

# AGENDA

## City of Sedona Planning and Zoning Commission Meeting

4:30 PM

Tuesday, January 5, 2021

### NOTICE:

Pursuant to A.R.S. 38-431.02 notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a meeting open to the public on Tuesday, January 5, 2021, at 4:30 pm in the City Hall Council Chambers.

### NOTES:

- Meeting room is wheelchair accessible. American Disabilities Act (ADA) accommodations are available upon request. Please phone 928-282-3113 at least 24 hours in advance.
- Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: [www.SedonaAZ.gov/planning](http://www.SedonaAZ.gov/planning)

### GUIDELINES FOR PUBLIC COMMENT

### PURPOSE:

- To allow the public to provide input to the Planning and Zoning Commission on a particular subject scheduled on the agenda.
- This is not a question/answer session.

### PROCEDURES:

- It is strongly encouraged that public input on agenda items be submitted by sending an email to [cmeyer@sedonaaz.gov](mailto:cmeyer@sedonaaz.gov) in advance of the 4:30 p.m. Call To Order.
- Fill out a "Comment Card" and deliver it to the Recording Secretary.
- When recognized, use the podium/microphone.
- State your Name and City of Residence
- Limit comments to 3 MINUTES.
- Submit written comments to the Recording Secretary.

***Due to continued precautions related to the COVID-19 pandemic, Planning and Zoning Commission and staff will attend this meeting remotely through electronic means. Comments in advance of the 4:30 p.m. call to order are strongly encouraged by sending an email to [cmeyer@sedonaaz.gov](mailto:cmeyer@sedonaaz.gov) and will be made part of the official meeting record. There will be very limited seating for the public within the Council Chambers arranged in compliance with CDC guidelines for physical distancing. Those wishing to comment on scheduled agenda items may be asked to wait outdoors or in an alternate location if there is not adequate seating in Council Chambers. The meeting can be viewed live on the City's website at [www.sedonaaz.gov](http://www.sedonaaz.gov) or on cable Channel 4.***

1. CALL TO ORDER, PLEDGE OF ALLEGIANCE, & ROLL CALL
2. ANNOUNCEMENTS & SUMMARY OF CURRENT EVENTS BY COMMISSIONERS & STAFF
3. APPROVAL OF THE FOLLOWING MINUTES:
  - a. December 1, 2020
4. PUBLIC FORUM: ***Due to precautions related to the COVID-19 pandemic and pursuant to A.R.S. § 38-431.01(H), there will NOT be a public forum for this meeting.***
5. CONSIDERATION OF THE FOLLOWING ITEM THROUGH PUBLIC HEARING PROCEDURES:
  - a. Discussion/possible direction regarding a request for Conceptual Plat review for a proposed 12 unit subdivision at 165 Golden Eagle Drive (The Refuge at Sedona). The property is zoned single family residential (RS-18) and is located at the southern terminus of Golden Eagle Drive. APN: 408-10-060B & C. Applicant: Chris Tortorello. Case Number: PZ20-00007 (SUB)
6. FUTURE MEETING DATES AND AGENDA ITEMS
  - a. Tuesday, January 19, 2021
  - b. Tuesday, February 2, 2021
7. EXECUTIVE SESSION

If an Executive Session is necessary, it will be held in the Vultee Conference Room at 106 Roadrunner Drive. Upon a public majority vote of the members constituting a quorum, the Planning and Zoning Commission may hold an Executive Session that is not open to the public for the following purposes:

  - a. To consult with legal counsel for advice on matters listed on this agenda per A.R.S. § 38-431.03(A)(3).

# AGENDA

## City of Sedona Planning and Zoning Commission Meeting

4:30 PM

Tuesday, January 5, 2021

b. Return to open session. Discussion/possible action on executive session items.

### 8. ADJOURNMENT

Physical Posting: December 24, 2021 By: DJ

Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: [www.SedonaAZ.gov/planning](http://www.SedonaAZ.gov/planning) or in the Community Development Office, 102 Roadrunner Drive approximately one week in advance of the meeting.

Note that members of the City Council and other City Commissions and Committees may attend the Planning and Zoning Commission meeting. While this is not an official City Council meeting, because of the potential that four or more Council members may be present at one time, public notice is therefore given for this meeting and/or event.

**Staff Report**  
 PZ20-00007 (SUB)  
 Refuge at Sedona  
 Summary Sheet



**City Of Sedona Community  
 Development Department**  
 102 Roadrunner Drive Sedona, AZ 86336  
 (928) 282-1154 · [www.sedonaaz.gov/cd](http://www.sedonaaz.gov/cd)

**Meeting Date:** January 5, 2021  
**Hearing Body:** Planning and Zoning Commission  
**Action Requested:** Review of Conceptual Plat  
**Staff Recommendation:** None at this time  
**Location:** 165 Golden Eagle Drive  
**Parcel Number:** 408-10-060B & C  
**Owner/Applicant:** Simno Holdings LLC (Chris Tortorello)  
 PO Box 4449; Sedona, AZ 86340  
**Authorized Agent:** SEC, Inc. (Krishan Ginige)  
 825 Cove Parkway; Cottonwood, AZ 86326  
**Project Summary:** 12 unit single-family cluster subdivision  
**Site Size:** ± 6.47 acres  
**Sedona Community Plan Designation:** Single Family Low Density  
**Zoning:** Single-Family Residential (RS-18), maximum density: 2 units per acre  
**Current Land Use:** Vacant

**Surrounding Properties**

	<b>Subdivision</b>	<b>Community Plan Designation</b>	<b>Zoning</b>	<b>Current Land Use</b>
<b>NORTH</b>	n/a	Single Family Low Density	RS-18	Residential
<b>EAST</b>	Thunderbird Hills South Unit 2 (north) No subdivision (south)	Single Family Low Density	RS-18	Residential
<b>SOUTH</b>	n/a	Single Family Low Density, National Forest	CF, NF	National Forest
<b>WEST</b>	Settlers Rest (north) Keller Tract (south)	Single Family Low Density	RS-35	Residential

**Report Prepared By:** Cari Meyer, Senior Planner

**Attachments**

- 1. Vicinity / Aerial Map.....12

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- 2. Applicant Submitted Materials
  - a. Letter of Intent .....14
  - b. Conceptual Plat.....18
  - c. Slope Analysis .....19
  - d. Vicinity Map.....20
  - e. ALTA Survey .....21
- 3. Staff and Review Agency Comments
  - a. City of Sedona Community Development .....23
  - b. City of Sedona Public Works.....26
  - c. Sedona Fire District .....28
  - d. ADOT.....34
- 4. Public Comments.....35





## **PURPOSE OF A CONCEPTUAL REVIEW**

Platting procedures for new subdivisions are laid out in Land Development Code (LDC) Section 8.5 (Subdivision Procedures). The first step in the platting process is the Preliminary Plat (LDC Section 8.5.A). The purpose of the preliminary plat is to “provide a mechanism for the City to review an overall plan for a proposed subdivision to ensure compliance with this Code and the adequate provision of facilities and services in the City.” (LDC Section 8.5.A(1)).

For subdivision of more than 10 units, prior to beginning the preliminary plat process, a conceptual plat is required (LDC Section 8.5.A(3)b.1). The LDC states that the Commission shall hold at least one public meeting on the conceptual plat and that, at the public meeting:

*“no actions shall be taken by the Commission on the conceptual plat. The public meeting is intended to provide an opportunity for the applicant to hear any concerns, comments, or requests for additional information from the Director, Commission, applicable reviewing agencies and utilities, and members of the public.”*

LDC Section 8.5.A(3)b.1.ii

After conceptual review of the plat is complete, if the applicant chooses to move forward with the application, the next step would be submittal and review of the Preliminary Plat, which requires significantly more information than the Conceptual Plat. Submittal requirements and review procedures for the platting process are contained in LDC Section 8.5.A(3): Application Submittal and Review Procedure and Administrative Manual Sections 1.1: General Application Submittal Requirements and 1.3: Subdivision Requirements.

## **PROJECT SUMMARY**

The applicant is seeking approval of a subdivision application to allow for a 12 unit single-family cluster subdivision on approximately 6.47 acres (approximately 1.85 units per acre). The applicant is proposing to subdivide under the Cluster Subdivision provisions (LDC Section 7.3.J(2): Alternatives to Subdivision Standards, Cluster Subdivision).

## **SITE CHARACTERISTICS (EXISTING)**

- The project site is two parcels of approximately 6.47 acres total.
- The property is in Yavapai County.
- The property is currently vacant.
- The property is not part of any subdivision.
- There is one point of access to the site from Golden Eagle Drive. The access point is unimproved.
- There is a City designated floodplain through the southwestern corner of the site.
- There is a social trail through the site from the access point at Golden Eagle Drive at the north to the National Forest land to the south (Homee Trail).
- The existing vegetation onsite consists of a mixture of mature trees and shrubs.

## **BACKGROUND**

The property proposed for development is zoned Single-Family Residential (RS-18) and is currently vacant. The RS-18 district is intended to accommodate and preserve lower-density to medium-density single-family residential uses with limited community and educational uses and incidental or accessory uses. This district

can also serve as a transition between low- and medium-density residential to higher-density residential zoning districts. Density in this district is limited to two dwelling units per acre.

The City has not processed an application for this property prior to the current application. The following is a timeline of the project to this point:

- October 8, 2020: Applicant submitted for Conceptual Plat Review
  - Comments on the submittal were provided to the applicant on October 29, 2020. Revised project documents in response to those comments were provided by the applicant on November 25, 2020.
- January 5, 2021: Planning and Zoning Commission Public Meeting, Conceptual Review
- Future Dates TBD: This project will require a public hearing with the Planning and Zoning Commission and the City Council for the Preliminary Plat and approval by the City Council for the Final Plat. Those meeting dates have not been determined.

## PUBLIC INPUT

- The proposal documents were placed on the Projects and Proposals page of the Community Development Department website ([www.sedonaaz.gov/projects](http://www.sedonaaz.gov/projects)).
- The applicant will be required to complete a Citizen Participation Plan during the Preliminary Plat stage of the project.
- Required public noticing, including a posting on the property, a mailing to property owners within a 300-foot radius, and a notice in the Red Rock News, was completed for the Planning and Zoning Commission's January 5 Public Hearing.
- All notices contain contact information or directions on how to submit comments. As of December 23, 2020, the City has received two comments, which are included as [Attachment 4](#).

## REVIEWING AGENCY COMMENTS AND CONCERNS

The application documents were routed to review agencies for comments. Comments were received from the following agencies and are included as [Attachment 3](#):

- a. City of Sedona Community Development
- b. City of Sedona Public Works
- c. Sedona Fire District
- d. Arizona Department of Transportation (ADOT)

As a Conceptual Review, comments were focused on what would be required for future review. All review agencies will be given the chance to review plans submitted for Preliminary Plat.

## COMMUNITY PLAN AND ZONING

The project site is designated as Single Family Low Density on the Future Land Use Map and is zoned Single-Family Residential (RS-18). As the zoning is consistent with the Community Plan's land use designation, no Community Plan Amendment or zone change is need for the proposed subdivision. The property is not within a Community Focus Area (CFA) or any other special planning areas designated by the City.

The RS-18 zoning district (LDC Section 2.4) contains the property development standards that are used in the review of the proposed subdivision. These standards include the following:

- Density: Maximum of 2 units per 1 acre

- Minimum lot area: 18,000 square feet
- Minimum lot width: 100 feet wide

In addition, the property development standards include the standards such as lot coverage and setbacks that will guide the ultimate development of the proposed lots.

## CLUSTER SUBDIVISION

The applicant has submitted the current application under the cluster subdivision provisions of LDC Section 7.3.J.

*“This section provides optional standards for cluster subdivision development to protect sensitive lands and common open space areas, and to implement the Sedona Community Plan and/or adopted CFA or specific area plans. A cluster subdivision is a residential or mixed-use subdivision in which some or all of the lots are allowed to be smaller (in area and width) than otherwise required for the underlying zoning district, in exchange for permanent protection of sensitive lands and/or common open space.”*

LDC Section 7.3.J(2)a

As an application for a cluster subdivision, the applicant is proposing lot sizes with a smaller minimum lot size and width than would otherwise be required in the RS-18 zoning district. In exchange for the smaller lot sizes, the applicant is proposing that the wash in the southwestern corner of the property as well as the area to the west of the road will be permanently protected open space. This area encompasses approximately 1.5 acres of the site.

In addition, the applicant will be maintaining the social trail that currently runs through the site through the proposed open space to the west of the proposed road. This pathway was identified as a proposed pathway in the [GO! Sedona Pathways Plan](#).

## DEVELOPMENT PROPOSAL

The applicant is proposing a new 12 lot single-family cluster subdivision on approximately 6.47 acres. For the subdivision to be constructed, the following must be approved:

1. Subdivision (SUB) application for the subdivision layout (lots and streets)

### *Phasing*

The subdivision streets and infrastructure are proposed to be developed in a single phase. The street is proposed as a private street. Development of the lots would occur through the City’s single-family home review process, which is an administrative process, conducted by City staff, and does not require Planning and Zoning Commission review or public input.

### *Subdivision Layout*

- The subdivision provides a single access point off of Golden Eagle Drive at the north end of the subdivision.
- The proposed entrance to the subdivision is constrained by the existing 24.3’ wide entry. Once the road passes through this constraint, it is proposed at 25 feet wide.
- The roads are proposed as private roads and the subdivision includes a gate.
- The proposed road runs generally along the western portion of the property. The area to the east of the road is divided into 12 home sites and the area to the east of the road is proposed as protected open space with a public trail.

- Lots range in size from 9,566 square feet to 21,531 square feet.
- Overall density of the subdivision is 1.85 units per acre.
- Building envelopes have been designated within each lot.

#### *Requested Modifications to Subdivision Standards*

As part of the subdivision application, the applicant is requesting the following modifications to the basic ordinance requirements:

- LDC Section 7.3.C(5): Requires the flagpole portion of a lot to be a minimum of 30 feet width
  - Modification to allow the flagpole portion of Lots 3, 6, 8, 10, and 12 to be 24 feet wide to be consistent with the proposed street width.
- LDC Section 7.3.F(5): Requires sidewalks on both sides of the street
  - Modification to remove the sidewalk requirement based on the provision of a public pedestrian pathway through the open space portion of the subdivision. Materials for this path have not been determined.

#### *Access and Traffic*

- Vehicular access to the site is proposed off of Golden Eagle Drive. No secondary vehicular access is feasible.
- A Traffic Impact Analysis will be required during the Preliminary Plat stage.

