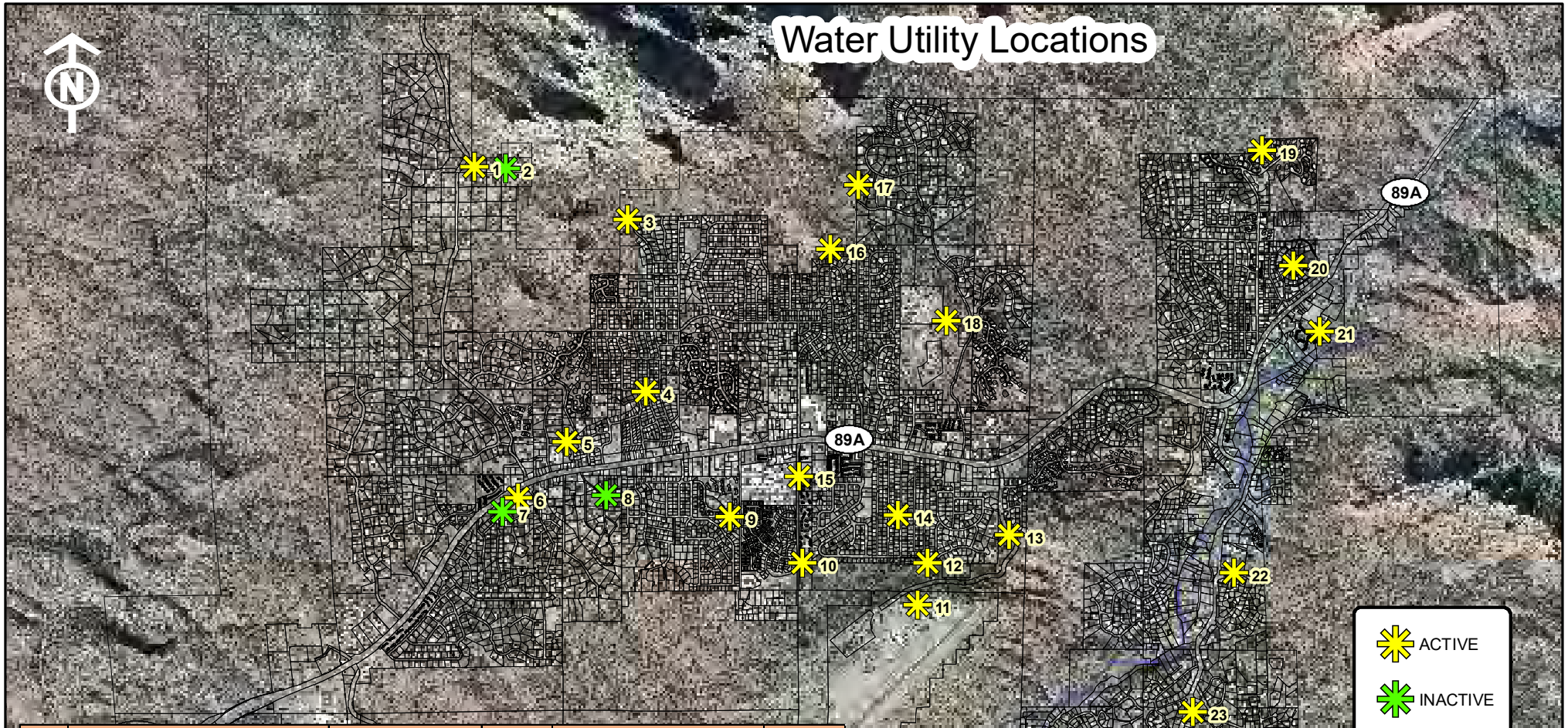
Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.70	0.20	0.02	729
Grass and Brush - Area 2	20,357	0.47	0.70	0.93	0.08	3,372
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.70	0.13	0.01	470
Pavement & Rooftopes						
Roadway/Concrete Pads	360	0.01	0.88	0.02	0.002	75
Reservoir	7,186	0.16	1.00	0.47	0.039	1,701
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.35	0.03	1,254
Total	**45,738**	**1.05**	**0.70**	**2.09**	**0.17**	**7,601**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**24**
Excess Runoff (Retention Volume Required, cft)						**24**

Yavapai County Drainage Policies & Standards	V=C(P/12)A	
100 Yr- 1 Hr Storm Rainfall Depth, inch	2.84	Sedona Precipitation Frequency Estimates

Existing						
Description - Existing	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.25	0.07	0.01	260
Grass and Brush - Area 2	41,338	0.95	0.25	0.67	0.06	2,446
Pavement & Rooftopes						
Roadway/Concrete Pads	0	0.00		0.00	0.000	0
Reservoir	0	0.00		0.00	0.000	0
Reservoir 10 ft backfill ring						
Total	**45,738**	**1.05**	**0.25**	**0.75**	**0.1**	**2,706**

Future						
Description - Proposed	**Area, sqft**	**Area, acres**	**C - Value**	**Peak Discharge, cfs**	**Runoff Volume, acre-ft**	**Runoff Volume, cft**
Grass and Brush - Area 1	4,400	0.10	0.25	0.07	0.01	260
Grass and Brush - Area 2	20,357	0.47	0.25	0.33	0.03	1,204
Hillslope Sonoran Desert - Landscaped area above reservoir	2,838	0.07	0.25	0.05	0.00	168
Pavement & Rooftopes						
Roadway/Concrete Pads	360	0.01	0.88	0.02	0.002	75
Reservoir	7,186	0.16	1.00	0.47	0.039	1,701
Reservoir 10 ft backfill ring	10,598	0.24	0.50	0.35	0.03	1,254
Total	**45,738**	**1.05**	**0.43**	**1.28**	**0.11**	**4,662**
Excess Runoff - Area 1 (Retention Volume Required, cft)						**0**
Excess Runoff - Area 2 (Retention Volume Required, cft)						**1,956**
Excess Runoff (Retention Volume Required, cft)						**1,956**

Water Utility Locations



ID	TYPE	SITE ADDRESS	STATUS	OWNER	PARCEL
1	REDCLIFF WATER STORAGE TANK & BOOSTER	1475 DRY CREEK ROAD	ACTIVE	ARIZONA WATER COMPANY	408-22-019
2	WELL SITE / ROSEMEAD PROPERTY	1400 LIZARD HEAD COURT	INACTIVE	ARIZONA WATER COMPANY	408-22-017
3	HARMONY HIGH PARK WATER STORAGE TANK & BOOSTER	1045 ANDANTE DRIVE	ACTIVE	ARIZONA WATER COMPANY	408-22-041B
4	HARMONY HILL #12 WELL SITE & TREATMENT	2645 LYRIC DRIVE	ACTIVE	ARIZONA WATER COMPANY	408-03-063
5	SOUTHWEST CENTER WELL SITE & TREATMENT	25 SINAGUA DRIVE	ACTIVE	ARIZONA WATER COMPANY	408-24-327
6	RAINBOW WELL SITE & TREATMENT	3225 W STATE ROUTE 89A	ACTIVE	ARIZONA WATER COMPANY	408-11-085
7	WELL SITE	10 PINON DRIVE	INACTIVE	CITY OF SEDONA	408-11-043
8	CAROL CANYON WELL SITE	110 CAROL CANYON DRIVE	INACTIVE	ARIZONA WATER COMPANY	408-09-002A
9	WILLIAMS WELL SITE #7 & TREATMENT	345 SHELBY DRIVE	ACTIVE	ARIZONA WATER COMPANY	408-28-017
10	WELL SITE	680 SUNSET DRIVE	ACTIVE	OAK CREEK WATER COMPANY	408-26-075A
11	WATER STORAGE TANK	995 AIRPORT ROAD (AIRPORT)	ACTIVE	OAK CREEK WATER COMPANY	408-27-001A
12	WATER STORAGE TANK	671 PANORAMA BLVD	ACTIVE	OAK CREEK WATER COMPANY	408-08-017
13	BOOSTER PUMP	TBD	ACTIVE	OAK CREEK WATER COMPANY	408-26-429
14	WELL SITE	252 OAK CREEK BLVD	ACTIVE	OAK CREEK WATER COMPANY	408-26-053
15	SUNSET BOOSTER EMERGENCY INTERCONNECT	ROW - SUNSET DRIVE	ACTIVE	ARIZONA WATER CO & OAK CREEK WATER CO	800-16-003V
16	SEDONA WEST WATER STORAGE TANK & BOOSTER	1870 FABULOUS TEXAN WAY	ACTIVE	ARIZONA WATER COMPANY	408-05-056
17	SHADOWROCK WATER STORAGE TANK	400 VISTA GRANDE COURT	ACTIVE	ARIZONA WATER COMPANY	408-22-259A
18	CARRUTH YARD	950 SOLDIERS PASS ROAD	ACTIVE	ARIZONA WATER COMPANY	408-25-341A
19	JORDAN PARK WATER STORAGE TANK & BOOSTER	35 THOMPSON TRAIL	ACTIVE	ARIZONA WATER COMPANY	401-04-002
20	UPTOWN WATER STORAGE TANK	570 NORBIE ROAD	ACTIVE	ARIZONA WATER COMPANY	401-14-077
21	WELL SITE #9	100 ART BARN LANE	ACTIVE	ARIZONA WATER COMPANY	401-09-002
22	WELL SITE #2	52 CANYON DRIVE	ACTIVE	ARIZONA WATER COMPANY	401-22-029
23	BROKEN ARROW WELL SITE & TREATMENT	75 MORGAN ROAD	ACTIVE	ARIZONA WATER COMPANY	401-24-007A
24	PROPOSED WATER TANK SITE	55 BELL ROCK TRAIL	PENDING	ARIZONA WATER COMPANY	401-33-031
25	SKY MOUNTAIN WELL SITE & BOOSTER	80 TIP TOP LANE	ACTIVE	ARIZONA WATER COMPANY	408-15-055
26	WELL SITE / ROSEMEAD PROPERTY	27 BELL ROCK DRIVE (ROW)	INACTIVE	ARIZONA WATER COMPANY	401-35-091

The City of Sedona makes no warranties, expressed or implied, with respect to the information shown in this table or on the map.

Development Standards Checklist

Land Development Code Article 9

PZ17-00001 (DEV) Arizona Water Company Tank Facility

City Of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

Article 9 of the Sedona Land Development Code contains specific Development Standards applicable to various commercial projects. This Article sets the minimum criteria for review and approval of all new construction and renovation proposals by the City's Community Development Department and Planning & Zoning Commission. Applicants of proposed development projects must demonstrate compliance with these development standards.

Review Date: August 14, 2018

Reviewer: Warren Campbell, Assistant Director

Color Coding	Full Compliance	Partial Compliance	Non-Compliance	Not Applicable

Development Review approval is required for this project as it is a nonresidential structure that exceeds 2,000 square feet of gross floor area. Due to the project's location within a single-family residential zoning district, the height and massing standards for single-family residential buildings and structures are used in this evaluation (LDC 903.01).

903 Height Regulations

903.01 Height and Massing – Single-Family Residential Buildings and Structures

903.01.A Overall Building Height

Evaluation:

(1a) If only the building, and not the water tank, is taken into account, the highest point at natural grade within the building footprint is 4186.5, which means that the maximum building elevation height is 4208.5. If the entire water tank structure is taken into account, the highest point at natural grade is 4189.5, making the maximum building elevation 4211.5 At its tallest point, the proposed building is at 4204.

(1b) The northwest corner of the middle section of the building (Chemical Room) is 23 feet above natural grade and the northernmost portion of the northern section of the building (Pump Room) is 24 feet above natural grade. These heights may be accounted for through the application of alternate standards.

(2) Small areas of rugged terrain were not used to increase or decrease heights. The wash that runs through the southwestern corner of the site was taken into account when evaluating heights.

(3) The lowest point at natural grade adjacent to the building exterior is 4176. The highest parapet is 4204, for an overall height of 28.

(4a) Alternate standards are needed for the proposed heights. See evaluation of alternate standards under Section 905.

(4b) No sloped roofs are proposed.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

903.01.B Required Massing

Evaluation: The building is greater than 2,000 square feet, so 3 masses are required in both plan and elevation view. Plan view masses are provided through two 4-foot offsets in the western side of the building (combined for an 8-foot offset) and two 3-foot offsets on the eastern side of the building (combined for a 6-foot offset), creating three masses in plan view. Elevation view masses are provided by varying the heights of the parapets. Three separate parapet heights are provided – 4200, 4202, and

4204. If the water tank structure is considered, the building would have an additional mass in both plan and elevation view.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

903.01.C Exposed Mass Heights

Evaluation: The largest unbroken height for the building is 18 feet. As there are no exterior walls with an unbroken height of greater than 22 feet, this section does not apply.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

903.04 Chimney Mass

Evaluation: There are no chimney masses proposed.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

903.05 Retaining Walls

Evaluation: There are a total of three (3) retaining walls proposed along the northern side of the water tank. The tallest retaining wall is 5 feet from finish grade to the top of the wall. The overall cumulative height of the retaining walls is 10 feet based on finish grade and 12 feet based on natural grade. There is a minimum five (5) foot offset between each retaining wall and the area between the walls will be planted with various shrubs (5 gallon and 15 gallon sizes) and trees.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

903.06 Posts and Masonry Piers

Evaluation: There are no posts or masonry piers that would be subject to additional restrictions as outlined in this section.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

903.07 Walls and Fences

Evaluation: Small portions of the retaining walls extend into the setback along the western property line. These portions of the retaining walls vary from 3- 4 feet in heights, which is permissible, as this is not considered a front or street side yard.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

903.08 Towers and Antennas

Evaluation: No towers or antennas are proposed.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

903.09 Roof Mounted Screening

Evaluation: No roof mounted equipment is proposed. All equipment will be housed within the proposed structure.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

903.10 Flagpoles

Evaluation: No flagpoles are proposed.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

904 Color

904.01 Exterior Color Requirements

Evaluation: The applicant has proposed a palette of four (4) different colors. Based on the required alternate standards, the maximum light reflectance value permitted is 22%. All colors comply with this LRV except proposed exterior paint color 3, Tnemec Kumquat 70GN. In order to address this, Staff recommends a condition of approval limiting all exterior building colors to a maximum LRV of 22%.

Compliance: ☐ *Yes* ☒ *Partial* ☐ *No* ☐ *Not Applicable*

905 Alternate Standards					
	905 Alternate Standards				
		Evaluation: The highest point of the building above natural grade occurs on the north elevation. At this point, the building is 24 feet above natural grade. In order to account for this height, a total of 4 credit points are needed under alternate standards. Based on Staff's evaluation, the building would not qualify for any points under unrelieved building planes, therefore, all points must be obtained through paint colors. In order to obtain 4 credit points, the maximum allowable light reflectance value (LRV) is 22%. As one of the proposed exceeds 22% LRV, one of the recommended conditions of approval is a reduction of the maximum LRV to 22%.			
		Compliance:	☐ *Yes*	☒ *Partial*	☐ *No*	☐ *Not Applicable*
906 Materials					
	906.01 Exterior Materials				
		Evaluation: No mirrored or reflective surfaces or metallic surfaces are proposed. The proposed materials will not create a high contrast with surrounding areas.			
		Compliance:	☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
	906.02 Driveways				
		Evaluation: The material proposed for the driveway and parking surface is Sedona Brown concrete. No uncolored concrete will be used.			
		Compliance:	☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
907 Screening Requirements					
	907.01 Equipment Screening				
		Evaluation: All mechanical equipment will be enclosed within the proposed buildings. No additional screening is required.			
		Compliance:	☐ *Yes*	☐ *Partial*	☐ *No*	☒ *Not Applicable*
	907.02 Screening of Uses				
		Evaluation: No additional screening due to adjacent uses or zoning districts is required.			
		Compliance:	☐ *Yes*	☐ *Partial*	☐ *No*	☒ *Not Applicable*
	907.03 Additional Requirements				
		Evaluation: No additional requirements listed in this section are required.			
		Compliance:	☐ *Yes*	☐ *Partial*	☐ *No*	☒ *Not Applicable*
908 Utilities					
	908 Utilities				
		Evaluation: All new utilities will be underground.			
		Compliance:	☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
909 Trees					
	909 Trees				
		Evaluation: New trees will be planted as required. The trees shown on the landscape plan meet the tree requirements for this building.			
		Compliance:	☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
910 Landscaping					
	910.05 General Landscape Requirements and Regulations				
		Evaluation: (A) All parts of the site not used for buildings, parking, and driveways are landscaped.			

(B) No artificial trees are proposed.

(C) All plants proposed are included on the Sedona Plant List as native plants.

(D) 90% of the trees shown on the submitted Landscape Plan are evergreen species and 100% of the evergreen trees are native species. 90% of the shrubs shown are evergreen, native species. This does not include the existing, native trees that will be protected in place.

(E, F, G, H, I) The landscaped areas, as designed, are in compliance with code requirements.

(J) No landscaping within the public right-of-way is proposed.

(K) Existing vegetation outside of the area proposed for construction will be preserved.

(L) The only street frontage is along State Route 179. This frontage is approximately 225 feet. However, approximately 90 feet of the frontage is being left in its natural condition along the street frontage. The remaining 135 feet of frontage would require 7 trees and 21 shrubs. This area of the site shows 7 trees and 40 shrubs.

(M) The proposed parking area is not large enough or close enough to any property line to require landscaping. However, the area between the parking area and property lines is landscaped with trees and shrubs.

(N) Sufficient landscaping is provided around the building perimeter.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

911 Outdoor Lighting

911.05 Outdoor Lighting Standards

Evaluation: A maximum of 103,000 lumens are permitted. The applicant has submitted a lighting plan showing a total of 23,157 lumens (22.5% of allowance). All fixtures are fully shielded (dark sky compliant).

