

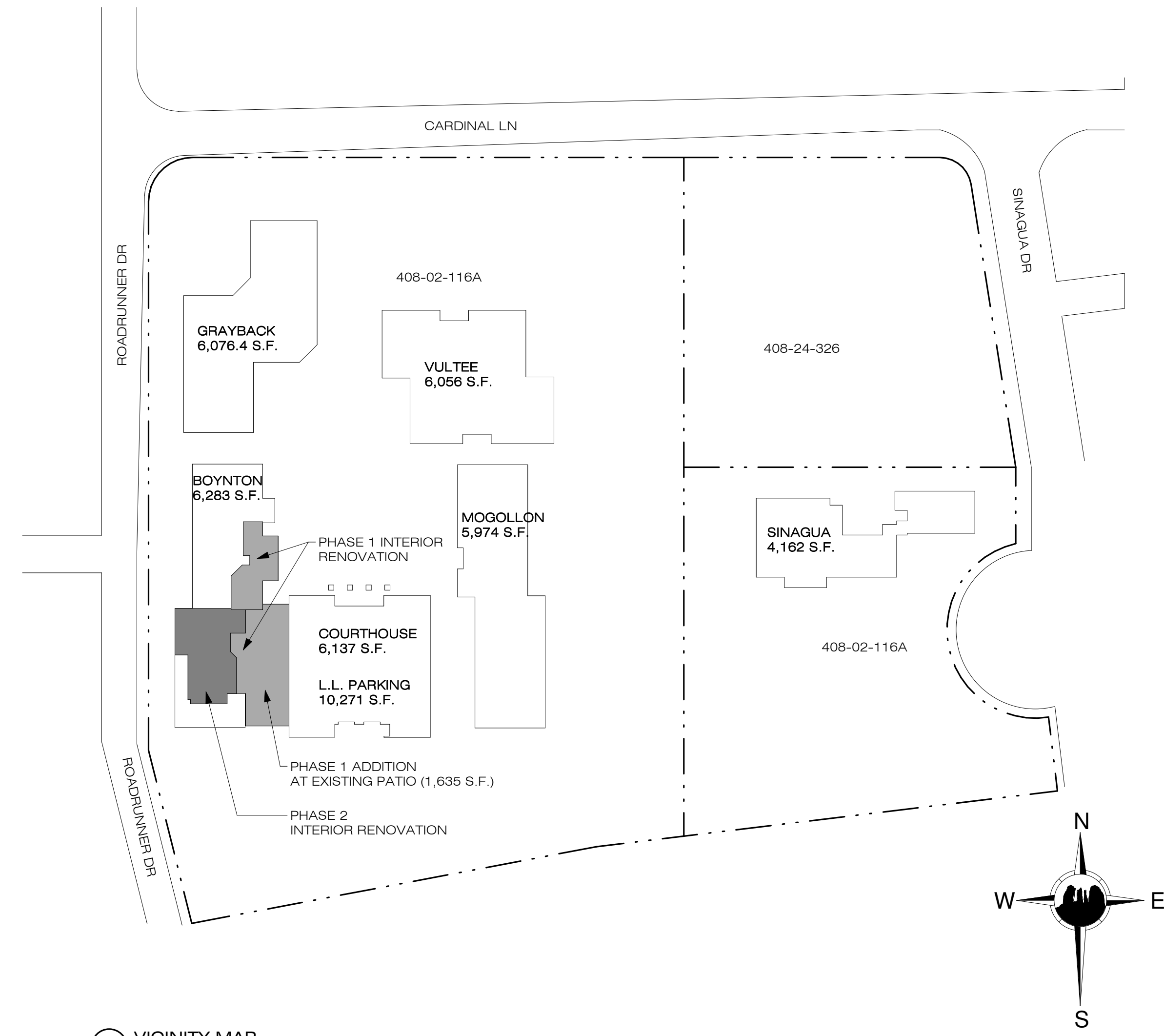
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CITY OF SEDONA