#### *Pedestrian Traffic and Connectivity*

- A pedestrian pathway is proposed through the site, connecting to National Forest land to the south.

#### *Preliminary Drainage Report and Grading Plan*

- A preliminary drainage report and grading plan will be required during the Preliminary Plat stage.

#### *Wastewater Disposal*

- The property can connect to the City's Wastewater System. Applicable fees will be paid by the developer of each single-family home.

#### *Sedona Land Development Code: Article 7 (Subdivision)*

- Staff will conduct a comprehensive review of the plans for conformance with the City's Subdivision Regulations during the Preliminary Plat stage of review.

#### *Vegetation and Landscaping*

- Removal of vegetation necessary for the construction of the road and infrastructure will be permitted.
- Each house will be reviewed for compliance with landscaping requirements during the single-family home review process.
- Approximately 1.5 acres will be preserved in its natural state as a result of the cluster subdivision request.

#### *Signage*

- No signs are shown on the Conceptual Plat.
- If subdivision signs are proposed, they would need to meet the City's sign standards.

## Utilities

- The applicant has provided letters of serviceability from all utilities
- All new utilities will be required to be underground.

## Single Family Review Process

- Complete review of new residences on the proposed lots will be done through the City's established single-family home review process. This review includes, but is not limited to, the following items:
  - Height and Massing
  - Parking
  - Lighting
  - Landscaping

## REVIEW GUIDELINES

If the project moves forward past the Conceptual Phase, the following will be requested from the Planning and Zoning Commission:

**PRELIMINARY PLAT**                      Review of Proposal, Recommendation to City Council

All development applications are reviewed under [LDC Article 8 \(Administration and Procedures\)](#).

[LDC Section 8.3](#) contains procedures and rules applicable to all development applications while the following sections contain procedures and rules that apply to specific development applications. [LDC Section 8.3.E\(5\)](#) contains the approval criteria applicable to all development, subdivision, and rezoning applications. These criteria are as follows:

### A. Generally

1. Unless otherwise specified in this Code, City review and decision-making bodies shall review all development applications submitted pursuant to this article for compliance with the general review criteria stated below.
2. The application may also be subject to additional review criteria specific to the type of application, as set forth in section 8.4 through 8.8.
3. If there is a conflict between the general review criteria in this section and the specific review criteria in section 8.4 through 8.8, the applicable review criteria in sections 8.4 through 8.8 control.

### B. Prior Approvals

The proposed development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval that is in effect and not proposed to be changed. This includes an approved phasing plan for development and installation of public improvements and amenities.

### C. Consistency with Sedona Community Plan and Other Applicable Plans

Except for proposed subdivisions, the proposed development shall be consistent with and conform to the Sedona Community Plan, Community Focus Area plans, and any other applicable plans. The decision-making authority:

1. Shall weigh competing plan goals, policies, and strategies; and
2. May approve an application that provides a public benefit even if the development is contrary to some of the goals, policies, or strategies in the Sedona Community Plan or other applicable plans.

**D. Compliance with This Code and Other Applicable Regulations**

The proposed development shall be consistent with the purpose statements of this Code and comply with all applicable standards in this Code and all other applicable regulations, requirements and plans, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.

**E. Minimizes Impacts on Adjoining Property Owners**

The proposed development shall not cause significant adverse impacts on surrounding properties. The applicant shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the Citizen Participation Plan for the specific development project, if such a plan is required.

**F. Consistent with Intergovernmental Agreements**

The proposed development shall be consistent with any adopted intergovernmental agreements, and comply with the terms and conditions of any intergovernmental agreements incorporated by reference into this Code.

**G. Minimizes Adverse Environmental Impacts**

The proposed development shall be designed to minimize negative environmental impacts, and shall not cause significant adverse impacts on the natural environment. Examples of the natural environment include water, air, noise, stormwater management, wildlife habitat, soils, and native vegetation.

**H. Minimizes Adverse Fiscal Impacts**

The proposed development shall not result in significant adverse fiscal impacts on the City.

**I. Compliance with Utility, Service, and Improvement Standards**

As applicable, the proposed development shall comply with federal, state, county, service district, City and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards.

**J. Provides Adequate Road Systems**

Adequate road capacity must exist to serve the uses permitted under the proposed development, and the proposed uses shall be designed to ensure safe ingress and egress onto the site and safe road conditions around the site, including adequate access onto the site for fire, public safety, and EMS services. The proposed development shall also provide appropriate traffic improvements based on traffic impacts.

**K. Provides Adequate Public Services and Facilities**

Adequate public service and facility capacity must exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, roads, potable water, sewer, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.

**L. Rational Phasing Plan**

If the application involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to

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comply with the project's cumulative development to date, and shall not depend upon subsequent phases for those improvements.

*Discussion (Subdivision)*

[LDC Section 8.5 \(Subdivision Procedures\)](#) contains the review criteria specific to subdivision. This section does not include any additional approval criteria for development review applications beyond the general criteria listed above.

*Staff Recommendation*

None at this time (Conceptual Review). This is an opportunity for the Commission to provide feedback to the applicant and staff regarding the project.



Vicinity Map

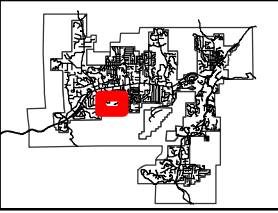
Parcel  
408-10-060B &  
408-10-060C  
The Refuge  
at Sedona

- Parcel 408-10-060B/C
- Zoning Boundary
- Building Footprint
- Parcel Boundary
- Trail
- Street Centerline



0 70 140 Feet

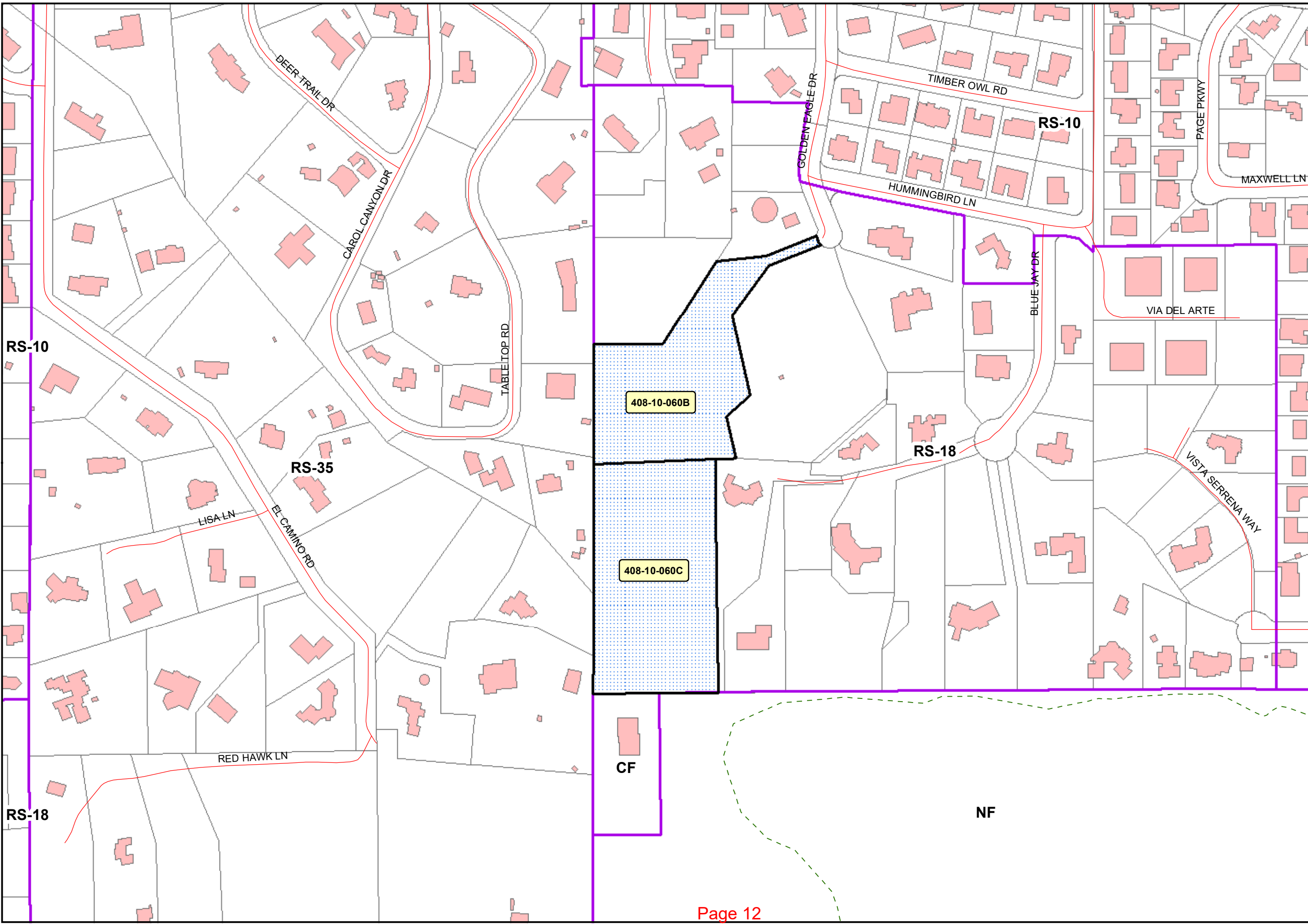
City Index



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This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty of fitness is implied.




The information is provided on an "as-is" basis. The City of Sedona shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with or arising from the information contained on this map.





# Aerial View

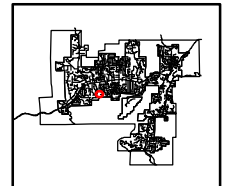
Parcel  
408-10-060B &  
408-10-060C  
The Refuge  
at Sedona

-  Parcel 408-10-060B/C
-  Parcel Boundary
-  Street Centerline



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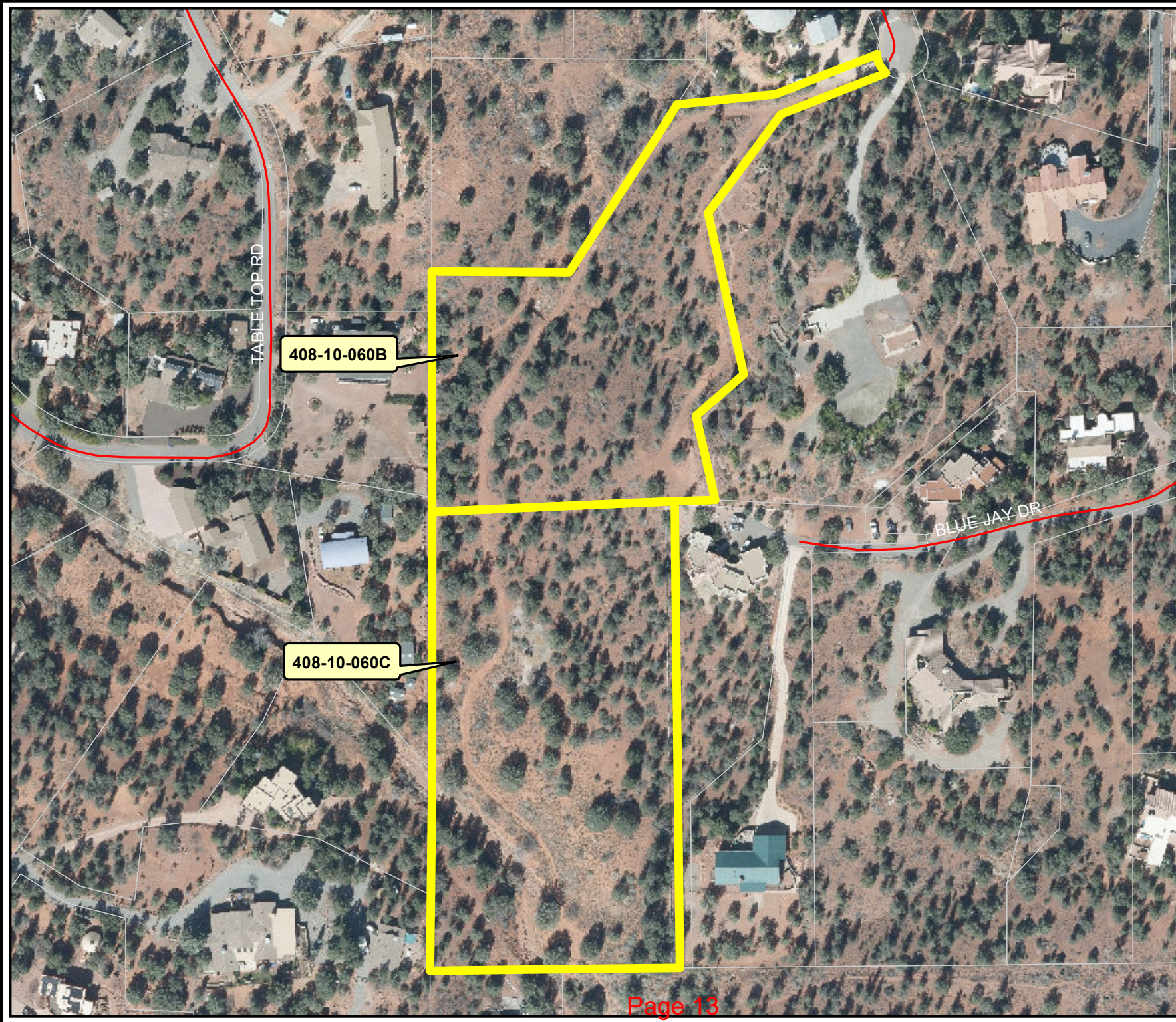
City Index



GIS, City of Sedona  
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**SOUTHWESTERN  
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CONSULTANTS, INC.**

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(928) 282-7787

BRANCH OFFICE:  
825 COVE PARKWAY  
COTTONWOOD, ARIZONA 86326  
(928) 634-5889

ADDITIONAL LOCATIONS:  
PRESCOTT, ARIZONA  
COUNCIL, IDAHO

December 13, 2020

City of Sedona  
Department of Community Development  
102 Roadrunner Drive  
Sedona, Arizona 86336

Re: Letter of Intent for The Refuge at Sedona– Conceptual Review Submittal

**Project Team**

Simno Holdings LLC– Developer  
SEC, Inc. – Planning, Engineering and Surveying  
Krishan Ginige (SEC, Inc.) – Authorized Agent (Applicant)

**To whom it may concern:**

Simno Holdings LLC has purchased parcels 408-10-060B & 408-10-060C consisting of 6.46 acres located within the City of Sedona and is situated at the end of Golden Eagle Drive. The property is currently vacant and zoned RS-18 and is surrounded on the North, East and West sides by residential RS-18 and RS-35 properties, as well as Coconino National Forest and City of Sedona owned land at the Southerly boundary. The property also currently has a pedestrian trail to access Coconino National Forest from Golden Eagle Drive.