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

912 Off-Street Parking and Loading Requirements and Standards

912.03 Parking Spaces Required

Evaluation: All parking is provided on-site. No off-site parking or reductions have been requested.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

912.04 Schedule of Off-Street Parking Requirements

Evaluation: The proposed use of a water tank is not listed in the City's parking requirements. However, similar uses in other jurisdictions have parking requirements that generally require 1 space per employee or as needed for the facility. Given that the applicant has estimated the number of trips to the facility as being 1 per week for employees and 1 per month for delivery vehicles, Staff believes the proposed provision of three (3) parking spaces will be adequate.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

912.05 Site Development Standards for Off-Street Parking Areas

Evaluation: The design of the parking area meets the requirements for parking lot design.

Compliance: ☒ *Yes* ☒ *Partial* ☐ *No* ☐ *Not Applicable*

912.07 Off-Street Loading Requirements

Evaluation: There is sufficient space in the parking area to allow for delivery trucks to access the site.

Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

912.08 Bus and Large Vehicle Parking

Evaluation: As the parking lot provides fewer than 50 spaces, no bus or large vehicle parking is required.

Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*

	912.09 Accessible Parking
	Evaluation: One (1) ADA parking space is provided.
	Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
Other Considerations:	

Design Review Manual Checklist

Land Development Code Article 10

PZ17-00001 (DEV) Arizona Water Company Tank Facility

City of Sedona
Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

The Design Review Manual (DRM) is the City of Sedona's acceptable standard and guiding policy document for all development proposals in the City. The DRM, along with the Land Development Code (LDC), forms the basis for the review and approval of all new construction and renovation proposals by the City's Community Development Department and Planning and Zoning Commission. Applicants of proposed development projects must demonstrate "good faith intent" to comply with the Manual.

Review Date: August 14, 2018

Reviewer: Warren Campbell, Assistant Director

Color Coding	Full Compliance	Partial Compliance	Non-Compliance	Not Applicable

2.0 Site Development		
2.2 Site design		
	Sensitivity to natural features	
		Evaluation: The building is located at the lowest elevation of the site in order to minimize visibility from surrounding properties. The areas not proposed for development will be left in their natural state and the areas proposed for development. With the exception of the areas with buildings, driveways, and parking areas, will be restored to preconstruction conditions. Rather than one large retaining wall, multiple, smaller retaining walls are proposed in order to follow the natural topography to the greatest extent possible. Finish floor elevations will transition with the grade of the site. The existing access easement to the site has been previously disturbed and will be used for the driveway into the site.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Arrangement of spaces	
		Evaluation: The existing shared access drive will be used to access the site. No new curb cuts are proposed. The water tank has been designed with 25 foot setbacks on all sides (greater than required by the zoning district), with landscaping provided within the setbacks to screen the water tank from adjacent properties. Drainage facilities have been designed in conjunction with the proposal.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Viewshed Analysis	
		Evaluation: Due to the function of the site as a water tank, views from the site were not considered important to plan around. The site itself is located at a lower elevation than many of the lots around it and the water tank is located at a low spot on the site. Further, the water tank is proposed to be located primarily underground, further reducing the visual impacts of this lot on surrounding properties.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Sensitivity to historical sites, structures and roadways	
		Evaluation: There are no historical sites, structures, or roadways on this property.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
2.3 Drainage Way Design		
	Drainage ways, Stormwater detention, Soil Erosion, & Sedimentation Control	
		Evaluation: The site has been designed to preserved the existing drainage ways to the maximum extent feasible. All new retention basins and drainage ways have been designed in compliance with City

		requirements and the recommendations of the DRM. There is a 100-year floodplain running across the northeast corner of the site. The water tank has been placed entirely outside of that floodplain.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
2.4 Building Placement and Orientation		
	Relationship to adjacent developments	
		Evaluation: The property shares an access easement with the surrounding properties. This easement is being used for access to the water tank and will remain open/available as required for neighboring properties. The visible portion of the water tank accessory facilities has been designed to meet the City's residential standards in order to fit in with the context of the area. Further, the property has chosen to use a 25 foot setback to all property lines (required setbacks are 25 feet for the front and rear, 10 feet for the sides) and provide landscaping within the setback areas to further buffer and screen the water tank from adjacent homes.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Relationship to public realm	
		Evaluation: The site is designed as a water tank and public access is not anticipated. Therefore, standards in the DRM that recommend that building entries be easily identifiable and that the development have a strong connection to the public realm are not applicable.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
	Corner sites	
		Evaluation: This site is not a corner site.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
	View considerations	
		Evaluation: Due to the function of the site as a water tank, views from the site were not considered important to plan around. The site itself is located at a lower elevation than many of the lots around it and the water tank is located at a low spot on the site. Further, the water tank is proposed to be located primarily underground, further reducing the visual impacts of this lot on surrounding properties.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Relationship to topography	
		Evaluation: The building is located at the lowest elevation of the site in order to minimize visibility from surrounding properties. The areas not proposed for development will be left in their natural state and the areas proposed for development. With the exception of the areas with buildings, driveways, and parking areas, will be restored to preconstruction conditions. Rather than one large retaining wall, multiple, smaller retaining walls are proposed in order to follow the natural topography to the greatest extent possible. Finish floor elevations will transition with the grade of the site. The existing access easement to the site has been previously disturbed and will be used for the driveway into the site.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Climate considerations	
		Evaluation: As the site is not being planned for ongoing use, many of the climate considerations, such as where to place patios and courtyards, are not applicable to the project. However, significant vegetation is provided around the buildings and the buildings will be insulated to protect against summer heat gain and winter weather. No covered parking is provided, and based on the minimal anticipated use of the site, no covered parking is recommended.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
2.5 Linkage and Circulation		
	Relationship to Adjacent Development	
		Evaluation: The property shares an access easement with the surrounding properties. This easement is being used for access to the water tank and will remain open/available as required for neighboring properties.

		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Courtyards and Passages	
		Evaluation: The site is designed as a water tank and public access is not anticipated. Therefore, standards in the DRM that recommend that building courtyards be the focus of a site and further include recommendations for lively pedestrian spaces and courtyard edges, street furniture, and outdoor dining areas, are not applicable to this project.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
	Parking Lot Walkways	
		Evaluation: The proposal includes a total of three (3) parking spaces. Therefore, no crosswalks, parking lot pathways, or landscaped peninsula islands are proposed or required.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
	Vehicular and pedestrian connections	
		Evaluation: A vehicular connection is provided through this property to the property to the west, as required by the existing access easement. No other vehicular and pedestrian connections are proposed or required.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
2.6 Parking		
	Parking area design	
		Evaluation: The property proposes a total of three (3) parking spaces that will be located on top of the proposed water tank. No additional grading is needed for the parking area and the parking area provides sufficient back up and turn around area. The proposed landscaping around the perimeter of the site will screen the parking area from adjacent properties.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Parking structures	
		Evaluation: No parking structures are proposed.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
2.7 Exterior Lighting		
	General, Parking Area, and Exterior Wall & Building	
		Evaluation: The applicant has submitted examples of lighting for wall sconces and bollard lighting. The proposed fixtures meet the City's lighting requirements. A total of 103,000 lumens are permitted and 23,157 lumens are proposed (22.5% of allowance).
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
2.8 Signage		
	Design	
		Evaluation: No signs, other than those required by law, are proposed.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
	Location	
		Evaluation: No signs, other than those required by law, are proposed.
		Compliance: ☐ *Yes* ☐ *Partial* ☐ *No* ☒ *Not Applicable*
2.9 Building Equipment and Services		
	Service areas, loading zones and refuse enclosures	
		Evaluation: It is anticipated that this use will generate less refuse than a typical residential house. The site will have a residential refuse bin, stored inside the building, and will follow a residential refuse collection schedule.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Mechanical and electrical equipment	

		Evaluation: All mechanical equipment will be located within the building. Currently, no rooftop or other exterior equipment is anticipated, and no additional screening is required.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
2.10 Fences and Walls		
	Design	
		Evaluation: The property will not have exterior/property line fences. Retaining walls will be used within the site and all proposed walls are below the maximum height limits of the LDC. Retaining walls will be constructed with rock salvaged from the site. Further, landscaping will be integrated into the design of the retaining walls to soften their appearance and further reduce the visual impact.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
3.0 Architectural Character and Building Form		
3.1 Architectural Character and Style		
	Character and Style	
		Evaluation: The development has been designed to single family residential standards in order to be compatible with the surrounding neighborhood and properties. The dark colored stucco, flat roofs, and broken up building form will blend with the existing character of the neighborhood. As the property is proposed as a water tank, the building form was kept simple and extraneous detailing is not being proposed.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
3.2 Proportions and Scale		
	Proportion	
		Evaluation: The building has a horizontal emphasis to blend in with the surroundings and not draw unnecessary attention. There are no vertical elements. Based on the building's proposed location on the site, views from surrounding properties will not be impacted.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Scale	
		Evaluation: The scale of the building is compatible with the existing scale of the surrounding area, which contains a variety of residential developments.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
3.3 Building Massing		
	Building Massing	
		Evaluation: The building incorporates a variety of different masses, and complies with the massing requirements of the Land Development Code.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Horizontal Composition	
		Evaluation: The longest building walls, along the west and east elevations, contain offsets changes in direction.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Smaller Scale Components	
		Evaluation: The base of the building incorporates a mix of low walls and shrubs. The building was designed at the minimum size necessary for the intended purposes.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Visual Patterns	
		Evaluation: The building contains wall offsets and changes in direction to provide shadow relief and provide depth to the design. Due to the size, scale, and purpose of the building, additional visual patterns are not proposed or recommended.

		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Coherent Building Design	
		Evaluation: All sides of the building has been designed to the same architectural standard.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
3.4 Building Materials and Textures		
	Encouraged Materials and Methods of Use: Walls	
		Evaluation: The applicant is proposing to use stucco for all exterior walls, complying with the DRM's requirement to limit the number of different materials. The proposed material will be textured and comply with the City's color requirements. The proposed retaining walls will reuse salvaged rock from the site
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Encouraged Materials and Methods of Use: Roofs	
		Evaluation: The roof will be a flat roof with a gray finish that meets the City's color requirements. .
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Discouraged Exterior Finishes	
		Evaluation: No materials from the list of discouraged materials are proposed.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
	Encouraged Surface Materials	
		Evaluation: The applicant is proposing use of colored concrete for the vehicular access and parking areas.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
3.5 Color		
	General Properties, Specific Requirements, Other Conditions	
		Evaluation: The colors proposed comply with the City's color requirements, and are not bright or glossy in hue.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
3.6 Architectural Details		
	Architectural Details	
		Evaluation: Due to the size, scale, and intended purpose of the site, minimal architectural details have been incorporated into the design of the project. However, stonework is incorporated into the retaining walls. The architectural details are consistent with the DRM and LDC and none of the items listed as undesirable are included.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
3.7 Design for Climate and Energy Conservation		
	Climate and Energy Conservation	
		Evaluation: Due to the intended purpose of the site, no balconies or patios are provided. However, landscaping is provided around the building and will contribute to climate control.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*
4.0 General Landscape Character		
4.2 General Principles of Landscape Design		
	Preservation of Existing Vegetation and Topographic Features	
		Evaluation: The existing vegetation within the building envelope will be removed. The vegetation outside of the building envelope will be protected in place.
		Compliance: ☒ *Yes* ☐ *Partial* ☐ *No* ☐ *Not Applicable*

	Natural Landscaping				
		Evaluation: The landscaping plan proposes a variety of native species of trees and shrubs. All proposed plants are listed on the City's plant list as native species and over 90% of the plants proposed are evergreen.			
		Compliance: ☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
	Boundaries and Transitions				
		Evaluation: Landscaping is proposed around the entire building, providing a boundary for the site and a transition to the surrounding properties.			
		Compliance: ☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
	Landscape Continuity				
		Evaluation: The landscaping proposed is appropriate to this area of town and will integrate with the natural environment. All proposed plants are native species and over 90% of the plants are evergreen.			
		Compliance: ☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
	Other Design Principles				
		Evaluation: Landscaping is proposed on all sides of the site. In addition, landscaping is proposed between the various small retaining walls, anchoring the development to the site and surrounding environment.			
		Compliance: ☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
4.3 Plant Selection					
	Planting Design				
		Evaluation: The landscape plan includes a variety of sizes and types of trees, shrubs, and groundcover. All vegetation will be planted in the proper manner. Discouraged plants are not included.			
		Compliance: ☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
4.5 Other Landscape Elements and Features					
	Other Landscape Considerations				
		Evaluation: No water features are proposed. Walls have been integrated into the landscaping plans. Other considerations from this section will be taken into account when installing the landscaping.			
		Compliance: ☒ *Yes*	☐ *Partial*	☐ *No*	☐ *Not Applicable*
4.6 Outdoor Spaces					
	Plazas and Courtyards				
		Evaluation: Due to the intended purpose of the site (water tank), outdoor spaces are not included or recommended.			
		Compliance: ☐ *Yes*	☐ *Partial*	☐ *No*	☒ *Not Applicable*
	Streets and Parking Lots				
		Evaluation: Due to the size of the parking lot, additional landscaping is not required.			
		Compliance: ☐ *Yes*	☐ *Partial*	☐ *No*	☒ *Not Applicable*

City Of Sedona Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · www.sedonaaz.gov/cd

PZ17-00001 (CUP, DEV) AZ Water Tank
Current Planning Comments – 2nd Review
Reviewer: Cari Meyer, Senior Planner
(928) 203-5049; cmeyer@sedonaaz.gov

1. COMMENT: Please ensure that changes made based on the following comments are reflected on all applicable pages.
2. COMMENT: Various sections of the Sedona Land Development Code (SLDC) are referenced in these comments. The SLDC can be found online at http://www.codepublishing.com/AZ/Sedona/ldc.html.
3. Letter of Intent (LOI):
   a) Please include a section that addresses the considerations for Development Review (LDC 401.06) and the Findings for Conditional Use Permit Review (LDC 402.06).
   b) Please include a section that addresses how the project complies with Development Standards (LDC Article 9).
4. Site Plan:
   a) The highest point of the building above natural grade is the northwest corner of the Chemical Room. The parapet height is at an elevation of 4204 while the natural grade is at 4179.5, an overall height of 24.5 feet, 2.5 feet above the 22 foot limitation without alternate standards. For this height, the building will require a total of 5 points under alternate standards. Please refer to LDC Section 905 (Alternate Standards) and Table 9-G (Application of Alternate Standards to Commercial, Multifamily Residential and Public/Semi-Public Buildings or Structures) and provide an explanation of how this building will comply with alternate standard requirements. Please note the color currently proposed would not qualify for any points under alternate standards.
5. Elevations:
   a) Please provide scalable elevations for review. Due to the anticipated use of alternate standards, Staff must be able to review the elevations for the largest unrelieved building plane as described in LDC Section 905.B.2.
6. Exterior Materials Board: Physical Samples of all proposed materials and colors must be provided. Printouts are not acceptable as do not depict the true color of the selected materials.

City Of Sedona Community Development Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 282-1154 · Fax: (928) 204-7124

Long Range Planning Comments
Reviewer: Mike Raber, Senior Planner
PZ17-00001(CUP, DEV), AZ Water Co Tank
55 Bell Rock Trail, APN 401-33-031
February 15, 2017

Sedona Community Plan

The subject property lies within the Single-family Residential/Low Density designation in the Sedona Community Plan and the current zoning is RS-18b. The proposed use is not directly addressed in the Sedona Community Plan. However:

- The Community Plan's Parks, Recreation and Open Space Chapter, Policy #10, supports the preservation of open space top protect scenic vistas and areas along the highways.

- The Community Plan's Land Use Chapter, policy #5, supports the preservation of scenic views when considering new development and infrastructure.

Conclusion:
The Sedona Community Plan does not directly address standards for water and other utility infrastructure. The Land Development Code and the Conditional Use Permit review process are intended to address Community Plan policies such as the preservation of scenic views relative to new development. Staff believes that this proposal is taking steps to address these policies in their intent to place most of the water tank underground and to maintain the natural condition of the site as much as possible.

City of Sedona
Public Works Department
102 Roadrunner Drive Sedona, AZ 86336
(928) 204-7111 · Fax: (928) 282-5348; Ryan Mortillaro, EIT (928) 203-5091

PZ17-00001 (DEV)
AZ Water Tank (3rd Review)
8/6/18
8/13/2018

Engineering Comments

The following comments can be expected during the building permit phase:

1. Please provide an oil/water separation device for the drainage manhole.
2. The proposed concrete section of the road does not align with the existing road. Please re-align the existing road to connect to the new section.
3. Please show the existing roadway on sheet C-101.
4. Please delineate the 100-yr flood plain on sheet G-104.
5. Stormwater storage shall have a principal outlet of 12" diameter.
6. The natural drainage patterns at the southern portion of the driveway near the meter vault appears to be obstructed; please allow drainage to flow through.
7. The adjacent parcel to the west is labeled incorrectly and should be labeled APN 401-33-029N.
8. Show legal access to parcel 401-33-029N on the site plans. Per sheet G-104, the headwall and rip-rap encroaches the existing dirt road that appears to provide access to parcel 401-33-029N.
9. Please follow the City of Sedona Land Development Code in its entirety.
10. For projects involving grading of more than 5,000 cubic yards, a haul plan, a dust control plan, a topsoil reutilization plan, a stormwater pollution prevention plan, and a traffic control plan shall be required. Each must be acceptable to and approved by the City Engineer. (LDC 806.2.I)
11. Provide Final Grading and Drainage Plans. The Site Plan shall meet the requirements of LDC Section 803.
12. Provide the Final Drainage Report.
13. Applicant shall provide a Storm Water Pollution Prevention Plan. SWPPP measures shall be in place prior to the start of construction (LDC Article 8). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5).

SEDONA FIRE DISTRICT

2860 SOUTHWEST DRIVE • SEDONA, AZ 86336 • TEL: (928) 282-6800 • FAX: (928) 282-6857

February 6, 2017

Ms. Cari Meyer
Associate Planner, Current Planning
City of Sedona Community Development
City of Sedona
104 Road Runner Drive
Sedona, Arizona 86336

Dear Ms. Meyers:

A construction plan review has been completed for the project listed below.