SEDONA POLICE DEPARTMENT RENOVATION & EXPANSION

Sedona Project No. 2020 - PD-03



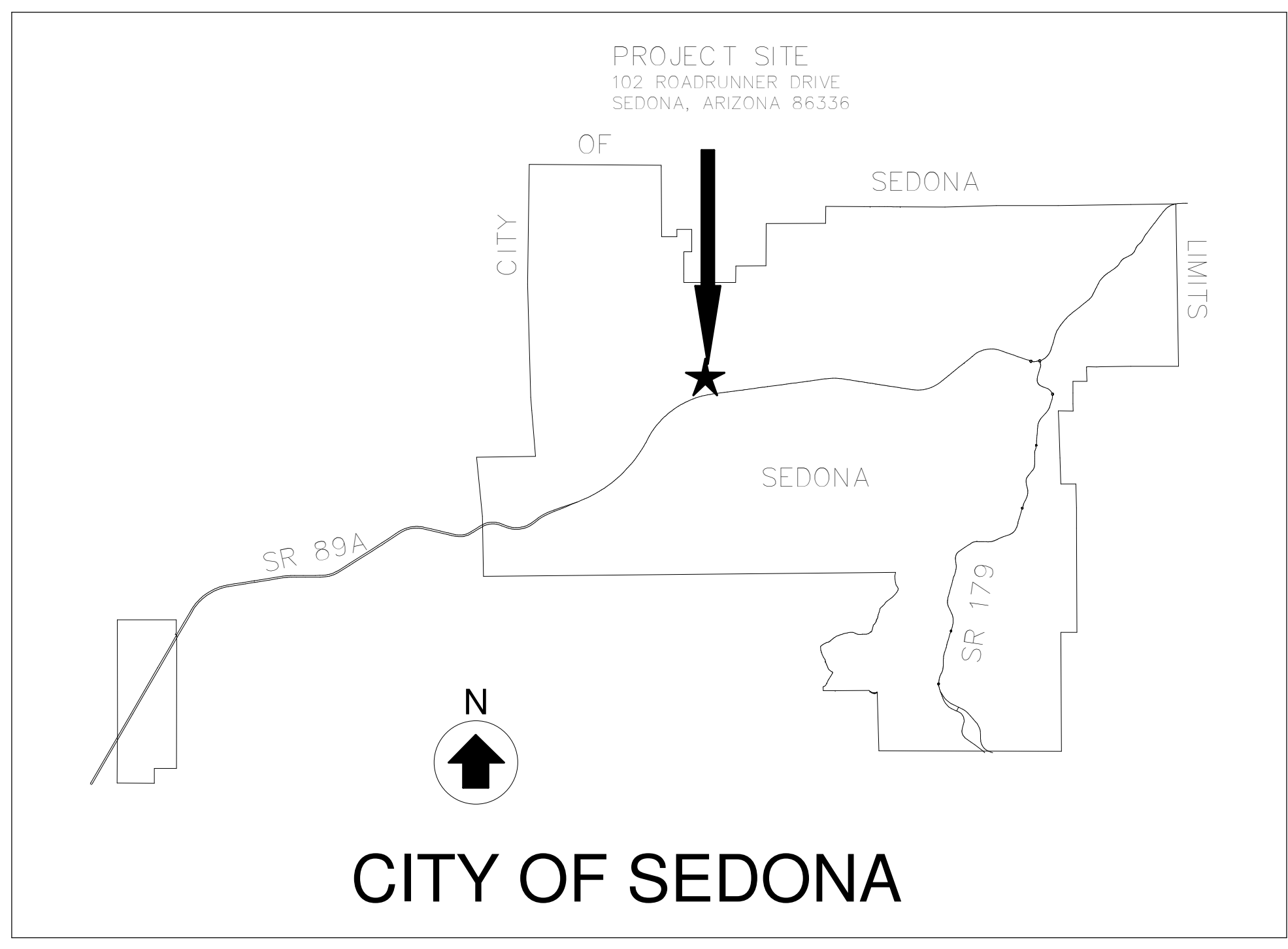
CONTACT INFORMATION

OWNER	CITY OF SEDONA 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 (928) 204-7111 J. ANDY DICKEY, P.E. DIRECTOR OF PUBLIC WORKS/CITY ENGINEER
MAYOR	SANDY MORIARTY
VICE MAYOR	JOHN MARTINEZ
CITY COUNCIL	BILL CHISHOLM JOHN CURRIVAN JANICE HUDSON SCOTT JABLOW JESSICA WILLIAMSON
CITY MANAGER	KAREN OSBURN
ARCHITECT	JAN LORANT, AIA, LEED AP GABOR LORANT ARCHITECTS INC. 3326 N. 3RD AVENUE SUITE 200 PHOENIX, AZ 85013 TEL: 602-667-9090 FAX: 602-667-9133 gaborlorant.com

