

AGENDA

City of Sedona Planning and Zoning Commission Meeting

4:30 PM

Tuesday, September 7, 2021

NOTICE:

Pursuant to A.R.S. 38-431.02 notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a public hearing open to the public on Tuesday, September 7, 2021, at 4:30 pm in the City Hall Council Chambers.

NOTES:

- Meeting room is wheelchair accessible. American Disabilities Act (ADA) accommodations are available upon request. Please phone 928-282-3113 at least 24 hours in advance.
- Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: www.SedonaAZ.gov

GUIDELINES FOR PUBLIC COMMENT

PURPOSE:

- To allow the public to provide input to the Planning and Zoning Commission on a particular subject scheduled on the agenda.
- Please note that this is not a question/answer session.

PROCEDURES:

- It is strongly encouraged that public input on the agenda items be submitted by sending an e-mail to cmeyer@SedonaAZ.gov in advance of the 4:30 Call to Order.
- Fill out a "Comment Card" and deliver it to the Recording Secretary.
- When recognized, use the podium/microphone.
- State your Name and City of Residence
- Limit comments to 3 MINUTES.
- Submit written comments to the Recording Secretary.

1. CALL TO ORDER, PLEDGE OF ALLEGIENCE, ROLL CALL
 2. ANNOUNCEMENTS & SUMMARY OF CURRENT EVENTS BY COMMISSIONERS & STAFF
 3. APPROVAL OF THE FOLLOWING MINUTES:
 - a. July 6, 2021 (R)
 4. PUBLIC FORUM: *(This is the time for the public to comment on matters not listed on the agenda. The Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to A.R.S. § 38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to any criticism, or scheduling the matter for further consideration and decision at a later date.)*
 5. CONSIDERATION OF THE FOLLOWING ITEMS THROUGH PUBLIC HEARING PROCEDURES :
 - a. Discussion/possible direction regarding a request for Conceptual Development Review for a proposed ±20,000 square foot spa in four buildings at 95 Sombart Lane (Arabella Spa). The property is zoned Commercial (CO) and is ±5.35 acres and is located east of the Arabella Hotel on State Route 179 at Sombart Lane. **APN:** 401-22-036B. **Applicant:** William Erwin, Erwin Architecture **Case Number:** PZ21-00009 (DEV)
 6. FUTURE MEETING DATES AND AGENDA ITEMS
 - a. Tuesday, September 21, 2021
 - b. Tuesday, October 5, 2021
 7. EXECUTIVE SESSION
- If an Executive Session is necessary, it will be held in the Vultee Conference Room at 106 Roadrunner Drive. Upon a public majority vote of the members constituting a quorum, the Planning and Zoning Commission may hold an Executive Session that is not open to the public for the following purposes:
- a. To consult with legal counsel for advice on matters listed on this agenda per A.R.S. § 38-431.03(A)(3).
 - b. Return to open session. Discussion/possible action on executive session items.
8. ADJOURNMENT

Physical Posting: September 2, 2021 By: DJ

Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: www.SedonaAZ.gov or in the Community Development Office, 102 Roadrunner Drive approximately one week in advance of the meeting.

Note that members of the City Council and other City Commissions and Committees may attend the Planning and Zoning Commission meeting. While this is not an official City Council meeting, because of the potential that four or more Council members may be present at one time, public notice is therefore given for this meeting and/or event.



Meeting Date: September 7, 2021

Hearing Body: Planning and Zoning Commission

Project Summary: **Construction of a ±20,000 square foot spa in 4 buildings**

Action Requested: Conceptual Review of Development Review Application

Staff Recommendation: None at this time

Location: East of Arabella Hotel
95 Sombart Lane

Parcel Numbers: 401-22-036B

Owner: Pine Realty LLC

Applicant: Erwin Architectures (William Erwin)

Site Size: ± 5.35 acres

Community Plan Designation: Planned Area (Sombart Lane Planned Area)

Zoning: Commercial (CO)

Current Land Use: Vacant

Surrounding Properties:

	<i>Area Zoning</i>	<i>Area Land Uses</i>
North:	CO	Apartments and Condominiums
East:	NF	National Forest
South:	OS, RS-10	Vacant, Oak Creek Knolls Subdivision
West:	L	Arabella Hotel

Report Prepared By: Cari Meyer, Planning Manager

Attachments:	Page
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PURPOSE OF A CONCEPTUAL REVIEW

The purpose of the Conceptual Review is to give review agencies, Staff, the Planning and Zoning Commission, and the general public an opportunity to familiarize themselves with, and provide comments on, a development proposal in its early, conceptual stage of design. The process also affords the applicant an opportunity to become aware of major issues, concerns and suggestions prior to the completion of more detailed plans for comprehensive development review. This creates a more timely mechanism through which early design concepts may be revised to address areas of concerns.

At the Conceptual Review stage of a project, Staff does not evaluate for full conformance with specific code sections or provide a recommendation on the project. *However, Staff comments are noted in italics throughout this Staff Report.* Staff comments generally refer to future requirements or comments that have already been provided to the applicant.

PROJECT DESCRIPTION

The applicant is seeking review of a Conceptual Development Review with the expressed intent of developing an approximately 20,000 square foot spa complex in four (4) separate buildings.

Development of this site is permitted in accordance with the Land Development Code (LDC) requirements, including [Article 2 \(Zoning Districts\)](#), [Article 3 \(Use Regulations\)](#), and [Article 5 \(Development Standards\)](#). As the proposed use of the space is categorized as “Personal Services, General” which is a permitted use in the Commercial (CO) zoning district, only a development review is required for the project.

BACKGROUND AND PROPERTY INFORMATION

Site Characteristics

- The property is located east of State Route 179 behind the existing Arabella Hotel.
- The property to the east of the project site is National Forest property and the trailhead for the Marg’s Draw trailhead is located on this property.
- There are no floodplains that impact the site.
- The project site is a single parcel of approximately 5.35 acres.
- The property is accessed via Sombart Lane, which connects to State Route 179 at an uncontrolled intersection approximately 700 feet north of the Canyon Drive roundabout.
- The property is currently vacant and has been the subject of various development proposals, none of which have come to fruition.
- The property is not part of a recorded subdivision.
- The existing vegetation consists of a mixture of mature trees and shrubs.

Zoning and Community Plan Designations

The site is zoned CO (Commercial). The purpose of this zoning district is stated as:

...to accommodate general retail and other commercial and service uses, and incidental or accessory uses, where access requires good vehicular circulation. Land uses are characterized by frequent visits of customers and clients. The CO district is intended to provide attractive commercial development

with adequate access to arterial streets and with efficient internal circulation and parking and that is compatible with surrounding residential areas. *LDC Section 2.14.A*

The proposed use of a spa is categorized as “Personal Services, General”, which is listed in LDC Section 3.2.E, Table 3.1 (Table of Allowed Uses) as a permitted use in the CO zone.

The property is designated as PA (Planned Area) in the Community Plan and is part of the Sombart Lane Planned Area. Planned Areas (PA) were established in the 2002 Community Plan and brought forward to the current Community Plan to address needs and provide benefits for certain areas, including land use transitions or buffers between residential areas, commercial uses, and highway corridors. The Community Plan lists the following needs and benefits for this PA:

- Provide pedestrian improvements that will enhance overall pedestrian mobility and potential reduction of highway trips for the area.
- Provide a substantial buffer from the National Forest.
- Retain open space and National Forest access as part of coordinated site planning to address the wildland – urban interface.

While the requirement for strict application of all the needs and benefits listed in the Community Plan is limited for projects not requesting a zone change, the general principles of the Community Plan can be applied, and the applicant would be encouraged to adhere to these principles to the greatest extent possible.

Previous Applications

This property has been the subject of other development applications in the past. Previous applications include the following:

- ZC 2003-03, DEV 2003-05 and ZC 2003-04, SUB 2003-04, DEV 2003-06
 - 80-unit apartment project, 2nd application would have converted apartments to timeshares
 - Application withdrawn prior to public hearings
- ZC 2008-01, SUB 2008-01, DEV 2008-01 Nirvana Mixed Use Project
 - Proposed as either a lodging/heath spa/restaurant or residential/commercial mixed-use project.
 - Planning and Zoning Commission approved Development Review and recommended approval of a preliminary plat for 15 residential condominiums and 51,000 square feet commercial retail
 - City Council approved the preliminary plat for this project.
 - Project dropped by applicant prior to approval of Final Plat.

Current Application

The current application is a Development Review to allow for construction of an approximately 20,000 square foot spa complex in 4 buildings.

PUBLIC INPUT

- The applicant will be required to complete a Citizen Participation Plan during the comprehensive review stage of this project.
- Project documents submitted by the applicant were placed on the [Projects and Proposals](#) page of the Community Development Department website.

- Property owners within 300 feet of the subject properties were notified of the Conceptual Review Public Hearing.
- The property was posted with a Notice of Public Hearing and a notice was published in the Red Rock News on August 20, 2021.
- All notices contain contact information or a way to submit comments. Written comments received by Staff are included as [Attachment 4](#).

REVIEWING AGENCY COMMENTS AND CONCERNS

Conceptual Review plans are routed to all internal and external reviewing agencies for comments. At this stage, comments generally involve what each review agency will expect to see in the submittal packet for comprehensive review. The comments received have been provided to the applicant, however, changes to the plans based on these comments are not required during this stage of review. Comments were received from the following agencies and are included as [Attachment 3](#):

- City of Sedona Community Development
- City of Sedona Public Works

All review agencies will be given the opportunity to review the comprehensive submittal if this project advances to that stage of review.

DEVELOPMENT PROPOSAL

The applicant is applying for a development review to allow for the construction of an approximately 20,000 square foot spa complex in 4 buildings.

A description of the proposal was submitted by the applicant and is included in [Attachment 2.a](#). A summary is included below.

Phasing

- The spa project is proposed to be developed in single phase.
- The Letter of Intent and plans include a potential of six lodging units for a future phase. However, this portion of the application is not currently included in this application.
 - *Staff has stated that, if the lodging units are not to be included on this application, they should be removed from the LOI and the plans. If the lodging units are to be included, more information is needed. As Staff's understanding was that the lodging units were not part of this project, the plans were not reviewed, and comments were not provided in relation to the lodging units.*

Sedona Land Development Code (LDC)

- *A comprehensive evaluation for compliance with all applicable sections of the Land Development Code will be conducted during comprehensive review.*

LDC 5.3: Grading and Drainage

- *A preliminary grading and drainage report and plan will be required for comprehensive review.*

LDC 5.4: Access, Connectivity, and Circulation

- Vehicular access to the site is from Sombart Lane, which connects to State Route 179 at an uncontrolled intersection approximately 700 feet north of the Canyon Drive roundabout. No other vehicular access points are proposed.

- Sombart Lane through this site will be improved and contain sidewalks and pedestrian facilities.
- *The City's Public Works Department has requested a traffic impact analysis (TIA) to be submitted with the comprehensive submittal.*

LDC 5.5: Off-Street Parking and Loading

- Parking is proposed to be provided through an extension of the existing Arabella Hotel parking lot on the north side of Sombart Lane and a new parking lot adjacent to the new buildings on the south side of Sombart Lane.
- The Letter of Intent states that parking will be shared with the hotel. The applicant's plans provide parking as if the spa is a stand alone use.
 - *Staff has asked for clarification on parking. If there is to be shared parking between the hotel and spa, a reduction in the number of parking spaces may be warranted.*
- *The existing trailhead parking must be maintained on the site. Staff has provided comments on this and will work with the applicant to ensure the appropriate amount of trailhead parking is included on the site plan.*

LDC 5.6: Landscaping, Buffering, and Screening

- *The applicant will be required to submit a landscape plan with comprehensive review.*

LDC 5.7: Site and Building Design

- *Staff has conducted a preliminary review of the plans. While more information is needed and will be provided at the next stage of review, Staff has provided the applicant with preliminary comments and a list of sections of the code that need to be addressed and incorporated into the proposal.*

LDC 5.8: Outdoor Lighting

- *An outdoor lighting plan will be required during comprehensive review.*

LDC 5.9: Public Art

- *The applicant will be required to submit a public art plan with comprehensive review.*

LDC Article 6: Signs

- *A master sign plan for the development will be required during comprehensive review.*

Wastewater Disposal

- *The property has the ability to connect to the City's Wastewater System.*
- *A sewer design report will be required for comprehensive review.*

REVIEW GUIDELINES

The following is requested from the Planning and Zoning Commission at this time:

- **DEVELOPMENT REVIEW** Conceptual Review of Proposal

All development applications are reviewed under [LDC Article 8 \(Administration and Procedures\)](#).

[LDC Section 8.3](#) contains procedures and rules applicable to all development applications while the following sections contain procedures and rules that apply to specific development applications. [LDC Section 8.3.E\(5\)](#) contains the approval criteria applicable to all development, subdivision, and rezoning applications. These criteria are as follows:

A. Generally

1. Unless otherwise specified in this Code, City review and decision-making bodies shall review all development applications submitted pursuant to this article for compliance with the general review criteria stated below.
2. The application may also be subject to additional review criteria specific to the type of application, as set forth in section 8.4 through 8.8.
3. If there is a conflict between the general review criteria in this section and the specific review criteria in section 8.4 through 8.8, the applicable review criteria in sections 8.4 through 8.8 control.