Description:	Arizona Water – East Sedona Water Tank & Pump Station
Project Address:	55 Bell Rock Trl, Arizona 86336
SFD Occ. #:	ARIZ17
Case #:	PZ17-00001 (CUP, DEV)
APN:	401-33-031
SFD Permit #:	N/A
Proposed Work:	Water storage tank and pump station

Based on the submitted information the following comments shall be applicable.

1. Premises-identification shall be clearly posted prior to final occupancy. Numbers shall be visible and legible from the street. Number colors shall be contrasting to their background. Provide proper address numbers including suite numbers.

2. All buildings shall be provided with UL listed or equivalent portable fire extinguishers. Fire extinguishers shall be installed in accordance with the National Fire Protection Association's pamphlet #10, "**Standard for Portable Fire Extinguishers**" the 2002 edition. The travel distance to any fire extinguisher shall not exceed 75 feet from any point in a building. Extinguishers shall be classified at least 2A10BC or greater, containing at least 5 pounds of dry chemical agent. Units shall be serviced and tagged by a reputable fire extinguisher company prior to the unit being displayed for use. Provide a unit near each exit on each floor.

3. **Section 903.2:** All commercial buildings hereafter constructed shall be equipped with an approved automatic fire sprinkler system. Systems shall be installed in accordance with the National Fire Protection Association's pamphlet #13R, "**Standard for the Installation of Sprinkler Systems in Residential Occupancies up to and Including Four Stories in Height**" the 2002 edition. Plans, specifications and hydraulic calculations shall be submitted to this office for review prior to installation. A framing inspection will not be conducted until

a set of sprinkler plans is approved. **This installation requires a separate construction permit through this office.**

4. **Section 508.1:** An approved water supply capable of supplying the required fire-flow shall be provided. Fire hydrants shall be installed in accordance with the local water purveyor and as required by this office. Hydrants shall be situated on at least six-inch mains, eight-inch if dead-end.

5. **Section 506.1:** All buildings equipped with automatic fire sprinklers, fire alarms or commercial kitchen cooking fire suppression systems shall be provided with an approved KNOX key box. This box is available for online purchase through the Knox Company, http://www.knoxbox.com/store/Knox-Box-3200-Series.cfm. The minimum unit is a Knoxbox 3200 series.

These comments shall not be meant to exclude any applicable fire code requirements adopted by the Sedona Fire District or other regulatory agencies. The adopted fire code is based on the 2003 edition of the International Fire Code with amendments as approved by the Arizona State Fire Marshal.

All inspections required by the fire code shall be scheduled with this office including a final inspection upon completion of work. It is your responsibility to provide proof of fire inspections to the City of Sedona, Community Development Department, prior to a certificate of occupancy being issued. Copies of fire inspection reports are left on site with the requesting contractor.

If you have any questions concerning these comments please feel free to contact me at (928) 204-8934 or jdavis@sedonafire.org.

Sincerely,

for Davis

Jon Davis
Fire Marshal

Cc: City of Sedona
Community Development

John Snickers
Operation Superintendent
Arizona Water Company
Sedona Division
65 Coffee Pot Drive, Ste 7
Sedona AZ 86336

City of Sedona: Comment on Development Proposal

donotreply@sedonaaz.gov

Mon 4/30/2018 4:33 PM

To:Cari Meyer <CMeyer@sedonaaz.gov>; Warren Campbell <WCampbell@sedonaaz.gov>;

A new entry to a form/survey has been submitted.

Form Name:	Comments on Development Proposals
Date & Time:	04/30/2018 4:32 p.m.
Response #:	15
Submitter ID:	480
IP address:	166.3.3.118
Time to complete:	4 min. , 9 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. **Project Name:**
   Arizona Water Company Tank

2. **What are your comments, concerns, ideas, and suggestions about this project?**

   The Forest Service has provided a letter that indicates that it is unlikely the tanks would be considered on National Forest if this is denied since it is feasible on private lands. Please refer to the details in the letter sent to Audree Juhlin dated April 17, 2018.

3. **Your contact information**

Name:	Judy Adams
Mailing Address:	PO Box 20429, Sedona, AZ 86341
E-mail:	jadams05@fs.fed.us

4. **Would you like to receive notices about this project, such as public meeting dates?**

   (o) No

Thank you,
City of Sedona

United States Department of Agriculture
Forest Service
Coconino National Forest
Red Rock Ranger District
P.O. Box 20429
Sedona, AZ 86341
928-203-7500
Fax: 928-203-7539

File Code: 2720
Date: April 17, 2018

Audree Juhlin
Community Development Director, City of Sedona
102 Roadrunner Drive
Sedona, AZ 86336

Dear Ms. Juhlin

This letter is in response to Arizona Water Company's Water Tank proposed development, project PZ17-00001. I would like to clarify the Forest Service policies related to uses of national forest land for facilities such as water tanks so that this can be shared with your staff, Planning and Zoning Commission and City Council.

The Forest Service did not comment on this project originally since the project does not impact National Forest, however we were pleased to see that the water tank design incorporated comments that the forest had received when the water tanks were initially proposed on national forest lands back in 2010.

Forest Service policies are to authorize a use of national forest only if it cannot reasonably accommodated off National Forest lands. In 2010, the forest was willing to consider water tanks on the National Forest lands in Broken Arrow, the Chapel or Little Horse area only because the water company indicated a requirement for a gravity feed system that required an elevation only available on the forest. At that time, the forest received considerable concern from the community regarding the locations and potential impacts of these tanks on the forest. Many comments from the public suggested alternative methods including pumping, other locations, below grade tanks.

It appears the current water tank location being considered by the city has been designed to address concerns expressed by the public in 2010. Since the water company is willing to develop tanks that do not require the elevation associated with a gravity feed system, it is unlikely that the Forest Service would consider a proposed location on national forest lands as non-federal land can accommodate this use. In addition, we would expect any request for construction of a new water tank on the forest would generate extensive concerns from the community as what occurred in 2010.

We appreciate the effort the City and Arizona Water Company has made to find a suitable location off the National Forest for this type of community infrastructure and that provides needed services to the community while protecting the valuable resources of the National Forest.

Please contact Judy Adams at 928-203-7506 if you have questions or would like additional information about Forest Service policies.

Sincerely,

NICOLE BRANTON
District Ranger

cc: Arizona Water Company

From: Michelle McGeary <NOTVHS@aol.com>
To: Matthew Kessler <MKessler@sedonaaz.gov>
Date: 3/14/2017 2:59 PM
Subject: Re: Water Tank

Hello, Mr. Kessler.

Thank you for your prompt and courteous reply.

Some of the concerns we have are that this is a well-established, exclusively residential area. There are no mixed uses here. There are no businesses. There are no trailheads. There are no public parking areas. Despite AWC's best efforts to make the project fit into the surrounding environment, it will fail. A project of this magnitude simply does not belong in a small, residential community, particularly where there are many mixed-use communities near enough to meet AWC's stated needs.

I am concerned that many of our neighbors had no idea that this project was contemplated.

Moreover, I am at a loss as to who AWC consulted with, as they said they would, with regard to scheduling the date and location of the meeting, but it certainly was not us or anyone we know. We are about two lots away from the project. Who should they have consulted with, if not some of their closest would-be neighbors?

We were able to adjust our schedules to attend the meeting, and have since shared the meeting information with some of our neighbors. This should have been done by AWS, I would think. As I understand it, the Red Rock News will be running an article tomorrow. That is insufficient time for other interested members of the community to attend this meeting.

I may address other concerns at the meeting tomorrow. However, since you were kind enough to lend an ear, I thought I would take this opportunity to document a few of my concerns.

I look forward to meeting you in person tomorrow night.

Very truly yours,

Michelle Filippone McGeary

cc: David and Carole Hampton
Fran and Gilbert Williams

From: Larry Kane <LIKANE@msn.com>
To: Keith Self <Sedona@AZwater.com>, Matt Kessler <mkessler@sedonaaz.gov>, Rick Ruiz <rick.ruiz@zenviro.net>
CC: "Joe Vernier (4sedona@gmail.com)" <4sedona@gmail.com>, "Aaaron Rorstrom and Keverne Kaytrosh (aaron.rorstrom@capgemini.com)" <aaron.rorstrom@capgemini.com>, "Alfred and Gerry Beaudin (gerbeau1@msn.com)" <gerbeau1@msn.com>, "Belinda Batie(bbatie416@gmail.com)" <bbatie416@gmail.com>, "Beth and Mick Bivins (bethbsedona@gmail.com)" <bethbsedona@gmail.com>, "Bob andKatrina Alexander (builderbob2010@yahoo.com)" <builderbob2010@yahoo.com>, "Brian and Marilyn Painchaud(brian_painchaud@yahoo.com)" <brian_painchaud@yahoo.com>, "Brian and Marilyn Painchaud (marilyn.painchaud@yahoo.com)" <marilyn.painchaud@yahoo.com>, "Charles Lewis (charles.lewis@mindspring.com)" <charles.lewis@mindspring.com>, "Chris Marcus(cmarcus5@aol.com)" <cmarcus5@aol.com>, "Danielle Stice (ed_stice@yahoo.com)" <ed_stice@yahoo.com>, "Dennis Fletcher(dennis.fletcher@yahoo.com)" <dennis.fletcher@yahoo.com>, Desiree Brackin <desiree.brackin@gmail.com>, "Diana Oliphant(oliphantz@q.com)" <oliphantz@q.com>, "Doug and Susanne Hawkins (sucari@sedona.net)" <sucari@sedona.net>, "Douglas Wieneke(twolarks@hotmail.com)" <twolarks@hotmail.com>, "Duey and Carol Roland (dueyroland@gmail.com)" <dueyroland@gmail.com>, "EdithReinfried (ereinfried@gmail.com)" <ereinfried@gmail.com>, "Fern Kane (frkane@hotmail.com)" <frkane@hotmail.com>, "Fred Shinn(sparty601@gmail.com)" <sparty601@gmail.com>, "Gail and David Bell (David.bell@gyro.com)" <David.bell@gyro.com>, "Georgiana &Adiran Parker (azyo29@hotmail.com)" <azyo29@hotmail.com>, "Gerald Anstine (gerrya1822@aol.com)" <gerrya1822@aol.com>, "Giora andDenise Israel (stieglitzd@mac.com)" <stieglitzd@mac.com>, "Gordon and Jeanette Parnell (gordonparnell@yahoo.com)" <gordonparnell@yahoo.com>, "Greg Batie (hgbatie@gmail.com)" <hgbatie@gmail.com>, "Heide Heidepriem (heide.heidepriem@gmail.com)" <heide.heidepriem@gmail.com>, "Jacklyn Van Loon (jacklyn999@gmail.com)" <jacklyn999@gmail.com>, "Jane Tusso(chathamjet@yahoo.com)" <chathamjet@yahoo.com>, "Jean Dummigan (jeanlynne2@gmail.com)" <jeanlynne2@gmail.com>, "Jeannette Myers(jimmyersrb@gmail.com)" <jimmyersrb@gmail.com>, "Jeffery and Tina Ungerman (pennypinche@hotmail.com)" <pennypinche@hotmail.com>, "Jeffrey Schlamb & Barbara Barker (bbarker@ptd.net)" <bbarker@ptd.net>, "Jinni Newnam (vnewnam@suddenlink.net)" <vnewnam@suddenlink.net>, "Joan Bankert (joan@bankert.com)" <joan@bankert.com>, "John Rome (johnlrome@gmail.com)" <johnlrome@gmail.com>, "Julie Stern (juliestern123@gmail.com)" <juliestern123@gmail.com>, "Kathryn Heidepriem(kathryn.heidepriem@gmail.com)" <kathryn.heidepriem@gmail.com>, "Katie Sluder (asluder@yahoo.com)" <asluder@yahoo.com>, "KevinBrackin (kbrackin@signatorfn.com)" <kbrackin@signatorfn.com>, "Kim Gray (kbla.gray@gmail.com)" <kbla.gray@gmail.com>, "Kwang andElizabeth Chang (KBChang99@hotmail.com)" <KBChang99@hotmail.com>, Larry Kane <likane@msn.com>, "Laurie Battiston(lauriemb2000@yahoo.com)" <lauriemb2000@yahoo.com>, "Laurie Vailas (lauravailas@yahoo.com)" <lauravailas@yahoo.com>, "LeeSeung-Heun (jueunshin2000@yahoo.com)" <jueunshin2000@yahoo.com>, "Lisa and Vernon Croft (lisa51541@gmail.com)" <lisa51541@gmail.com>, "Lisa Glinsky (lisadeco@aol.com)" <lisadeco@aol.com>, "Lori Morrison (lito22tango@gmail.com)" <lito22tango@gmail.com>, "Mark Cowell (mark_cowell@outlook.com)" <mark_cowell@outlook.com>, "Mark McCullough(mac@mcculloughinsurance.com)" <mac@mcculloughinsurance.com>, "Mark Vander Stoep & Patricia L Kinney (plkinney@aol.com)" <plkinney@aol.com>, "Martha Wivell (mwivell@msn.com)" <mwivell@msn.com>, "Marty Glinsky (martinglinsky@yahoo.com)" <martinglinsky@yahoo.com>, "Mary Joy Perry (maryjoyperry@gmail.com)" <maryjoyperry@gmail.com>, "Max James (maxfjames10@gmail.com)" <maxfjames10@gmail.com>, "Michael and Carol Dean (profdean@aol.com)" <profdean@aol.com>, "Mike Cooke(mikecookeinsedona@yahoo.com)" <mikecookeinsedona@yahoo.com>, "Mimi Carlson (liberte@earthlink.net)" <liberte@earthlink.net>, "Molly and Michael Meza (mmmeza@cox.net)" <mmmeza@cox.net>, "Mousie Staub (mousie@esedona.net)" <mousie@esedona.net>, "MyrnaJacobs (wonderwoman407@yahoo.com)" <wonderwoman407@yahoo.com>
Date: 3/17/2017 8:43 AM
Subject: East Sedona Water Storage Facility

ALL COMMUNICATION VIA E-MAIL

Mr. Keith Self, Division Manager
Arizona Water Company
Sedona Division
65 Coffee Pot Drive, Suite 7
Sedona, AZ 86336

Mr. Matt Kessler,
Assistant Planner
City of Sedona
102 Roadrunner Drive
Sedona, AZ 86336

Mr. Rick Ruiz
Zenviornment
209 Montana Avenue No. 307
Santa Monica, CA 90403

Gentlemen:

Thank you all for having the community meeting this last Wednesday. And, Arizona Water has asked for feedback. While I think at the surface it appears (because the representative of Arizona Water said it) that you have the community's best interests at heart, your actions and your writing does not support your supposed intentions. In this note, I am not even going to address the issue of need for another water tank. Yet, I think both Arizona Water and the City of Sedona have just assumed local residents accept this conclusion. However, the meeting was not to address that issue. But, I have to ask the question because I have lived in Mystic Hills for over 20 years and never had a water shortage. You would think our Fire District would support the need for a new tank if needed. Yet, their entire response included in the paper work supplied at

the meeting only contained a very bureaucratic response to dot "I" and cross "T". So, separately and before the expense of additional planning, I think Arizona Water needs to make this "we need it" justification before it moves forward with a new tank at our expense.

The purpose of the meeting, I believe, was to solicit opinions from the community affected by Arizona Water's decision to build a new water tank. The meeting was sponsored by Arizona Water, but there were employees of the City of Sedona in attendance (and that is appreciated). Doesn't Arizona Water see that you got the process backward? You should ask for community input first and then start planning. But, clearly you are well into the planning phase without ever talking to local residents or the Mystic Hills Design Review Committee. Of course Mystic Hills is not the only Sedona community impacted by your decision. But, your water tank is surrounded by Mystic Hills residential home lots and your site backs up to three houses. If you were building a house in Mystic Hills you could not have gotten this far without looking at the CC&R of Mystic Hills or submitting plans to the Design Review Committee. Why don't you promise to do this? That is, how about meeting the standards the rest of us in Mystic Hills must meet for our houses if you want to put your water tank here!

So, Arizona Water's claim to involve local Sedona residents and its actions are not parallel activities. Arizona Water is taking the position that whatever it want to do is what it will do while giving lip service to the local residents. You think I am being harsh? Look at the paperwork Arizona Water handed out (not the City). Again, Arizona Water handed this out. Throughout this three page document, the implication is the past tense. It reads like a "done deal". The paperwork does defines the process for approval, which does not involve the residents for constructive feedback. Maybe you think you are doing this, but your actions do not demonstrate this. In your description of the project Arizona Water used the past tense of verbs five times in your write-up. That is not involving the local residents in the decision process or even soliciting rational opinions or alternatives about this project.

As for the city's approval of this project, I believe, using the city's own words, the conditional use permit should be denied. Quoting from the City of Sedona Community Development Department handout: "The subject property (where Arizona Water wants to build the tank) lies within the Single-family Residential/Low Density designation in the Sedona Community Plan." This alone disqualifies the building of a large water tank in this area surrounded by residential lot, some already with homes on them. Further, the SCDD also has stated that: it "... supports the preservation of open space to protect scenic vista and areas along the highways". While most of the tank will be under ground, the square footage of the visible above ground facility is far larger than Mystic Hills (and maybe even the City) would allow for a residential home. It looks to me like Arizona Water is trying to make its own rules to suit its needs and convince the local residents that this is some kind of standard approach. This is not a good location for your East Sedona water tank! And, this is contrary to the position the City says it takes.

The site Arizona Water has chosen (and note I have used the past tense because Arizona Water has not approached the Mystic Hills Design Review Committee in the early stage of this project as any other builder would have been obligated to do) is clearly outside of any reasonable use of this residential property. To further show that Arizona Water really hasn't considered other reasonable alternative, several suggestions were made at the meeting including what seems to be an almost ideal site less than 1,000 feet to the north of the property Arizona Water owns. Yes, this site is on national forest land, but the land and the ravine could not serve any other useful purpose and would be ideal for a hidden water tank for all the reasons (including most likely lower construction costs) Arizona Water and the City elaborated during the meeting. Several other suggestions were also made and it is clear from what Arizona Water's associates said (and did not say) that it hasn't seriously considered alternatives (maybe even thought about them) to putting the tank in the middle of Mystic Hills.