APPROVALS

APPROVED: _____

J. ANDY DICKEY, P.E. _____ DATE _____
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER



1 VICINITY MAP
Not to Scale

UTILITY COORDINATION BLOCK

<input type="checkbox"/>	ARIZONA PUBLIC SERVICE	SANDY FINLEY COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	ARIZONA WATER COMPANY	JOHN SNICKERS COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	SUDDEN LINK	JOHN PATTERSON COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	UNISOURCE	JIM DUNCAN COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	CENTURY LINK	CHAD HENKEL COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____

NOTICE OF EXTENDED PAYMENT PROVISION

(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS, WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

OPINION OF EARTHWORK QUANTITIES*

DESCRIPTION	QUANTITY	UNIT
CUT	N/A	CY
FILL	N/A	CY
NET	N/A	CY

* CONTRACTOR SHALL REVIEW THIS WORK AND DEVELOP HIS/HER OWN EARTHWORK QUANTITY PROJECTIONS FOR USE IN THE PROJECT.

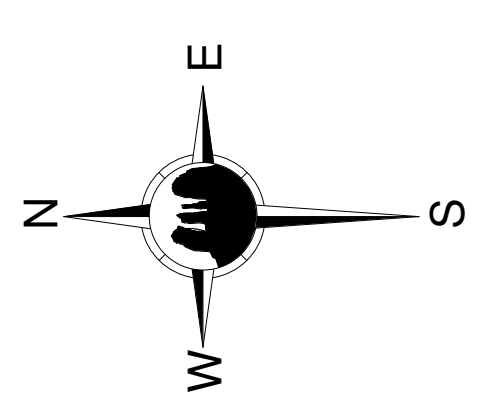
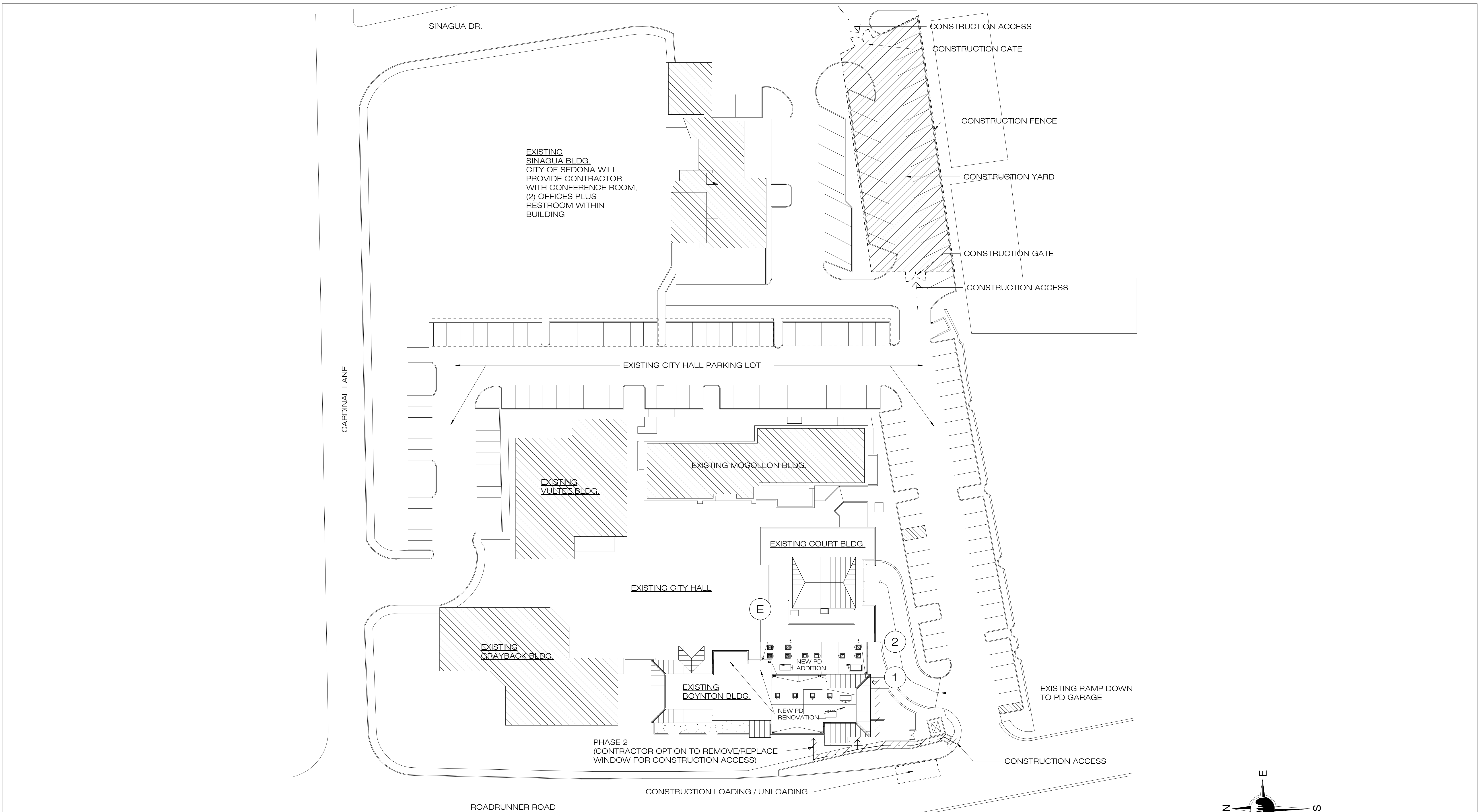