The proposed development will consist of subdividing the property into 12 residential lots while maintaining certain open space areas and a public non-vehicular pedestrian walking trail with adequate signage to access National Forest Land. The properties Conceptual Plan proposes that the development is to be in accordance with a cluster subdivision as cited in J. (2) of The Sedona Land Development Code.

**Access**

Roads- Access to the proposed development is at the end of Golden Eagle Drive and the entrance will be within the Northeast 24.3-foot-wide strip portion of the property (please refer to the Conceptual Site Plan). The road will be privately maintained with a proposed width of 18 feet and will be comprised of asphalt to geotechnical specifications with Maricopa thicken edge and will include 2-foot shoulders and a ditch as needed to convey the drainage.

To facilitate a non-vehicular pedestrian walking trail which will allow pedestrians to access the National Forest at the Southerly end of the development, we propose a 5-foot walking path to the West of the roadway that would follow the existing wash. A 3-foot pedestrian lane from the existing entrance of the property on the West side of the roadway would be utilized to connect

from a pedestrian entryway at the gated entrance to the proposed walking trail. A separate pedestrian gate will provide access to the walking trail at the entrance of the development. (Please see Site Plan)

### **Drainage & Site**

The topographic elevation changes from 4,355.63 at the North entrance to 4,294.53 at the Carrol Canyon Wash to the South of the property. The topographic configuration and the general flow pattern is from the Northeast to the Southwest direction. There is an existing ditch along the West side of the property that is conveying the site sheet flows, as well as offsite drainage flows from the North and West. The ditch is flowing South towards Carrol Canyon Wash, which is at the South end of the development. The intent of this development is not to modify the existing West ditch.

Due to the proximity of Carrol Canyon Wash it is assumed the time of concentration of the project is significantly small compared to the peak time of concentration of Carrol Canyon Wash. Therefore, no onsite detention/retention is proposed for the development. House development will follow the drainage mitigation and guidelines outlined by the City.

The sheet flow from the proposed house sites will flow towards the main road. The drainage will be captured by a ditch which would run along the road. The ditch will be rip-rap protected.

### **Flood**

Carrol Canyon Wash flows at the Southwest property corner. Based on the preliminary investigation and data available from the City the wash stays within the banks of the channel. No construction or modification within the active floodplain is anticipated.

### **Utilities**

Water- The project will be connected to Arizona Water Company public water system at Golden Eagle Drive. A mainline extension will be developed up to the cul-de-sac at the South end. Fire hydrants will be per ADEQ, Arizona Water Company and Fire Department standards. The waterline will be submitted for ADEQ approval.

Sewer- A 8" main sewer line will be located along the proposed road. All proposed residential units within the development will be connected to this mainline. The mainline will be connected to the existing City sewer line, which is located at the South boundary of the property. The project will coordinate with the City on the main tie in location and requirements.

Electric/Telephone/Internet- Electric service will be provided through APS and the main distribution line will be located within the proposed road alignment. Telephone and internet services will follow a similar arrangement.

### **Landscape**

There will be a gated entrance with a pedestrian walkthrough at the entrance to the property. There will be minimal landscaping with signage at the entrance and the rest of the property, including open space, will maintain its natural scape.

### **Streetlighting**

No streetlighting is proposed for this development.

### **Pending Legal Issues**

There are no current pending legal issues with the proposed development or existing vacant land.

### **General Location of Existing Vegetation**

A complete topographic survey has been completed and is illustrated on the submitted Conceptual Site Plan. (See attached)

**Existing Site Improvements**

The current site does not have any structures or existing site improvements and is vacant residential land. Please see the attached ALTA Survey for any additional site improvements.

**Known Historical or Archeological Recourses**

There are no known historical or archeological recourses onsite.

**Proposed Arrangement of Lots**

The proposed arrangement of lots is illustrated on the submitted Conceptual Site Plan. (see attached)

**Tentative Proposals Regarding Traffic Impacts**

There are no anticipated traffic impacts. However, is requested a Traffic Impact Analysis can be conducted at the Preliminary Plat Phase.

**Preservation of Viewsheds**

The Conceptual Site Layout includes a lot layout and building envelope requirement to ensure the best possible preservation and no obstruction of current viewsheds. (see attached)

**Proposed Lot Sizes**

Lot	Area (Sq. Ft.)	Area (Acres)
1	17,513	0.40
2	21,531	0.49
3	14,886	0.34
4	13,479	0.31
5	11,308	0.26
6	9,566	0.22
7	10,734	0.25
8	10,363	0.24
9	9,574	0.22
10	13,966	0.32
11	12,165	0.28
12	15,829	0.36

**Summary of Compliance with Requirements of Subdivision Approval**

All current subdivision ordinances were taken into consideration per the current regulations. Please see the below requested subdivision ordinance exemptions.

**Requested Subdivision Ordinance Exemptions**

LDC Section 7.3.C(5)- We are requesting that the pole portion of the flag lots (affecting lots 3, 6, 8, 10 & 12) be 24-foot-wide, modifying from the 30-foot requirement. We are requesting this modification to be consistent with the requested 24.3-foot roadway. The road will consist of 9-foot wide paved lanes with Maricopa thicken edge. No roll curbs are proposed due to the rural nature of the project, Maricopa thicken edge acting as additional edge protection and designated drainage conveyance ditches along the road. Private road operation and maintenance of the road will be the responsibility of the Owner/HOA.

LDC Section 7.3.F(5)- We are requesting that no sidewalks be required on either side of the roadway due to the fact that a dedicated public pedestrian non-vehicular walking trail will be provided to the West of the roadway in the existing wash to access the National. A 3-foot

pedestrian lane from the existing entrance of the property on the West side of the roadway would be utilized to connect from a pedestrian entryway at the gated entrance to the proposed walking trail.

LDC Section 7.3H (6)- Please see the above LDC Section 7.3H(6) clarification.

LDC Section 7.3J(2)- The proposed development abides with the cluster subdivision standards, including the "Proposed Protected Land" tract that will be further defined as open space in the plat process with the public pedestrian non-vehicular walking trail.

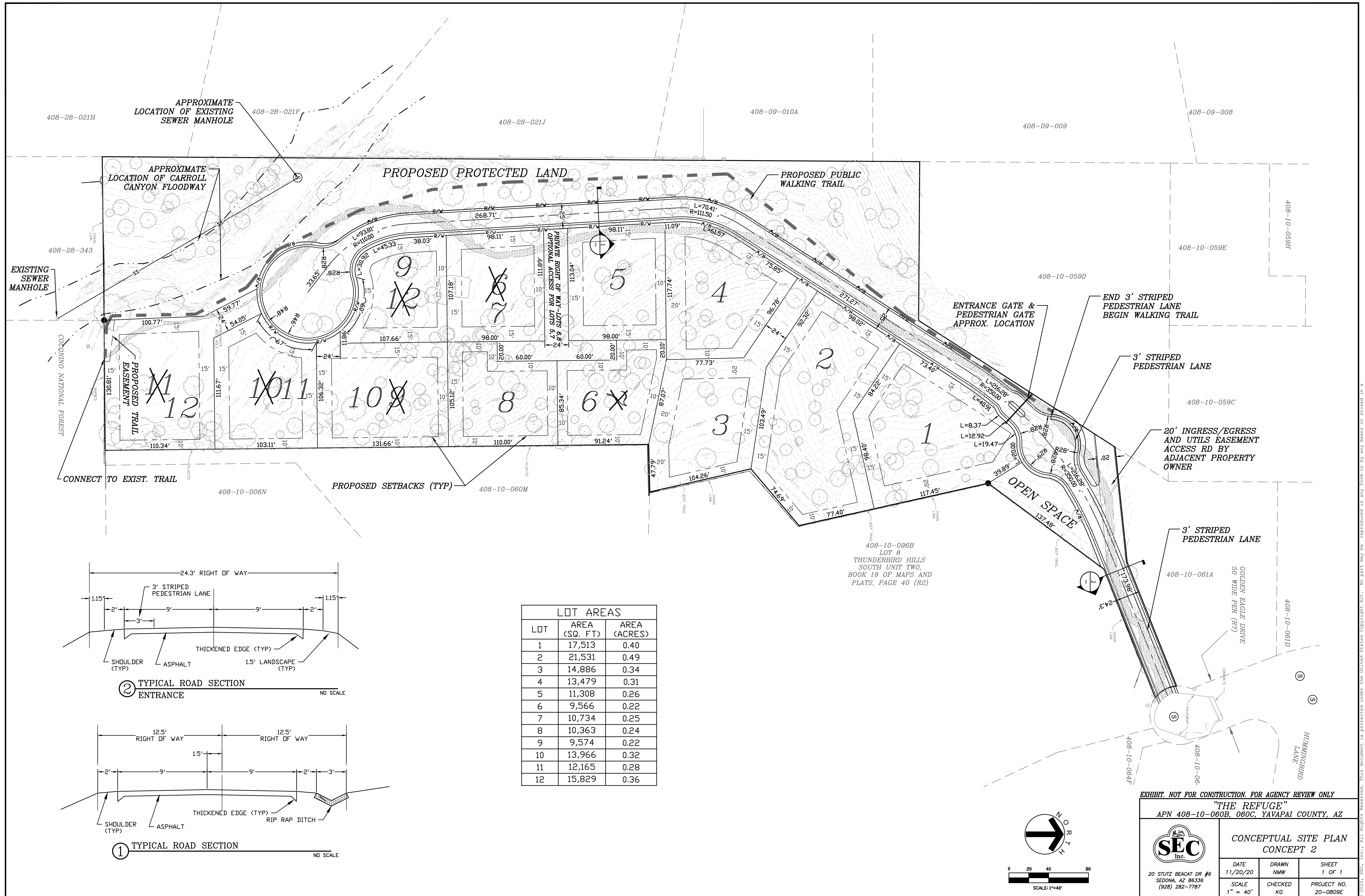
Should you have any questions, or need any additional information, please contact Krishan Ginige at (928) 634-5889 or kginige@sec-landmgt.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Krishan Ginige". The signature is fluid and cursive, with a long horizontal stroke at the end.

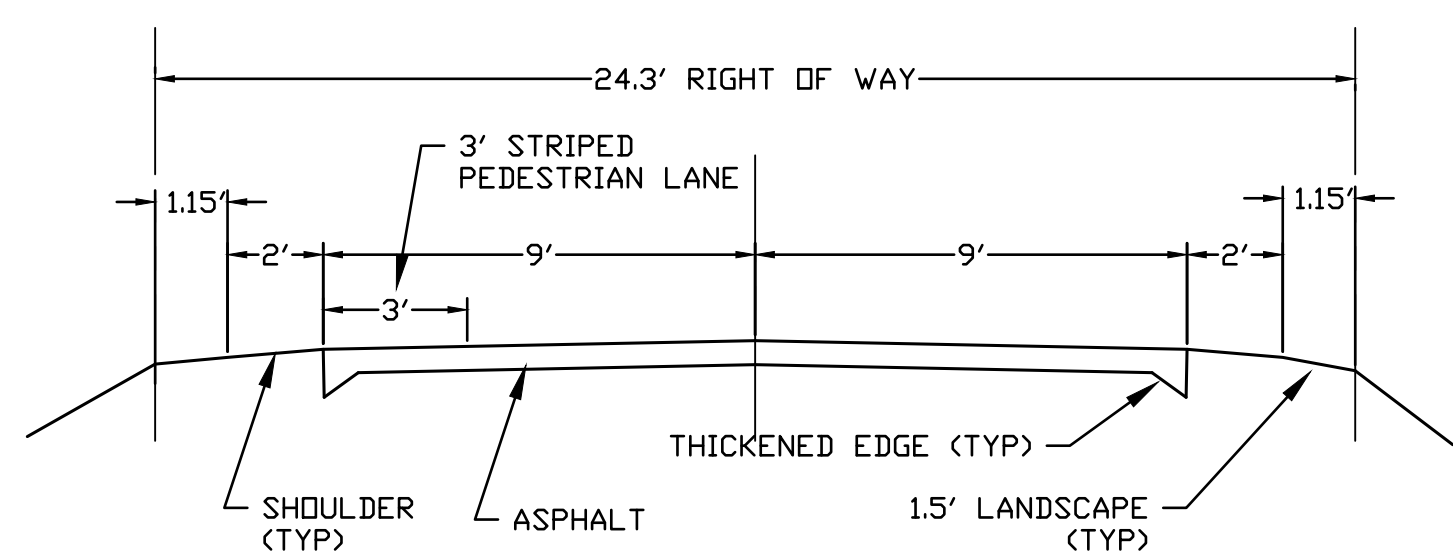
G. Krishan Ginige PE, MS, CFM  
President