B. Prior Approvals

The proposed development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval that is in effect and not proposed to be changed. This includes an approved phasing plan for development and installation of public improvements and amenities.

C. Consistency with Sedona Community Plan and Other Applicable Plans

Except for proposed subdivisions, the proposed development shall be consistent with and conform to the Sedona Community Plan, Community Focus Area plans, and any other applicable plans. The decision-making authority:

1. Shall weigh competing plan goals, policies, and strategies; and
2. May approve an application that provides a public benefit even if the development is contrary to some of the goals, policies, or strategies in the Sedona Community Plan or other applicable plans.

D. Compliance with This Code and Other Applicable Regulations

The proposed development shall be consistent with the purpose statements of this Code and comply with all applicable standards in this Code and all other applicable regulations, requirements and plans, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.

E. Minimizes Impacts on Adjoining Property Owners

The proposed development shall not cause significant adverse impacts on surrounding properties. The applicant shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the Citizen Participation Plan for the specific development project, if such a plan is required.

F. Consistent with Intergovernmental Agreements

The proposed development shall be consistent with any adopted intergovernmental agreements, and comply with the terms and conditions of any intergovernmental agreements incorporated by reference into this Code.

G. Minimizes Adverse Environmental Impacts

The proposed development shall be designed to minimize negative environmental impacts, and shall not cause significant adverse impacts on the natural environment. Examples of the natural environment include water, air, noise, stormwater management, wildlife habitat, soils, and native vegetation.

H. Minimizes Adverse Fiscal Impacts

The proposed development shall not result in significant adverse fiscal impacts on the City.

I. Compliance with Utility, Service, and Improvement Standards

As applicable, the proposed development shall comply with federal, state, county, service district, City and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards.

J. Provides Adequate Road Systems

Adequate road capacity must exist to serve the uses permitted under the proposed development, and the proposed uses shall be designed to ensure safe ingress and egress onto the site and safe road conditions around the site, including adequate access onto the site for fire, public safety, and EMS services. The proposed development shall also provide appropriate traffic improvements based on traffic impacts.

K. Provides Adequate Public Services and Facilities

Adequate public service and facility capacity must exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, roads, potable water, sewer, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.

L. Rational Phasing Plan

If the application involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date, and shall not depend upon subsequent phases for those improvements.

Discussion (Development Review)




The development review portion of this project will review the proposed site plan and buildings for compliance with applicable LDC standards, including, but not limited to, height, building design, parking, landscaping, etc. [LDC Section 8.4.A](#) contains the procedures and rules for development review applications. This section does not include any additional approval criteria for development review applications beyond the general criteria listed above.

Staff Recommendation

None at this time (Conceptual Review). This is an opportunity for the Commission to provide feedback to the applicant and staff regarding the project.

Aerial View

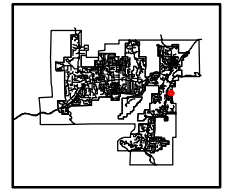
Parcel
401-22-036B
Arabella Spa

-  Parcel 401-22-036B
-  Parcel Boundary
-  Street Centerline



0 30 60 Feet

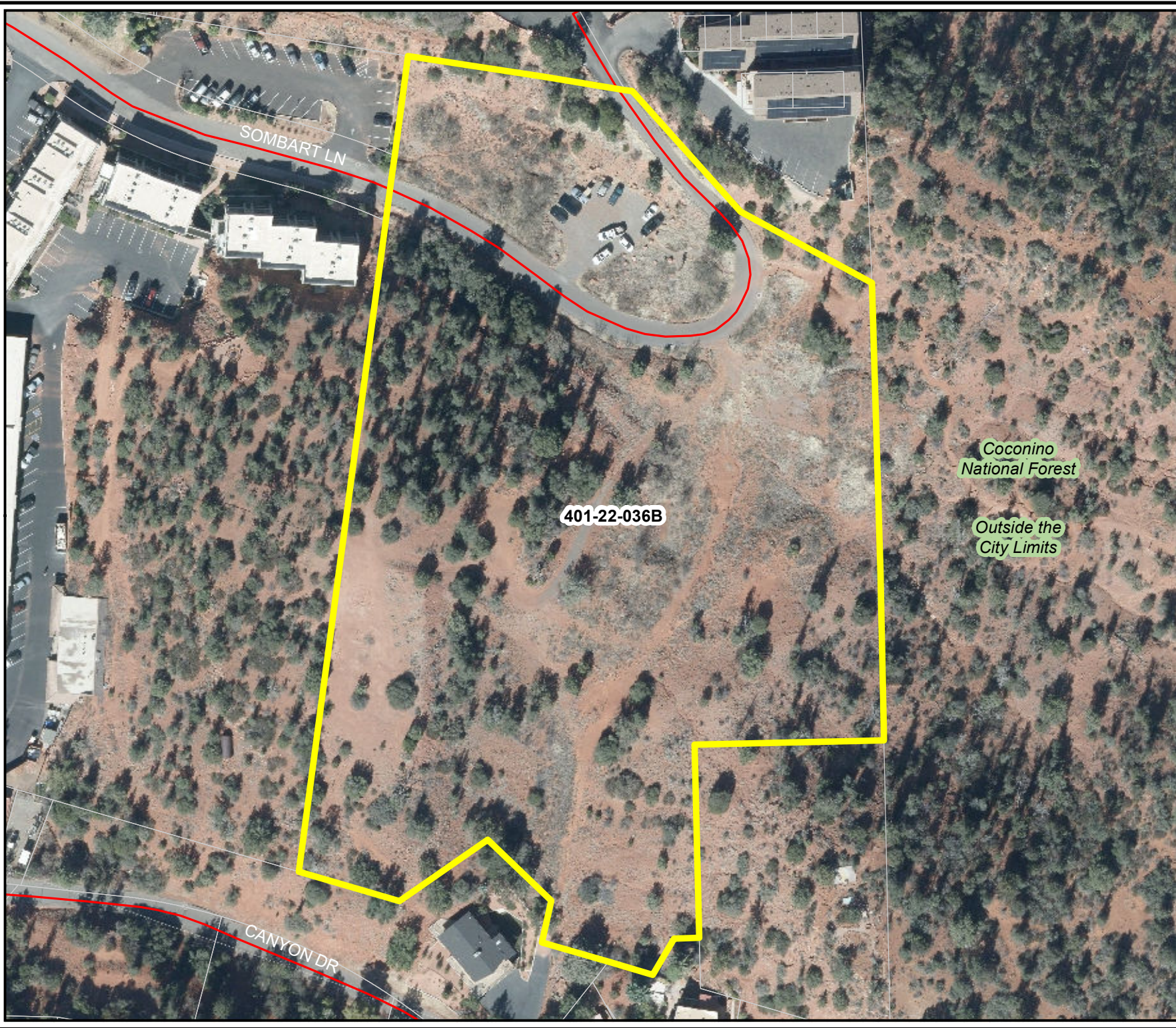
City Index



GIS, City of Sedona
06/14/2021
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This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty of fitness is implied. The information is provided on an "as is" basis. The City of Sedona shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with or arising from the information contained on this map.



Vicinity Map

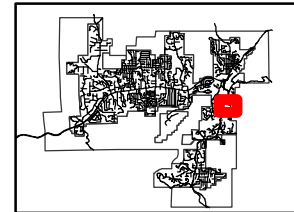
Parcel
401-22-036B
Arabella Spa

-  Parcel 401-22-036B
-  Zoning Boundary
-  Building Footprint
-  Parcel Boundary
-  Trail
-  Street Centerline



0 55 110 Feet

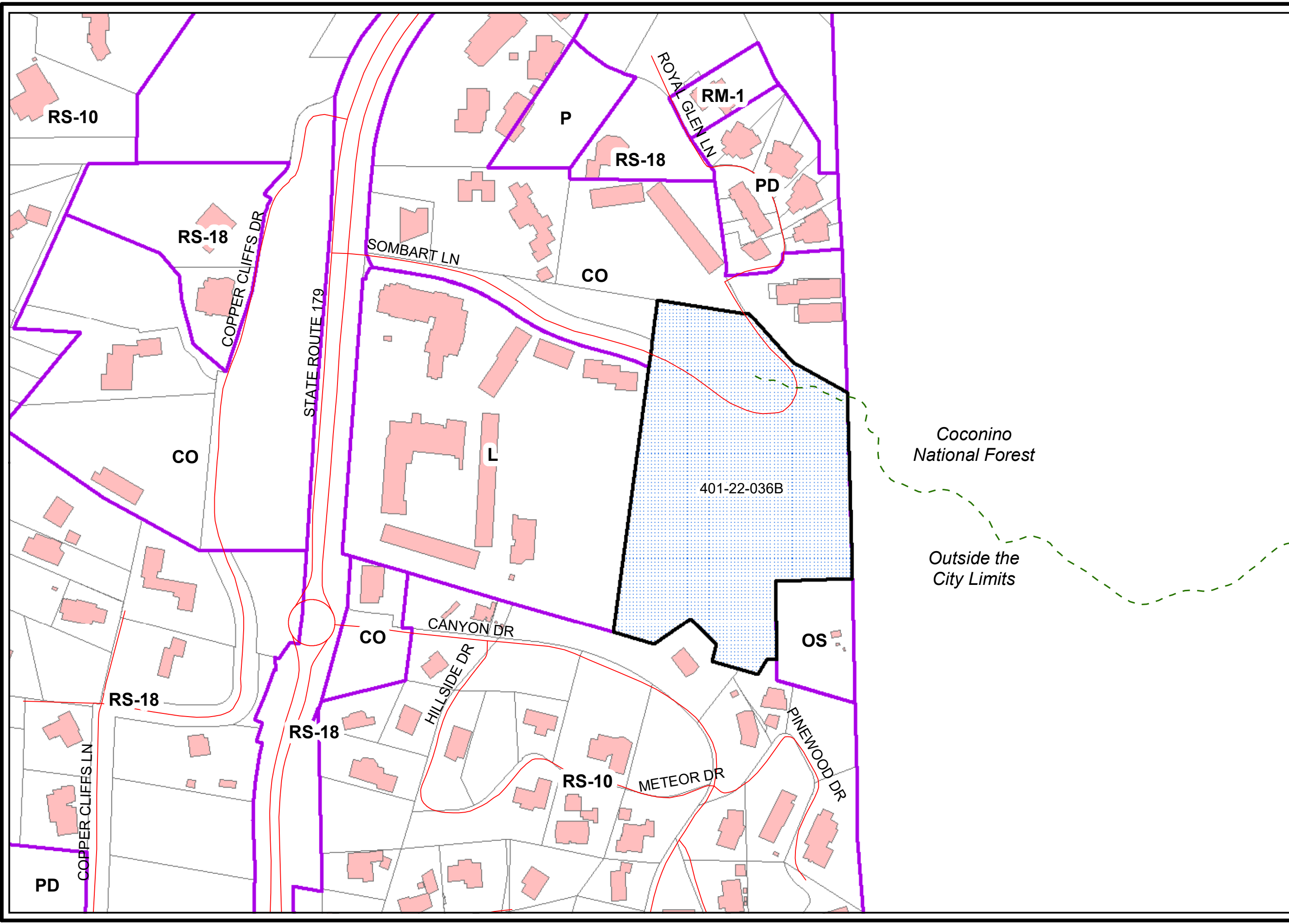
City Index



GIS, City of Sedona
06/14/2021
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05/21/21

City of Sedona

Re: Arabella Spa Letter of Intent

The proposed project shall be located on the vacant parcel at 95 Sombart Lane, Sedona, AZ. The owner plans to construct a new +/- 20,000 SF Spa. The spa will consist of (4) buildings which include a 16,000 SF 2-story main building and (3) smaller 1- story pavilions at 473, 1,220, and 1,769 SF respectively. The owner also intends to construct (6) guest villas in a future phase on the southwest corner of the property. The planned development is permitted by right within the CO zoning designation. The owner of this property also owns the Arabella hotel on the adjacent parcel to the west.

The Arabella spa will feature an authentic Nordic thermotherapy experience, which has been practiced for thousands of years by Peoples of Northern Europe. Thermotherapy is a wellness ritual based on the external use of water for therapeutic purposes. Alternating between hot and cold temperatures followed by a period of deep relaxation, the thermal experience has many benefits, such as elimination of toxins, stimulation of the immune system and cardiovascular system, and improvement of general well-being. Feasible twelve months a year, rain or shine, it helps to reduce stress and revive the body and mind.

A very important factor in a Nordic Spa experience is a strong connection with natural elements. Creating a physical and architectural structure that blends perfectly with its environment and enhances the surrounding landscape will help facilitate a seamless communion with, earth, water, air and fire, and generate a feeling of true relaxation.