RECORD DRAWING STATEMENT

I, _____, HEREBY STATE, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE GENERAL CONTRACTOR AND OTHERS, THAT THE WORK ON SHEETS 1 THROUGH 5, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THESE CONSTRUCTION PLANS, SPECIFICATIONS, INCLUDING CHANGES AND REVISIONS.

REGISTERED LAND SURVEYOR/ENGINEER	DATE
REGISTRATION NUMBER	EXPIRATION DATE

Symbol	Revisions	Date	Appr.
1	AHJ Review	16 July 2021	
2	AHJ 2nd REVIEW	16 Aug 2021	



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1 SITE PLAN
1" = 30'-0"

VERIFY SCALES
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				Checked by:	Project Code:
				JL	GLA PROJECT NO. 19107



gabor lorant architects
 3326 n. 3rd avenue suite 200
 phoenix, arizona 85013
 tel: 602.667.9090
 fax: 602.667.9133
 gaborlorant.com

CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

PD Renovation & Expan.
 Sedona Project No. PD-03
SITE PLAN

SHEET ID
a005

SHEET NO.
2 OF 18

CODE ANALYSIS

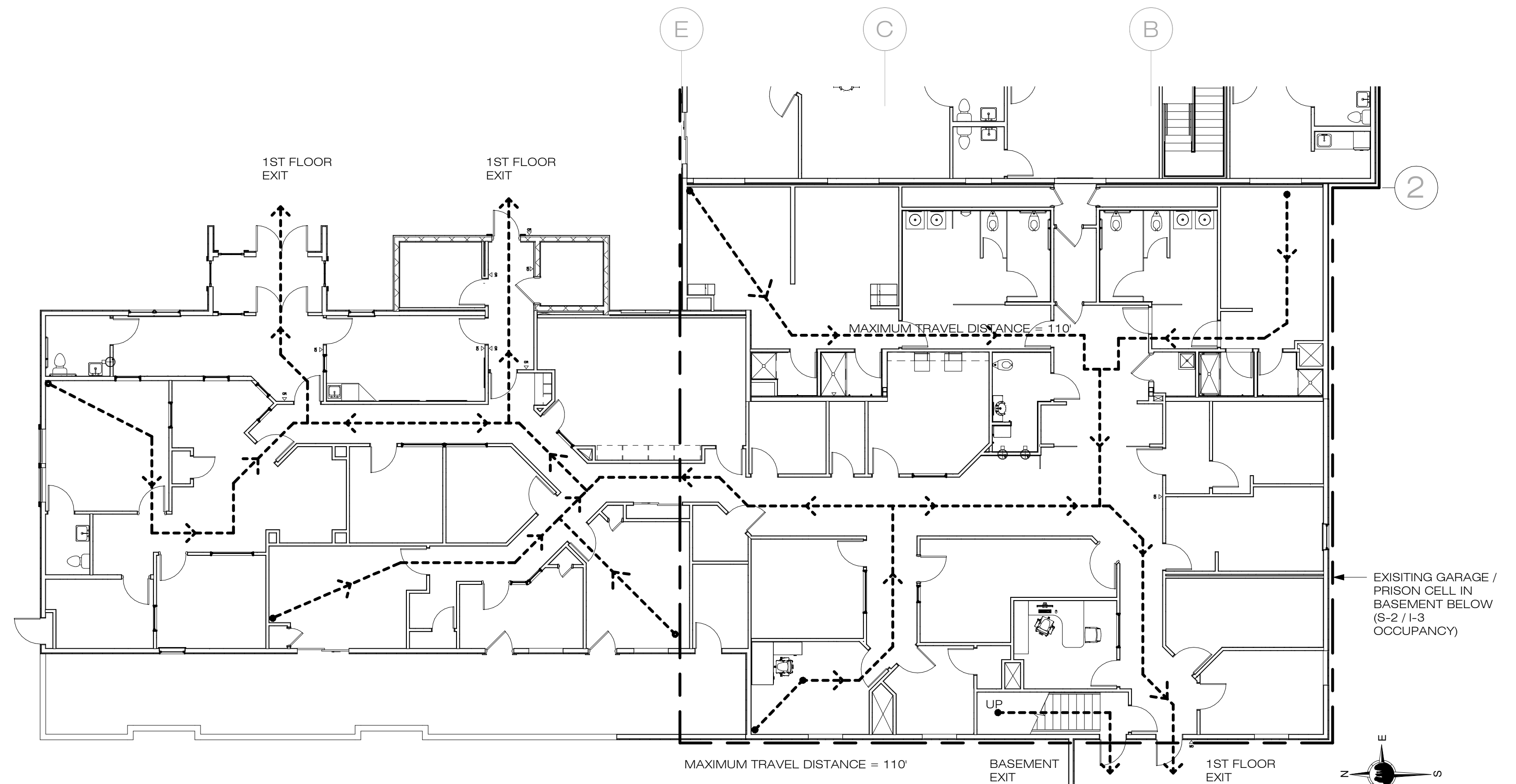
GENERAL:	
LOCATION:	CITY OF SEDONA CITY HALL 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 (928) 204-7111
OWNER:	CITY OF SEDONA 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 (928) 204-7111
ZONING:	M - 2 MIXED USE OFFICE
SITE AREA:	127,130 SF
BUILDING SIZE:	25,275 SF
APPLICABLE CODES:	
ALL AS AMENDED BY CITY OF SEDONA	
2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2017 NATIONAL ELECTRIC CODE (NEC)	
OCCUPANCY (IBC CHAPTER 3)	
FIRST (GROUND) FLOOR:	
B OCCUPANCY	= 7,960 SF POLICE DEPT. OFFICES & LOCKER AREAS = 4,295 SF COURTHOUSE OFFICES = 12,255 SF (87.8%)