Now, I am not "lumping" in the City of Sedona as supporter of Arizona Water's project. The City's Community Development Department is "locked" into a set of bureaucratic rules, but as the city has said in the paperwork it handed out: ... (this) "proposed use of a residential lot is not covered specifically". Our expectation is that the City will support its residents, not Arizona Water when considering an extraordinary use of a residential lot well within the boundaries of Mystic Hills and outside of the normal use of this land. This is further emphasized because there are several excellent alternatives close by that do not impact existing residential lots or homes. Arizona Water has not considered any of these.

In summary, no one in the room (aside from the Arizona Water representatives) thinks the selected location of this new water tank is good or even just suitable. No one! We suggest that Arizona Water has not done its homework and adequately explored alternative sites and ideas. It most certainly should do this and then report back to the public at large.

Larry and Fern Kane
332 Acacia Drive
Sedona, AZ 86336

928-282-2215

PS To all Mystic Hills Home and Lot Owners: The Arizona Water Company representatives, several times during the meeting, solicited feedback from all who were in the room and all Mystic Hills homeowners. I encourage each of you to voice your opinion since that is the only way our opinions will count. Arizona Water asked that all communication be via e-mail or the comment cards they passed out. Obviously, with e-mail you can included all of us in your response.

From: ron <ron060639@gmail.com>
To: ron060639@gmail.com
BC Matthew Kessler
Date: 3/17/2017 9:20 AM
Subject: East Sedona Water Storage Facility

Ron Minzer
407 Acacia Drive
Sedona, Arizona 86336
928-203-9737
ron6639@gmail.com
March 16, 2017

Arizona Water Company
3805 N. Black Canyon Hwy
Phoenix, AZ 85015-5351
602.240.6860

To whom it may concern:
Yesterday evening, March 15, 2017, your company held a public hearing regarding your proposed water storage facility in my neighborhood.
Your moderators heard from the public and not one person could see an advantage to having this dangerous eyesore in our community. It will cause more flooding, traffic noise, possible chemical spills, pump noise, electrical noise and interference with our homes electrical systems. Not withstanding that the noise, dust and undue traffic during your eight (8) month estimate of time for said construction, presuming you do not run into bed rock issues and have to dynamite, will probably take double the amount of time to complete your project. This project will also cause undue harm to our property value and in as much as you never bothered to contact our association for assistance and suggestions only proves you have very little regard for our community. Only for your goals.
We have made several suggestions for your project including moving your location where no ones home will be encroached upon. A distance of less than 1000 feet from your proposed site. Also, using your team and our association to meet with the Forest Service. Another thought was for using existing traffic circles and placing smaller tanks on the location.
Sincerely;

Ron Minzer

--
If you always do what you always did you will always get what you always got.

In God We Trust

From: Vincent McGeary <vmcgearyster@gmail.com>
To: <mkessler@sedonaaz.gov>
Date: 3/17/2017 11:30 AM
Subject: Water Tank Poject

Hi, Matt.

It was nice meeting you on Wednesday. I was hoping you could come out and visit our neighborhood next week. I'm at 20 Cathedral Rock trail. My driveway is the very first right off Cathedral Rock after you turn in from RT 179. It's only about 30 feet in from the intersection. You have to travel all the way down the drive, and I'd leave the car at the bottom before it curves up to my front door. Next Tuesday morning would be fine, say anytime after 9:30? I'm going to ask my neighbor to join us if he is available. You've met Michelle, and she will be here as well.

Vin McGeary

From: Lauren Robinson <dogmom19@aol.com>
To: Larry Kane <LIKANE@msn.com>
CC: Keith Self <Sedona@AZwater.com>, Matt Kessler <mkessler@sedonaaz.gov>, Rick Ruiz <rick.ruiz@zenviro.net>, "Joe Vernier(4sedona@gmail.com)" <4sedona@gmail.com>, "Aaaron Rorstrom and Keverne Kaytrosh (aaron.rorstrom@capgemini.com)" <aaron.rorstrom@capgemini.com>, "Alfred and Gerry Beaudin (gerbeau1@msn.com)" <gerbeau1@msn.com>, "Belinda Batie(bbatie416@gmail.com)" <bbatie416@gmail.com>, "Beth and Mick Bivins (bethbsedona@gmail.com)" <bethbsedona@gmail.com>, "Bob andKatrina Alexander (builderbob2010@yahoo.com)" <builderbob2010@yahoo.com>, "Brian and Marilyn Painchaud(brian_painchaud@yahoo.com)" <brian_painchaud@yahoo.com>, "Brian and Marilyn Painchaud (marilyn.painchaud@yahoo.com)" <marilyn.painchaud@yahoo.com>, "Charles Lewis (charles.lewis@mindspring.com)" <charles.lewis@mindspring.com>, "Chris Marcus(cmarcus5@aol.com)" <cmarcus5@aol.com>, "Danielle Stice (ed_stice@yahoo.com)" <ed_stice@yahoo.com>, "Dennis Fletcher(dennis.fletcher@yahoo.com)" <dennis.fletcher@yahoo.com>, Desiree Brackin <desiree.brackin@gmail.com>, "Diana Oliphant(oliphantz@q.com)" <oliphantz@q.com>, "Doug and Susanne Hawkins (sucari@sedona.net)" <sucari@sedona.net>, "Douglas Wieneke(twolarks@hotmail.com)" <twolarks@hotmail.com>, "Duey and Carol Roland (dueyroland@gmail.com)" <dueyroland@gmail.com>, "EdithReinfried (ereinfried@gmail.com)" <ereinfried@gmail.com>, "Fern Kane (frkane@hotmail.com)" <frkane@hotmail.com>, "Fred Shinn(sparty601@gmail.com)" <sparty601@gmail.com>, "Gail and David Bell (David.bell@gyro.com)" <David.bell@gyro.com>, "Georgiana &Adiran Parker (azyo29@hotmail.com)" <azyo29@hotmail.com>, "Gerald Anstine (gerrya1822@aol.com)" <gerrya1822@aol.com>, "Giora andDenise Israel (stieglitzd@mac.com)" <stieglitzd@mac.com>, "Gordon and Jeanette Parnell (gordonparnell@yahoo.com)" <gordonparnell@yahoo.com>, "Greg Batie (hgbatie@gmail.com)" <hgbatie@gmail.com>, "Heide Heidepriem (heide.heidepriem@gmail.com)" <heide.heidepriem@gmail.com>, "Jacklyn Van Loon (jacklyn999@gmail.com)" <jacklyn999@gmail.com>, "Jane Tusso(chathamjet@yahoo.com)" <chathamjet@yahoo.com>, "Jean Dummigan (jeanlynne2@gmail.com)" <jeanlynne2@gmail.com>, "Jeannette Myers(jimmyersrb@gmail.com)" <jimmyersrb@gmail.com>, "Jeffery and Tina Ungerman (pennypinche@hotmail.com)" <pennypinche@hotmail.com>, "Jeffrey Schlamb & Barbara Barker (bbarker@ptd.net)" <bbarker@ptd.net>, "Jinni Newnam (vnewnam@suddenlink.net)" <vnewnam@suddenlink.net>, "Joan Bankert (joan@bankert.com)" <joan@bankert.com>, "John Rome (johnlrome@gmail.com)" <johnlrome@gmail.com>, "Julie Stern (juliestern123@gmail.com)" <juliestern123@gmail.com>, "Kathryn Heidepriem(kathryn.heidepriem@gmail.com)" <kathryn.heidepriem@gmail.com>, "Katie Sluder (asluder@yahoo.com)" <asluder@yahoo.com>, "KevinBrackin (kbrackin@signatorfn.com)" <kbrackin@signatorfn.com>, "Kim Gray (kbla.gray@gmail.com)" <kbla.gray@gmail.com>, "Kwang andElizabeth Chang (KBChang99@hotmail.com)" <KBChang99@hotmail.com>, "Laurie Battiston (lauriemb2000@yahoo.com)" <lauriemb2000@yahoo.com>, "Laurie Vailas (lauravailas@yahoo.com)" <lauravailas@yahoo.com>, "Lee Seung-Heun(jueunshin2000@yahoo.com)" <jueunshin2000@yahoo.com>, "Lisa and Vernon Croft (lisa51541@gmail.com)" <lisa51541@gmail.com>, "LisaGlinsky (lisadeco@aol.com)" <lisadeco@aol.com>, "Lori Morrison (lito22tango@gmail.com)" <lito22tango@gmail.com>, "Mark Cowell(mark_cowell@outlook.com)" <mark_cowell@outlook.com>, "Mark McCullough (mac@mcculloughinsurance.com)" <mac@mcculloughinsurance.com>, "Mark Vander Stoep & Patricia L Kinney (plkinney@aol.com)" <plkinney@aol.com>, "Martha Wivell(mwivell@msn.com)" <mwivell@msn.com>, "Marty Glinsky (martinglinsky@yahoo.com)" <martinglinsky@yahoo.com>, "Mary Joy Perry(maryjoyperry@gmail.com)" <maryjoyperry@gmail.com>, "Max James (maxfjames10@gmail.com)" <maxfjames10@gmail.com>, "Michael andCarol Dean (profdean@aol.com)" <profdean@aol.com>, "Mike Cooke (mikecookeinsedona@yahoo.com)" <mikecookeinsedona@yahoo.com>, "MimiCarlson (liberte@earthlink.net)" <liberte@earthlink.net>, "Molly and Michael Meza (mmmeza@cox.net)" <mmmeza@cox.net>, "MousieStaub (mousie@esedona.net)" <mousie@esedona.net>
Date: 3/17/2017 3:00 PM
Subject: Re: East Sedona Water Storage Facility

Makes no sense to me to hire a lawyer and spend a ton of money without working first toward a better solution with the town. Take a deep breath and follow a process that makes sense.

Lauren Robinson

Sent from my iPhone

> On Mar 17, 2017, at 9:42 AM, Larry Kane <LIKANE@msn.com> wrote:
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>
> ALL COMMUNICATION VIA E-MAIL
>
>
>
> Mr. Keith Self, Division Manager
> Arizona Water Company
> Sedona Division
> 65 Coffee Pot Drive, Suite 7
> Sedona, AZ 86336
>
> Mr. Matt Kessler,
> Assistant Planner
> City of Sedona
> 102 Roadrunner Drive
> Sedona, AZ 86336
>
> Mr. Rick Ruiz
> Zenviornment
> 209 Montana Avenue No. 307
> Santa Monica, CA 90403

>
> Gentlemen:
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> Thank you all for having the community meeting this last Wednesday. And, Arizona Water has asked for feedback. While I think at the surface it appears (because the representative of Arizona Water said it) that you have the community's best interests at heart, your actions and your writing does not support your supposed intentions. In this note, I am not even going to address the issue of need for another water tank. Yet, I think both Arizona Water and the City of Sedona have just assumed local residents accept this conclusion. However, the meeting was not to address that issue. But, I have to ask the question because I have lived in Mystic Hills for over 20 years and never had a water shortage. You would think our Fire District would support the need for a new tank if needed. Yet, their entire response included in the paper work supplied at the meeting only contained a very bureaucratic response to dot "I" and cross "T". So, separately and before the expense of additional planning, I think Arizona Water needs to make this "we need it" justification before it moves forward with a new tank at our expense.
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> As for the city's approval of this project, I believe, using the city's own words, the conditional use permit should be denied. Quoting from the City of Sedona Community Development Department handout: "The subject property (where Arizona Water wants to build the tank) lies within the Single-family Residential/Low Density designation in the Sedona Community Plan." This alone disqualifies the building of a large water tank in this area surrounded by residential lot, some already with homes on them. Further, the SCDD also has stated that: it "… supports the preservation of open space to protect scenic vista and areas along the highways". While most of the tank will be under ground, the square footage of the visible above ground facility is far larger than Mystic Hills (and maybe even the City) would allow for a residential home. It looks to me like Arizona Water is trying to make its own rules to suit its needs and convince the local residents that this is some kind of standard approach. This is not a good location for your East Sedona water tank! And, this is contrary to the position the City says it takes.
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> The site Arizona Water has chosen (and note I have used the past tense because Arizona Water has not approached the Mystic Hills Design Review Committee in the early stage of this project as any other builder would have been obligated to do) is clearly outside of any reasonable use of this residential property. To further show that Arizona Water really hasn't considered other reasonable alternative, several suggestions were made at the meeting including what seems to be an almost ideal site less than 1,000 feet to the north of the property Arizona Water owns. Yes, this site is on national forest land, but the land and the ravine could not serve any other useful purpose and would be ideal for a hidden water tank for all the reasons (including most likely lower construction costs) Arizona Water and the City elaborated during the meeting. Several other suggestions were also made and it is clear from what Arizona Water's associates said (and did not say) that it hasn't seriously considered alternatives (maybe even thought about them) to putting the tank in the middle of Mystic Hills.
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> In summary, no one in the room (aside from the Arizona Water representatives) thinks the selected location of this new water tank is good or even just suitable. No one! We suggest that Arizona Water has not done its homework and adequately explored alternative sites and ideas. It most certainly should do this and then report back to the public at large.
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> Larry and Fern Kane
> 332 Acacia Drive
> Sedona, AZ 86336
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> 928-282-2215
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> PS To all Mystic Hills Home and Lot Owners: The Arizona Water Company representatives, several times during the meeting, solicited feedback from all who were in the room and all Mystic Hills homeowners. I encourage each of you to voice your opinion since that is the only way our opinions will count. Arizona Water asked that all communication be via e-mail or the comment cards they passed out. Obviously, with e-mail you can included all of us in your response.
>
>

>
>

From: Bruce Huelat <bhuelat777@gmail.com>
To: <mkessler@sedonaaz.gov>, <cmeyer@sedonaaz.gov>, <rmortillaro@sedonaaz.gov>, <mraber@sedonaaz.gov>, <mail@azwater.com>, <Sedona@azwater.com>
Date: 3/17/2017 11:21 PM
Subject: Fwd: Proposed Water tank on 179 off west Mallard Dr.

Re: AWC proposed water tank HWY 179 and West Mallard Dr.

Gentlemen,
I attend the public hearing Wednesday March 15, on this proposal. I was appalled how Much has been done behind the backs of the homeowners. AWC has tried several proposals for a storage facility on the east side, all resulting in failure. I am appalled. What I am appalled at is as follows.

All of the failures involved above ground tanks on NFS property. The forest service did not object, the community did, for reasons we were not told.

AWC, purchased a 1 acre home-site for a tank that will double, the capacity of the city. We certainly can agree for the need. We can not fathom why a home site was purchased 5 years ago and no mention was made at the time AWC purchased the lot for $325,000. Yet the city has been working with AWC. In fact, no mention was made until AFTER AWC submitted the proposal to the city in January.... asking for Conditional use permit on a residential lot, surrounded by homes paying,significantly above the average, Sedona property taxes.

Keith Self, project manager, specifically stated they had worked with the city to develop the proposal. Again, the cities' long range planner, public works department and the Sedona fire district, have already replied they have done a preliminary review of the submittal.....But the neighboorhoods have not been informed nor included in any of this. Why the secrecy?

I am appalled that drainage will flow directly down slope into 4 homes on east and west Mallard that have already had flood waters on and through their properties as well as in their homes. Exposing these properties to more and faster run off, during clearing and construction of the site.

The site requires, removal of 25-30 feet of bedrock up to 165 feet in diameter. That is 13,000-15,557 cu ft of ROCK that must be drilled, jack hammered and possibly blasted to haul off in Hundreds of semi's, at least as many Cement trucks and Heavy equipment on residential streets. The sound of Digging, Jack Hammers, Trucks and more in a Residential neighborhood.... only surrounded by homes, ONLY!
Would you approve of this in YOUR residential neighborhood? I think NOT! This and its construction is not just an eyesore, it is problem, nuisance and MUST be recognized for what it is..

We were told "There is (are) no other site(s) being considered". Is this project done in secrecy, a take it or leave it ultimatum.... I would hope not, there are numerous alternatives that have less risk and less costs with far better buy-in from all, and we want to be involved to insure its success.

This proposal takes the adjoining 5 lots and compromises the value to perhaps no structure or lesser structures being built.#new $1mm homes, within 500 feet of this proposal have been built,since AWC purchased the lot . The city is surrounded by National Forest and can not grow more residential lots. I have read, over 70% of the available land, in Sedona has been built-on. WHY would AWC and the city consider this taking this, highly desirable land off the market and tax rolls? Worse yet put amongst homes and create flood problems?

The Review by Mike Raber of our Cities Long Range Planning , Community Development Department Department, Specifically states: " Current Zoning is RS-18b" (that is Residential) and further states " the Sedona Community Plan does NOT directly address standards for water and other utility infrastructure. The Land Development Code and conditional use permit review process are intended to address Community Plan Policies such as preservation relative to new development". In short without Intent nor specific standards to put a utility water tank on Residential zoned land is

not a simple department or group of departments decision. The citizens will not allow this type of governance.

The route of 179 is above and turns directly and in full frontal view of the Construction and final Tank..... for our 2-3 million visitors to gawk at while stopped in bumper to bumper traffic!

There is only a few sketchy renderings, missing views and dimensions. We are only told "most of the structure will be below grade".

AWC could not reply as to why this tank will double to 2.5 times the total water storage of the total of three tanks in the city. The East side land is highly developed, few lots for building exist and is bounded by NSF. In short, why do we need this monstrosity in size. That question when asked, was not answered.

During the meeting a number of plausible, perhaps many feasible alternatives, that simply have not be evaluated with this One Only, proposal.
They are, to name a few:

Less than 500 feet further north on 179 is a ravine in NSF. This ravine is outside of any homes or lots view. a tank. This tank could be mostly above ground and rock facade to blend in to the terrain. and would have very limited view from passing vehicles.