Main Building:

- Check-In/Reception Area
- Service area and storage
- Spa Treatment Rooms
- Bistro with viewing deck on Level 2.
- Restrooms
- Elevator

Pavilions 1 thru 3:

- Sauana
- Relaxation rooms
- Outdoor Kitchen
- Cold Plunge
- Salt Scrub
- Steam Bath
- Mechanical

Additional Site Features:

- Massage Tents
- Lounge Chairs/Viewing Decks
- Parking
- 5 outdoor pools in total

5.3 Grading & Drainage

The site has significant slope and the owner's intent is to minimize excavation by strategically siting buildings. In addition, the buildings and walkways shall follow the natural contours of the land where feasible. Pavilions located at higher elevations on the site will all be single story in an attempt to minimize their visual impact and harmonize with the landscape. The larger 2-story main building shall be located near the bottom/low point of the site also in an effort to minimize its impact on the landscape. Natural drainage courses will be preserved where feasible.

5.4 Access Connectivity and Circulation

The purpose of this section of the code is to support the creation of a highly connected transportation system within the City of Sedona. This project proposes a new shuttle stop near the spa which helps to reduce traffic, reduce vehicle pollution, connects local destinations, and provides easy access to nearby Marg's trailhead, all goals of the LDC noted in section 5.4. In addition, the owner also proposes sharing parking with the adjacent Arabella hotel in an effort to reduce surface parking as much as possible. The site circulation will allow for emergency vehicle access, parking movements, and loading operations as required per the code and as agreed upon by the respective officials. The project will also have an extensive walking path network allowing visitors to traverse the site. Bicycle parking will be provided to encourage a reduction in vehicular traffic.

5.5 Off-Street Parking and Loading

Many of the items noted above in section 5.4 apply to this section as well. As noted above, the owner plans to provide a shuttle stop near the site to reduce vehicular traffic and promote flexible methods for access to the site. The owner also proposes to share parking with the nearby Arabella hotel in an effort to reduce surface parking as much as possible. Parking areas will be located to minimize disruption to the natural environment in an efficient manner.

5.6 Landscaping, Buffering, and Screening

Of prime importance for this project is the connection of the buildings and the landscape. Sedona is world-renowned for its beauty and natural features. This project intends to harmonize with the landscape by incorporating natural materials and colors. The owner shall preserve the natural landscape as much as possible where unaffected by construction. The owner will also act to preserve mature vegetation where possible. Any

new vegetation will be selected from the City of Sedona's approved planting list. Ground mounted mechanical equipment will be screened or located where it is not visible to the public.

5.7 Site Building and Design

This project intends to create a high-quality, attractive, and sustainable development in alignment with Sedona's Community Plan principles and policies. The buildings are placed on the site to minimize visual impact and will contain a palette of natural materials and colors. Open pavilions will create shade and foster a strong connection to the environment. All pavilions located at higher site elevations will be single-story to minimize scale, bulk, and mass of the project. The larger 2-story structure will be located near the bottom of the hill, also to minimize scale, bulk, and massing. Exterior walls will consist of naturally colored concrete, fiber cement, or rammed earth further integrating the building with the natural landscape. It is also planned for select buildings on the site to have a green roof with minimal grasses which further reduces the visual impact of the project. The site itself will promote pedestrian circulation with multiple pathways and trails. Loading facilities are located as to not impede with pedestrian circulation. Where required, retaining walls will consist of materials that blend with the natural environment. A large portion of the site will remain open space and unaffected by construction.

5.8 Exterior Lighting

This project will promote public health, safety, and welfare by using reasonable and code compliant exterior lighting. Site pathways and pavilions will be safely lighted appropriately to meet Sedona's dark sky requirements and also create a mood and atmosphere conducive of a relaxing spa experience.

5.9 Public Art

The owner will install public art pursuant to this section in a location that is visible to guests of the spa.



ARABELLA SPA

PRELIMINARY SUBMISSION

24 / 05 / 2021 | LEMAYMICHAUD
ARCHITECTURE
DESIGN

ERWIN | ARCHITECTURE
DEVELOPMENT

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01 CONCEPT

INSPIRATION

LANDSCAPE AS MAIN INSPIRATION

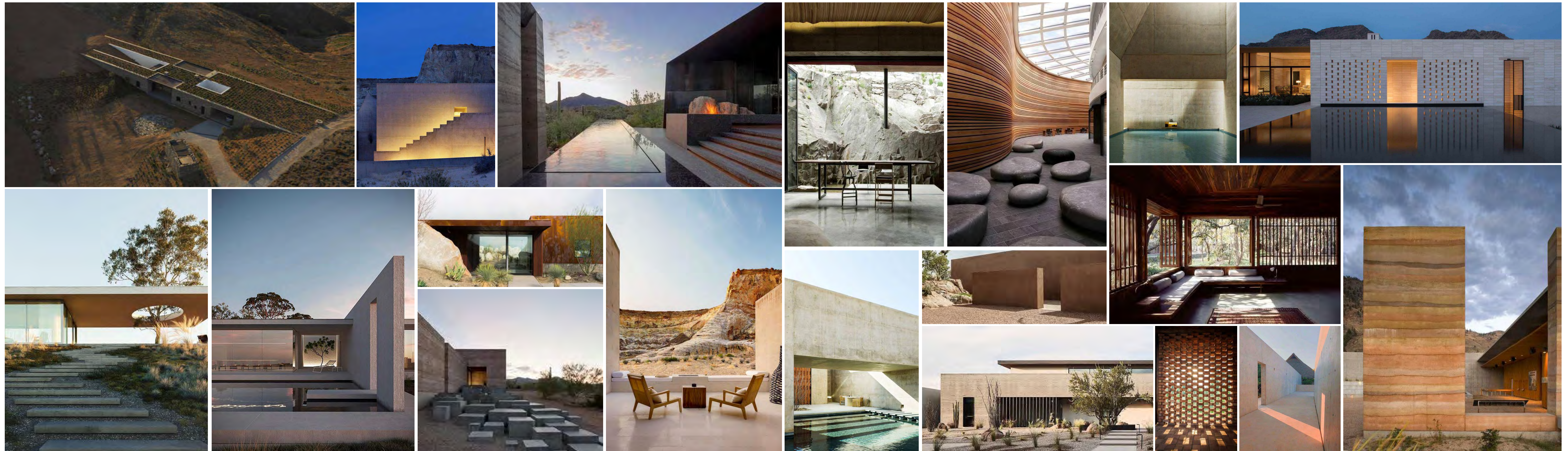
Sedona's legendary red rocks and its unique geology is the main source of inspiration for this project. The distinctive horizontal stratas of the surrounding landscape shapes the volumes and layout of the project, creating a strong connection between design and the geological history of the site.



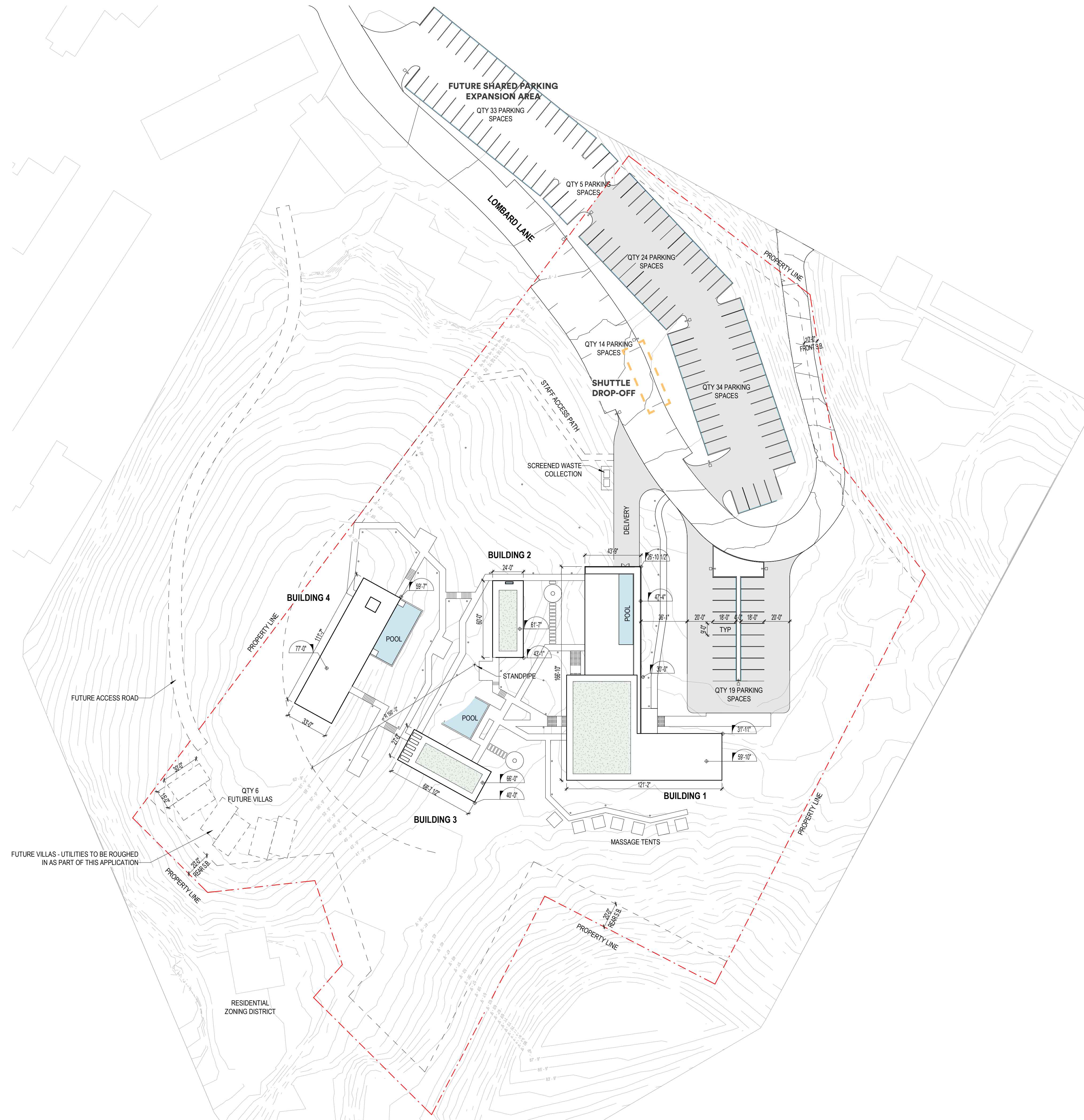
SEDONA LANDSCAPE

STONE
LAYERS
HORIZONTALITY
STACKING
MOUNTAINS
ROCKS
VALLEY

ARCHITECTURAL INSPIRATION







PROJECT INFO

ADDRESS: 725 Highway 179, Sedona, Arizona 86336

DESCRIPTION: OUTDOOR PUBLIC SPA CONSISTING OF 1 MAIN ADMIN BUILDING, 3 SEPARATE SPA PAVILIONS, 5 OUTDOOR WADING POOLS AND 2 OUTDOOR POOL LOUNGES. FUTURE PROVISION FOR 6 GUEST UNIT VILLAS.

OCCUPANCY: Type A (Assembly), and B (Business)
CONSTRUCTION TYPE: Type VB

ZONING DATA
ZONING DISTRICT: CO
PARCEL: 20122036B
OWNER: ARABELLA HOTEL SEDONA
CLIMATE ZONE: 5B COCONINO COUNTY

BUILDING HEIGHT: PER LDC 903.03
FRONT YARD SETBACK: 10'
REAR YARD SETBACK: 10'
INTERIOR SIDE YARD SETBACK: 0'
WHERE ABUTTING RESIDENTIAL ZONING DISTRICT: 20'

SITE AREAS
TOTAL SITE AREA: 231,673 sf

GROSS BUILDING FOOTPRINT:
BUILDING 1 = 15,637 SF
BUILDING 2 = 480 SF
BUILDING 3 = 1,857 SF
BUILDING 4 = 1,360 SF
TOTAL = 19,333 SF

FUTURE GUEST VILLAS (QTY 6) = 2,700 SF

SITE VEHICLE & PAVING
NEW PARKING & DRIVEWAY AREA: 27,476 SF
WALKWAY HARDSCAPE: 9,462 SF
EXTERIOR TERRACES CONNECTED TO BUILDINGS: 6,704 SF
POOLS: 2,542 SF
TOTAL: 46,184 SF