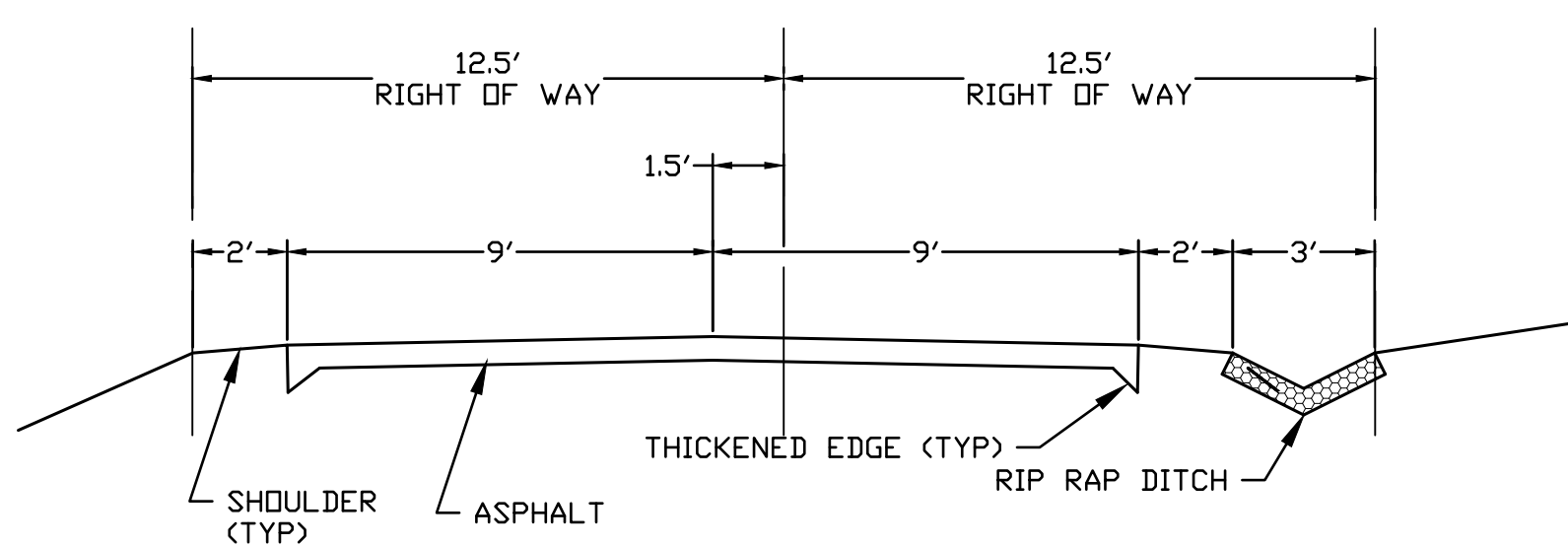


**LOT AREAS**

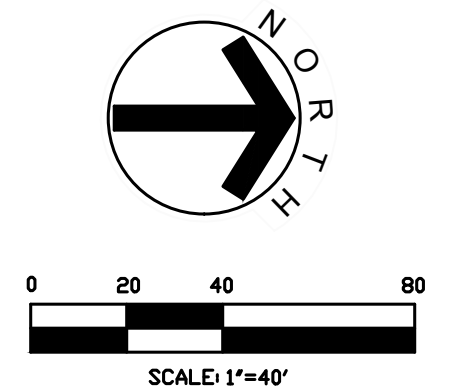
LOT	AREA (SQ. FT)	AREA (ACRES)
1	17,513	0.40
2	21,531	0.49
3	14,886	0.34
4	13,479	0.31
5	11,308	0.26
6	9,566	0.22
7	10,734	0.25
8	10,363	0.24
9	9,574	0.22
10	13,966	0.32
11	12,165	0.28
12	15,829	0.36



② TYPICAL ROAD SECTION  
ENTRANCE  
NO SCALE




① TYPICAL ROAD SECTION  
NO SCALE



**EXHIBIT. NOT FOR CONSTRUCTION. FOR AGENCY REVIEW ONLY**

**"THE REFUGE"**  
APN 408-10-060B, 060C, YAVAPAI COUNTY, AZ



**SEC**  
Inc.

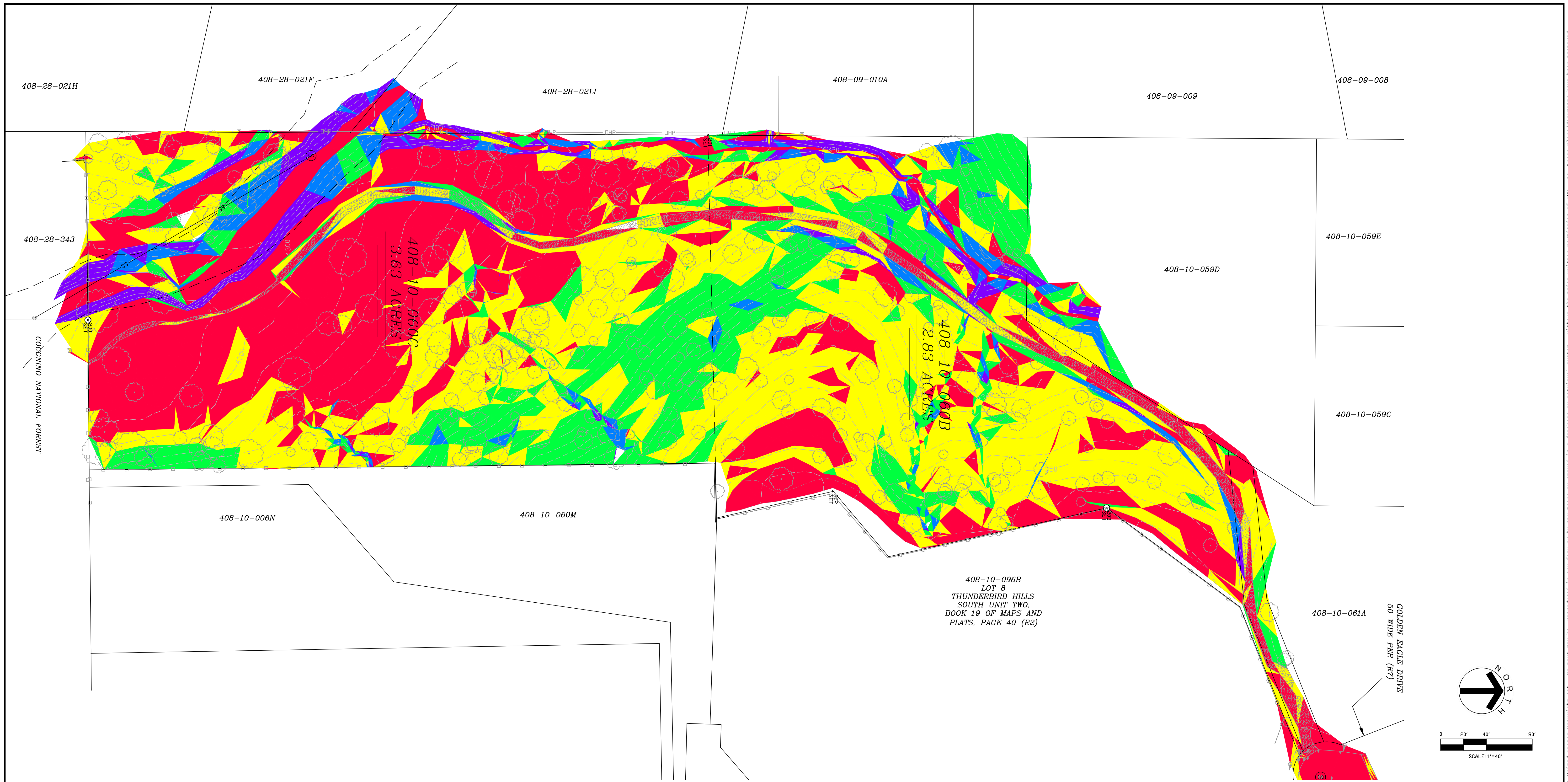
20 STUTZ BEACAT DR #6  
SEDONA, AZ 86336  
(928) 282-7787

**CONCEPTUAL SITE PLAN**  
**CONCEPT 2**

DATE	DRAWN	SHEET
11/20/20	NMW	1 OF 1
SCALE	CHECKED	PROJECT NO.
1" = 40'	KG	20-0809E

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Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.16%	9.99%	Red
2	10.00%	19.99%	Yellow
3	20.00%	29.99%	Green
4	30.00%	39.99%	Blue
5	40.00%	836.25%	Purple

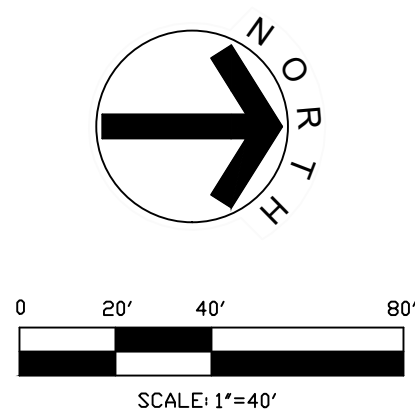


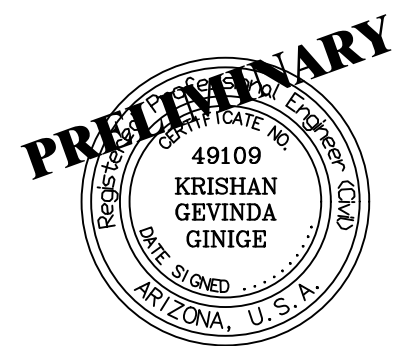
EXHIBIT. NOT FOR CONSTRUCTION. FOR AGENCY REVIEW ONLY

THE REFUGE  
PRELIMINARY PLAT EXHIBITS



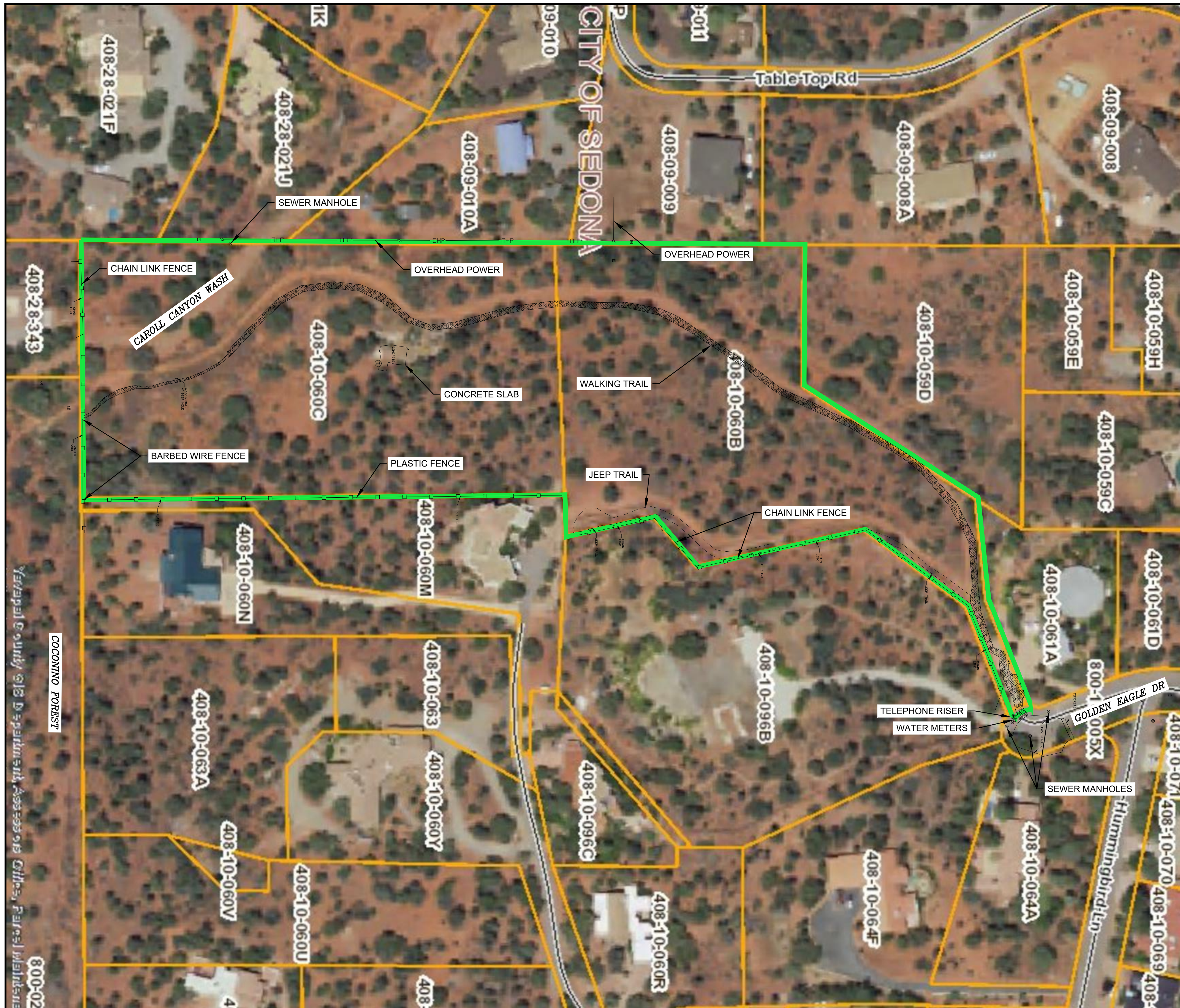
20 STUZ BEARCAT DR #6  
SEDONA, AZ 86336  
(928) 282-7787

EXISTING SLOPES ANALYSIS		
DATE 12/10/20	DRAWN NMW	SHEET 1 OF 1
SCALE AS SHOWN	CHECKED KG	PROJECT NO. 20-0809E

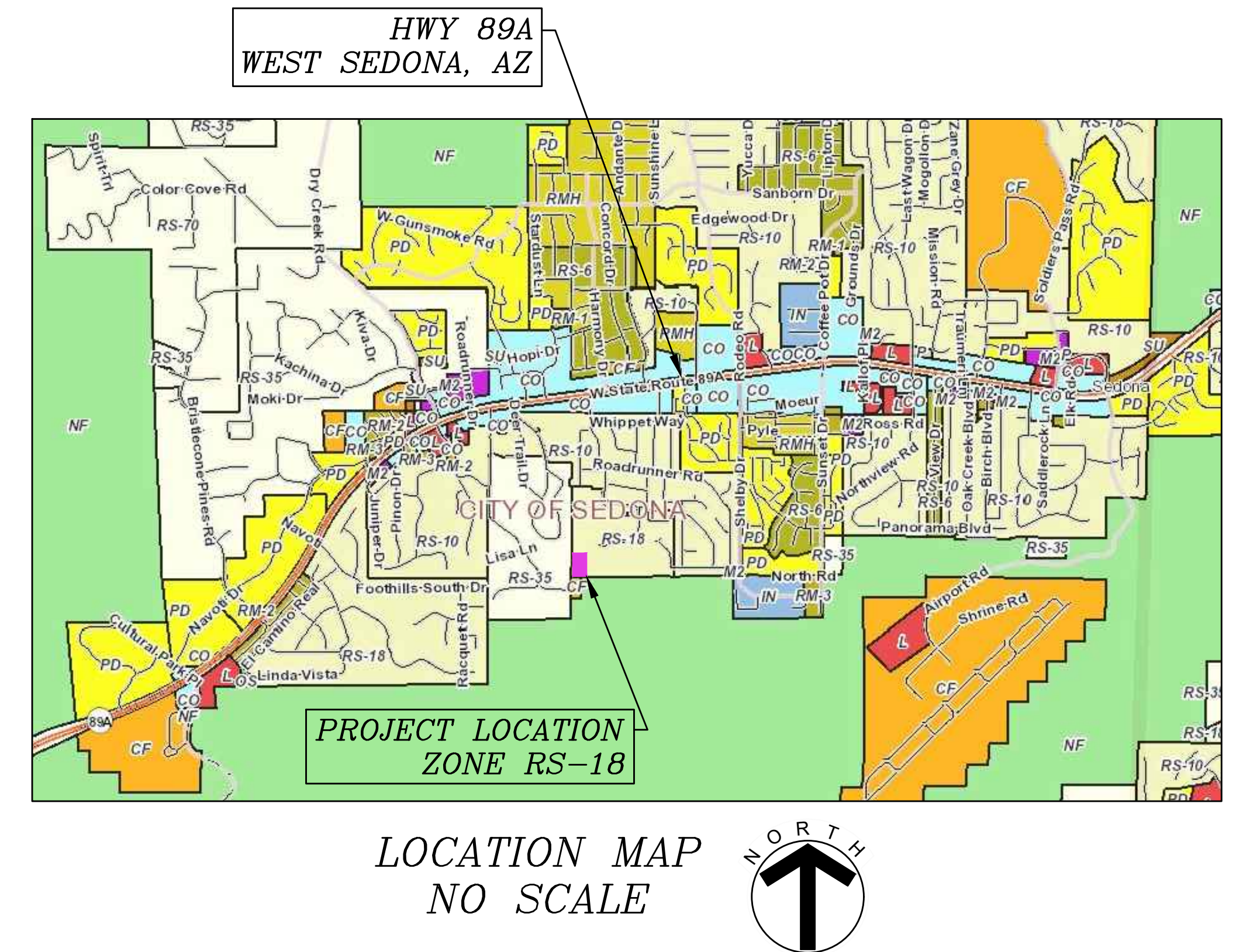
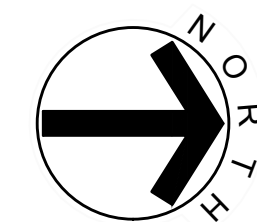