A-3 OCCUPANCY	= 1,713 SF COURTROOM (12.2%)
1-3 OCCUPANCY	= 80 SF PRISONER CELL
FIRST FLOOR TOTAL	= 14,048 SF
BASEMENT FLOOR:	
S-2 OCCUPANCY	= 9,797 SF GARAGE / STORAGE (87.3%)
I-3 OCCUPANCY	= 1,430 SF PRISONER CELLS (12.7%)
BASEMENT FLOOR TOTAL	= 11,227 SF
GRAND TOTAL	= 25,275 SF
BUILDING AREA / HEIGHT / (IBC CHAPTER 5)	
AUTOMATIC FIRE SPRINKLER SYSTEM PROVIDED THROUGHOUT	
TABLE 504.3	
ALLOWED HEIGHT, TYPE V B CONSTRUCTION = 60' > 35' ACTUAL	
FIRST FLOOR AREA	= 14,048 SF
BASEMENT FLOOR AREA	= 11,227 SF
TABLE 504.4	
ALLOWABLE NUMBER OF STORIES (A-3 OCCUPANCY) = 2 = 2 STORIES ACTUAL	
TABLE 506.2, SECTION 506.2.4 - TYPE V-B CONSTRUCTION	
B OCCUPANCY	ALLOWABLE BASIC AREA, B CONSTRUCTION = 27,000 SF @ 87.8% = 23,706 SF
I-3 OCCUPANCY - PRISON CELL = ACCESSORY USE PER SECTION 508.2.3	
A-3 OCCUPANCY - ASSEMBLY (COURTROOM)	
ALLOWABLE BASIC AREA = 24,000 SF @ 12.2% = 2,928 SF	
FIRST FLOOR ACTUAL = 14,048 SF < 26,634 SF TOTAL ALLOWABLE	
FIRST FLOOR:	
508.3	
NON-SEPARATED OCCUPANCIES	
MOST RESTRICTIVE OCCUPANCY = A-3	
BASIC AREA FOR A-3, TPE VB CONSTRUCTION,	
MULTI-STORY, SPRINKLED BUILDING = 18,000 SF/STORY	
18,000 SF > 14,048 SF OF FIRST FLOOR	
60' ALLOWABLE HEIGHT > 23'-6" ACTUAL HEIGHT	
2 ALLOWABLE STORIES = 2 STORIES ACTUAL	
THEREFORE, <u>NO</u> FIRE SEPARATION IS REQD (508.3)	
BASEMENT	
S-2 OCCUPANCY	ALLOWABLE BASIC AREA = 40,500 SF @ 87.3% = 35,356 SF
I-3 OCCUPANCY	ALLOWABLE BASIC AREA = 15,000 SF @ 12.7% = 1,905 SF
BASEMENT FLOOR ACTUAL = 11,227 SF < 37,261 SF TOTAL ALLOWABLE	