LANDSCAPE / OPEN SPACE
EXISTING & ENHANCED PLANTINGS: 185,489 SF
TOTAL: 163,456 SF

PARKING
REQUIRED: 104
PROVIDED: 91
FUTURE SHARED PARKING EXPANSION: 38

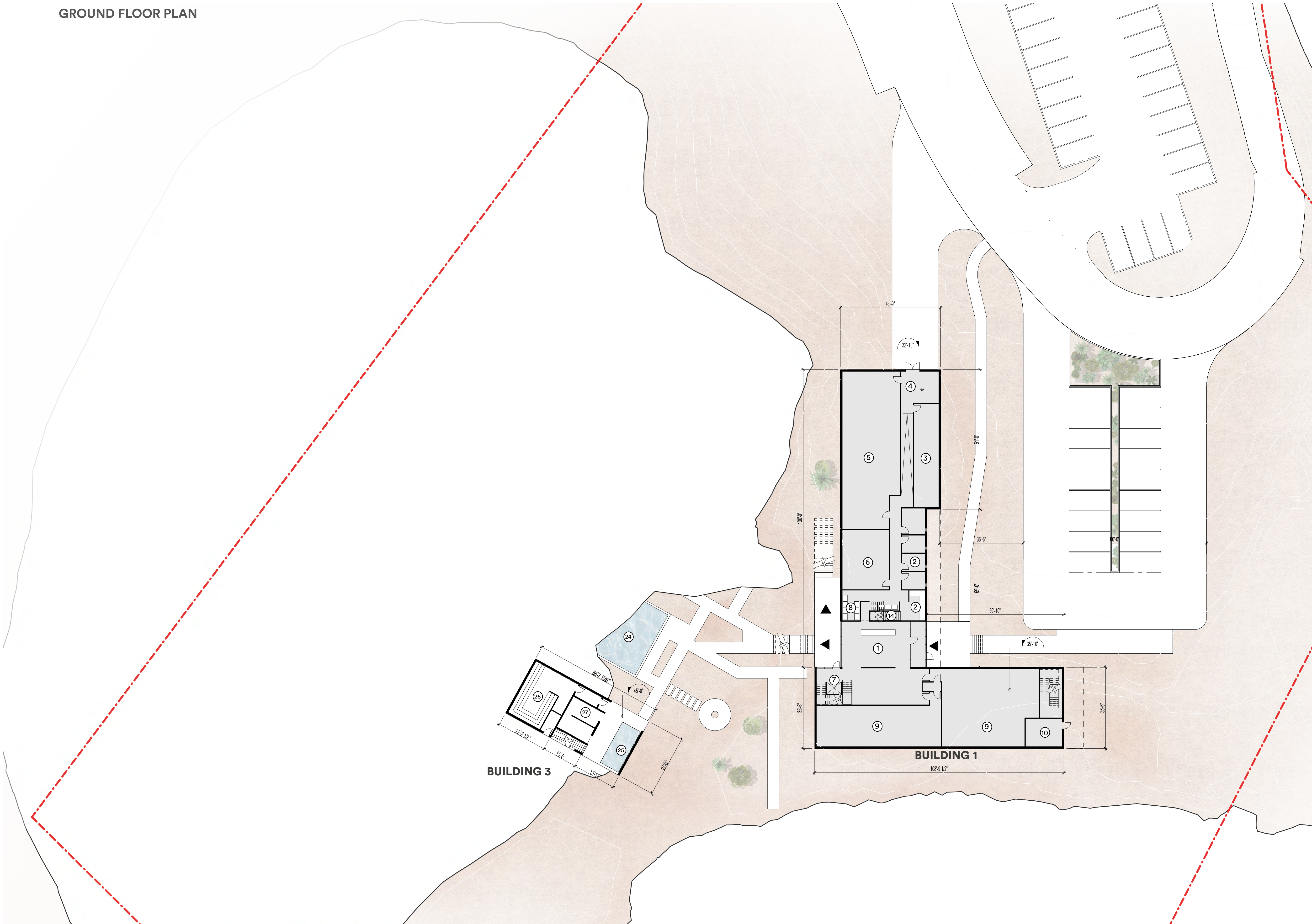
BUILDING HEIGHTS
BUILDING 1 - LOW DECK: 20' - 7 1/25"
BUILDING 1 - HIGH ROOF: 29' - 10"
BUILDING 2: 18' - 6"
BUILDING 3: 26' - 0"
BUILDING 4: 17' - 5"

LIGHTING SCHEDULE

- POLE LIGHTING FOR PARKING
- BOLLARD NEXT TO PEDESTRIAN PATHS

SPA SITE PARKING ANALYSIS			
USE TYPE PER TABLE 5.2	No. SPACES REQ'D	GSF OF USE	PARKING QTY REQ'D
PERSONAL SERVICES GENERAL - SPA	1 PER 250 SF	11,973 SF	48
RESTAURANT UNDER 1k SF (INCL OUTDOOR SEATING)	1 PER 250 SF		
RESTAURANT OVER 1k SF	1 PER 100 SF	1,575	16
OUTDOOR DINING (IF LESS THAN 20% OF INDOOR DINING AREA)	NO ADD'L PARKING		
OUTDOOR DINING (IF MORE THAN 20% OF INDOOR DINING AREA)	1 PER 100 SF FOR AREA EXCEEDING 20% OF INDOOR DINING	1000	7
TOTAL		14,548	71

02 PLANS
GROUND FLOOR PLAN



BUILDING 1
Ground floor: 9,343 GSF
2nd floor: 6,294 GSF
Total: 15,637 GSF

- | | |
|-----------------------|--------------------------------|
| ① Lobby | ⑩ Maintenance |
| ② Administration | ⑪ Bistro |
| ③ Staff Room / WC | ⑫ Kitchen |
| ④ Receiving Waste | ⑬ WC |
| ⑤ Mech Elec | ⑭ Vertical Circulation (Staff) |
| ⑥ Pool Mechanical | ⑮ Massage BOH |
| ⑦ Elevator | ⑯ Massage Waiting Rm |
| ⑧ Towels | ⑰ Massage Rooms |
| ⑨ Lockers (Total 250) | ⑱ Seating Area |

BUILDING 2
Total Area: 480 GSF

BUILDING 3
Ground Floor: 1,030 GSF
2nd Floor: 827 GSF
Total: 1,857 GSF

BUILDING 4
Total Area: 1,360 GSF

- | | |
|-------------------|------------------------|
| ⑳ Sauna | ㉕ Cold Plunge |
| ㉑ Relaxation | ㉖ Steam Bath |
| ㉒ Outdoor Kitchen | ㉗ Salt Scrub Showers |
| ㉓ Kitchen BOH | ㉘ Mechanical |
| ㉔ Hot Bath | ㉙ WC |

← - - - → Barrier Free Path of Travel
Max. 1:20 Slope.

1" = 20' - 0"

ARABELLA SPA

PRELIMINARY SUBMISSION

PROJECT NO
110720A

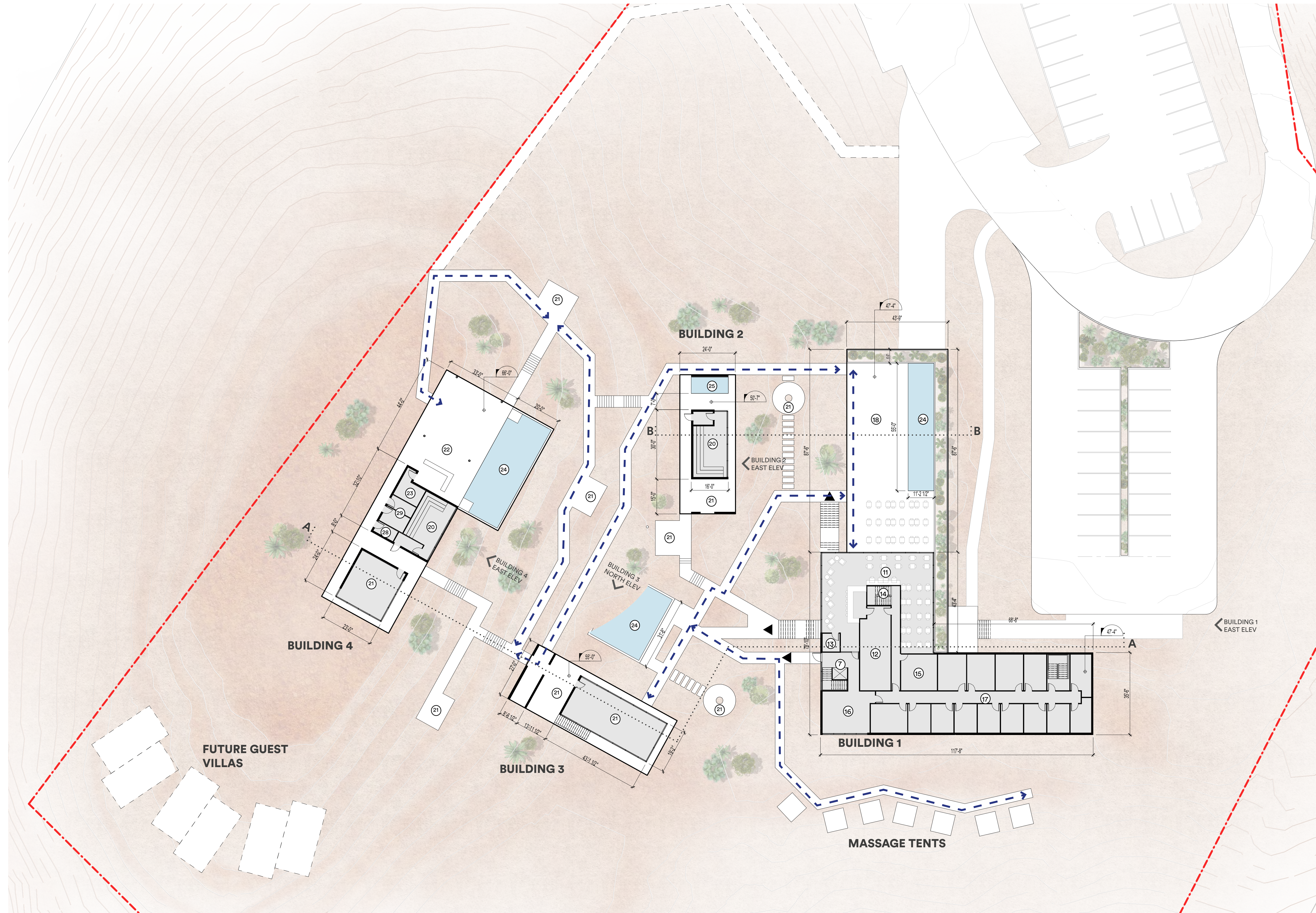
24 / 05 / 2021

05

ERWIN ARCHITECTURE
DEVELOPMENT

LEMAYMICHAUD
ARCHITECTURE
DESIGN

02 PLANS
LEVEL 2 + PAVILIONS PLAN



BUILDING 1
Ground floor: 9,343 GSF
2nd floor: 6,294 GSF
Total: 15,637 GSF

- | | |
|-----------------------|--------------------------------|
| ① Lobby | ⑩ Maintenance |
| ② Administration | ⑪ Bistro |
| ③ Staff Room / WC | ⑫ Kitchen |
| ④ Receiving Waste | ⑬ WC |
| ⑤ Mech Elec | ⑭ Vertical Circulation (Staff) |
| ⑥ Pool Mechanical | ⑮ Massage BOH |
| ⑦ Elevator | ⑯ Massage Waiting Rm |
| ⑧ Towels | ⑰ Massage Rooms |
| ⑨ Lockers (Total 250) | ⑱ Seating Area |

BUILDING 2
Total Area: 480 GSF

BUILDING 3
Ground Floor: 1,030 GSF
2nd Floor: 827 GSF
Total: 1,857 GSF

BUILDING 4
Total Area: 1,360 GSF

- | | |
|-------------------|------------------------|
| ⑳ Sauna | ㉕ Cold Plunge |
| ㉑ Relaxation | ㉖ Steam Bath |
| ㉒ Outdoor Kitchen | ㉗ Salt Scrub Showers |
| ㉓ Kitchen BOH | ㉘ Mechanical |
| ㉔ Hot Bath | ㉙ WC |

← - - - → Barrier Free Path of Travel
Max. 1:20 Slope.

1" = 20' - 0"