Just to the south of Poco Diablo is a 20-30 ft wall holding 179. That area could hold the tank and be above ground and never seen from 179. A similar wall could blunt the view on the north side.

There are not many and yet Much needed NSF parking slots at the beginning of the trail heads that should be considered. for an underground tank with parking above.

There are 4 roundabouts between Talaquepaque/ and Back O'beyond on the east side of Oak creek. Could 3 or 4 smaller tanks be buried within these roundabouts?

There are numerous Churches along this route, their parking lots could be atop of a water tank.

Their are Tennis courts along the route they too could be atop a tank.

There is Son Silver West parking lot, That could be atop a tank.

My issues are:

Why are you adding to the flooding to the very real flooding issues to the homes on West Mallard?

Why one choice, on a residential lot in a residential community. Further why subject us to this brutal construction and lower property values.

Why is the city spending resources, on this ignorant (of exploring the choices/alternatives). and why in secrecy?

Why this Gigantic size, which we dont need in our land locked city?

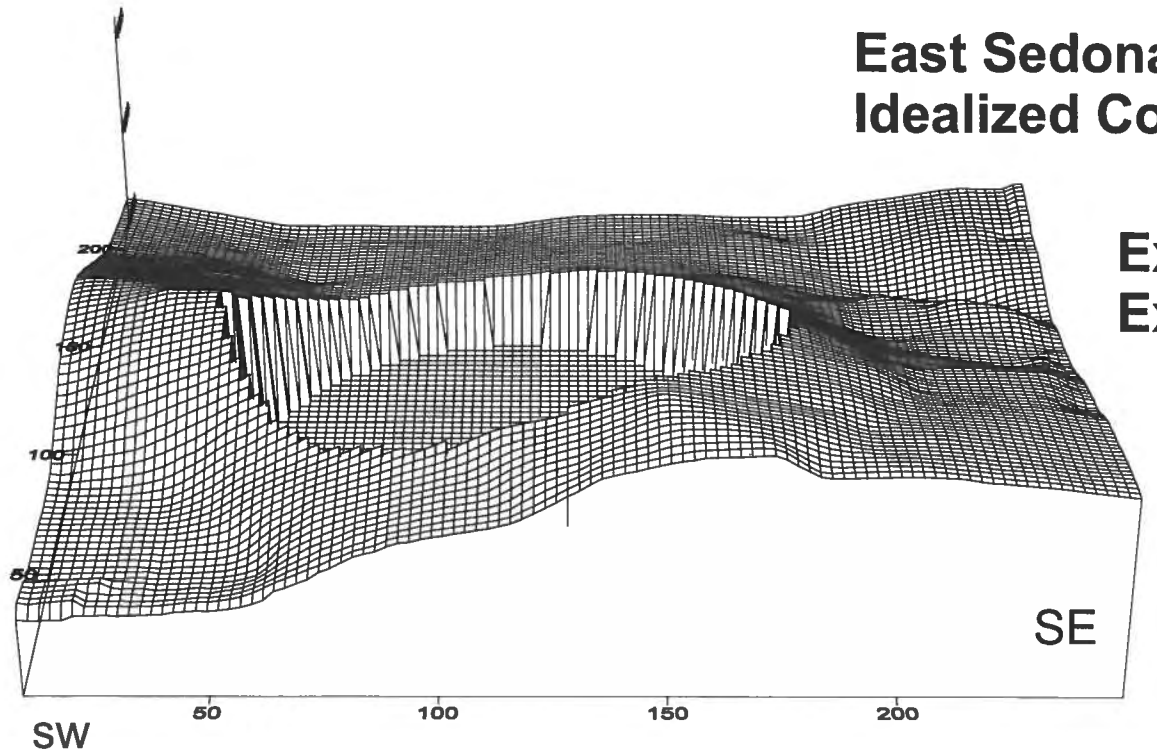
Why?

It was suggested that reason AWC continues to fail at finding the location is their myopic view, and heavy handed approach. Unless AWC has the city in their back pocket. it's time to look at these suggestions and work for a solution we can all feel good about.

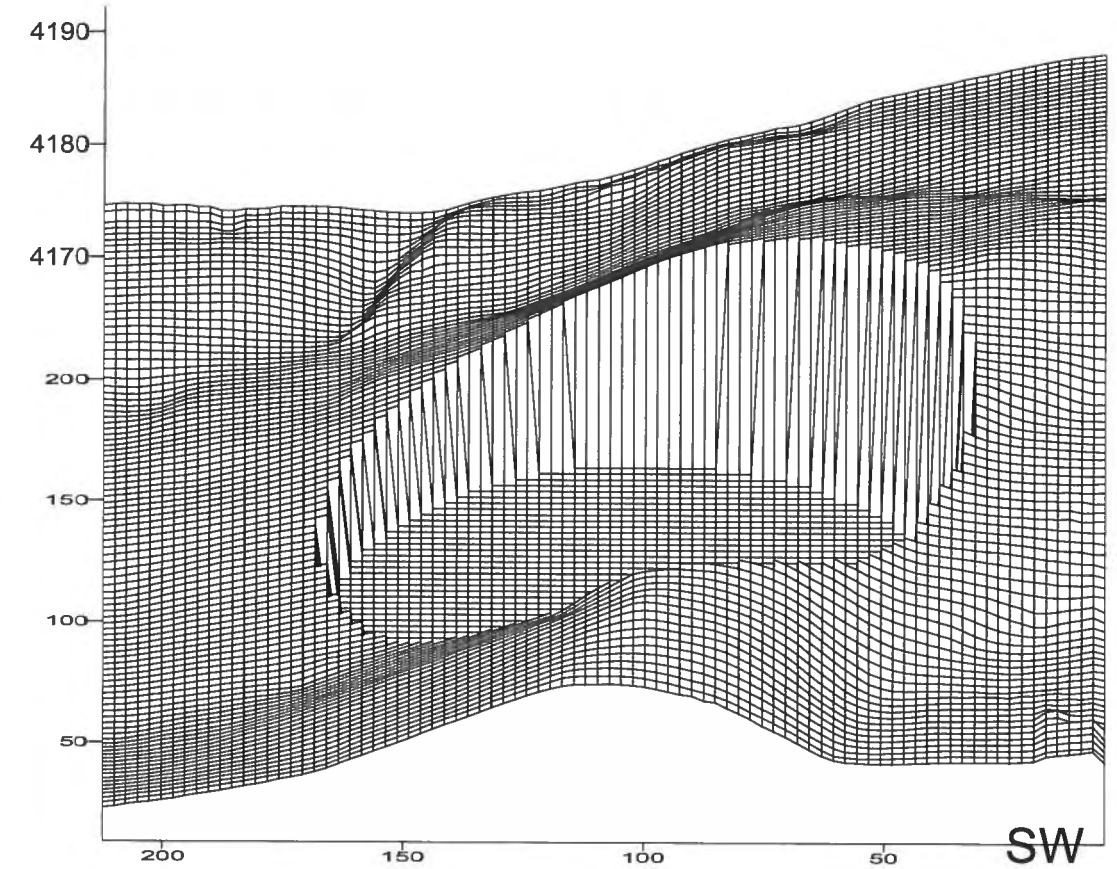
Bruce Huelat
92 W Mallard Dr

East Sedona Water Tank Project
Idealized Construction Excavation

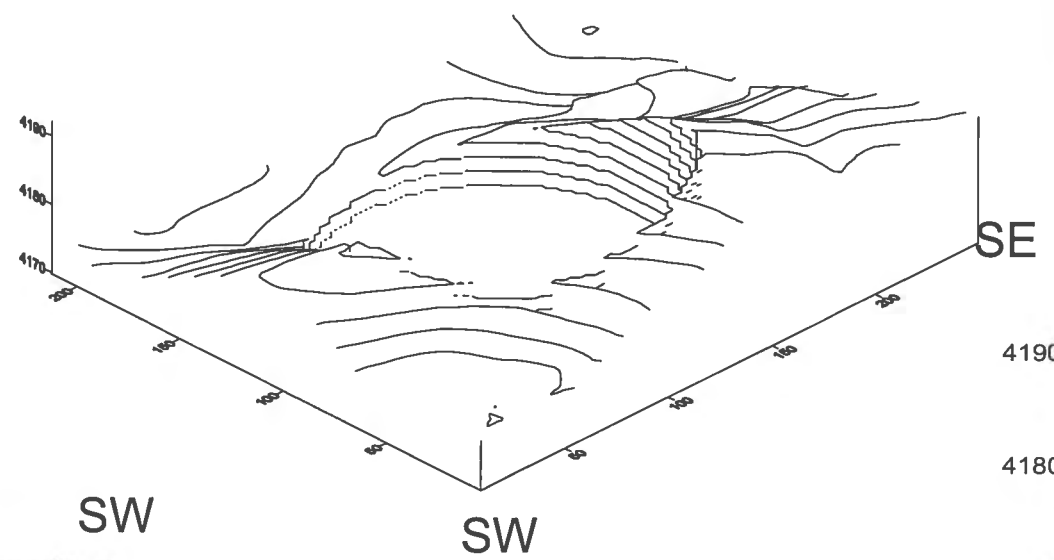
Excavation Volume = 9025 yd
Excavated Material = 18000 ton

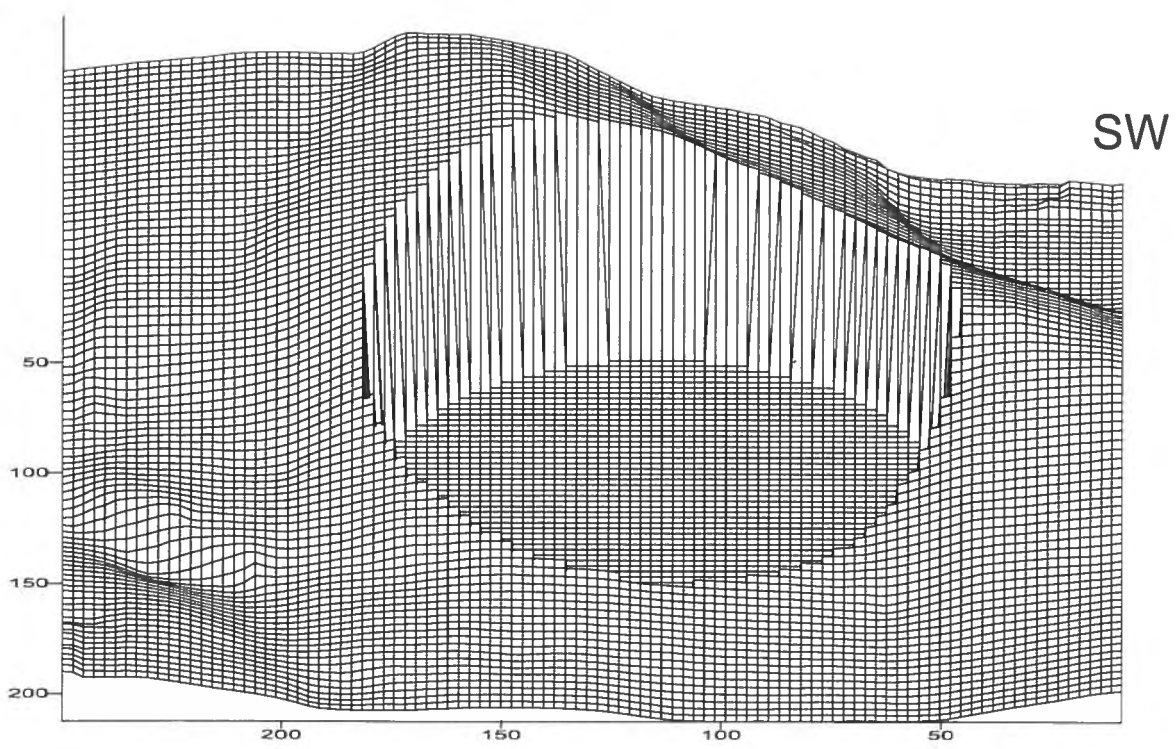


0 Degree Rotation (Looking North)



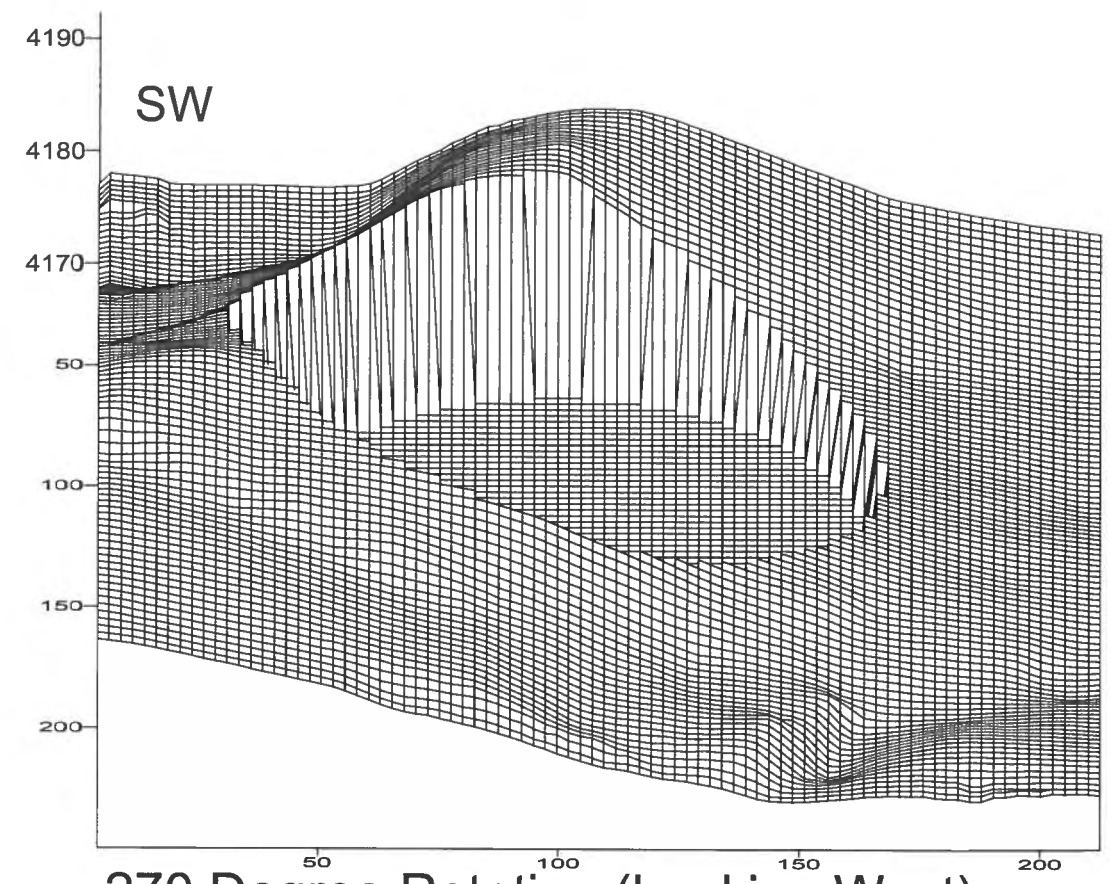
90 Degree Rotation (Looking East





180 Degree Rotation (Looking South)

March 20, 2017
David Hampton, PE
60 Cathedral Rock Trail
Sedona, AZ, 86336
303-859-8844



270 Degree Rotation (Looking West)

"Michelle McGeary" <notvhs@aol.com> 3/13/2017 8:11 PM

Water Tank

to: Kessler, Matthew

Hello. I am distraught that there has been preliminary approval for a WATER TANK in the Mystic Hills area of Sedona. We are at 20 Cathedral Rock Trail, and were only notified of the project after much planning had been done. Most of our neighbors are entirely unaware of the project. Please let me know the status of their application and who I should be in touch with about it. The neighbors I have spoken share my concerns, and I will be sharing any and all information you provide with them.

Matthew Kessler - Fwd: AZ Water Tank Proposed Project

From: Warren Campbell
To: Meyer, Cari; Kessler, Matthew
Date: 2/8/2018 9:23 AM
Subject: Fwd: AZ Water Tank Proposed Project

FYI Cari and Matt

>>> Kathy Levin <klevin@sedonaaz.gov> 2/8/2018 9:20 AM >>>
Received yesterday.

Kathy

Sent from my iPad

Begin forwarded message:

From: "Kim Gray" <kbla.gray@gmail.com>
Date: February 7, 2018 at 6:44:41 AM MST
Subject: AZ Water Tank Proposed Project

February 7, 2018

Dear City Council, Planning and Zoning, and Mayor of Sedona,

We, the Board of Directors of the Mystic Hills Homeowners Association, are in support of the group of residents opposing the construction of a water tank on property adjacent to Mystic Hills. It is our understanding that the AZ Water Company (AWC) has proposed building a 1.5 million gallon water tank on property adjacent to Mystic Hills lots on W. Mallard Drive.

This proposal is of concern to members of the Mystic Hills community and noted in the information below. The relocation of the water tank to a nonresidential area would be more appropriate for all concerned. If the water tank were to be approved for the residential location adjacent to the Mystic Hills lots, they also believe that the proposed water tank will adversely impact their property values (these beliefs have been affirmed by local realtors) for the following reasons:

1) Drainage
2) Aesthetics
3) Noise

Relocation of the Water Tank:
A group of concerned Mystic Hills homeowners have taken the initiative to research alternative sites for the water tank and meet with the City and the AZ Water Company representatives. The MH group identified two viable sites on nearby Forest Service land

which the AWC agreed to pursue with the NFS. Upon meeting with the NFS, the AWC was told that building infrastructure on Forest Service land was against their policy as long as there was a private property site available. We urge you to reject the AWC application for conditional use in this inappropriate residential location so that the NFS will be able to reconsider the use of these alternative sites. The proposed construction of a large water tank in the middle of a residential neighborhood is a hardship that is being unfairly forced upon our development and the surrounding land owners.