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VICINITY MAP  
NO SCALE



LOCATION MAP  
NO SCALE



EXHIBIT. NOT FOR CONSTRUCTION. FOR AGENCY REVIEW ONLY  
THE REFUGE AT SEDONA  
PRELIMINARY PLAT EXHIBITS

VICINITY MAP LOCATION MAP ZONING MAP		
DATE 12/10/20	DRAWN NMW	SHEET 1 OF 1
SCALE AS SHOWN	CHECKED KG	PROJECT NO. 20-0809E



20 STUTZ BEARCAT DR. #6  
SEDONA, AZ 86336  
(928) 282-7787



# ALTA / NSPS LAND TITLE SURVEY

A PORTION OF THE NORTHWEST 1/4 OF SECTION 14, T.17N.,  
R.5E., G. & S.R.M., YAVAPAI COUNTY, ARIZONA  
ASSESSOR PARCELS 408-10-060B AND 408-10-060C  
CITY OF SEDONA

## LEGAL DESCRIPTION

(PER COMMITMENT FOR TITLE INSURANCE COMMITMENT FILE NUMBER: 131667EW)

### PARCEL A:

A parcel of land situated in the East half of the Northwest quarter of Section 14, Township 17 North, Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona, being more particularly described as follows:  
COMMENCING at the Northwest corner of said East half of the Northwest quarter of Section 14, from which the Northwest corner of said Section 14, as marked by a B.L.M. brass capped pipe, lies North 89 degrees 39 minutes 00 seconds West, a distance of 1,319.00 feet;  
Thence from said Northwest corner of the East half of the Northwest quarter of Section 14, South 00 degrees 21 minutes 56 seconds West (South 00 degrees 00 minutes 10 seconds East record), a distance of 1,787.62 (1,787.62 record) feet to a type "A" monument described below and found on the West line of said East half of the Northwest quarter of Section 14, said monument being the POINT OF BEGINNING;  
Thence South 00 degrees 19 minutes 23 seconds West (South 00 degrees 00 minutes 10 seconds East record), a distance of 380 feet to a type "B" monument described below;  
Thence North 89 degrees 23 minutes 09 seconds East, a distance of 287.99 feet to a type "B" monument;  
Thence North 00 degrees 37 minutes 23 seconds West (North 01 degrees 00 minutes 09 seconds West record), a distance of 104.06 feet to a type "C" monument described below;  
Thence North 88 degrees 31 minutes 07 seconds East (North 88 degrees 09 minutes 46 seconds East record), a distance of 47.91 (48.00 record) feet to a type "C" monument found at the Southwest corner of Lot 8, THUNDERBIRD HILLS SOUTH UNIT 2, according to the plat thereof recorded in Book 19 of Maps and Plats, Page 40, of the Yavapai County Recorder's Office;  
Thence Northerly along the Westerly boundaries of said Lot 8 the following courses;  
North 12 degrees 47 minutes 14 seconds West (North 13 degrees 08 minutes West record), a distance of 104.26 (104.42 record) feet to a concrete nail and tag stamped "LS 14184" set in a rock;  
Thence North 49 degrees 21 minutes 16 seconds East (North 48 degrees 54 minutes East record), a distance of 74.69 (74.81 record) feet to a type "B" monument;  
Thence North 12 degrees 35 minutes 13 seconds West (North 12 degrees 56 minutes West record), a distance of 194.85 (195.14 record) feet to a type "B" monument;  
Thence North 36 degrees 29 minutes 57 seconds East (North 36 degrees 04 minutes East record), a distance of 144.83 (145.09 record) feet to a type "B" monument;  
Thence North 68 degrees 28 minutes 57 seconds East (North 68 degrees 00 minutes East record), a distance of 138.55 (138.73 record) feet to a type "B" monument set on the Southwesterly right of way line of GOLDEN EAGLE DRIVE according to the plat thereof recorded in Book 14 of Maps and Plats, Page 6 of the Yavapai County Recorder's Office, said monument being the end of said Westerly boundaries of Lot 8;  
Thence Northwestwesterly along said Southwesterly right of way line of GOLDEN EAGLE DRIVE, being a nontangent curve concave to the Northeast having a radius of 30.00 feet, chord bearing of North 26 degrees 28 minutes 30 seconds West and central angle of 48 degrees 37 minutes 34 seconds, an arc distance of 25.46 feet to a type "B" monument;  
Thence departing said Southwesterly right of way line, South 68 degrees 21 minutes 56 seconds West (South 68 degrees 00 minutes West record), a distance of 134.34 (134.50 record) feet to a type "A" monument;  
Thence South 84 degrees 01 minutes 56 seconds West (South 83 degrees 40 minutes West record) a distance of 116.25 (116.36 record) feet to a type "A" monument;  
Thence South 32 degrees 46 minutes 41 seconds West (South 32 degrees 24 minutes 45 seconds West record), a distance of 235.07 (234.93 record) feet to type "A" monument;  
Thence North 89 degrees 38 minutes 04 seconds West (West record), a distance of 160.00 (160.00 record) feet to the POINT OF BEGINNING.

Type "A" monument - Found 1/2 inch rebar with cap stamped "LANDMARK LS 14184";  
Type "B" monument - Set 1/2 inch rebar with cap stamped "LANDMARK LS 14184";  
Type "C" monument - Found 1/2 inch rebar with no cap or tag  
Basis of bearings for this description is North 89 degrees 39 minutes 00 seconds West along the North line of the Northwest quarter of said Section 14 as monumented by B.L.M. brass capped pipes and per B.L.M. Township Plat.

### PARCEL B:

A parcel of land situated in the East half of the Northwest quarter of Section 14, Township 17 North, Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona, being more particularly described as follows:  
COMMENCING at the Northwest corner of said East half of the Northwest quarter of Section 14, from which the Northwest corner of said Section 14, as marked by a B.L.M. brass capped pipe, lies North 89 degrees 39 minutes 00 seconds West, a distance of 1,319.00 feet;  
Thence from said Northwest corner of the East half of the Northwest quarter of Section 14, South 00 degrees 21 minutes 56 seconds West (South 00 degrees 00 minutes 10 seconds East record), a distance of 1,787.62 (1,787.62 record) feet to a type "A" monument described below and found on the West line of said East half of the Northwest quarter of Section 14;  
Thence South 00 degrees 19 minutes 23 seconds West (South 00 degrees 00 minutes 10 seconds East record), a distance of 380.00 feet to a type "B" monument described below, said monument being the POINT OF BEGINNING;  
Thence South 00 degrees 19 minutes 23 seconds West (South 00 degrees 00 minutes 10 seconds East record), a distance of 177.00 feet to a type "B" monument;  
Thence North 89 degrees 23 minutes 25 seconds East, a distance of 290.91 feet to a type "B" monument;  
Thence North 00 degrees 37 minutes 23 seconds West (North 01 degrees 00 minutes 09 seconds record), a distance of 177.00 feet to a type "B" monument;  
Thence South 89 degrees 23 minutes 09 seconds West, a distance of 287.99 feet to the POINT OF BEGINNING;

Type "A" monument - found 1/2 inch rebar with cap stamped "LANDMARK LS14184";  
Type "B" monument - Set 1/2 inch rebar with cap stamped "LANDMARK LS14184";  
Basis of bearings for this description is North 89 degrees 39 minutes 00 seconds West along the North line of the Northwest quarter of said Section 14 as monumented by B.L.M., brass capped pipes and per B.L.M. Township Plat.

### PARCEL C:

A parcel of land situated in the East half of the Northwest quarter of Section 14, Township 17 North, Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona, being more particularly described as follows:  
COMMENCING at the Northwest corner of said East half of the Northwest quarter of Section 14, from which the Northwest corner of said Section 14, as marked by a B.L.M. brass capped pipe, lies North 89 degrees 39 minutes 00 seconds West, a distance of 1,319.00 feet;  
Thence from said Northwest corner of the East half of the Northwest quarter of Section 14, South 00 degrees 21 minutes 56 seconds West (South 00 degrees 00 minutes 10 seconds East record) a distance of 1,787.62 (1,787.62 record) feet to a type "A" monument described below and found on the West line of said East half of the Northwest quarter of Section 14;  
Thence South 00 degrees 19 minutes 23 seconds West (South 00 degrees 00 minutes 10 seconds East record), a distance of 557.00 feet to a type "B" monument described below, said monument being the POINT OF BEGINNING;  
Thence South 00 degrees 19 minutes 23 seconds West (South 00 degrees 00 minutes 10 seconds West record), a distance of 265.00 feet to a 3/4 inch pipe with no cap or tag found;  
Thence North 89 degrees 19 minutes 50 seconds East (North 89 degrees 59 minutes East record), a distance of 164.52 feet to a U.S. Forest Service aluminum capped rod stamped "LE 14184" found on the South line of the Northwest quarter of said Section 14;  
Thence North 89 degrees 28 minutes 48 seconds East (North 89 degrees 59 minutes East record), a distance of 130.77 feet along said South line of the Northwest quarter of Section 14 to a type "A" monument;  
Thence North 00 degrees 37 minutes 23 seconds West (North 01 degrees 00 minutes 09 seconds West record), a distance of 265.00 feet to a type "B" monument;  
Thence South 89 degrees 23 minutes 25 seconds West, a distance of 290.91 feet to the POINT OF BEGINNING;

Type "A" monument - Found 1/2 inch rebar with cap stamped "LANDMARK LS 14184";  
Type "B" monument - Set 1/2 inch rebar with cap stamped "LANDMARK LS 14184";  
Basis of bearings for this description is North 89 degrees 39 minutes 00 seconds West along the North line of the Northwest quarter of said Section 14 as monumented by B.L.M. Brass capped pipes and per B.L.M. Township Plat.

SEE SHEET 1 FOR LEGAL DESCRIPTION, SURVEYOR'S NOTES / CERTIFICATION, SCHEDULE B ITEMS, AND DETAILS.  
SEE SHEET 2 FOR BOUNDARY, FEATURES, RECORD TIE REFERENCES, EASEMENTS, AND ADJACENT PARCEL INFORMATION.

## SCHEDULE B EXCEPTION ITEMS

(PER COMMITMENT FOR TITLE INSURANCE COMMITMENT FILE NUMBER: 131667EW)

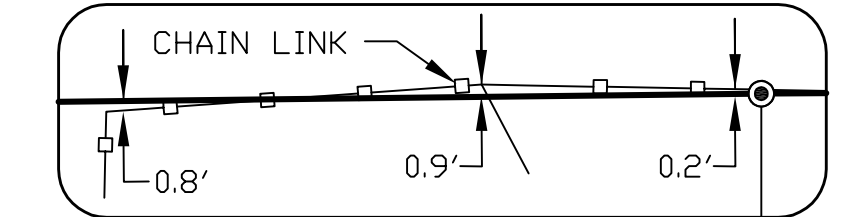
NOTE: THE "SITE" OR "SUBJECT PARCELS" AS REFERENCED IN THIS TABLE IS THE LAND REFERRED TO IN THE SCHEDULE "A" LEGAL DESCRIPTION.

EXCEPTION	BOOK / PAGE	TYPE	LOCATION
1 - 9	NOT APPLICABLE/ NOT PLOTTABLE		
10	BOOK 186 OF DEEDS, PAGE 330	EASEMENT FOR ELECTRIC LINES.	UNDETERMINED LOCATION, SEE ALSO BOOK 1351 OF OFFICIAL RECORDS, PAGE 162 FOR AN EASEMENT FOR ELECTRIC LINES WHOSE APPROXIMATE EAST LINE IS COMMON WITH THE WEST LINE OF THE SUBJECT SITE.
11	BOOK 843 OF DEEDS, PAGE 881	EASEMENT FOR INGRESS, EGRESS, AND PUBLIC UTILITIES.	ON-SITE.
12	BOOK 1820 OF OFFICIAL RECORDS, PAGE 194	EASEMENT FOR ROADWAY AND UTILITIES.	ON-SITE.
13	BOOK 1865 OF OFFICIAL RECORDS, PAGE 654	NON-EXCLUSIVE EASEMENT FOR UTILITIES, INGRESS, AND EGRESS.	THE DOCUMENT CONTAINS TWO EASEMENTS. ONE IS THE SAME AS EXCEPTIONS 11 AND 12. SEE NOTE 1 ON SHEET TWO FOR THE OTHER EASEMENT THAT IS ON AND OFF-SITE.
14	INSTRUMENT 2016-6312	RESULTS OF SURVEY.	SUBJECT SITE.