CODE ANALYSIS

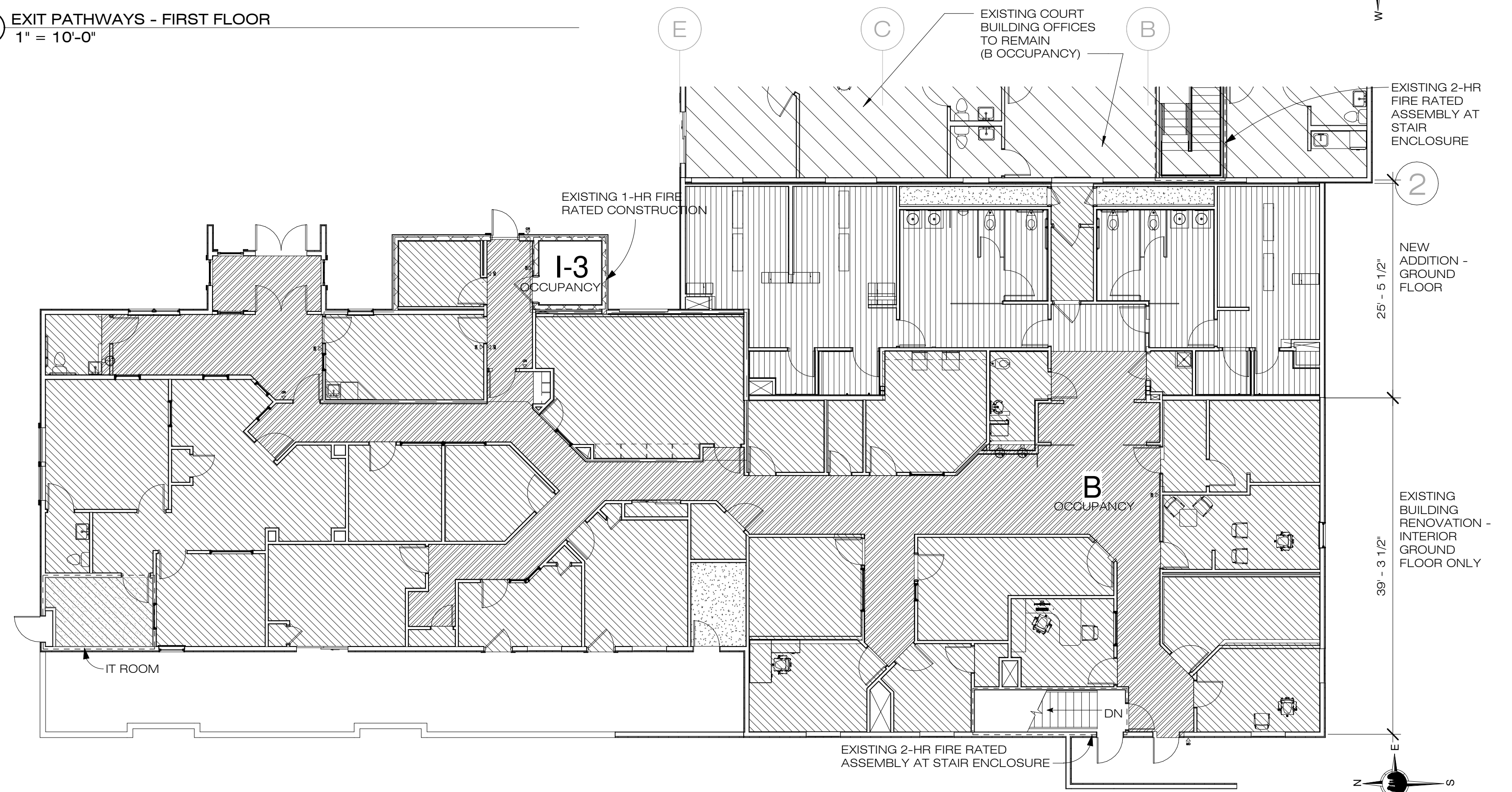
TABLE 601, FIRE RESISTANCE OF BUILDING ELEMENTS	
TYPE V B CONSTRUCTION	
PRIMARY STRUCTURE	= 0 HOURS
BEARING WALLS - EXTERIOR	= 0 HOURS
BEARING WALLS - INTERIOR	= 0 HOURS
NON BEARING WALLS - INTERIOR	= 0 HOURS
FLOOR CONSTRUCTION	= 0 HOURS
ROOF CONSTRUCTION	= 0 HOURS
FIRE PROTECTION SYSTEM (CHAPTER 9)	
THE BUILDING SHALL BE EQUIPPED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM AND A FULLY ADDRESSABLE ALARM SYSTEM PER SECTION 903.	
MEANS OF EGRESS (CHAPTER 10) - 1st FLOOR	
OCCUPANT LOAD (TABLE 1004.5)	
BUSINESS AREA (1 OCCUPANT / 150 GSF)	
OFFICE SPACE:	7,178 GSF @ 1/150 = 48 OCCUPANTS
LOCKER ROOMS AREA (1 OCCUPANT / 50 GSF)	
MEN'S LOCKER ROOM:	502 SF @ 1/50 = 11 OCCUPANTS
WOMEN'S LOCKER ROOM:	280 SF @ 1/50 = 6 OCCUPANTS
TOTAL	= 65 OCCUPANTS
50 UP TO 500 OCCUPANTS REQUIRE 2 EXITS (SECTION 1006). 3 EXITS PROVIDED > 2 EXITS REQUIRED	
EXIT ACCESS	
TRAVEL DISTANCE, TABLE 1017.2:	
B OCCUPANCY, SPRINKLERED	= 300' ALLOWED > 110' ACTUAL MAX. TRAVEL DISTANCE
EGRESS THROUGH ADJOINING ROOM (LOBBY 102)	