Buying a house in a neighborhood that has a water tank is an informed choice that a buyer would make. Allowing a water tank to be built in an existing residential neighborhood is unacceptable and should not be allowed when there are viable and less disruptive alternatives available.

Main Concerns That Impact Property Values:

1. Drainage. This is the greatest concern for the members of our community. West Mallard has experienced drainage issues that have increased with the reconstruction of AZ179. Members of our community are extremely concerned that this construction will exacerbate the drainage problem, causing damage to their property and a consequent reduction in value. If the water tank were to be approved near the Mallard Drive location, we would want AWC and/or the City of Sedona to commit to fix the drainage issues and problems to eliminate flooding.
2. Aesthetics. Many members of the community have reviewed plans showing the proposed location, size and structure of the buildings as well as terracing and landscaping. If the water tank were to be approved in the Mallard Drive location, we would want written assurance that affected homeowners will be able to review significant deviations from them and that the plantings be maintained to insure growth.
3. Noise. AWC has stated that the estimated noise level will be less than 37 dB at the property boundary when equipment is running; (from AWC document: Questions and Answers for Mystic Hill Homeowners Association Design Review Board). If the water tank were to be approved near the Mallard Drive location, we would want a written assurance that if the noise exceeds that level, AWC would be responsible for reducing it to 37 decibels. The noise of ongoing construction is always a concern. We would want an assurance from AWC that they will take all reasonable measures to keep the construction noise to a minimum.

We do believe the AZ Water Company and the City can work together to obtain the best solution for all impacted by this proposed project.

Respectfully submitted,

Mystic Hills Board of Directors
Kim Gray, President
Bob Tusso, Vice President
Jinni Newnam, Treasurer
Kevin Brackin, Secretary
Duke Francisco, Member at Large

Cc: Trestle Management Company

City of Sedona: Comment on Development Proposal

donotreply@sedonaaz.gov

Sat 3/10/2018 1:21 PM

To:Cari Meyer <CMeyer@sedonaaz.gov>; Warren Campbell <WCampbell@sedonaaz.gov>;

A new entry to a form/survey has been submitted.

Form Name:	Comments on Development Proposals
Date & Time:	03/10/2018 1:20 p.m.
Response #:	9
Submitter ID:	383
IP address:	47.215.229.211
Time to complete:	4 min. , 31 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. **Project Name:**
   AWC

2. **What are your comments, concerns, ideas, and suggestions about this project?**

   This project will create a larger flooding issue than we have in this area now. The original information as to building in this area was and still is incorrect.

3. **Your contact information**

Name:	Ron Minzer
Mailing Address:	407 Acacia Dr Sedona AZ 86336
E-mail:	ron060639@gmail.com

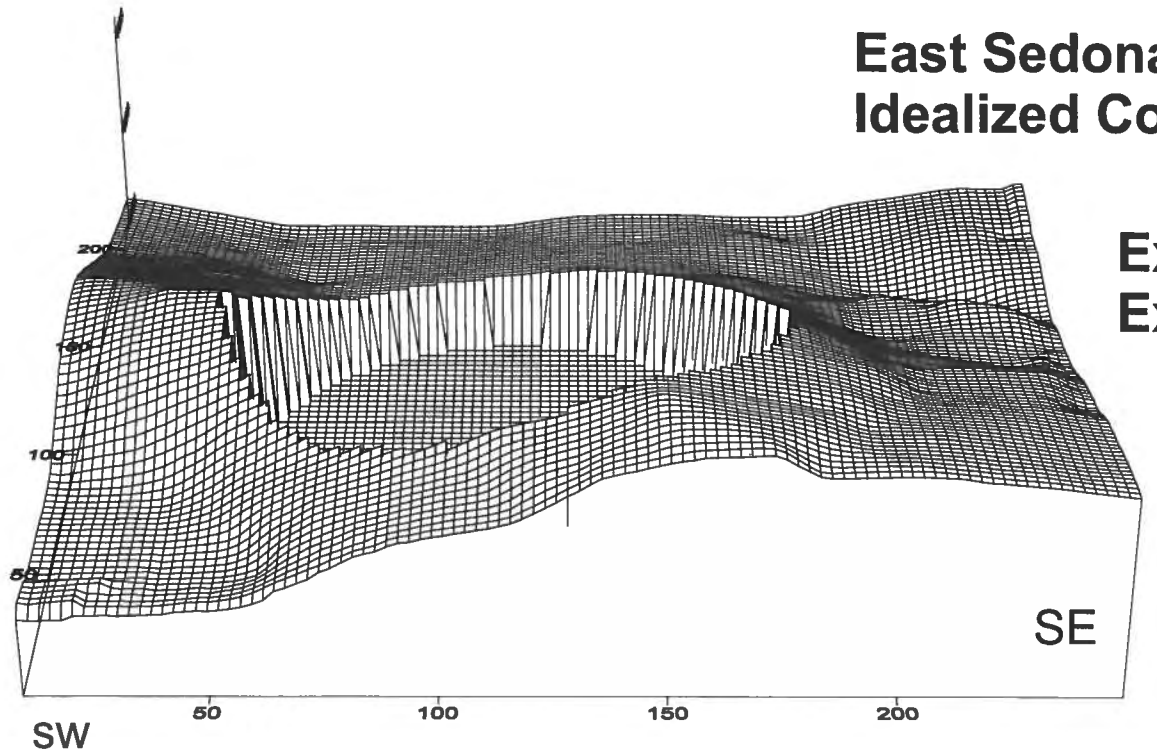
4. **Would you like to receive notices about this project, such as public meeting dates?**

   (o) Yes

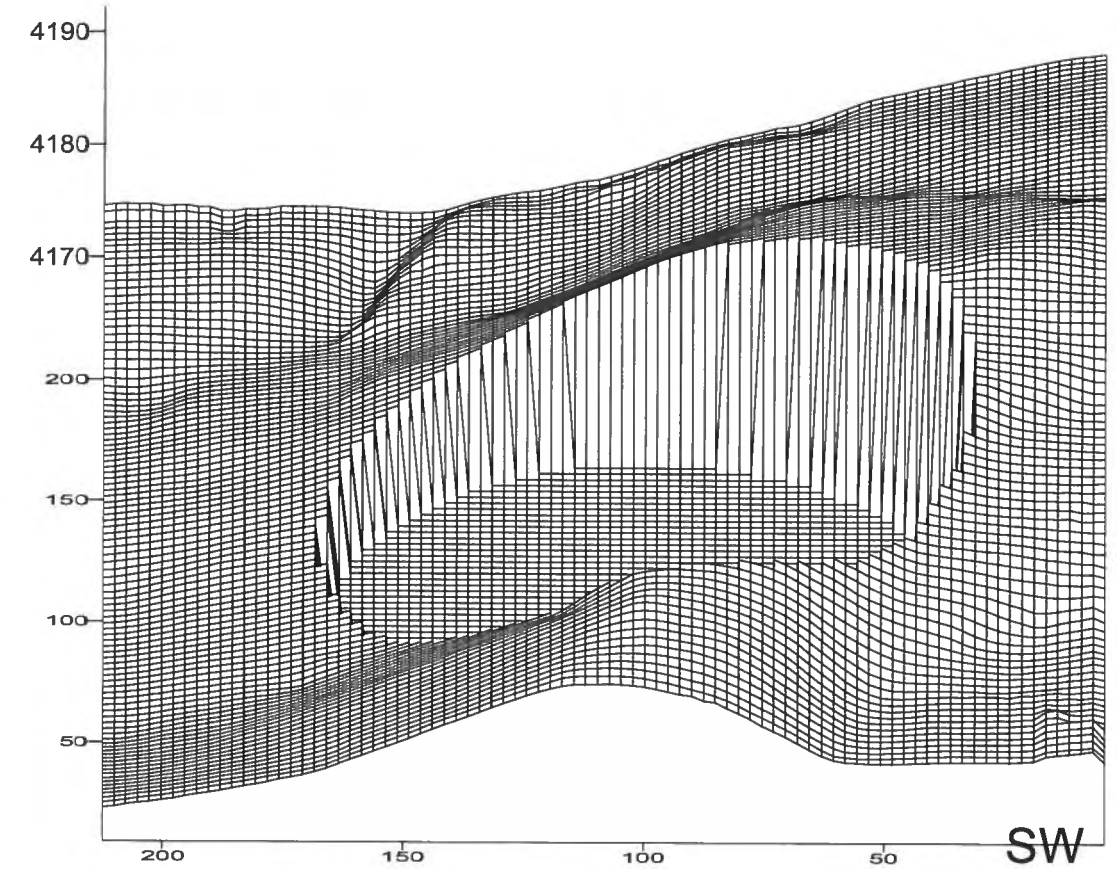
Thank you,
City of Sedona

East Sedona Water Tank Project
Idealized Construction Excavation

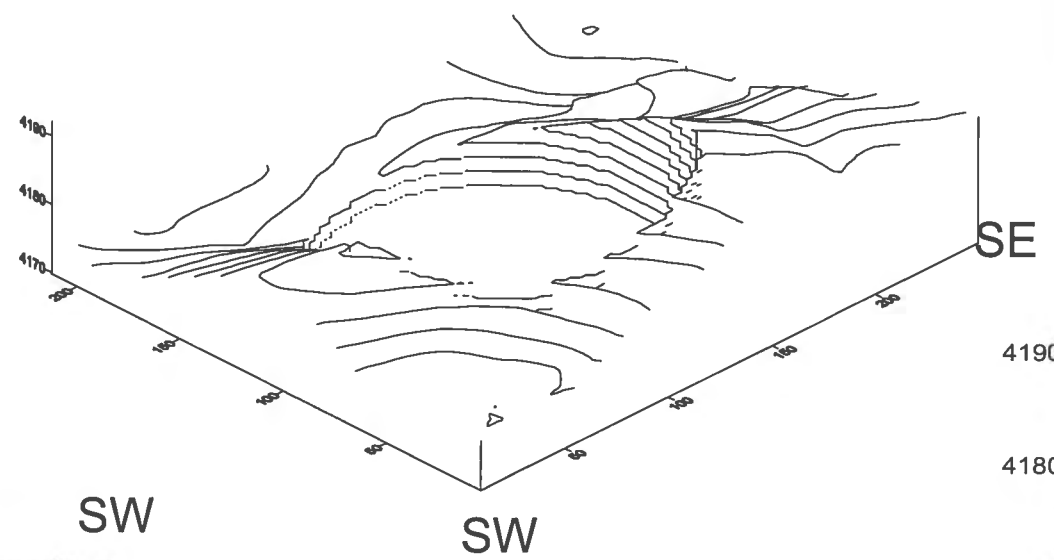
Excavation Volume = 9025 yd
Excavated Material = 18000 ton

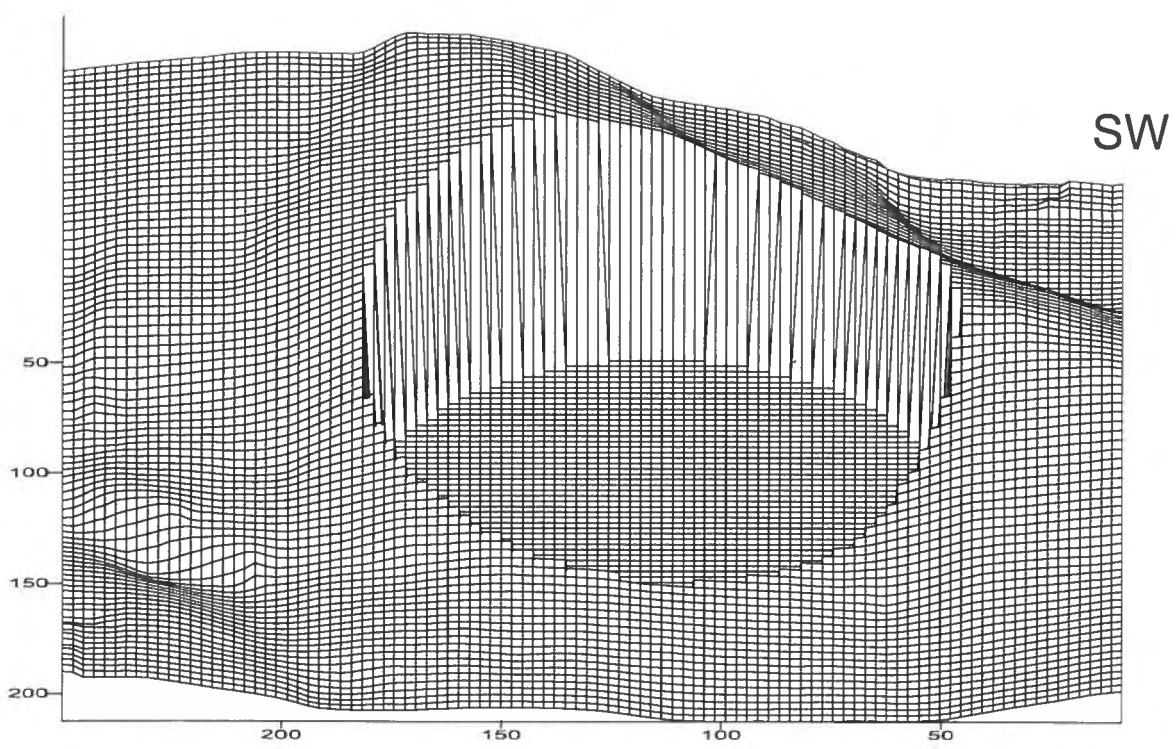


0 Degree Rotation (Looking North)



90 Degree Rotation (Looking East





180 Degree Rotation (Looking South)

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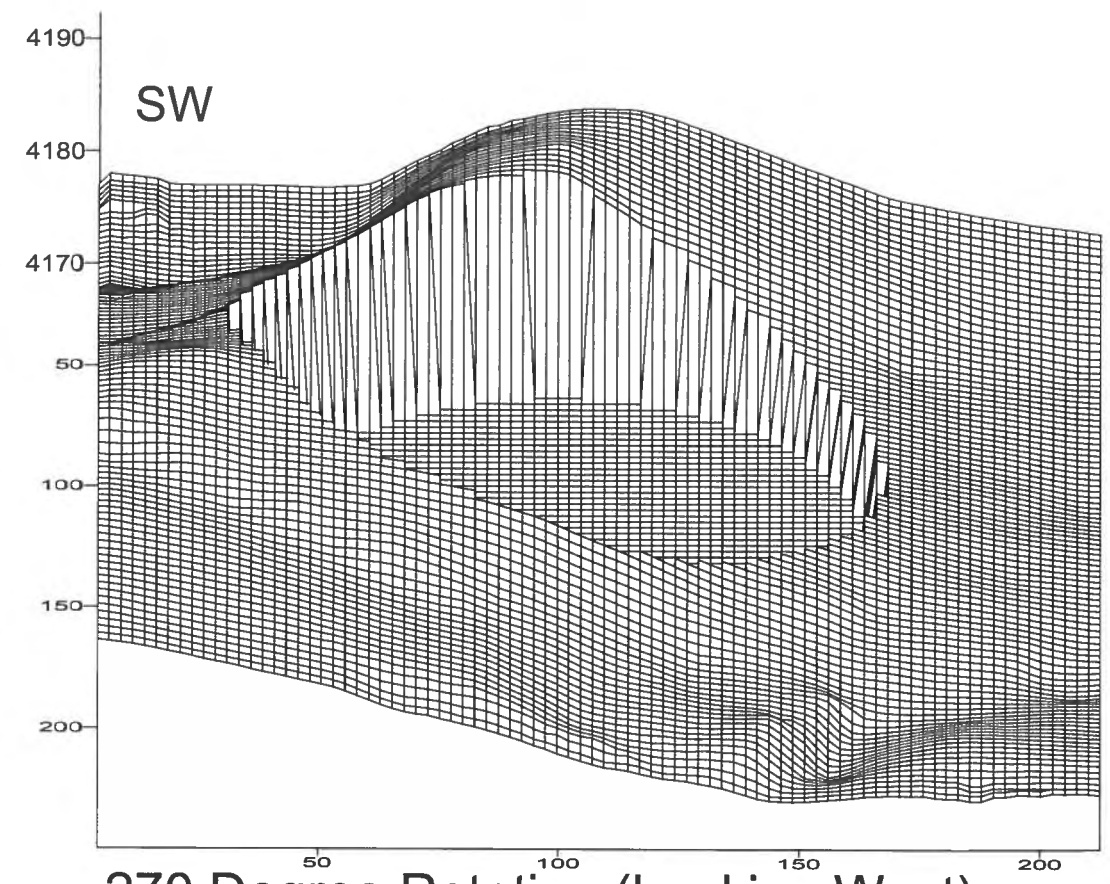

270 Degree Rotation (Looking West)

Water Tank proposal

City of Sedona eNotify <noreply@sedonaaz.gov>

Tue 6/12/2018 8:58 AM

To:Cari Meyer <CMeyer@sedonaaz.gov>;

Message submitted from the <City of Sedona> website.

Site Visitor Name: Tom Foulds
Site Visitor Email: TomFoulds19@icloud.com

Hi Cari,

I am a resident in the Mystic Hills neighborhood. I have attended nearly all of the meetings concerning the proposed water storage facility on Highway 179 and West Mallard. I am in full support of building the water tank. I believe the facility will be a big asset to this side of Sedona and is needed. Arizona Water with their professional engineers did a great job of addressing the concerns of the installation and operation. The flooding has been a problem for the West Mallard culdesac for years. The water tank will not add to it. The engineers presented the 100 year example and the additional water is next to nothing. Aesthetically, I like the concept. It is not going to be an eyesore as some claim. It is important to note, that very few residents of Mystic Hills have attended the meetings. There is an effort by some in Mystic Hills to make the city believe there is huge opposition. Not true. For Sedona's safe future, I believe this tank is needed.