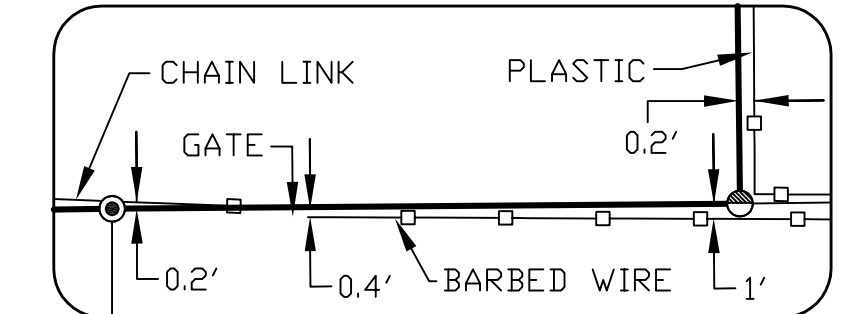
## ZONE RS-18a

MINIMUM LOT SIZE = 18,000 SQ. FT.  
MINIMUM LOT WIDTH AND DEPTH = 100 FT.  
MAXIMUM LOT COVERAGE = 25%  
MINIMUM FRONT YARD SETBACK = 30 FT.  
MINIMUM REAR YARD SETBACK = 30 FT.  
MINIMUM INTERIOR SIDE YARD SETBACK = 10 FT.  
MINIMUM EXTERIOR SIDE YARD SETBACK = 15 FT.  
CITY SEDONA

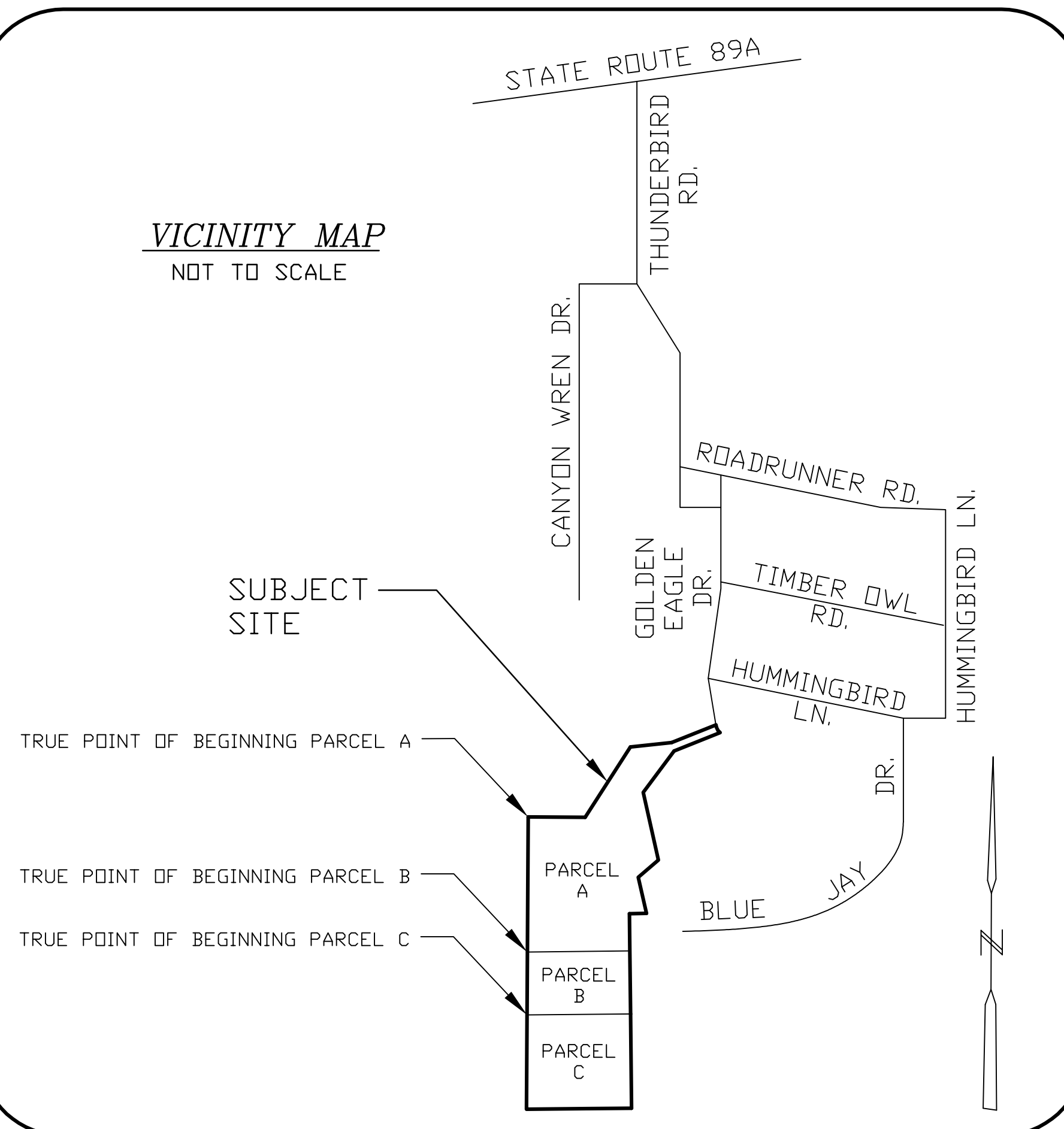
### DETAIL "A" NOT TO SCALE



### DETAIL "B" NOT TO SCALE



### VICINITY MAP NOT TO SCALE



## SURVEYOR'S NOTE 1

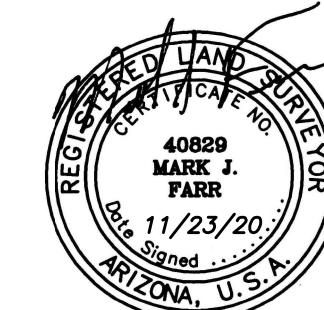
AS TO THE TITLE MATTERS SHOWN HEREDON, S.E.C., Inc. HAS RELIED SOLELY ON THE COMMITMENT FOR TITLE INSURANCE ISSUED BY WESTCDR LAND TITLE INSURANCE COMPANY, FILE NUMBER: 131667EW, COMMITMENT DATE: JULY 21, 2020.

S.E.C. Inc. AND MARK J. FARR, R.L.S., MAKE NO STATEMENT AS TO THE ACCURACY OR COMPLETENESS OF THE SUBJECT COMMITMENT FOR TITLE INSURANCE.

## CERTIFICATION

TO:  
SIMNO HOLDINGS, LLC:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK WAS COMPLETED IN SEPTEMBER 2020.



MARK J. FARR  
R.L.S. #40829

## SIMNO HOLDINGS LLC



825 COVE PARKWAY, SUITE A  
COTTONWOOD, ARIZONA 86326  
(928) 634-5889  
www.sec-landmgt.com

ALTA / NSPS  
LAND TITLE SURVEY  
SECTION 14  
T17N., R5E.

DATE 11/23/20	DRAWN B.L.S.	SHEET 1 OF 2
SCALE NONE	CHECKED M.J.F.	20-0809E SIMNO Holdings LLC "ALTA.dwg"



# ALTA / NSPS LAND TITLE SURVEY

A PORTION OF THE NORTHWEST 1/4 OF SECTION 14, T.17N., R.5E., G. & S.R.M., YAVAPAI COUNTY, ARIZONA  
 ASSESSOR PARCELS 408-10-060B AND 408-10-060C  
 CITY OF SEDONA

## CONTROL DATA

CITY OF SEDONA BENCHMARK  
 ND 13 PER BOOK 183 OF  
 LAND SURVEYS, PAGES  
 94-95, LYING N02°19'W  
 APPROXIMATELY 696  
 FEET FROM THE NORTHERN MOST  
 POINT OF THE SUBJECT  
 SITE.  
 ELEVATION: 4370.37'  
 (NAVD89 ONCS GRID  
 MODEL "GEOID03")  
 ARIZONA STATE PLANE  
 COORDINATE SYSTEM,  
 CENTRAL ZONE COORDINATES  
 GRID NORTH:  
 14044.472 U.S. SURVEY FEET  
 GRID EAST:  
 732882.47 U.S. SURVEY FEET  
 NAD 83:  
 LATITUDE:  
 34°51'53.86762" N  
 LONGITUDE:  
 111°48'25.38846" W

## LEGEND

- INDICATES FOUND MONUMENT AS NOTED
- INDICATES FOUND 3/8" REBAR AND PLASTIC CAP STAMPED LANDMARK LS 14184\*
- INDICATES FOUND 1/2" REBAR AND PLASTIC CAP STAMPED LANDMARK LS 14184\*
- INDICATES FOUND 1/2" REBAR AND BRASS TAG STAMPED LANDMARK LS 14184\*
- INDICATES FOUND 3/4" IRON PIPE AND BRASS TAG STAMPED SEC INC 40829\*
- INDICATES FOUND 1/2" REBAR AND PLASTIC CAP STAMPED LS 29263\*
- INDICATES FOUND 1/2" REBAR WITH ND CAP DR TAG
- INDICATES FOUND 1/2" REBAR AND BRASS TAG STAMPED SEC INC 40829\*
- INDICATES FOUND 1" IRON PIPE WITH ND CAP DR TAG
- INDICATES FOUND 5/8" REBAR AND CAP STAMPED SEC INC LS 40829\* UNLESS OTHERWISE NOTED
- ⊙ INDICATES CALCULATED LOCATION, NOTHING FOUND OR SET
- (C) INDICATES CALCULATED DIMENSION
- (M) INDICATES MEASURED DIMENSIONS
- (DR) INDICATES OFFICIAL RECORDS
- (R1) INDICATES RECORD DIMENSIONS PER BOOK 2752 OF OFFICIAL RECORDS, PAGES 582-585
- (R2) INDICATES RECORD DIMENSIONS PER BOOK 19 OF MAPS AND PLATS, PAGE 40
- (R3) INDICATES RECORD DIMENSIONS PER BOOK 2637 OF OFFICIAL RECORDS, PAGES 309-311
- (R4) INDICATES RECORD DIMENSIONS PER BOOK 4428 OF OFFICIAL RECORDS, PAGE 830
- (R5) INDICATES RECORD DIMENSIONS PER BOOK 4135 OF OFFICIAL RECORDS, PAGE 675
- (R6) INDICATES RECORD DIMENSIONS PER BOOK 3598 OF OFFICIAL RECORDS, PAGE 535
- (R7) INDICATES RECORD DIMENSIONS PER BOOK 14 OF MAPS AND PLATS, PAGE 6
- (R8) INDICATES RECORD DIMENSIONS PER BOOK 4125 OF OFFICIAL RECORDS, PAGE 118
- (R9) INTENTIONALLY OMITTED
- (R10) INDICATES RECORD DIMENSIONS PER BOOK 4840 OF OFFICIAL RECORDS, PAGE 545
- (R11) INDICATES RECORD DIMENSIONS PER BOOK 1534 OF OFFICIAL RECORDS, PAGES 540-541
- (S) INDICATES SEWER MANHOLE
- ① INDICATES 1" IRON PIPE RISER
- ⊕ INDICATES ELECTRIC PAD / BOX / VALVE
- ⊖ INDICATES TELEPHONE / CABLE RISER
- ⊗ INDICATES WATER BOX
- ⊘ INDICATES IRRIGATION CONTROL VALVE
- ⊙ INDICATES UTILITY POLE
- ⊚ INDICATES DOWN GUY WIRE
- ⊛ INDICATES OVERHEAD POWER LINE
- ⊜ INDICATES JEEP TRAIL
- ⊝ INDICATES FENCE AS NOTED
- ⊞ INDICATES DIRT ROAD

## CURVE DATA

(M)  
 Delta = 47°57'01"  
 Radius = 30.00'  
 Length = 25.11'  
 Chd. Brng. = S28°13'37"E  
 Chd. Dist. = 24.38'  
 Tangent = 13.34'

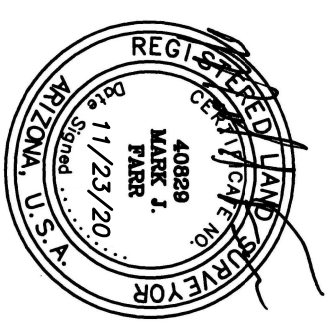
(R1)  
 Delta = 48°37'34"  
 Radius = 30.00'  
 Length = 25.46'  
 Chd. Brng. = S26°28'30"E

## LINE DATA

A1 N12°50'31"W 104.26'(M)  
 N13°08'00"W 104.42'(R2,R11)  
 N12°47'14"W 104.26'(R1)  
 A2 N49°42'39"E 74.69'(M)  
 N49°21'16"E 74.69'(R1)  
 N48°54'00"E 74.81'(R2,R11)  
 A3 N68°12'36"E 139.21'(M)  
 N68°28'57"E 138.55'(R1)  
 N68°00'00"E 138.73'(R2,R11)  
 A4 S00°01'48"W 191.64'(M)  
 S00°01'05"W 191.42'(R10)  
 A5 S84°00'08"W 116.28'(M)  
 S84°01'56"W 116.23'(R1,R6)  
 S83°40'00"W 116.36'(R11)  
 A6 S32°48'17"W 63.54'(M)  
 S32°46'41"W 63.43'(R6)

## NOTES

1. BOOK 1865 DR., PAGES 654-660 (ITEM 13) CITES A NON-EXCLUSIVE EASEMENT FOR UTILITIES, INGRESS, AND EGRESS IN THIS AREA. THE NORTHERLY OFF-SITE PORTION OF THE EASEMENT IS NOT ILLUSTRATED DUE TO THE MATHEMATICAL INCONSISTENCIES IN THE LEGAL DESCRIPTION OF THE EASEMENT. THE SOUTHERLY ON-SITE PORTION OF THE EASEMENT APPEARS TO BE COMMON WITH THE AS SHOWN EASEMENTS IN BOOK 843 OF DR., PAGE 841 (ITEM 11) AND BOOK 1820 OF DR., PAGES 194-195 (ITEM 12).
2. SEE RECORDED INSTRUMENT 2020-0052675 FOR RESULTS OF SURVEY OF THE SUBJECT AREA.