ARABELLA SPA

PRELIMINARY SUBMISSION

PROJECT NO
110720A

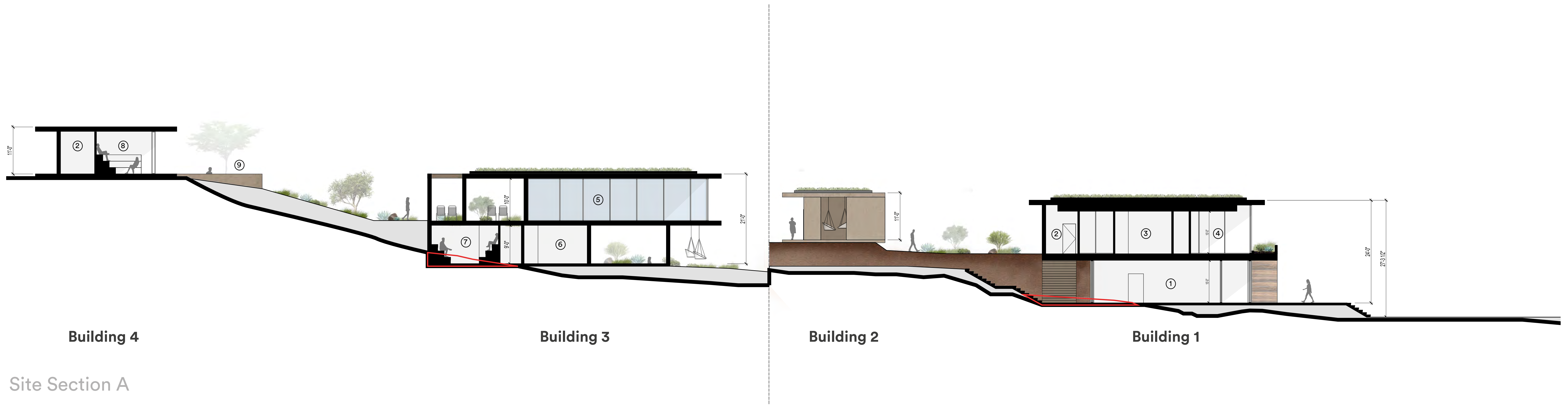
24 / 05 / 2021

06

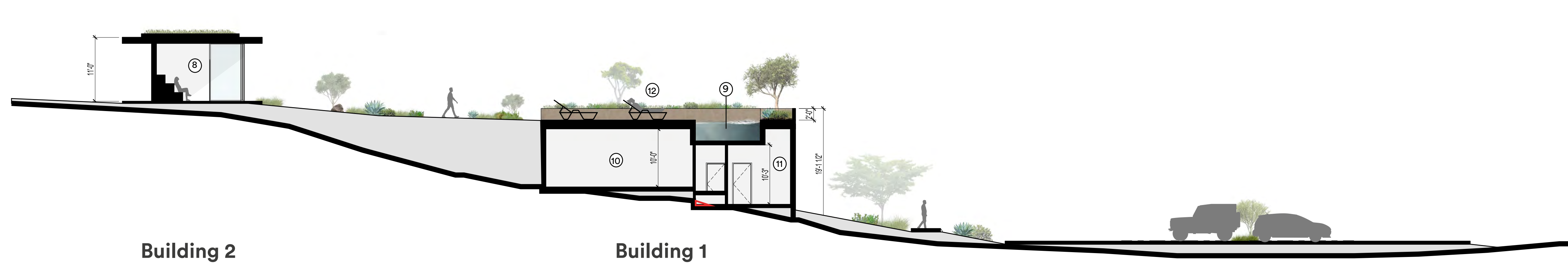
ERWIN ARCHITECTURE
DEVELOPMENT

LEMAYMICHAUD
ARCHITECTURE
DESIGN

03 SECTIONS



Site Section A



Site Section B

- ① Lobby
- ② WC
- ③ Kitchen
- ④ Bistro
- ⑤ Relaxation
- ⑥ Salt Scrub
- ⑦ Steam Bath
- ⑧ Sauna
- ⑨ Hot Bath
- ⑩ Mech | Elec
- ⑪ Staff Rm | WC
- ⑫ Seating Area

- Infill
- Excavation



ARABELLA SPA

PRELIMINARY SUBMISSION

PROJECT NO
110720A

24 / 05 / 2021

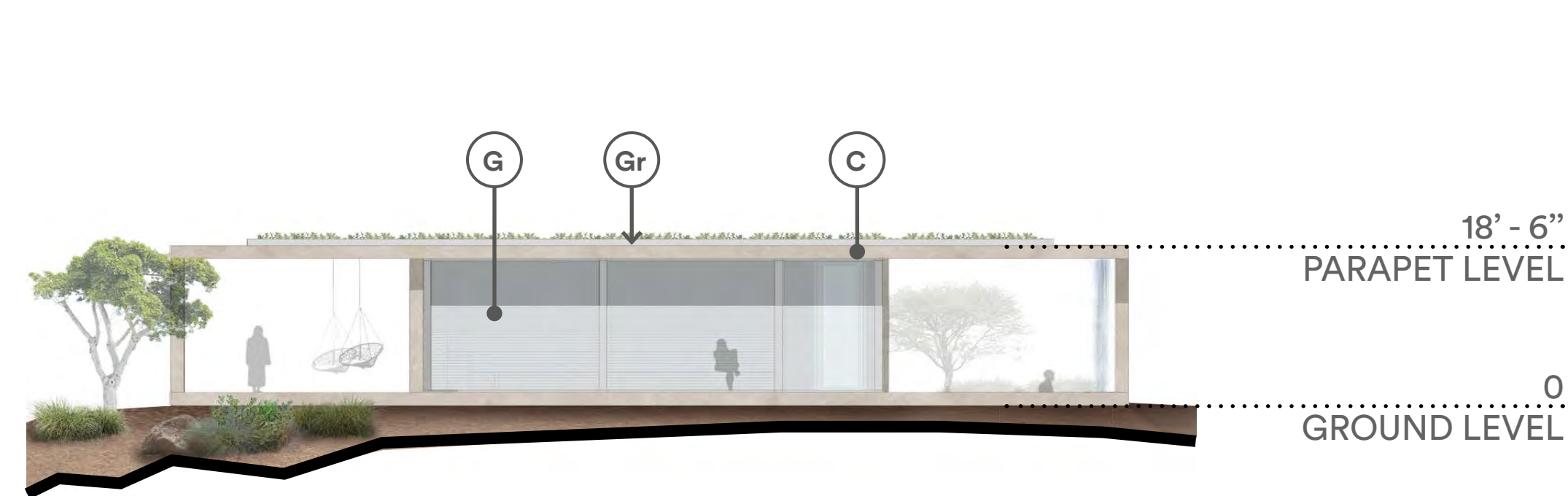
07

ERWIN ARCHITECTURE
DEVELOPMENT

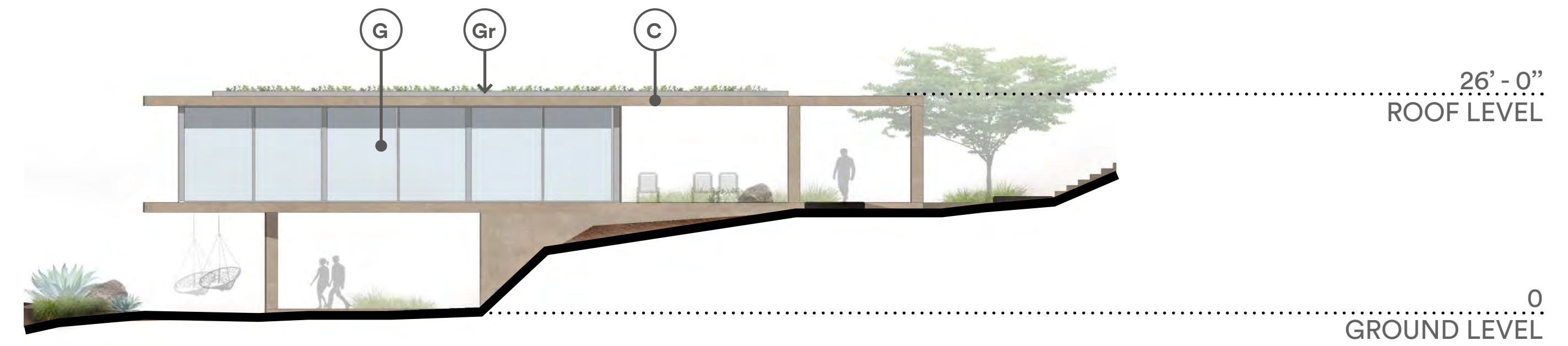
LEMAYMICHAUD
ARCHITECTURE
DESIGN



Building 1 East Elevation



Building 2 East Elevation



Building 3 North Elevation



Building 4 East Elevation

C
Concrete - Taupe
Earth tones of surrounding landscape.



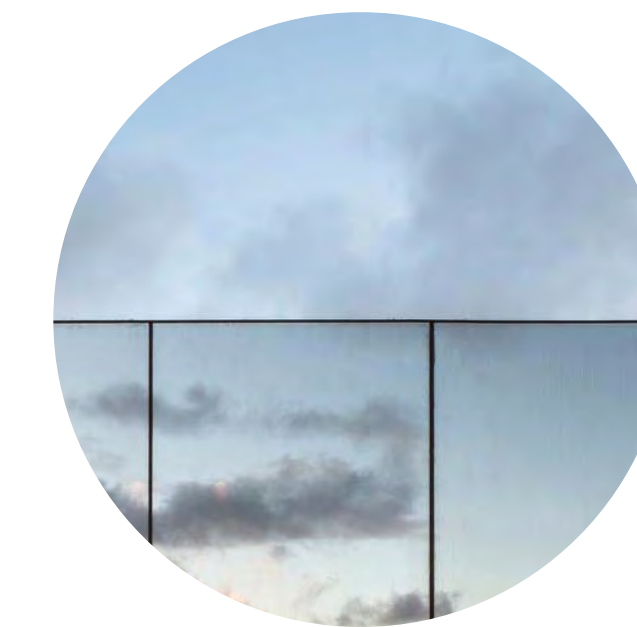
R
Rammed Earth
Range of natural colours to reflect mountain range.



G
Glass - Clear Vision
Transparency to connect interior and exterior space.



S
Glass - Spandrel
Glass rainscreen with cream-coloured film to reflect views



Gr
Green Roof
Harmonious connection of building and landscape





SPA ENTRANCE



EXPERIENCES



VIEW FROM BUILDING 1



VIEW FROM BUILDING 4



City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • www.sedonaaz.gov/cd

PZ21-00009 (DEV) Arabella Spa Conceptual Review

Planning Comments, July 15, 2020

1. Conceptual Review

- a) The application has been submitted for conceptual review. The following comments are intended to serve as a guide as you assemble the submittal packet for the Comprehensive Zone Change and Comprehensive Development Review applications. These items do not need to be addressed prior to your conceptual hearing.
- b) While Staff has tried to bring up items that stand out as impacting the overall project, the following comments should not be viewed as a comprehensive and detailed evaluation of the proposal for code compliance. The applicant and their representatives should carefully review all applicable code sections and ensure the plans submitted clearly show compliance.
- c) Contact the following Staff members if you have any questions regarding what will be required:
 - i) Cari Meyer, Planning Manager, cmeyer@sedonaaz.gov, (928) 203-5049, for questions regarding development standards, submittal requirements, and the review process.
- d) The following comments refer to both the Land Development Code (LDC) and the Administrative Manual (Manual). These documents are available online at the following links:
 - i) LDC: <https://sedona.municipal.codes/SLDC>
 - ii) Manual: <https://www.sedonaaz.gov/home/showdocument?id=38278>.

2. Submitted Materials

- a) Please review the submittal requirements in the Administrative Manual and ensure all submitted items meet these requirements. Please ensure you review both the general application requirements (Section 1.1) and specific application submittal requirements (Section 1.2).

3. Letter of Intent (LOI)

- a) The LOI should discuss how the project addresses the requirements of the Land Development Code and any additional guidelines contained in the Administrative Manual. All applicable sections must be addressed, please refer to specific sections of these documents in the LOI.
- b) The LOI must discuss how the project meets the required findings for a Development Review application (LDC Section 8.3.E(5)).

4. General Comments – All Plans

- a) Review the City's Land Development Code and provide sufficient information to allow for review of the project to determine compliance with these requirements.
- b) Please review the Administrative Manual for submittal requirements, including the following:
 - i) Provide a written and graphic scale on all pages.
 - (1) Preferred scale for site plans is 1":10' with 1":20' being acceptable. For floor plans and elevations, ¼":1' is preferred and 1/8":1' is acceptable. Greater scales do not provide for

the amount of detail needed for a comprehensive review. Multiple sheets should be used rather than reducing the size of the drawings.

- (2) All site plans shall use the same scale and all floor plans/elevations shall use the same scale.
- ii) Number each page with its individual number and the total number of plans in the set (Page X of Y).

5. Site Plan

- a) The east property line is the front (10' setback). In addition, a minimum setback of 10' is required from National Forest and Open Space properties (LDC Section 2.24.D(2)). Update plans.
- b) Provide a calculation (both total square footage and percentage) for total building footprint area and lot coverage calculation.
- c) Show contours at 1' intervals.
- d) Remove lodging buildings unless proposed as a part of this development.

6. Height (LDC Section 2.24.E)

- a) The information provided does not allow for review of heights. If the applicant has questions about heights, they would be encouraged to meet with staff prior to drawing the final plans for comprehensive review.
- b) To review for height, the contours must go through the building footprint and all roof ridges, eaves, parapets, etc., must be labeled with elevation heights in the same format as used for the contours. The roof plan must also clearly delineate where a change in roof height takes place.
- c) It appears alternate standards will be needed. The plans must clearly demonstrate how alternate standards (darker paint color and unrelieved building planes) will be applied. If other height allowances are proposed, ensure the plans show sufficient information to allow for review.
- d) Building 1 shows a height of 29'10", which, depending on where this height is measured from, is above what would be permitted with colors and building design. While there are other options for height, these allowances are more limited and require more precise data for review. Please contact City staff to go over those height allowances if ultimately needed.

7. Access, Connectivity, and Circulation (LDC Section 5.4)

- a) Provide a Circulation Plan (Manual 1.1.A(1)i).
- b) Provide sidewalks along Sombart Lane. (LDC Section 5.4.D(2)).
- c) The property current contains parking and access for the Marg's Draw Trailhead. Show location of trailhead parking area and trail access on the site plan. Indicate how many parking spaces will be available for trail parking.
- d) Revise parking areas to reduce the number of driveways and driveways align with each other across Sombart Lane to reduce turning conflicts (LDC Section 5.4.E).
- e) Vehicles must be able to enter/exit the street in forward drive (LDC Section 5.4.E(1)c). This would not be possible from the delivery area.
- f) Provide more details on the shuttle drop off, how the shuttle will turn around, if this is meant to be for a public or private shuttle, and any easements proposed to grant shuttle access.