Thanks
Tom Foulds

RECEIVED
JUN 18 2018
CITY OF SEDONA
COMMUNITY DEVELOPMEN

June 12, 2018

To: City of Sedona Community Development
Planning & Zoning Commission Board Member
Attention Cari Meyer
102 Roadrunner Dr.
Sedona, AZ 86336

From: Jennifer Shaw and Richard Torre
90 W Mallard Drive, Sedona, AZ 86336

Ref: Arizona Water Company Storage Tank and Booster Pump Station, Request for Conditional Use Permit

We are writing in opposition to the proposed construction of an underground water storage tank at 55 Bell Rock Trail, Sedona. The Planning and Zoning Commission's proper review of the proposed design and construction should notice that the Arizona Water Company project uses neither current topographical data, nor indicates existence of a pending floodplain mapping study.

The addition of a large industrial structure (1.5 million gallon tank) on land zoned for residential use will adversely affect us and our neighbors, many who experience annual flooding of their properties.

- AZ Water calls their tank construction plan a "residential" design in appearance, however an underground tank doesn't mean that infrastructure is below ground. New roadways to the site must be built on residential lots (totaling 1.05 acres) and will require additional grading that will affect water runoff, albeit Arizona Water denies this will add any additional water to an existing flooding problem in this area.

- Culverts were rearranged or rebuilt by ADOT when Highway 179 was widened adjacent to the Arizona Water Co lots. The subsequent new data has not been applied to the calculations pertaining to Arizona Water's runoff analysis. The tunnel under 179 has seen 8 feet of flooding as judging by water marks and the debris removed by the city's large backhoe after storms. Thus, Arizona Water Company's reports demonstrate its disinterest in possibly intensifying an existing flooding problem.

Moreover, there are other location choices more economical, and certainly more suitable for our community, which this project is intended to benefit.

Thank you for your attention to this important matter for Sedona,

Sincerely,

Jennifer Shaw and Richard Torre
Mystic Hills, homeowners

RECEIVED
JUN 18 2018
CITY OF SEDONA
COMMUNITY DEVELOPMENT

June 11, 2018

To: City of Sedona Community Development
Planning & Zoning Commission Board Member
Attention Cari Meyer
102 Roadrunner Dr.
Sedona, AZ 86336

From: Alfred Beaudin

Ref: Arizona Water Company Storage Tank and Booster Pump Station

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the debris removed by the city's large backhoe after storms. Thus, Arizona Water Company's reports demonstrate its disinterest in possibly intensifying an existing flooding problem.

- All storm water runoff from Chapel and Mystic Hills land is intended to flow through culverts heading west, which run through the proposed project site. One can see those culverts, and the connected washes have many sharp turns in their flow, making them inadequate for handling many monsoon storms now. Indeed, streets, houses and garages now flood in the water's course to the creek. Arizona Water Company disavows any responsibility to assist in seeking improvements though their facility will block an already tenuous water flow.

- The required excavation and bedrock blasting will be extremely disruptive to the neighborhood and could result in shifting land, now or later. Imagine, too, the impact of large truck convoys, loaded with dirt and rock backed up as they attempt to get onto Highway 179 during the congested tourist times, as cars cruise at 15 mph. It could take well longer than the three to four months estimated for this initial process.

Moreover, there are other location choices more economical, and certainly more suitable for our community, which this project is intended to benefit.

Thank you for your attention to this important matter for Sedona,

Alfred Beaudin

Alfred Beaudin
100 Penelope Way
Sedona, Arizona 86336

June 11, 2018

To: City of Sedona Community Development
Planning & Zoning Commission Board Member
Attention Cari Meyer
102 Roadrunner Dr.
Sedona, AZ 86336

From:

Ref: Arizona Water Company Storage Tank and Booster Pump Station

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Thank you for your attention to this important matter for Sedona,

Small
402 Acacia Drive
Sedona, AZ 86336

Lot # 86

ARNOLD NEWMAN
110 EAST MALLARD DRIVE
SEDONA, AZ 86336

RECEIVED
JUN 18 2018
CITY OF SEDONA
COMMUNITY DEVELOPMENT

June 11, 2018

City of Sedona Community Development
Planning & Zoning Commission Board Member
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  Thank you for your attention to this important matter for Sedona.

  Arnold Newman

  Arnold Newman

IRENE NEWMAN
110 EAST MALLARD DRIVE
SEDONA, AZ 86336

RECEIVED
JUN 18 2018
CITY OF SEDONA
COMMUNITY DEVELOPMENT

June 11, 2018

City of Sedona Community Development
Planning & Zoning Commission Board Member
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  Thank you for your attention to this important matter for Sedona.

  Irene Newman

  Irene Newman

July 13, 2018

City of Sedona Community Development
Planning & Zoning Commission Board Member
Attention Cari Meyer
102 Roadrunner Dr.
Sedona, AZ 86336

Re: Proposed Arizona Water Tank

We oppose Arizona Water Company's (AWC) proposal to build a water storage tank at 55 Bell Rock Trail and urge the commission to deny AWC a conditional use permit. Loss of property value due to drainage issues, increased noise and the aesthetics of such a large commercial development within a residential area are all reasons this project should not be allowed. Buying or building in a neighborhood that has a water tank is an informed choice that a buyer would make. Allowing a water tank to be built in an existing residential neighborhood is unacceptable and should not be allowed when there are viable and less disruptive alternatives available.

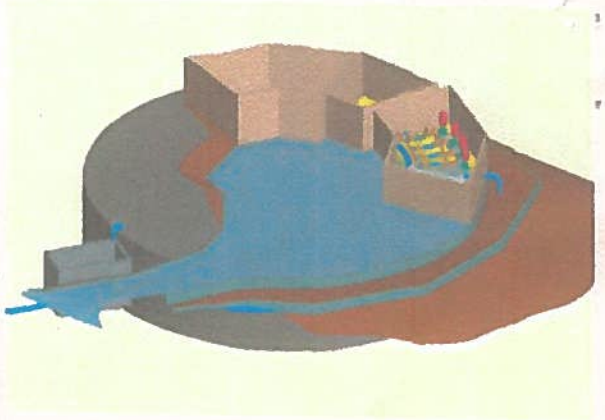
We purchased our property in 2005, seven years previous to AWC acquiring the subject property, and built our home in 2006 which sits within 75 feet northwest of the proposed tank. Our current view of the subject property is of mature Pinon Pines and Junipers. After clearcutting the lot and construction, our view will be replaced with minimal sized trees and bushes and retaining walls due to the tank being exposed on the north side. Our view will also consist of the backsides of the buildings, over sixty feet of solid walls, hardly residential looking as touted by AWC. The neighborhood disruption of excavating almost 14,000 cubic yards of rock (approx. 1200 truck loads) and potential property damage from blasting (recommended by their engineers) is a very real concern. West Mallard Drive already experiences seasonal flooding and this could be made worse with water being concentrated away from the development. Operational noise and the noise from the potential use of generators is of additional concern.

In conclusion, we ask who would build a million dollar plus home next to a proposed commercial development in the middle of a residential neighborhood. We believe the answer is no one and ask Planning & Zoning to reject the conditional use permit.

Respectfully submitted,

Kevin & Desiree Brackin
95 W. Mallard Dr.
Sedona, AZ 86336

Please see attached



East Sedona Water Storage Facility

PROVIDING SEDONA WITH A SUSTAINABLE WATER SUPPLY

Rt 179 Water tank

Tom Foulds <tomfoulds19@icloud.com>

Fri 8/3/2018 9:56 AM

To:Warren Campbell <WCampbell@sedonaaz.gov>;

Hi Warren

My name is Tom Foulds, and I am a resident of Mystic Hills.

I have attended nearly every meeting concerning the proposed water tank on Highway 179. I think the Sedona Water company and their engineers have a very good plan and design and I am in favor of having it approved.

There have been a few mis-truths circulating in our neighborhood. In particular, the drainage issue at the bottom of West Mallard. This has been an issue for at least a decade. Whether the tank is approved or not, the drainage will remain an issue. As the engineers pointed out in their extensive review, the additional water drainage from the tank is negligible.

Please don't mistake that there is opposition to the tank from everyone in Mystic Hills because of a few vocal residents.

Thank you

Tom Foulds

Vincent McGeary

20 Cathedral Rock Trail• Sedona, AZ 86336
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Date: August 2, 2018
City of Sedona
Community Development Department
Planning and Zoning Commission
102 Roadrunner Drive
Sedona, AZ 86336

Re. Objections to Arizona Water Company's Permit Application for Water Treatment Plant with Chemical Storage Facility in Single Family Residential District

Dear Commission Members:

I. Introduction

I am a resident of 20 Cathedral Rock Trail. I understand the hearing scheduled for August 7th has been canceled. As I advised two members of the planning department when they visited my property last year, I object to Arizona Water Company's (Company's) proposed industrial water plant project. This letter sets forth some, but not all, of my reasons.

The Commission should deny the Company's conditional use permit because an industrial water plant is not permitted under the residential zoning applicable in the district in which the site is located. The zoning "is intended to promote and preserve low density single-family residential development." The Company's proposed project destroys, rather than preserves and promotes, single-family residential development. The Company purchased at least one and perhaps two buildable lots and seeks to convert them to its commercial enterprise, resulting in the immediate and long-term violation of the zoning in the district. Based on the scope and purpose of the Company's outsized facility, the Commission should find that the project violates the current zoning requirements, and should deny the application.

The project is no simple water tank. The Company disingenuously stylized its project as a water storage tank and pumping station in a transparent attempt to play word matching with the zoning laws. In reality, the Company intends to build a massive underground and above ground tank surrounded by an industrial facility for storing hazardous chemicals, maintaining an office, and operating pumps and treatment equipment. The project, taken as a whole, is an industrial grade water plant with 2500 amp service and chemical storage and feed apparatus. This is not a permitted conditional use. Sedona's zoning designates separate districts for industrial plants.

The Commission also should deny the application because it includes prohibited uses. The

Code explicitly precludes the storage facility and office uses included in the proposed project. The Company wants to store chemicals on site, but it would make no difference if it wanted to store benign material. The Code precludes storage facilities.

The Company wrongly believes that residential zoning has only superficial meaning. To the Company, if the facility looks like a house from the road it meets residential zoning requirements. The Company's myopic reading of the zoning law flatly ignores the explicit purpose of the district's zoning. Residential zoning preserves a way of living and of using the designated land. It's not a "how-to" guide for curb appeal. Casinos, massage parlors, dentist offices, law offices, stock brokerages, pet stores, and countless other non-permitted uses can be carried out in an actual house. All violate the residential zoning requirement. The Company's water treatment and chemical storage plant likewise fails zoning requirements, even if it looks like a house. (It doesn't look like a house).

II. The Company Is a For Profit Corporation Managed from California

The Arizona Water Company is not a person. It's not a family owned business. It's not a resident of the district in which it wishes to place its water plant. And it is not a resident of Sedona. According to the Arizona Corporation Commission, the Company is a C corporation organized "for profit". As a for profit corporation, Arizona Water Company is a collection of faceless and nameless shareholders or investors. The citizens and residents of the district do not own it, and neither do the citizens of Sedona or even of Arizona. As with all for profit corporations, management's only mission—indeed their sole obligation--is to make money for the shareholders. It has no reason to optimize benefits and service for the people. The California management team only answers to people the Commission will never know: shareholders.

The Company surely will attempt to "put a face on the company" in an effort to make the Commission feel like it is dealing with a person or small group of persons. The Commission should even expect some local Arizona or Sedona flavor. "Personalizing" and "localizing" a corporation are routine rhetorical tropes intended to change the decision maker's perception of the stakes. In reality, the Company has no personal or local stakes. The CEO lives in California. One corporate Secretary lives in California. Almost all of the Directors have addresses in El Monte, California.

The Company's conduct in this application reveals its singular pursuit of corporate profits. It bought the property quietly, perhaps surreptitiously. Did the Company ask to originally schedule the August 7th meeting for the middle of the summer when seasonal residents are away and when permanent residents take northern vacation to escape the heat? Its application is colorful and full of corporate speak. Even the way the Company provided notice to us was designed to avoid review. We asked for mailed notice so it would be forwarded to us when we

were away. Instead the Company left notices on our door and declined to send us mail.

III. District Residents

On the other hand, people committed to Sedona own the other property in the district. Unlike Arizona Water Company, the residents live in the district to spend their time—not to turn a profit for distant investors. They walk in the streets, hike in the Red Rocks, visit with neighbors and do all the things that give Sedona a small town character. We purchased our property in 2011 and have lived at the property from January through April every year since then. Our neighbor behind us is a full time resident and our neighbor to the right also spends at least the same months of the year here as we do. We don't rent the property for money and we hope to eventually make the property our full-time residence.

When we purchased the house we relied on Sedona's residential zoning and its commitment to keeping the town's small town, outdoor character. If we wanted to purchase property in a district zoned for industrial sized water storage and treatment plants, we would have done so. We want people for neighbors—not C corporations managed from California for the profit of unknown shareholders.

The Commission here stands between the district residents and the Company's profit seeking plan to impose a major construction on a quiet residential area. Here, the zoning laws prohibit a use that does not preserve and promote the objectives of the zoning *in the district*. While the Company wants to convince the Commission that the project will be good for Sedona overall, the Commission, under the law, must protect the single family zoning in the district.

IV. Requirements of Single Family Residential Zoning

According to the zoning law, "[t]his district is intended to promote and preserve low density *single-family residential development*. The principal land use is single-family dwellings and incidental or accessory uses." The zoning laws enumerate the permitted uses, and all of them promote single-family residential development. Even the restrictions promote a particular character of single-family living. Swimming pools cannot be in the front yard. Pet structures cannot be commercial. A guesthouse must connect to the single-family residence it serves and it cannot have a kitchen.

What exactly is "single-family" living? Certainly it means more than what a building looks like. The historic Cottonwood jail looked like a single-family residence from the outside, but it was a prison. The Commission wouldn't consider permitting a jail in this district even if it looked just like a house. So the Commission shouldn't be taken in by the Company's insistence that its sprawling water treatment, pump house and chemical storage plant looks like a house. (It doesn't look like a house. It looks like the big industrial plant it is.)

Single-family residential zoning in the district creates a nicely populated neighborhood of families that promote and create Sedona's character as a small town community in the Red Rocks. The zoning requirements contemplate families living in detached dwellings according to the building restrictions in the area. The families and residents form the communities that make up Sedona. Sedona created other zones for water pumping, chemical storage and large water tanks. Sedona's creation of industrial and commercial zones underscores the incompatibility of industrial or commercial uses with low-density single-family living.

The Code also says that the Commission must find "the proposed location of the conditional use is in accordance with the objectives of this Code and the purpose of the zoning district in which the site is located." So, not only must the conditional use meet the objectives of the Code, the proposed use must be in accordance with "the purpose of the zoning district" in which the site is located. Here, the explicit purposes under the Code are to "preserve" and to "promote" single-family residences. If a proposed conditional use doesn't preserve or promote single-family residences in the district, it cannot be permitted.

Accordingly, uses that facially appear consistent with single-family residential zoning can be rejected. For example, a model home or sales office unnecessary for the district would not be allowed. Presumably the Commission could not permit a daycare facility that would destroy two residences unless the facility promoted more single-family homes in the district. Likewise, a use that would compel residents to leave a district would not be permitted.

On this aspect of the permit inquiry, any arguments as to the benefits to Sedona are simply irrelevant. The Code compels an additional district and site-specific inquiry. Likewise, the hardship or convenience to the site owner is also irrelevant to this part of the inquiry. A property owner doesn't get to build a school in this residential district just because it would be easier and cheaper than building it somewhere else. If the school fails to preserve or promote single-family residences in the district the Commission can't legally approve it.

V. The Proposed Industrial Plant

A. It's Not a Water Tank—It's an Industrial Plant

The Company craftily calls its industrial project the East Sedona Water Tank, Pumping Station and Related Appurtenances. It does this because it wants to front the water tank and pumping station—which it believes the Commission will think are permissible—while breezing over the chemical storage, office and electrical supply facilities which are not permissible. The Commission shouldn't be fooled by the clever title. As its application shows, the Company proposes a large industrial plant. True, the industrial plant includes a water tank. (The tank capacity is 1.5 million gallons and despite the planned extensive blasting and digging it still

will not fit underground). But the plant also includes a large booster pumping station capable of pumping 4000 gallons per minute. (That pumping capacity would fill a 30,000-gallon pool in less than 10 minutes). And the plant also includes a Sodium Hypochlorite storage facility and feed room for storing and processing dangerous chlorine chemicals. Another part of the plant has an electrical building for delivering a mind boggling 2500 amps of electrical current. (Most residences have something like a 250 amp service.) Yet another aspect of the plant includes an office for workers. There also is a large driveway, enough for about 4 or 5 pickup trucks at least. Still another aspect of the plant includes an outsized physical structure with thick walls and chemical spill containment areas.

Characterized honestly, the Company intends to build an industrial plant that happens to have a water tank. It is not an application for a tank that happens to have a tool chest attached to it. The Commission must be on its guard against the Company's careful word craft.

To get a better sense of this plant, the Commission should consider how these outrageous specifications impact a residential neighborhood:

- The pump room houses 4 massive pumps, a hydropnuematics tank and piping. The pumps are so large the Company needed to design in-roof hatches just to get the pumps into and out of the pump building. Hydropneumatic tanks are themselves under pressure, and apparently work with the pumps.

- What the Company soft sells as "The Chemical Room" is in reality a full blown chemical storage and feed facility that must be designed to a separate building code. The Use and Occupancy Classification is Factory Group, F-1. I believe Factory Group, F-1 is a moderate hazard industrial use. No surprise. The application is for a hazardous industrial plant.

- The chemical storage houses Sodium Hypochlorite. A simple internet search reveals that Sodium Hypochlorite is a danger when inhaled. It irritates and burns skin and eyes; causes dizziness, nausea and vomiting; and worsens respiratory conditions. The DOT, IARC and EPA appear to consider it a hazardous substance. Applicable workplace controls are too numerous to list here. Sodium Hypochlorite enhances the combustion of other substances. In the presence of fire, it produces poisonous gases including sodium oxide and chlorine gas. It can ignite combustibles such as wood and paper. This stuff is dangerous and the Company's proposal includes spill containment. Doesn't spill containment indicate a hazardous chemical? The Commission will find none of this information in the Company's presentation.