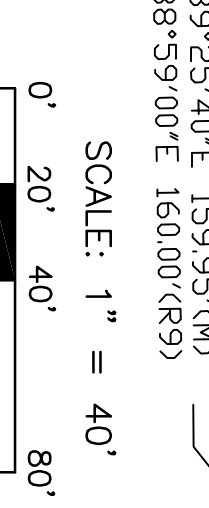


**SIMNO HOLDINGS LLC**



825 COVE PARKWAY, SUITE A  
 COTTOWOOD, ARIZONA 86336  
 (928) 634-5889  
 www.sec-landtitle.com

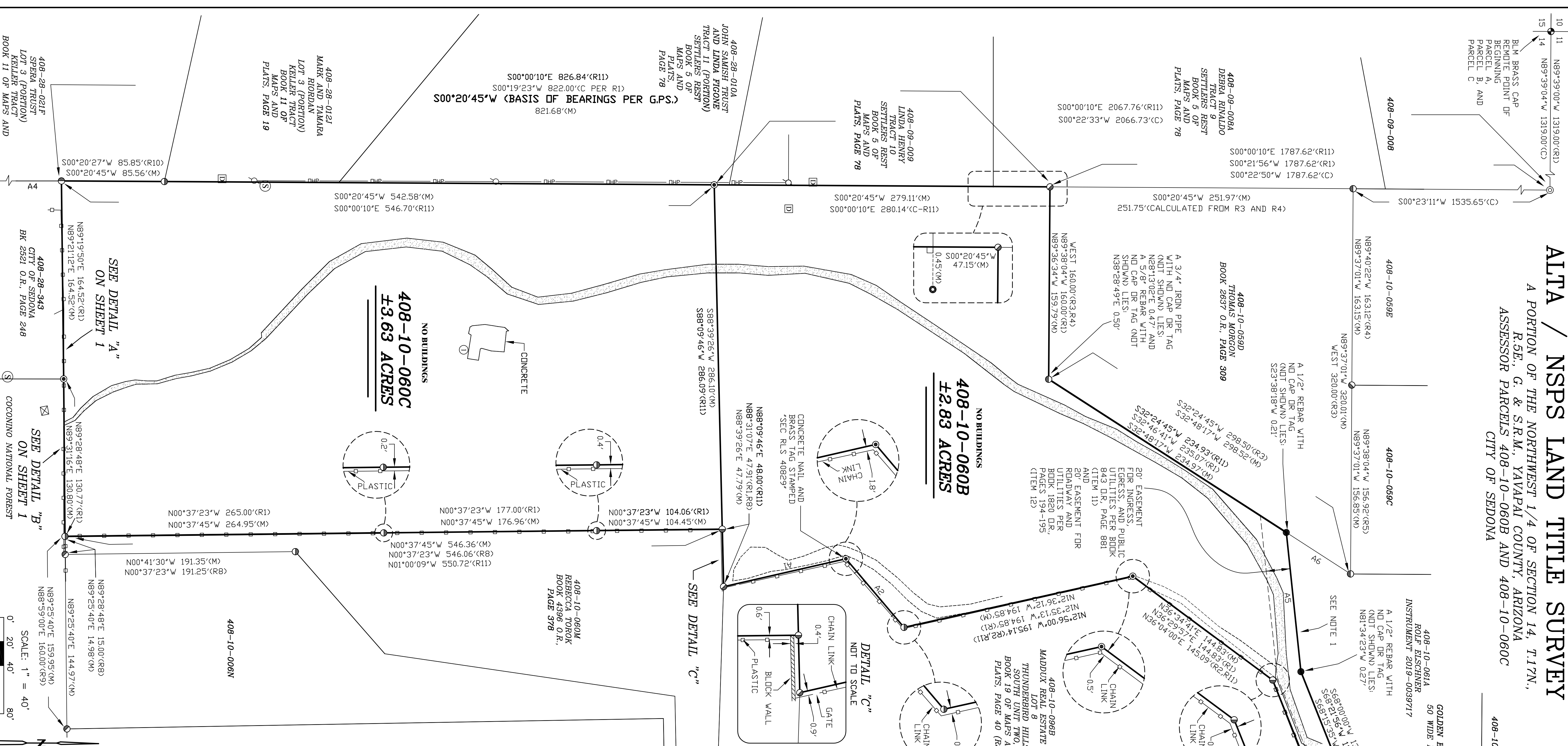
DATE	DRAWN B.L.S.	CHECKED M.J.F.	SHEET 2 OF 2
11/23/20	B.L.S.	M.J.F.	20-0809E
SCALE 1" = 40'			SIMNO Holdings LLC "ALTA/DWG"



SCALE: 1" = 40'

SEE DETAIL "A" ON SHEET 1

SEE DETAIL "B" ON SHEET 1



DISCLAIMER: These plans/documents have been prepared using technical knowledge and skills that would be applied by other qualified registrants who practice the same profession in the same area and at the same time. Efforts have been made to be as accurate as possible. However, plans/documents could contain errors and omissions will occur in any plan/document preparation process.





## City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • [www.sedonaaz.gov/cd](http://www.sedonaaz.gov/cd)

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### **PZ20-00007 (SUB) The Refuge at Sedona Conceptual Plat**

Planning Comments, October 26, 2020

Reviewer: Cari Meyer, Senior Planner

(928) 203-5049; [cmeyer@sedonaaz.gov](mailto:cmeyer@sedonaaz.gov)

#### **1. Conceptual Review**

- a) The application has been submitted for conceptual plat. The following comments are broken into two categories: items that are deficient for a conceptual plat submittal and must be addressed prior to scheduling a conceptual public hearing and comments that are intended to serve as a guide as you assemble the submittal packet for the Preliminary Plat and do not need to be addressed prior to your conceptual hearing.
- b) While Staff has made an effort to bring up items that stand out as impacting the overall project, the following comments should not be viewed as a comprehensive and detailed evaluation of the proposal. The applicant and their representatives should carefully review all applicable code sections and ensure the plans submitted clearly show compliance.
- c) Contact the following Staff members if you have any questions regarding what will be required:
  - i) Cari Meyer, Senior Planner, [cmeyer@sedonaaz.gov](mailto:cmeyer@sedonaaz.gov), (928) 203-5049, for questions regarding development standards, submittal requirements, and the review process.
  - ii) Cynthia Lovely, Senior Planner, [clovely@sedonaaz.gov](mailto:clovely@sedonaaz.gov), (928) 203-5035, for questions regarding the GO! Sedona Pathways Plan.

#### **2. Conceptual Plat: The following items must be addressed prior to scheduling a public hearing**

- a) Please review the submittal requirements in the Administrative Manual, both the general application requirements (Section 1.1) and specific application submittal requirements (Section 1.3). The Administrative Manual is available for review online at:
  - i) <https://www.sedonaaz.gov/home/showdocument?id=38278>.
- b) Provide all plans with a landscape orientation, Manual Section 1.1.C(1)
- c) Provide a vicinity map including all information outlined in Manual Section 1.1.E(1).
- d) Letters of Serviceability from utility connections – Manual Section 1.1.H(7)
- e) An ALTA survey prepared by a registered surveyor for the property – Manual Section 1.1.H(9)
- f) The following items required for a Conceptual Plat have not been provided:
  - i) Letter of Intent does not include the following – Manual Section 1.3.A(1)a):
    - (1) Summary of compliance with requirements for subdivision approval
    - (2) Proposed lot sizes
    - (3) Pending legal issues
    - (4) General location of existing vegetation
    - (5) Existing site improvements

- (6) Known historical or archaeological resources
  - (7) Proposed arrangement of lots
  - (8) Tentative proposals regarding traffic impacts
  - (9) Preservation of viewsheds
- ii) Slope Analysis, Manual Section 1.3.A(1)d
  - iii) A document including all proposed modifications to basic ordinance requirements (if any), Manual Section 1.3.A(1)f
- g) The Letter of Intent states the property is 6.46 acres. Based on the zoning district, this would allow a maximum of 12 lots (2 per acre).
- h) Staff has reviewed the City's Subdivision Requirements and noted the following sections as areas as noncompliant. If modifications to ordinance requirements are proposed, include the requested modification and justification in the list of proposed modifications (See Comment 2.f)iii)). Requested modifications should be reviewed as part of the Conceptual Plat to ensure that the applicant and the City are in general agreement prior to preparation of the Preliminary Plat. This should not be seen as a complete review of the plans and the applicant should carefully review the subdivision requirements and ensure the proposal complies with all subdivision requirements.
- i) LDC Section 7.3.C(5): The pole portion of a flag lot must be at least 30 feet in width if it is to contain both sewer and water lines. This would apply to lots 3, 9, and 11, along with the access to lots 7 and 8.
  - ii) LDC Section 7.3.F(5) requires sidewalks on both sides of the street (See Public Works comments for additional information).
  - iii) LDC Section 7.3.H(6): Clarify how the pedestrian easement to the Forest Service Land will be provided.
  - iv) LDC Section 7.3.J(2): Cluster subdivision standards. Ensure the application addresses the requirements for a cluster subdivision, including clarifying how the "Proposed Protected Land" will be protected.
- i) Multiple lots have odd shapes and unusable corners. Revise lot configurations to eliminate these areas/standardize the lot shapes. These lots include:
- i) Lot 1: Northern portion of the lot is unusable and should be included in a Common Area Tract with the road
  - ii) Lots 2 and 3: Property line between lots 2 and 3 should be angled to meet the corner of the existing lot, eliminating the triangle in the north east corner of Lot 3
  - iii) Lot 3 and 7: The panhandle in the northeast corner of Lot 7 is unusable and property lines should be adjusted to add that section to Lot 3
  - iv) Lots 7 and 8: Consider modifying the "Y" turnaround for the access for Lots 7 and 8 into a "T" hammerhead. This would eliminate the angles and provide for a more rectangular building envelope when setbacks are applied.
  - v) Lot 13: Lot 13 appears to include a long sliver to the north of the lot along the proposed road. The lot line between Lots 13 and APN 408-10-059D should continue to the road easement and the sliver should be added to the Common Area Tract containing the road.

**3. Preliminary Plat: The following items are intended to serve as a guide as you assemble the submittal packet for the Preliminary Plat.**

- a) Please review the submittal requirements in the Administrative Manual, both the general application requirements (Section 1.1) and specific application submittal requirements (Section 1.3). The Administrative Manual is available for review online at:
  - i) <https://www.sedonaaz.gov/home/showdocument?id=38278>.
- b) While it is understood that the access to this site is limited to 25 feet in width coming off of Golden Eagle Drive, once the road gets beyond the 25 foot restriction, the pedestrian pathway should be removed from the roadway and minimum width provided. The pathway should also be in compliance with the recommendations of the GO! Sedona Pathways Plan. See Public Works/Engineering Comments for further detail regarding this requirement.
- c) Remove existing property lines from the Preliminary Plat so they are not confused with the proposed lot configuration.
- d) As this application is proposing to subdivide under the clustering provisions, the lots are expected to be smaller than the minimum requirement of 18,000 square feet. Therefore, Staff recommends that the applicant consider designating building envelopes within each lot, as the RS-18 setbacks may be too large for smaller lots. In addition, it is recommended that the applicant clearly delineate front, rear and side setbacks for all lots to avoid confusion in the future.
- e) Clarify how the access to lots 5, 6, 7, and 8 will be designated – private ROW or easement. In addition, specify whether lots 5 and 6 would be permitted/required to take access here.
- f) Clarify the easement to APN 408-10-059D, how that will tie into the proposed new road, and whether any improvements to that area are proposed.



## Public Works Department

102 Roadrunner Drive Sedona, AZ 86336  
(928) 204-7111 • Fax: (928) 282-5348;  
Hanako Ueda, EIT (928) 203-5024

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**PZ20-00007 (SUB)**  
**Project Name (Conceptual Plat)**  
**10/28/2020**

### Engineering Comments

#### Please address all comments for the Conceptual Plat:

1. Please provide a table with lot information.
2. Please include a narrative of the ownership and maintenance responsibilities for the roadway, shared driveway at lots 6,7,8 &9, and protected land.
3. The previous conceptual plans showed the width of the entry way at 24.2574', but the conceptual plat shows 25'. We have not received a lot line adjustment application from the neighboring properties. Please verify.

#### Please address all comments for the Preliminary Plat:

4. Please provide a trip generation letter.
5. Please provide a geotechnical report.
6. Please provide preliminary grading and drainage plans.
7. Please provide a preliminary drainage report.
8. Please provide a sewer design report.
9. Please existing or proposed sewer easements.
10. Provide a 2' topo.
11. Provide letters of serviceability for all utilities.
12. Provide street names and alternatives.
13. Please show any proposed signage for traffic, subdivision identification or pedestrian wayfinding.
14. Check for monumentation, existing and proposed. Please include a legend and distinguish between existing and proposed property lines.
15. Please clearly show the ingress & egress & public utility easement. This should be the entire width of the proposed roadway.
16. 18' roadways must have rolled curbs (DREAM Table3.4)
17. Due to the proximity to the Carroll Canyon floodway, the minimum setback distances for the roadway and buildings must meet the standards outlined in State Standard SS5-96. The flood hazard area may extend beyond the required erosion setback and may require further building requirements.
18. Once the roadway widens after approximately 150', adequate pedestrian paths must be provided. Please provide 5' concrete sidewalks on each side of the street, or an 8'-10' shared-use-path on 1 side. The shared-use-path may be asphalt or stabilized decomposed granite but must be separate from the roadway.
19. Please show pedestrian gate details.

#### Prior to Issuance of Building Permit:

- For projects involving grading of more than 5,000 cubic yards, a haul plan, a dust control plan, a topsoil reutilization plan, a stormwater pollution prevention plan, and a traffic control plan shall be required. Each must be acceptable to and approved by the City Engineer. (DREAM 3.1.H.6.i).
- For projects involving grading of more than 5,000 cubic yards, an assurance bond is required per DREAM 3.1.G.1.

- Assurance bonds are required for all subdivision construction projects.
- Provide Final Grading and Drainage Plans. The Site Plan shall meet the requirements of DREAM Chapter 3.1.
- Provide the Final Drainage Report.
- Applicant shall follow the City of Sedona Land Development Code in its entirety.
- Applicant shall provide a Storm Water Pollution Prevention Plan. SWPPP measures shall be in place prior to the start of construction (DREAM 3.1). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5).



# SEDONA FIRE DISTRICT

2860 SOUTHWEST DRIVE · SEDONA, AZ 86336 · TEL: (928) 282-6800 · FAX: (928) 282-6857

**Safe...Friendly...Dedicated**

October 27, 2020

Cari Meyer  
Senior Planner  
City of Sedona  
[CMeyer@sedonaaz.gov](mailto:CMeyer@sedonaaz.gov)

Dear Ms. Meyer:

**This project shall comply with ALL fire code requirements.** A copy of the 2012 International Fire Code and all referenced material may be found at <https://codes.iccsafe.org/content/IFC2012>. The omission of a particular code requirement from the list below shall not to be construed as permission to violate the code.

A plan review has been completed for the project listed below.