8. Parking Data and Parking Plan (LDC Section 5.5)

- a) The LOI states the parking will be shared and the site plans shows parking being provided at a rate that would meet parking requirements without shared parking. Clarify. If shared parking is proposed, a shared parking analysis prepared by a registered engineer is required.
- b) Consider redesigning southern parking area to have a single drive aisle with parking on either side. This will reduce the number of driveways and amount of paving.
- c) The southern parking lot shows 18 parking spaces, but the site plan states 19. The middle parking area shows 30 spaces but the site plan state 34. Review parking areas and ensure accurate information is provided.
- d) Bicycle parking is required at a rate of 1 bike parking space per 10 vehicle parking spaces. See LDC Section 5.5.D(3) for standards for bicycle parking.
- e) It does not appear that any of the parking spaces have been designated as ADA accessible spaces. Due to the size of an ADA space and the required loading area, inclusion of ADA spaces will reduce the total number of spaces provided.

9. Landscaping (LDC Section 5.6): Review this section in its entirety and ensure the plans provide sufficient information to allow for review of code requirements.

- a) A full landscape plan will be required with the comprehensive submittal.
- b) LDC Section 5.6.C(2)b: Parking lot landscaping: A minimum of 10% of the site area devoted to parking shall be landscaped. If permeable paving is used in parking spaces, this may be reduced to 5%. While a complete landscaping plan is not required at this stage, there does not appear to be a significant amount of space available for landscaping within the parking lots.
- c) A minimum of 50% of the vegetation must be native. Using a higher percentage of native vegetation would be highly encouraged.

10. Building Design (LDC Section 5.7.F) Review this section in its entirety and make any changes necessary to bring the development into compliance. Once the comprehensive submittal has been received, Staff will conduct a comprehensive review and may generate additional comments.

- a) LDC Section 5.7.F(2)a: Building Massing. All buildings with more than 2,500 square feet of gross floor area must have a minimum of 3 masses in plan and elevation view. In addition, for commercial buildings, the largest mass cannot be more than 60% of the building footprint and the largest 2 masses cannot be more than 80% of the building footprint. Sufficient information must be provided on the plans to allow for review for this requirement.
 - i) Based on the submitted plans, it is unclear if Building 1 meets section view massing requirements.
 - ii) The plans show that all the other buildings are less and 2,500 square feet, so massing will not be required. If the sizes of the building are increased, this comment may change.
- b) LDC Section 5.7.F(2)c.6: Roofline variation: Rooflines are limited to a maximum of 50 feet in length.

11. Building Materials and Colors (LDC Section 5.7.F(4) and 5.7.F(5))

- a) Provide a color and materials board with physical samples of all proposed colors and materials.
- b) Based on size, Building 1 will be limited to a maximum LRV of 28%.
- c) If alternate standards are required for height (See Height comments), darker colors may be required.

12. Exterior Lighting (LDC Section 5.8)

- a) As Sedona is a dark sky community, outdoor lighting is encouraged to be done at the lowest level possible while still allowing for safety and use of the site.

13. Master Sign Plan (LDC Article 6)

- a) This development is required to provide a Master Sign Plan. Requirements for a Master Sign Plan are provided in LDC Article 6.

14. ALTA Survey

- a) Provide an ALTA Survey, prepared within the last 2 years.

15. Art in Public Places: This project will be required to comply with the City's Public Art Ordinance (LDC Section 5.9). A public artwork plan is required to be submitted as part of this development review (LDC Section 5.9.D(1)). The public art section of the LOI does not contain enough specifics regarding how the applicant proposes to meet the public art requirements.

- a) The current rate is set at 54.90 cents per square foot of development and is adjusted on July 1 of every year based on CPI.

16. Fees

- a) Development Impact Fees: The following are current rates for Development Impact Fees. These rates are subject to change and the rates in place at the time of building permit submittal will be charged for this project. Final fees will be calculated during the building permit review and additional fees may apply to this project.
 - i) Citywide Development Fees: \$7.25 per commercial square foot.
 - ii) Sewer Capacity Fees: Contact the Public Works Department to determine the sewer connection fees for this development.



Public Works Department

102 Roadrunner Drive Sedona, AZ 86336
(928) 204-7111 • Fax: (928) 282-5348;
Hanako Ueda, EIT (928) 203-5024

PZ21-00009 (DEV)
Arabella Spa (Conceptual)
07/8/21

Engineering Comments

Please address all comments by the next submittal:

1. Please submit a traffic impact analysis that encompasses all uses and amenities including the spa, restaurant, trailhead shuttle stop, and the percentage of hotel guests versus public users. Please also include a circulation plan and mitigation measures for the trailhead shuttle.
2. Please provide a topographic survey prepared by an Arizona Registered Land Surveyor. Please show where the slopes are greater than 30%. In areas with a slope greater than 30 percent, a soil and geology report identifying areas of unstable slopes is required, but only if actual construction will occur in the 30+percent slope areas.
3. Please provide a geotechnical report. Ensure it is representative by sampling near proposed structures.
4. Please provide preliminary grading and drainage plans.
5. Please provide a preliminary drainage report.
6. Please provide a sewer design report.
7. Provide letters of serviceability for all utilities.
8. Will the public right-of-way be extended for City maintenance, or will this portion of Sombart Ln remain private?
9. If the road is to remain private, please provide an access easement along Sombart and shuttle path.
10. Please show existing trailhead Infrastructure. The trailhead shall be maintained or improved during the construction process.
11. Please provide any agreements, easements, etc between Marg's Draw Trailhead and Arabella.
12. Please provide a 10' shared use path that connects the existing sidewalk on Sombart to the trailhead.
13. Please show circulation plan for the parking & trailhead shuttle. The shuttle should drop passengers off on the right side of the road.
14. Shuttles/busses cannot turn left at an uncontrolled intersection of a state highway (Sombart & SR179) due to safety concerns. The proposal of a trailhead shuttle stop requires mitigation at SR179 or an alternate route to a controlled intersection.
15. Single sided parking (18 spaces south of Sombart) shall have a 24' drive aisle and double sided parking (north of Sombart) shall have at least 26' for perpendicular parking. A double sided parking lot with a single 26' drive aisle would reduce the overall parking lot width.
16. The addition of new parking spaces require 3 additional ADA parking spaces of 11' wide.
17. Please create a buffer or offset to eliminate conflicts between these 2 perpendicular parking spaces:



Prior to Issuance of Building Permit:

- For projects involving grading of more than 5,000 cubic yards, a haul plan, a dust control plan, a topsoil reutilization plan, a stormwater pollution prevention plan, and a traffic control plan shall be required. Each must be acceptable to and approved by the City Engineer. (DREAM 3.1.H.6.i).
- For projects involving grading of more than 5,000 cubic yards, an assurance bond is required per DREAM 3.1.G.1.

- Provide Final Grading and Drainage Plans. The Site Plan shall meet the requirements of DREAM Chapter 3.1.
- Provide the Final Drainage Report.
- Applicant shall follow the City of Sedona Land Development Code in its entirety.
- Applicant shall provide a Storm Water Pollution Prevention Plan. SWPPP measures shall be in place prior to the start of construction (DREAM 3.1). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)
- Accessible sidewalks and parking areas will need to meet the current US Dept. of Justice ADA requirements.
- Accessible parking/signage shall meet the requirements of the City LDC and DREAM documents.
- All concrete within the City ROW shall be colored "Sedona Red" (Davis 160 color).

Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Thu 6/17/2021 4:02 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 06/17/2021 4:02 p.m.
Response #: 264
Submitter ID: 2984
IP address: 47.215.225.47
Time to complete: 1 min. , 12 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella Spa

2.

What are your comments, concerns, ideas, and suggestions about this project?

Please don't eliminate the trailhead. It's one of the few trailheads where I can sometimes get a parking spot if I'm lucky because it's more for locals than tourists. It's such a community benefit to have this trailhead and it would be such a shame if it's taken away. Please make them retain this parking lot.

3. Your contact information

Name: Anonymous
Mailing Address: anonymous
E-mail: no@no.com

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) No

Thank you,
City of Sedona

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Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Mon 8/23/2021 12:39 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 08/23/2021 12:39 p.m.
Response #: 328
Submitter ID: 3219
IP address: 24.156.94.184
Time to complete: 18 min. , 11 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella Spa

2.

What are your comments, concerns, ideas, and suggestions about this project?

This is a very ill-advised Project even though there is no zoning change. The Community knows all-to-well that the City Council caved to the Owners of Tlaquepaque and Wendy Lippman when they permitted an under-parked retail center on the north side of HWY 179 to become Tlaquepaque North without adequate parking for a retail center. As a result, Tlaquepaque builds more retail space on the North side and shoppers park in the available parking spaces on the South side of HW 179. This forces shoppers to cross HWY 179 which stops traffic to a dead stop for minutes at a time, causing a bumper-to-bumper backup for miles toward the VOC. Now Arabella wants to increase the ingress/egress from their property by adding lodging space and a spa with up to 10 buildings. Are the lights on in the City of Sedona building department and City Council? This Project should be rejected out-of-hand for the above reasons but the lure of tax revenue is addictive and has smothered the City Council in recent decisions. I have had a lengthy commercial real estate career including a senior management tenure at the once-largest Corporation in the world - General Electric Company. It is appalling to me that ignorance (the word is used purposefully and is not synonymous with stupid) of City leaders continues to exacerbate the traffic issues in the City that are now putting lives at risk due to the limited access to roadways (due to gridlocked traffic) by emergency vehicles. I have reviewed the request for the Project named above and it should be soundly rejected. The tax revenue does not warrant the passage of a Project for the reasons mentioned above. Please don't make another mistake like Tlaquepaque North. When is enough, enough?

3. Your contact information

Name: Michael Cain
Mailing Address: 20 Cactus Drive
E-mail: mjagcain@me.com

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

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Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Thu 8/26/2021 4:25 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 08/26/2021 4:25 p.m.
Response #: 330
Submitter ID: 3232
IP address: 47.215.230.31
Time to complete: 4 min. , 37 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella Spa

2.

What are your comments, concerns, ideas, and suggestions about this project?

Dear Planning and Zoning Committee Members,

Our names are Nick Culian Jr. and Carol Culian. We live at 33 Redstone Drive, which is located in the neighborhood bordering Arabella Hotel, and we are opposed to Arrabella Hotel's Villa and Spa expansion proposal.

Living in the oldest Sedona subdivision for the past two and a half years has been, in many ways, a dream come true.

Having moved numerous times over the years due to work related requirements, we realize it typically takes time to gauge how strong the sense of "community" will be in a new neighborhood. Upon moving to Sedona in 2019, however, we quickly learned just how genuinely friendly and welcoming our fellow Oak Creek Knolls neighbors truly are. We look after one another, enjoy maintaining our beautiful neighborhood, appreciate nature and all its inhabitants, are mindful of our limited natural resources and understand how fragile this unique land we are fortunate enough to inhabit is.

That said, our primary questions to the company behind the proposed Arabella Spa and Villa expansion project are the following:

- 1) How do you plan to minimize the impact of your development on the oldest Sedona subdivision?
- 2) How do you plan to minimize the impact to our finite resources, in particular water usage, during these challenging times of drought, depletion of aquifers and reduced water levels in much of the west's lakes and rivers?
- 3) How do you plan to minimize the impact to our fragile environment and the wildlife whose habitat will be encroached upon?

In addition to answering the before mentioned questions, we would also appreciate responses to the following concerns:

- 1) We live in a Dark Sky community. What measures are in place to protect our night skies in your proposed expansion plans?
- 2) Arabella Hotel's musical venues can already be heard in our neighborhood. When this issue was brought to the attention of the owners, our requests for a decrease in volume were met with resistance, if not outright disdain. Going forward, what measures will be taken to ensure that our neighborhood is not impacted by music and/or events taking place at Arabella Hotel or the proposed Arabella Spa? Consider requiring sound barriers and tree lines (which do not impede Oak Creek Knoll's residents' views) to break up the noise and light.

3) What measures are in place to limit noise from - and energy consumption of - air conditioners used in the proposed Spa?

4) What actions are currently being undertaken by Arabella Hotel to discourage hotel guests usage of Oak Creek Knolls neighborhood to walk their pets? Far too many green Arabella doggy poop pouches have unfortunately been left on our neighborhood streets...

5) Our neighborhood has far too many ATV's venturing down our quiet streets in search of trail access. To improve the quality of life for valued members of the Sedona community we would like a gate placed at the entrance to our street. This has been a request of our small community for some time now and, with the increase in volume of tourism to our once tranquil town, it is absolutely essential that action be taken to reduce access to our neighborhood.

5) What will the height of the proposed six Villas be? To retain views for Arabella's neighbors to the south – including a historic home on Meteor Drive – we believe one-story Villas set back further than the proposed 20' should be required. In order to maintain an unimpeded skyline with views of the cliffs to the north for Oak Creek Knolls residents, all proposed construction along the entry road to our community (Canyon Drive) should be set below the ridge top and out of view of homes in our neighborhood.

Sincerely, Nick and Carol Culian

3. Your contact information

Name: Carol Culian
Mailing Address: 33 Redstone Drive, Sedona, AZ 86336
E-mail: carolculian@gmail.com

4. Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

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Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Fri 8/27/2021 9:12 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 08/27/2021 9:12 a.m.
Response #: 331
Submitter ID: 3234
IP address: 24.156.95.41
Time to complete: 13 min. , 1 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella Spa

2.