- The industrial plant needs an Electrical Building with a 2500 Amp main switch panel and other unspecified electrical equipment. A typical home has a 250 amp

> service. The Company's power demands are that of 10 homes or more. No wonder the Electrical Building is also classified F-1 for Factory Group and must comport to a separate design code. 2500 Amps is so much juice the clearance requirement for the electrical panel is 4 feet and the electrical facility needs 4-hour rated firewalls. This is no residential electrical box. A guesthouse can't have a kitchen but the Company wants an electrical powerhouse on site.

As even a cursory read of the Company's application and a moderate amount of internet research shows, the Company has not presented a "water tank" permit for the Commission to consider. It's a multi-faceted industrial plant, and industrial plants are not permitted.

B. The Company's Stealth Planning

The Company's conduct, like its word-craft, has been less than forthright. It purchased the property without alerting all of the residents to its plans, and apparently made sure the seller did not solicit offers from anyone else. When the Company first approached this resident, its representatives made two misleading statements. The Company said it was basically building a facility that would be just like a house further down the hill near Mallard. Second, it acted as if the facility was already approved and that notifying us was a courtesy call. I had to learn from my neighbor how close the facility was to my house, the massive scope of the project, and that it had not been approved at all.

More than once its representative alluded to possible incentives if we went along with their construction plans. They implied the Company could repave my driveway or place a gate at the street entrance to my driveway. This is troubling. The Commission should immediately inquire whether the Company has offered other incentives to residents in the district.

The Company has not made any of its internal files available for review. I specifically asked for its internal documents relating to all aspects of its application, including the need for the facility, its pursuit of alternatives, its communications with the planning department members and with residents, its internal meeting minutes and its financial assessments. None has been forthcoming. Instead the Company populates its website with self-serving presentations and precisely honed non-answers to questions. Everything the Company feeds to the Commission and to the residents appears to come from the "getting to yes" playbook.

The Company's behavior descends down to serving notice on us. It always uses hand delivery to send this resident notice, although we asked them to use regular mail because we are away part of the year. Instead it seems to make its deliveries when we are likely to be away, as our presence is seasonal. I could be mistaken but I can't help but suspect that the Company asked to schedule this hearing in the middle of summer, when seasonal residents are away and full-time residents would likely be traveling for summer.

C. The Company Short Shrifts the Hazards

I understand others have raised concerns over the dangers this project presents. Obviously, I share all those concerns. It should be common sense to the Commission that the dangers of hundreds to thousands of dump trucks moving in and out of a residential neighborhood heavily populated with walkers and sightseers presents a risk the Commission members cannot afford to take. The proposed property site sits directly across from Elephant Rock. Everyday, visitors use Cathedral Rock Trail to take photos of Elephant Rock and the sunset lighting the rocks from the west. More turn in to visit residents or to explore. People walk the streets near the site, including children. Cyclists bike there. There is no possibility of making the proposed construction safe at the currently proposed site.

Dangers will continue after the site is built. Obviously, there is a huge electrical feed. There is chemical storage spill containment. The Company admits trucks will be going into and out of the site at least a few times per week. (Does the Commission doubt the truck traffic will be much more?). The hazardous chemicals will need to be replenished. Equipment will need repairs. Some large piece of equipment will be needed to lift and lower the huge pumps through the roof hatches. Water plants are known attractive nuisances and require enhanced security. The Company wants the Commission to approve an industrial complex smack in the middle of the neighborhood. Does the Commission have the expertise to evaluate these hazards?

D. The Project Has No Purpose in the District Other Than to Make Profits

The Introduction to the Company's application says the Master Plan for all of Sedona calls for an east Sedona facility:

> Arizona Water Company recently completed a water master plan for the east Sedona area to address water demands, water supply sources, storage, and booster pump station requirements. The master plan recommended the East Sedona Water Facility to provide water storage and pumping facility.

The application contains no separate analysis of the district, its needs, or even the zoning requirements for the district. The application treats the zoning code as if it were a mere nuisance that requires the Company to make its industrial complex look like a house. There is no district-based reason to put a water facility for all of east Sedona in this residential district. What's clear from the application is that the facility can be located anywhere, including existing districts already zoned for industry or in locations well away from existing residences. If the project was for the benefit of the district, then the application would present evidence that the project *had* to be on the site to fulfill the district's purpose. We already know that the

project can go anywhere as far as the so-called master plan is concerned. [1]

This should be no surprise to the Commission. The Company's only reason for existence is to make money. The Company's management doesn't (in fact, can't) make decisions that do not profit its shareholders. The only reason the Company wants this site as opposed to another properly zoned location is to increase profits.

When pressed on the location for the water plant, the Company's representatives, careful not to say "most profitable site," say the site "meets our criteria" or this site "meets our criteria very well". Everywhere the Commission reads or hears "this site meets our criteria" from the Company, it should understand the Company means "meets our profit goals" or "makes us the most money."

The Company documentation from the meeting of January 10 includes photos from other industrial locations that are apparently intended to show it is common to locate water plants in residential communities. The Company presents photographs of industrial eyesores perhaps hoping that people will be too polite to say what the photos really show. The industrial eyesore photos are proof that the Commission should reject this project and consign the Company to appropriately zoned industrial sites.

The Company of course provided no other context to its photos. The Commission should assume that the depicted areas were zoned industrial or commercial. In any event, the question isn't whether any water industrial facility stands near a residence. The question is whether the Company should be permitted to build its massive water storage, chemical storage and pump plant on the proposed site.

I simply do not have time or resources to unpack all the Company's tricky language. But one more clever Company comment deserves the Commission's attention. The Company says there is "no evidence" the proposed project will lower district property values. This is misleading. All property values in Sedona are climbing, as a simple internet search will show. A negative impact on property values can come in the form of less growth, or even decreased

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[1] I can't keep track of the Company's putative reasons for building such a massive facility. At one point its representatives said that a single pipe carries water from West Sedona over the creek to East Sedona. Should that pipe break or fail, they said, East Sedona would be without water. When asked why not just build a redundant pipe or pipes, the engineers stared blankly and changed the subject. I suspect by the time the Commission reads this letter, the Company will have more reasons to build the facility in a residential district. But the fact remains, the Company can build its storage and pump facility anywhere there is industrial zoning and pay to run the pipe to connect to the mains. It doesn't have to build among homes to make its project work.

demand for homes due to the project.

More to the point, under the law the Company must demonstrate the project will not negatively impact property values. It is not the Commission's or residents' job to show anything. The Company's "no evidence" position reveals that the Company hasn't analyzed the issue or that it hopes to slip the application by the Commission hoping no one raises it. What's clear is that the Company has no evidence to demonstrate its industrialization of the area will not negatively impact property values. Absent any proofs from the Company, the Commission should conclude the Company failed to make a required showing on this point. This is reason by itself to deny the permit.

Also, contrary to the Company's self-serving "no evidence" assertion, there is ample evidence that indicates property values may be negatively impacted. The evidence comes in the form of the opposition to the project by the existing residents in the district. The residents oppose the project because they do not want to live next to an industrial facility. So let this resident be clear: if I fathomed the Commission would even consider this project in my neighborhood, I would not have placed the same value on the house that I did when I purchased. So there is the Commission's evidence. If the Company truly believed its project would not negatively impact property values, it would be offering a guarantee for every resident in the district. Or the other residential districts in Sedona would be clamoring for the project. I suspect the Commission has not been overwhelmed by requests to relocate the project from the other residents of Sedona.

The Commission should be clear by now that residents of the district oppose this industrial facility. I, along with my neighbors, met last year with Mr. Kessler and another staff member at the site and I voiced my objection. Staff members who attended the community meeting heard the opposition. Let me reiterate: this resident opposes any industrial complex, including the proposed project.

VI. Industrial Water Treatment Plants Are Not Conditionally Permitted Uses

The Commission should deny the application because the zoning laws do not provide for a water company plant use. The Company proceeds under 604.02(B)(6), which provides for conditionally permitting 1) public utility and public service substations; 2) water tanks; and 3) pumping plants 650 square feet or greater. But in no case are storage facilities, pumping houses, electrical supply plants, or offices permissible. *Id.* The proposed project falls into none of the permissible categories.[2]

The Company disingenuously calls the project a water tank project. It is not a water tank project, for the reasons I explained. The project includes chemical storage, treatment

[2] The Commission does not contend the project is a public utility or public service substation.

equipment, offices, electrical supply facilities, multiple pumps, large physical enclosures, parking lots and the like. Such projects are industrial plants and are known as such. If the Commission reviews the Company's Annual Reports filed with the Arizona Corporation Commission, the Commission will see that the Company refers to sites such as the one proposed as "Water Company Plants." The Commission will also see that the Company uses the term "plant" to refer to the totality of equipment, structures and storage facilities. Likewise, the American Water Works Association publishes a design tome called "Water Treatment Plant Design" covering the design of water industrial plants like the Company proposes here. In it, the Commission will see that water plants include tanks, but the projects are considered industrial plants not simple water tanks.

Water plants, or "water company plants" as the Company calls them in its annual reports, are not conditionally permitted uses at all. It's unfortunate that the Company has chosen to call the project a mere water tank in the hopes that the Commission will proceed with a superficial analysis instead of looking at what this monstrous project actually entails. Water plants are not conditionally permitted uses; therefore, the Commission should deny the application as prohibited by the zoning laws.

VII. Storage Facilities, Including Chemical Storage Facilities, Are Not Allowed

The Commission also should deny the application because the proposal calls for a chemical storage facility. 604.02(B)(6) excludes storage facilities of any kind from conditionally permitted uses. The Company's industrial plant explicitly includes a storage facility for hazardous chemicals. While the Company craftily calls it a "chemical room" in heading 2.7.2.2, the text admits the "chemical room" is a storage facility and that leaves the Commission no discretion but to deny the application. The Company writes, "The *chemical storage* and feed system will be housed indoor…" At 6 (emphasis added). Table 2 is called the "Chemical Facility Design Criteria" and under the "Parameter" column the Commission will find the entry "**Storage Location**," as the Company wrote. So, according to the Company's own submission, the project includes impermissible storage facilities.

The Company tried to wordsmith its way around this conclusion by calling the storage facility a "room" and by titling its application the "East Sedona Water Storage Tank, Booster Pump Station and Related Appurtenances." The Company's "creativity" should always raise the Commission's concern. Here the Company tries to belittle the chemical storage facility by calling it a room or a "related appurtenance." A little digging shows that it is an unallowable storage facility and chemical feed system. The entire project is an industrial plant for water storage and treatment and the chemical storage is an integral part of it. The zoning laws require the Commission to deny the application because it includes a storage facility. [3]

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[3] The Company camouflages the chemical storage facility while trying to convince the Commission that the project concerns a mere water tank. A search for the chemical, sodium

VIII. The Project Neither Preserves Nor Promotes Single Family Residential In the District

The Company presents no evidence that the proposed project promotes or preserves the purpose of the zoning in the district. According to the zoning laws, the Commission must make specific findings "[t]hat the proposed location of the conditional use is in accordance with the objectives of this Code *and the purpose of the zoning district in which the site is located.*" 402.06(A) (emphasis added). The Code makes the purpose of single-family residential zoning explicit:

> 604.01 Purpose. This district is intended to promote and preserve low density single-family residential development. The principal land use is single-family dwellings and incidental or accessory uses.

Here, no basis exists to make the required finding. The Company conceived of this project without any regard to the district as the Company only touts that the project is needed for all of East Sedona. Obviously the district doesn't need a water industrial plant and the Company makes no argument that it does. The residents of the district don't want it and the Company has not presented evidence that further development in this district depends on this project.

To the extent the Company presented evidence, it shows that the proposed project will neither preserve nor promote single-family dwellings in the district. As the Commission knows, the Company purchased at least one and perhaps two lots for the project. So the district lost buildable lots that have not been available for development since the Company bought them. A permanent removal of the lots from development of single-family residences violates the zoning law.

Even if the Company now tried to show its project would promote or preserve single family development in the district, the Commission would be required to make sure the size and scope of any project was limited to the district's needs. For example, if the Company argued that despite losing two lots in the district, a water tank would promote the building of 3 additional lots somewhere else in the district, resulting in the promotion of 1 single family residence, then this showing would only support a project sufficient to add 1 lot. It should be obvious that a 1.5 million gallon industrial water facility is not needed to promote single family residences in the district. But in the event the Company pivots and starts arguing that the district needs a water project, the Commission must make sure the project is sized for the district. A project for all of

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hypochlorite, on the EPA website yields 6300 results including numerous safety alerts. If the Company provided the Commission with its internal documents concerning safety, employee training, emergency protocols, material safety data sheets and the like, then the Commission would better appreciate that the chemical storage of sodium hypochlorite is no mere "related appurtenance".

East Sedona must go where the zoning permits projects of that scope and size.

As the Commission should appreciate, this aspect of the zoning law stops exactly what the Company is trying to do here: using a conditional use permit to build a regional or city wide project where it doesn't belong. In other words, the Company is trying to shoehorn an industrial and factory use designed for half the city into a residential district by running roughshod over the explicit constraints on conditional use permits. Even if a water tank would benefit the district, the Commission cannot, consistent with the law, permit a project in excess of the scope and capacity necessary to promote the purpose of the zoning in the district. Because there is no evidence in the record on which the Commission could find the gross size and scope of this project is necessary to promote single-family residential development in the district, the Commission should deny the permit.

IX. The Commission Should Insist on the Company's Internal Documents

The Commission has other reasons it should deny the application, and I reserve my right to raise further objections should the Commission continue to consider this matter. Likewise, I understand that others are raising objections as well, and nothing in this letter should be read as stating my position on those concerns. I reserve all my rights to rely on those objections or to raise them myself in this or other proceedings.

The Company skillfully honed its glitzy presentations. The application shows plenty of colors, bullet points, drawings and carefully lawyered sentences. But it lacks evidence backing up the glitz and it lacks any appreciation of the zoning laws. For the Company, if it looks like a house, then it complies with residential zoning.

The Company's lack of evidence hampers our ability to fully address the issues raised in the Company's application. In particular, I request, and expect the Commission to request, full disclosure of all the Company's internally generated documents, reports, analyses, meeting minutes, projections, profitability analysis and internal and external communications of whatever kind related to the project, its construction and safety. I am interested in and request construction project analyses, alternative site evaluations, cost estimates, rejected site documents, schedules, communications with and about residents (including emails), communications with planning department persons or members of local government of Sedona (including texts and emails), excavation and blasting calculations, and any records or documentation the Company has pertaining to any assertion it makes about the proposed project. All prior drafts of the application should be produced as well. The Company has no basis to withhold them because its own assertions have placed these records at issue.

The Company makes myriad unsubstantiated assertions concerning the scope, benefits, alternatives, and costs associated with the proposed project. The Company backs none of the

assertions with source documents and has not made available any documents from which the assertions can be evaluated. A project of this size cannot be approved without internal corporate evaluations and approvals. Until the Company produces all those documents, the Commission should assume those documents tell a far different story than the Commission hears from the Company. The undocumented assertions from the Company should be ignored for lack of reliable first-hand evidence.

Very truly yours,

Vincent McGeary

City of Sedona: Comment on Development Proposal

donotreply@sedonaaz.gov

Sun 8/12/2018 10:53 AM

To:Cari Meyer <CMeyer@sedonaaz.gov>; Warren Campbell <WCampbell@sedonaaz.gov>;

A new entry to a form/survey has been submitted.

Form Name:	Comments on Development Proposals
Date & Time:	08/12/2018 10:53 a.m.
Response #:	19
Submitter ID:	597
IP address:	24.218.181.202
Time to complete:	20 min. , 5 sec.

Survey Details

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We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. **Project Name:**
AWC Storage Tank

2. **What are your comments, concerns, ideas, and suggestions about this project?**

My name is Kenneth Ledeen. I have resided at 91 W. Mallard in Sedona for more than ten years. I am writing today to express my profound concern for the proposed water storage tank and pumping station nominally located at 55 Bell Rock Trail, directly abutting W. Mallard.

I have concerns in two areas. First, the potential for both disruption, and more importantly, permanent damage caused during the construction phase of the project. While these concerns are important, they are not as important as my very deep concern for the long term impact that this will have.

As you know, there is a wash that runs down W. Mallard, through some large conduits, and ultimately to the river. Particularly since the 179 construction, severe rains regularly create flash flood conditions in which a river of water and mud flows across properties and down the street, often overflowing the existing drainage structures. These events are both destructive and dangerous.

It seems inherently obvious, even to a non-engineer, that the proposed construction is more likely to exacerbate the

problem than to mitigate it. I am not talking about the potential for some structural failure in the facility. That is a separate concern. I am specifically concerned about the very high probability that the construction by AWC of a 1.5 million gallon tank will make a bad situation worse, to the point that it could render the houses on W. Mallard uninhabitable.

I cannot speak to the necessity for the facility. Assuming it is needed, the question is whether there is a viable alternative that does not impose the same, largely unmitigatable, risks. At a community meeting many months ago, the alternative of constructing the facility on Forest Service land was raised. AWC was reluctant to push for that solution, citing concerns that it might potentially interfere with hiking trails. I believe that there is a suitable site, quite near the proposed one, with access to 179, and little or no impact on trails. Perhaps AWC's reluctance derives from higher construction costs - but that is merely a speculation on my part.

Given the high probability for a negative impact that could be catastrophic for nearby residents, and the existence of an alternative without equivalent risks, I would urge you and the CIty of Sedona to reject the proposed location.

Respectfully,

Kenneth S. Ledeen
91 W. Mallard
Sedona, AZ 86336

3. Your contact information

Name:	Kenneth Ledeen
Mailing Address:	91 W. Mallard
E-mail:	kledeen@nevo.com

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

This is an automated message generated by the Vision Content Management System™. Please do not reply directly to this email.