**Description:** The Refuge at Sedona  
**Address:** 165 Golden Eagle Drive, Sedona, AZ 86336  
**City Permit #:** PZ20-00007  
**APN:** 408-10-060B & C  
**Proposal:** 6.5 Acre Subdivision

**Based on the submitted information, applicable comments include but are not limited to:**

- 1) **Section 109:** The developer shall comply with all requirements of the Fire Code adopted by Sedona Fire District as they pertain to this particular type of occupancy or development. The adopted fire code is based on the 2012 Edition of the International Fire Code with amendments as approved by the Arizona State Fire Marshal.
- 2) 3304.1 Smoking on Construction Sites. Smoking shall be prohibited except in approved areas. Signs shall be posted in accordance with Section 310. In approved areas where smoking is permitted, approved ashtrays shall be provided in accordance with Section 310. Approved areas for smoking are outside of the construction area, away from combustibles, in an area devoid of vegetation and provided with approved ashtrays.
- 3) Lots proposed to be built upon that are within the boundaries of the Wildland Urban Interface shall comply with the adopted version of the International Wildland Urban Interface Code at the time of construction.
- 4) All dwellings in this proposed subdivision shall require the installation of NFPA 13D automatic sprinkler systems be installed at the time of construction.
- 5) 505.1 Premises Identification on Construction Sites. Structures under construction shall be provided with a temporary address numbers identifying the property. Legible address numbers shall be posted at



the end of the driveway nearest the street serving the construction site and be posted on a contrasting background until such time that approved permanent address numbers are posted on the structure.

- 6) **Section 501.4:** Required fire apparatus access roads, water supplies, fire hydrants and water mains shall be installed and made serviceable prior to and during the time of onsite combustible construction.
- 7) **503.1.1** *Approved* fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an *approved* route around the exterior of the building or facility.
  - a) Plans for the fire apparatus access roads shall be submitted for review and approval by the appropriate County Road Department / City of Sedona, where required, **prior to construction. Provide copies of approved plans to the Sedona Fire District.**
  - b) **Section 503.2.1:** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet.
  - c) **Section 503:** Buildings or portions of buildings or facilities exceeding 30 feet in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department **aerial apparatus**. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet in the immediate vicinity of any building or portion of building more than 30 feet in height. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building.
  - d) **Section 503.2.3:** Fire apparatus access roads shall be of an all-weather surface that is easily distinguishable from the surrounding area and is capable of supporting not less than 12,500 pounds point load (wheel load) and 75,000 pounds live load (gross vehicle weight). You may need to provide documentation from a registered engineer that the design will be capable of supporting such loading. Documentation from a registered engineer that the finished construction is in accordance with the approved plans or the requirements of the Fire Code may be requested.
  - e) **Section 503.2.4:** The inside turning radius and outside turning radius shall not be less than 28 feet and 48 feet respectively, measured from the same center point.
  - f) **Section 503.2.6:** Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO *Standard Specification for Highway Bridges*. Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus, (75,000 lbs). Vehicle load limits shall be posted at both entrances to bridges when required by the fire code official. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained when required by the fire code official.
  - g) **Section 503.2.7:** Whether temporary or permanent, no fire apparatus access roadway grade shall exceed 6 percent unless the roadway is paved hard and smooth with materials such as asphalt. Grades shall not exceed 12 percent unless the roadway is constructed of concrete. Grades shall not

exceed 15 percent unless written request is made to and approved by the Fire Marshal. for private driveways. Intersections and turnarounds shall be level (maximum 5%) with the exception of crowning for water run-off.

- 8) **Section 503.2.5:** Dead end fire apparatus access roads in excess of 150 feet in length shall be provided with an approved turnaround. Dead-end fire apparatus access roads may be up to 300 feet to buildings protected by an automatic fire sprinkler system in accordance with **Section 903.3** of this code. 96-feet shall be the minimum allowable diameter of cul-de-sacs. See attached Access & Water Supply Guide.
- 9) **Section 503.3 & D103.6:** Where fire apparatus roadways are not of sufficient width to accommodate parked vehicles and 20 feet of unobstructed driving surface, “No Parking” signs shall be installed on one or both sides of the roadway and in turnarounds as needed for private access roads and yellow curbing as per city or county road standards for public access roads.
  - a) **Section D103.6.1:** Fire apparatus access roads 20 to 26 feet wide shall posted on both sides as a fire lane.
  - b) **Section D103.6.2:** Fire apparatus access roads more than 26 feet wide to 32 feet wide shall be posted on one side of the road as a fire lane.
  - c) **Section D103.6:** Signs shall read “NO PARKING – FIRE LANE” and shall be installed with a clear space above grade level of 7 feet. Signs shall be 12 inches wide by 18 inches high and shall have red letters and border on a white background.
- 10) **Section 503.3:** Where required, fire apparatus access roadway curbs shall be painted red and marked “NO PARKING FIRE LANE” at each 25 feet. Lettering shall have a stroke of not less than one inch wide by six inches high. Lettering shall be white on red background.
- 11) **Section 503.1.2 & Appendix D:** Developments of more than 30 dwelling units, buildings exceeding three stories in height, buildings exceeding 62,000 square feet, multi-family developments with more than 100 dwelling units, vehicle congestion, adverse terrain conditions or other factors as determined by the Chief of the fire department shall provide not less than two approved means of access to the city/county roadway or access easement. Exceptions may be allowed for approved automatic sprinkler system. (A single dwelling unit constitutes a single-family residential structure, or a single apartment unit.)
- 12) **Section 505.2:** Streets and roads shall be identified with approved signs. Street names shall be checked and approved with the Public Safety Answering Point, (PSAP – 911 Dispatch Center), covering the geographic area which includes the Sedona Fire District. Approval is required to avoid duplication and/or similar sounding street names to prevent the possible delay of emergency service response.
- 13) **Section 507.1:** An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
  - a) **Section 507.2:** Water supply shall consist of reservoirs, pressure tanks, elevated tanks, water mains or other fixed systems capable of providing the required fire flow.
  - b) **Section 507 & Appendix C:** Municipal Water Supply - Provide fire hydrants capable of supplying required fire flow. **Each fire hydrant shall be capable of supplying no less than 1000 gallons per minute.**

- 14) **Section 507.5.1:** Fire hydrants for single family dwellings, duplexes, sub-divisions and outbuildings, shall be placed at each intersection. Intermediate fire hydrants are required if any portion of a structure exceeds 600 feet from a hydrant at an intersection as measured in an approved manner around the outside of the structure and along approved fire apparatus access roadways. Placement of additional fire hydrants shall be as approved by the Fire Code Official.
- 15) **Section 507.5 & Appendix C:** Fire hydrant placement shall be approved by the fire district. All measurements are as the hose is laid by firefighting personnel and apparatus.
- a) **Section 507.5.6 & 312:** Where fire hydrants are subject to impact by a motor vehicle, guard posts or other approved means of protection shall be provided.
  - b) **Section 507.5 & Appendix C:** Fire hydrants shall be located not more than 15 feet from an approved fire apparatus access roadway.
  - c) **Section 507.5.5:** A 3-foot clear space shall be maintained around the circumference of fire hydrants. 4-feet from any supporting structure for electrical equipment, such as transformers and poles.
- 16) **Section 903.3.5:** Water mains and their appurtenances shall be installed in accordance with the National Fire Protection Association’s pamphlet #24, “Standard for the Installation of Private Fire Service Mains and Their Appurtenances” the 2010 edition. Plans and specifications shall be submitted for review and approval prior to any installation. **This installation requires a separate construction permit through this office.**
- 17) The proposed gate shall meet all of the requirements of this code and CRR Policy #1328. A separate permit for the installation of the gate is required through this office.

**IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT / DEVELOPER / OWNER TO PROVIDE THE FIRE DISTRICT WITH THE APPROPRIATE PLANS AND DOCUMENTATION FOR REVIEW AND APPROVAL *PRIOR* TO CONSTRUCTION OF THE ACCESS ROADS AND WATER SUPPLIES. SUCH PLANS SHALL BEAR THE STAMP OF AN ARIZONA REGISTERED DESIGN PROFESSIONAL AS CERTIFICATION THAT THE PLANS COMPLY WITH THE SEDONA FIRE CODE REQUIREMENTS AND SPECIFICATIONS.**

These comments shall not be meant to exclude any other applicable requirements adopted by the Sedona Fire District or other regulatory agencies. The adopted fire code is based on the 2012 edition of the International Fire Code with amendments as approved by the Arizona State Fire Marshal.

**Sedona Fire District Board of Directors adopted a fee for service schedule. Service fees include fire sprinkler system, fire alarm system, and construction plan reviews. A permit is required to be obtained from this office prior to any commencement of work. Permits will not be issued until such time that fee payments are received.**

Our goal in the Community Risk Management Division is to provide consistent, fair direction to you regarding fire code requirements. As part of this process we have been developing written policies, code interpretations and application guides. All of these documents are available on our website at <https://www.sedonafire.org/fire-prevention/fire-code-enforcement/> . I encourage you to check this page prior to beginning any new project so that you have the most updated information.

If you have any questions concerning these comments please feel free to contact me at (928) 204-8926 or [jdavis@sedonafire.org](mailto:jdavis@sedonafire.org).

Sincerely,

A handwritten signature in black ink that reads "JON DAVIS". The signature is stylized with a large, sweeping "J" and "D".

Jon Davis  
Fire Marshal

Enclosures: Sedona Fire District Policy 1328 Security Gates, Sedona Access & Water Supply Guide

# CRR POLICY 1328: Security gates

Created: October 17, 2019 Revised: n/a Effective Date: Immediate  
Community Risk Management Division – 928-204-8926

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This policy is promulgated in accordance with section 104.1 of the International Fire Code (IFC) 2012 edition and is an official interpretation of section 503 of the IFC 2012 edition. Section 506.3 of the International Fire Code 2012 edition states;

**503.6 Security gates.** The installation of security gates across a fire apparatus access road shall be *approved* by the fire chief. Where security gates are installed, they shall have an *approved* means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be *listed* in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 2200.

Sedona Fire District requirements for security gates are as follows;

Gates serving only one property or domicile

- Minimum width 16 feet.

Gates serving two or three properties or domiciles or any combination thereof

- Minimum width 16 feet
- Manually operated gates that are locked shall require the installation of a SFD padlock. This lock is available for purchase from SFD.
  - An SFD padlock is not required for manually operated gates that are not locked
- Electronically operated security gates shall be equipped with a Sedona Fire District key over-ride cylinder. This cylinder shall be keyed to the type presently employed by the Sedona Fire District.

Gates serving four or more properties or domiciles or any combination thereof

- Minimum width 16 feet
- Manually operated gates that are locked shall require the installation of a SFD padlock. This lock is available for purchase from SFD.
  - An SFD padlock is not required for manually operated gates that are not locked
- Electronically operated security gates shall be equipped with a Sedona Fire District key over-ride cylinder. This cylinder shall be keyed to the type presently employed by the Sedona Fire District.
- In addition to the key operation, a TOMAR (TOMAR Industries, <http://TOMAR.com>) optical sensor 2091-SD or similar, shall be installed.

All electronically operated gates require a battery backup system capable of operating the gate during a power outage.

All electronically operated gates shall be equipped with a ground loop activation system or TOMAR optical sensor and key over-ride cylinder along the path of egress.

All gates equipped with a TOMAR optical sensor shall be programmed to remain open for as long as the signal is being transmitted by the emergency apparatus and for a period of not less than 60 seconds after the signal ceases to be sent.

Key over-ride sensors shall be programmed to keep the gate open for a period of not less than 60 seconds after the cylinder has been returned to the momentary operation setting.

Gates with multiple fire department approach directions may require multiple sensors on the approach side of the gate.

Plans shall be submitted to this office for review to ensure compliance with the fire code prior to a permit being issued for the installation of the gate.

Any comments or questions regarding the above information may be submitted to:

Community Risk Reduction Division  
Sedona Fire District  
2860 Southwest Drive  
Sedona, AZ 86336

928-204-8926

[crm@sedonafire.org](mailto:crm@sedonafire.org)

## Re: City of Sedona Application - The Refuge at Sedona

Nathan Reisner <nreisner@azdot.gov>

Tue 10/20/2020 10:25 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>

Cari,

The proposed development does not have direct access to ADOT's right of way, thus does not require an ADOT encroachment permit. If the proposed development generates additional traffic that will be entering the State's highway system through one of the local jurisdictions roadways. ADOT recommends the local jurisdiction require the development to analyze the traffic impacts at the associated State and local jurisdiction intersection and require the developer to mitigate any negative impacts per ADOT Traffic Guidelines and Processes 240.

Thanks,

Nate Reisner, P.E.  
Northcentral District Development Engineer  
1959 S. Woodlands Village Rd.  
Flagstaff, AZ 86001  
928-779-7545



Nate Reisner, P.E.  
Northcentral District Development Engineer  
1959 S. Woodlands Village Rd.  
Flagstaff, AZ 86001  
928-779-7545



On Wed, Oct 14, 2020 at 2:27 PM Cari Meyer <[CMeyer@sedonaaz.gov](mailto:CMeyer@sedonaaz.gov)> wrote:

*I use the same distribution list for all new development projects. If the project(s) on this list are not in your county or area of service, do not feel obligated to respond, but feel free to contact me with any questions you have or clarifications you may need.*

Hello,

The City of Sedona Community Development Department has received the following development application.

**PZ20-00007 (SUB)**

Beau Leland <beauleland@yahoo.com>

Mon 12/21/2020 2:31 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>

Ms. Meyer,

Please do everything in your power to prevent Mr. Tortorello from building any more housing in the town of Sedona. The City Council has allowed overbuilding, which has led to an exponential growth in traffic and an increase in crime. We do not want this trend to continue! I believe that future building permits should be limited to one-acre lots or larger. Please stop turning our once peaceful town into an unwanted overcrowded city.

Thank you,  
Beau Leland  
210 W. Hummingbird Lane  
Sedona, AZ 96336

## The Refuge at Sedona conceptual plan review

akpbuff <akpbuff@aol.com>

Wed 12/23/2020 8:54 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>

I am a homeowner on the corner of Golden Eagle and Hummingbird Lane. As such I use the access to the national forest on an almost daily basis to hike, mountain bike and to walk my dog. From my front porch I see multitudes of my neighbors doing the same thing.

I can see the plat includes what is shown as a pedestrian access trail through the property. I am relieved. I would add that this access trail should remain and become a requirement for this development AND that it be sufficient to allow multiple users including bikes and pet . If a sufficient trail is included i would not object personally to this development . However. At the same time my feeling is that larger lots, of .50 acres minimum and closer to .75 acres would be more consistent with the immediate neighbors. Thank you for the opportunity to comment.

Andrew Pierce  
220 W Hummingbird Lane  
Sedona, AZ 86336

Sent from my Verizon, Samsung Galaxy smartphone