What are your comments, concerns, ideas, and suggestions about this project?

As the Directors of the Oak Creek Knolls Property Owners Association, which consists of the 66 owners in the neighborhood adjacent on the south to the Arabella Hotel and the Arabella Spa project parcel (APN 401-22-036B), we have serious concerns about the proposed development because of issues with the Arabella Hotel. First, we will address issues regarding management of the existing Hotel and our concerns about the management of a greatly enlarged facility. Second, we will focus on concerns regarding the plans submitted for Development Review of the proposed Spa development itself.

Owners on Canyon Drive, Meteor Drive and Hillside have had to deal with loud music from Arabella Hotel entertainment programming. Efforts to deal with management regarding this issue by our members have been less than fruitless with aggressive push-back from management. Additionally, the Hotel's patrons frequently cross Hotel property to access our private roads with their dogs, leaving feces on the roads and on the adjacent residential properties. This has been observed numerous times by many Oak Creek Knolls property owners and is a source of intense irritation since our roads are private and we have not invited Hotel guests to use our property. A fence on the hotel's property next to our neighborhood should be required as part of any increased development or activity at the Hotel and Spa.

Given these and other existing issues with the management of the Arabella Hotel, we have the following questions and concerns about the proposed spa development:

1. No information is provided about the future "villas" for which approval is sought to "rough in" the utilities without any information about the scale, lighting, landscaping, or other details of the proposed units. We are concerned that these units will have a seriously detrimental effect on our property owners on Canyon Drive, Meteor Drive and Hillside in terms of intrusive lighting, noise, and diminution of privacy. We are not confident that the Arabella will manage these units well. Before approval is given to rough in the utilities as sought by the applicant, making the units a fait accompli, we think significantly more detail should be required in order to understand the effects on neighboring properties.

2. Our subdivision is one of the oldest in Sedona and is unusual in that our Association has been actively managed continuously since its inception in 1959. It contains many historic mid-century homes designed by nationally known architects, including one home on the National Historic register, which were designed to showcase the stunning views and sublime night skies of Sedona. We are deeply concerned that the proposed spa development will create negative off-site effects regarding lighting, diminished privacy and noise that will be irremediable. We cannot determine from the proposal documents available what, if any, measures will be taken to address these concerns.

3. It is not clear to us what type of spa facility is intended. While it is referred to as the Arabella Spa, the owner of the property does not appear to be the same as the owner of the hotel. According to the Coconino County Assessor's records, the hotel parcel is owned by LADA, LP, a Canadian entity. The subject parcel is owned by Pine Realty, LLC, an Arizona entity, whose sole member is MOAK Asset Holdings, LP. A large amount of parking (129 spaces) is provided in the renderings submitted, as well as a shuttle drop-off site which seems to indicate planned usage by significant numbers of patrons not coming from the adjacent Hotel. Is this project going to be generating traffic, light, and noise by bringing in large numbers of people for activities other than spa treatments? If so, how can the effects on neighboring properties be mitigated?

Thank you very much for your consideration of our questions and concerns.

Board of Directors
Oak Creek Knolls Property Owners Association, Inc.

Dana Kjellgren, President (dkjellgren.ockpoa@gmail.com)
Nancy Karademos, Treasurer (nancyk@esedona.net)
Lisa Frost, Secretary (jazz@sedona.net)

3. Your contact information

Name: Lisa Frost, Nancy Karademos, Dana Kjellgren
Mailing Address: P.O. Box 1118, Sedona, AZ 86339
E-mail: jazz@sedona.net

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

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comments for Sept 7 public meeting of Planning & Zoning Commission

Tammi Driver <tammi@tammidriverlaw.com>

Fri 8/27/2021 11:00 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>

Please accept these comments submitted for the Planning and Zoning Commission's public meeting planned for September 7, 2021 regarding the request for conceptual development review for a proposed 20,000 sf Arabella Spa.

I am a property owner in Sedona and a current resident of Cottonwood. I am concerned about development in Sedona, especially about development that is not necessary, including this proposed development. Sedona DOES NOT NEED ANOTHER SPA.

I am especially concerned about the proposed location for these buildings. The entrance site abuts USFS land. This is an area where residents and visitors hike and enjoy the solitude of nature and the beautiful views of Sedona. The development of four buildings and a road in this area will disrupt the solitude and nature that currently exists. The spa buildings (and proposed villas) will also interfere with Oak Creek Knolls residents' views. Many who built or bought homes for those views.

Additionally, I am concerned about the business and buildings increasing the noise pollution and the traffic in an already congested area, as well as the development interfering with Sedona's dark skies. Residents live in Sedona, and visitors come to Sedona, in order to hike and experience NATURE, QUIET, AND DARK SKIES. Animals also need nature, quiet, and dark skies. Developments, such as this project, negatively impact nature, quiet, and dark skies.

While I realize that the commission may need to consider what other development could be built on this land, I just ask that the commission keep these concerns in mind when making a decision about this proposed project.

Thank you,

Tammi J. Driver

RE: Case Number: PZZ1-00009 (DEV)

Don Nielsen <d905nielsen@comcast.net>

Sat 8/28/2021 1:07 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>; dkjellgren.ockpoa@gmail.com <dkjellgren.ockpoa@gmail.com>; Doris <wirtz.doris@gmail.com>

Cari Meyer: Planning Manager

I have a copy of your Notice of Public Hearing, Planning and Zoning Commission, scheduled for Sept 7, 2021.

I live at 170 Canyon Drive approximately 250 feet from the site of the proposed development.

I have some concerns regarding this proposed development that I would like to have addressed:

1. There will be no use of Canyon Drive for construction purposes meaning:
 - a: Access to site for any construction vehicles including vehicles used by workman on the site.
 - b: Delivery or removal of any materials used on the site.
2. Because of steep slopes between the Oak Creek Knolls Development and Arabella Property any potential "sluffing" of native materials or other materials must be controlled so as not to create any potential problem of access or mess for Oak Creek Knolls residents/property owners. If this would happen how would it be taken care of in a timely manner?
3. How will noise and dust be controlled?
4. Height of any proposed structure/s should be controlled and placed so as not to destroy views currently available to property owners in Oak Creek Knolls.

I will not be able to be present at the meeting on Tuesday September 7, but I would appreciate a copy of the results of the meeting emailed to me at d905nielsen@comcast.net.

cc: Dana Kjellgren, President
Oak Creek Knolls HOA

Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Sun 8/29/2021 11:06 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 08/29/2021 11:06 a.m.
Response #: 333
Submitter ID: 3236
IP address: 24.156.89.163
Time to complete: 13 min. , 32 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella Spa PZ21-00009

2.

What are your comments, concerns, ideas, and suggestions about this project?

Our newly built home looks directly onto the subject property and is less than 500 feet away. We can clearly see and hear people who currently walk on the site and we know they can see us. Have any studies been conducted on visual / noise/ light impact of the proposed development on adjacent homes? We were never contacted, until we received the notice of public hearing a week ago.

3. Your contact information

Name: Lee Feliciano
Mailing Address: 50 Pinewood Drive, Sedona AZ 86336
E-mail: lee@solarcapital.net

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

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Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Sun 8/29/2021 5:15 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 08/29/2021 5:15 p.m.
Response #: 334
Submitter ID: 3237
IP address: 184.103.4.95
Time to complete: 48 min. , 36 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella Spa

2.

What are your comments, concerns, ideas, and suggestions about this project?

I am homeowner in Oak Creek Knolls subdivision. My suggestion is to have the architects involved in the Arabella Spa project visit the property of the homeowners (conditional on their willingness) who will be directly impacted by the sights and sounds of this development. "When you change the way you look at things, the things you look at change". Perhaps by expanding their perspective to see multiple points of "view", their design considerations will be inclusive of the private neighborhood this development indefinitely impacts so that a mutually satisfactory outcome can be obtained.

3. Your contact information

Name: Denise DeSoto
Mailing Address: 240 Canyon Dr., Sedona
E-mail: healingfields7@gmail.com

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

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Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Mon 8/30/2021 7:02 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 08/30/2021 7:02 a.m.
Response #: 335
Submitter ID: 3238
IP address: 24.121.172.7
Time to complete: 32 min. , 9 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella Spa

2.

What are your comments, concerns, ideas, and suggestions about this project?

We are neighbors of the Arabella Hotel living in Oak Creek Knolls who look over the hotel and will be impacted by the proposed new Spa and Villas.

Our main concern is with the Villas that have been attached to this application in a very perfunctory way with no detail just the comment that they will be built in the future. As the villas are a very different proposition to the Spa, resulting in overnight residents, we believe that they should be the subject of a separate planning application.

There is no indication in the application of usage numbers of the Spa and Villas but as neighbors we are concerned about traffic, noise and road impacts.

3. Your contact information

Name: Judith Lewisohn
Mailing Address: 99 Meteor Drive
E-mail: judy.lewisohn@gmail.com

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

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Arabella Spa Project, case #PZ21-00009 (DEV)

Jack & Lisa Frost <jazz@sedona.net>

Mon 8/30/2021 7:08 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>

To: Planning & Zoning Commission,

My wife and I, Lisa and Jack Frost, have been active Realtors in our Sedona Verde Valley MLS for over 25 years. We have owned our home in Oak Creek Knolls for over 35 years. Being interested in the continuing quality of our neighborhood, we have been active in our Homeowners Association for almost the entire 35 years. As Realtors, we are well aware and especially interested in the factors which affect the marketability and value of not only our own home, but the subdivision as a whole. Our neighborhood has many historic mid-century modern homes designed by prominent architects, including at least one which is listed on the National Historic Register. Our own home built in 1972, was designed by Donald Larry, a former instructor at Frank Lloyd Wright's Taliesin West, a designer of exceptional homes in the United States as well as in a number of other countries, our own home being his only example in Sedona,

Quite a number of our neighbors have suffered disturbances from loud Public Address and music systems from the Arabella Hotel. Their polite and respectful requests to the management regarding the volume at some events has sometimes been met with actual increased volume. Disturbance from noise or lighting, from a nearby business is an important legal disclosure item when listing a property for sale, and has a very real effect on the value of property. As Realtors as well as Association property owners, we are extremely concerned about the possible degradation of our property values and would like more detailed information particularly regarding proposed lighting and possible noise from outdoor activities.

E.C. "Jack" Frost
30 Moore Dr.
jack@sedona.net
928-202-6644

Arabella Spa Proposal PZ21-00009 (DEV)

Jack & Lisa Frost <jazz@sedona.net>

Mon 8/30/2021 7:14 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>

Date: 8/30/2021

To: Members of the Planning & Zoning Commission

RE: Proposed Arabella Spa

My husband and I have lived full time in our home in Oak Creek Knolls at 30 Moore Dr, for the past 35 years. We are concerned about the proposed Arabella Spa, to be located on the 5.35 acre parcel, (#401-22-036B), adjacent to Oak Creek Knolls.

Our neighborhood is a peaceful and quiet place to live, and we all enjoy that factor very much. Our concerns with this project are the following:

Noise: Noise from outdoor activity, including receptions with music, voices & vehicles. Even if the initial project doesn't include receptions & activity outdoors, we would hope to see a prohibition against this for any future activities. The current outdoor activities with amplified music at the hotel by the pool, are already disturbing to the neighborhood.

Privacy: There is a concern for maintaining privacy for our members who live adjacent to or nearby the project. We hope to see consideration about this by landscaping or privacy screening of some sort.

Future Villas: The preliminary drawing indicates Future Villas in the SW corner of the parcel. No other information is provided as to their appearance, building height, & privacy screening from the nearby residential property. We need more information about this. These structures would be very intrusive to the nearby residential properties.

Thank you for your consideration of our concerns.

Lisa Frost
30 Moore Dr.
Sedona 86336
jazz@sedona.net
928-301-2523

August 28, 2021

As an owner of two properties that are directly across from the Arabella Hotel and the proposed new development, I have a number of concerns and questions for consideration.

My wife and I bought our Sedona home four years ago. We were fortunate enough to be able to make a move to any location in the United States. We needed a change from noise, crowds, and stress that are a by-product of living in a large city. We chose Sedona for its beauty, peacefulness, nature, dark skies, quiet, and small-town atmosphere. It felt like a place we could become part of a community.

For the first two years in our Sedona home, we experienced exactly what we had hoped for. Our quality of life was high. We bought a home with amazing views during the day, and peaceful majesty of Sedona at night. We spent much of our time in the mornings and evenings on our deck, entertaining guests or just relaxing with ourselves.

Things changed in 2019 and 2020. Our quality of life decreased significantly. The Arabella hotel began having nightly live music that was often loud enough to be able to hear it in our home with all the doors and windows closed. It continued and worsened during COVID to the point that we could no longer enjoy our outdoor living space at night. Numerous attempts to speak with hotel management were met with animosity and no avenue to have meaningful discussions were provided. Our only option was to contact the police. This eventually led to the owner of the hotel contacting me directly as he felt harassed, when all I had wanted was a conversation in the first place. As you can imagine, this initial contact came from a place of misunderstanding and frustration and was not at all how I had hoped we could start our conversation. However, ownership was willing to work with us to try and mitigate the issue, offering a point of contact at the hotel that would work with the musical guests to adjust speakers and volume. After months of working towards a solution (and considerable stress), I drafted a letter exactly one year ago today (attached separately in this email) to ownership hoping to make a final plea to restore peacefulness. This, as all other attempts, did not result in a satisfactory solution.

I want to be clear that I appreciate the communication and efforts and that there has been an improvement this year. I also want to be clear that there are still 1-2 nights per week where the noise from live music or from movie night is loud enough that I can't enjoy my outdoor space. I have stopped contacting the hotel or complaining to police as my wife and I do not want to deal with the daily stress this caused us last year. My silence does not indicate approval.

We feel the history is pertinent to our concerns and questions regarding the new development, as past behavior can often be used to predict future behavior. Our concerns are with the potential for increased noise, light pollution directly into our home and veiling the dark skies, our privacy, and further degradation of our quality of life.

Specifically:

- The plans are calling for four structures and extensive parking. Lighting would be needed for all of these structures. Lighting at the hotel already causes pollution and impedes enjoyment of “dark skies”, even though the individual lights may be within code.
- Noise from the guests of the spa/music/vehicles are very likely to reach our home.
- Our home has windows that take advantage of the views and look straight across to the property. The plan calls for 6 additional villas to be roughed in that will certainly present a major reduction to our privacy, in addition to the added noise of guests staying at these villas.
- Further expansion of use of the property beyond what is drawn up as a “peaceful spa”, as the Arabella Hotel ownership has shown a propensity towards recently (live music concerts, movies).

We would like to understand what assurances, if anything is being done to address these concerns.

- How does the development plan not to impede our quality of life?
- What protections/mitigations will be put in to place to maintain the privacy of our homes and community?
- What are the expectations for hours of operation of the spa?
- Given that our neighborhood is historic and well-established, can all development be moved towards Sombart and away from Oak Creek Knolls to lessen the impact?
- The Hotel itself does not “blend in” with the natural landscape as it is painted a bright beige. The plan calls for concrete and glass, which also does not appear to “blend in” with the natural landscape. If these structures are in our line of sight, what will be done to mask them or make them more in-line with the natural reds and greens of the landscape?
- What response will we get from ownership and the city when we have issues with noise/light/privacy?
- What is preventing the spa from having outdoor events/concerts/movies/etc.?
- What will be done to mitigate noise from the pools? What are the hours of operation of the pools?
- What will be done to keep headlights from golf carts/patrons/worker vehicles from coming straight into our home when using the proposed access road?
- Can we have a representative of the developer walk us through the plan from our neighborhood so we can better understand the impact to privacy and line of sight?

Our intent is not to stop development, only to have a well thought out plan that makes sense for the Hotel/spa and our neighborhood community. We believe there can be a common ground reached that does not impede our quality of life and protects our historic community while allowing for a successful development of a successful new business venture.

Dennis and Danielle Lewis

August 28, 2020

Rob,

After 2 months of seeking a solution to the volume of the Arabella music that we hear at my home on a nightly basis, the problem is yet to be resolved. We spoke most recently on August 4, 2020. At that point I had had many interactions with your staff and had the expectation that we were getting close to a resolution. Since that discussion, the frequency of noise issues has increased. There is little consistency from one night to the next. There is even little consistency from any one performer from one night to the next.

We purchased a home in a neighborhood in proximity to your hotel. We understood that we would be hearing normal hotel noise from things like kids in the pool, guests in the dog park, parking lot noises, etc. We never expected we would be hearing live entertainment every night. It is as if we purchased a home next to a bar.

As part of us working together to find a solution, I have had the awkward task of contacting the employees of your hotel to ask them if they can assist. I never expected I would still be making requests to them this many weeks in. Neither they nor I enjoy those exchanges.

I have become the liaison for my neighbors who have also expressed real frustration with this situation. I know it has been raised with the HOA. I have asked that they refrain from contacting the police or the city as I have been working with you to get things handled.

One of the reasons we moved to Sedona was the expectation of spending time outdoors. The secondhand music impacts our ability to enjoy the home we have purchased and our quality of life. The opposite is true; it has become the source of considerable stress. We are unable to use our back deck without having the music intrude from 6:15ish to 9:30 – 10pm. Most nights, the noise cannot even be avoided it by going out to my front patio.

I appreciate the assistance you have provided so far. However, we should recognize that efforts to-date have not produced a lasting solution. New ideas and action are required.

- We have talked of acoustic-only performances to reduce amplification. This may work.
- You have mentioned sound engineers. I don't know if this has occurred.
- You have also mentioned upcoming "movie nights" that you think may help. These are likely to have similar noise issues.

The Arabella is very much part of our community and you have made many great improvements. But you will agree that a notable feature of Sedona is its aura of harmony. We all have a duty to respect this and to operate as good neighbors. The nightly coordination between me and the hotel is not solving the matter.

New solutions are urgently required. Please advise.

Dennis Lewis



Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Mon 8/30/2021 9:03 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Mike Raber <MRaber@sedonaaz.gov>

A new entry to a form/survey has been submitted.

Form Name: Comments on Development Proposals
Date & Time: 08/30/2021 9:02 a.m.
Response #: 336
Submitter ID: 3240
IP address: 47.215.241.121
Time to complete: 8 min. , 44 sec.

Survey Details

Page 1

We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

1. Project Name:

Arabella PZ21-00009 (DEV)

2.

What are your comments, concerns, ideas, and suggestions about this project?

I have an added concern about the white Roofing on part of building 1 and all of building 4. I will be looking down on the roofs of those buildings which should not be a light reflective color or material.

3. Your contact information

Name: Christina Greene
Mailing Address: 70 Pinewood Dr.
E-mail: Chrisverde@msn.com

4.

Would you like to receive notices about this project, such as public meeting dates?

(o) Yes

Thank you,
City of Sedona

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Arabella expansion proposal

Bill Harding <wah@esedona.net>

Mon 8/30/2021 9:57 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>

To whom it may concern:

Our main objection to the Arabella expansion is mostly with the additional traffic coming in and out of the resort and onto Hwy 179. This is near a roundabout that is only one block from the Tlacapaque pedestrian crossing, the single most congested area on Sedona.

William and Sheila Harding
30 Cactus Drive
Sedona, AZ

95 Sombart Lane

Kari Fischer <kfischer814@gmail.com>

Mon 8/30/2021 12:41 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>

Hello Cari,

My husband and I live at 20 Redstone Drive in Oak Creek Knolls. We are writing to express our concerns regarding the proposed project at the Arabella.

We have the following concerns:

-We do not believe there is an entrance planned off of Canyon Drive to the property as that would increase the number of vehicles entering our neighborhood drastically. If there is, however, we would have huge objections.

-Even without an entrance off of Canyon, we are concerned about an increase in traffic, both foot and vehicle. Our neighborhood is very small and the roads cannot handle the extra traffic, both from a maintenance and usability perspective.

-We have concerns about noise. We can already hear music from Arabella and worry this will increase.

-Sedona is a dark sky community and we are concerned about increased lighting from the expansion.

Thank you for noting our concerns for any upcoming hearings.

Kent and Kari Fischer

Re: appt. Wed. re: Arabella Spa site

megan smith <msmithfilmmaker@gmail.com>

Mon 8/30/2021 1:07 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>

1 attachments (341 KB)

SedonaSpaArabella.pages;

Hi Cari,

I'll see you at 1:45. Here are my comments to give to the Committee. I've also attached them as a Word Doc:

Dear members of the Sedona Planning and Zoning Committee:

re: Case Number PZ21-00009 (DEV) Arabella Spa

I own the property right across Canyon Drive from where the Arabella Spa and "future Villas" are proposed to be located: 39 Meteor Drive.

Built in 1959, my home is one of 20 in Sedona that has been designated an historic Landmark by the City (Landmark #20). It was built by Mr. Howard Madole known as "Sedona's first architect." Mr. Madole, a Prescott resident at the time, and I became friends; he volunteered to sketch the renovation plans of my home which he completed before his accidental death, and The Design Group here in Sedona helped to see the plans through. Mr. Madole testified before Sedona's Architectural Review Committee to help gain approval of those plans. My home received two cost-shared grants from the City that aided in this renovation project.

Mr. Madole, who worked side-by-side at Taliesin West in Phoenix with renowned architect Mr. Frank Lloyd Wright, purposefully designed my home's living room view to allow for siting of The Palisades on one side of the stone chimney and Wilson Mountain on the other; the terrace also captures this lovely view. The captured views are referenced on the Landmark plaque on my home: "Madole's signature design elements are evident in this home and include...large expanses of glass windows." From the living room vantage, Spa Bldg. #4 would interrupt the view of Wilson Mountain and the six Villas (without having a reference of the actual their height) would be an obvious eyesore on the otherwise unobstructed landscape.

Other concerns and questions I have that I hope the Committee addresses are the following:

During construction:

- noise and dust from construction
- disrupted natural habitat for animals
- erosion problems that would drain onto Canyon Drive due to the steep slopes on the north side of this road where the proposed Spa and Villas would be located

After construction:

- Building #4 atop the hill will obscure some of my view of Wilson Mountain and interrupt the intent of Mr. Madole's architectural design of this historic Landmark home and its view
- what are the operating hours of spa? Only in the daytime or night as well?
- the music level played at the Spa and the Villas; the current Arabella management has been disrespectful at times of the nighttime music level coming from the hotel and oftentimes has not decreased the level of noise even following some complaints from our neighborhood
- lighting at night that would disrupt the "Dark Sky" of Sedona ordinance
- more congestion on Sedona's already congested roads
- what are the actual proposed colors of the buildings? they were difficult to figure out if they would be reddish tone or off white and light in color

Suggestions:

1. The farther Building #4 atop the hill is pushed back in the direction of Wilson Mountain (and even over the crest of the hill if possible), the less myself and two other neighbors facing it will see it; that would be appreciated.
2. Proposing the future Villas in this Spa proposal seems premature. The height and appearance are not disclosed in this proposal. If they go forward in the future with the Villas it would be appreciated if they could site them on the backside of the hill near the Spa entrance, on the north side and slightly down hill of buildings #4 and #2; they would have just as nice a view from that locale (if not better) and we wouldn't have to look at them on this side or have our view obstructed.
3. Placing as many plantings as possible around buildings to make them blend into environment would be appreciated
4. Addressing our other neighbor's concerns who will have the Spa in their sightline would be appreciated
5. Making sure that the color of the Spa buildings is red or green to help it blend in with natural background vs. a light or white color (such as the current Arabella buildings)
6. No music to be played after dark if the Spa will be opened to guests at nighttime

Thank you for your time and consideration. Please feel free to call with any questions. I will be there at the Sept. 7 hearing to speak about these concerns.


Megan S. Smith, M.S.
39 Meteor Drive
Sedona, AZ 86336

c. 703 328 4885

On Aug 30, 2021, at 11:28 AM, Cari Meyer <CMeyer@sedonaaz.gov> wrote:

1:45 will work for me.

Thank you,

 Cari Meyer
Planning Manager

Community Development
102 Roadrunner Drive
Sedona, AZ 86336
cmeyer@sedonaaz.gov
(928) 203-5049

City business hours are Mon-Thur 7 a.m. - 6 p.m.

Public safety 24/7

City Hall is open to the public from 7:30 am to 3:00 pm, Monday - Thursday.

From: megan smith <msmithfilmmaker@gmail.com>

Sent: Monday, August 30, 2021 10:46 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>

Subject: Re: appt. Wed. re: Arabella Spa site

Hi Cari,

Thanks for your reply. I will be sending you comments within the hour on the Spa FYI.

Could you meet today at 1:45 pm to go briefly over the plans with me?

Let me know and thanks,


Megan

On Aug 30, 2021, at 9:19 AM, Cari Meyer <CMeyer@sedonaaz.gov> wrote:

Hi Megan,

Thanks for your email and I apologize for not getting back to you last week. If you're interested in looking at the Arabella plans, I have some time today after 11:00 am or tomorrow from 9:00 am to 3:00 am. Please let me know if any of those times would work for you.

Thank you,

 Cari Meyer
Planning Manager

Community Development
102 Roadrunner Drive
Sedona, AZ 86336
cmeyer@sedonaaz.gov
(928) 203-5049

City business hours are Mon-Thur 7 a.m.- 6 p.m.

Public safety 24/7

City Hall is open to the public from 7:30 am to 3:00 pm, Monday - Thursday.

From: megan smith <msmithfilmmaker@gmail.com>

Sent: Friday, August 27, 2021 2:22 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>

Subject: Re: appt. Wed. re: Arabella Spa site

Hello Cari:

sorry you weren't able to get together this week.

Can you confirm you received this email please? It's where we were told to send input for the Arabella Spa zoning site.

Thank you, Megan S. Smith

> On Aug 24, 2021, at 5:57 PM, megan smith <msmithfilmmaker@gmail.com> wrote:

>

> Hello Cari,

>

> Thank you for clarifying my questions today re: the Arabella Spa.

>

> You had mentioned at that time that you could walk me through where my property is on the site map so I could have a clearer comprehension of the project.

>

> Do you have a few minutes tomorrow to meet with me? If so, please let me know what time; I'm flexible.

>

> Thank you,

> Megan Smith

> 39 Meteor Drive

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