PER 1016.2.2 EGRESS PERMITTED THROUGH ROOMS THAT ARE ACCESSORY TO ONE OR THE OTHER.	
MAX. PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)	
69 TOTAL OCCUPANTS - BUSINESS OCCUPANCY	
35 FEMALE OCCUPANTS:	2 WATER CLOSETS REQUIRED = 2 PROVIDED 2 LAVATORIES REQUIRED = 2 PROVIDED
35 MALE OCCUPANTS:	2 WATER CLOSETS REQUIRED = 2 PROVIDED & 1 URINAL PROVIDED 2 LAVATORIES REQUIRED = 2 PROVIDED
UNISEX RESTROOMS:	(1) UNISEX WATER CLOSET + LAVATORY RESTROOM PROVIDED (1) WATER CLOSET, URINAL + LAVATORY RESTROOMS PROVIDED
DRINKING FOUNTAINS:	1 REQUIRED < 3 PROVIDED
SERVICE SINK:	1 REQUIRED = 1 PROVIDED

OCCUPANCY KEY

	CIVIC OFFICE AREA - B OCCUPANCY
	LOBBY / CIRCULATION - B OCCUPANCY
	LOCKER AREA - B OCCUPANCY
	PRISON CELL - I-3 OCCUPANCY
	(M), (P), (E), (IT) MECHANICAL EQUIP. AREA - ACCESSORY SPACE TO B OCCUPANCY



3 EXIT PATHWAYS - FIRST FLOOR
1" = 10'-0"



4 CODE SPACE ANALYSIS PLAN - FIRST FLOOR
1" = 10'-0"

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gabor lorant architects

3326 n. 3rd avenue suite 200
phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
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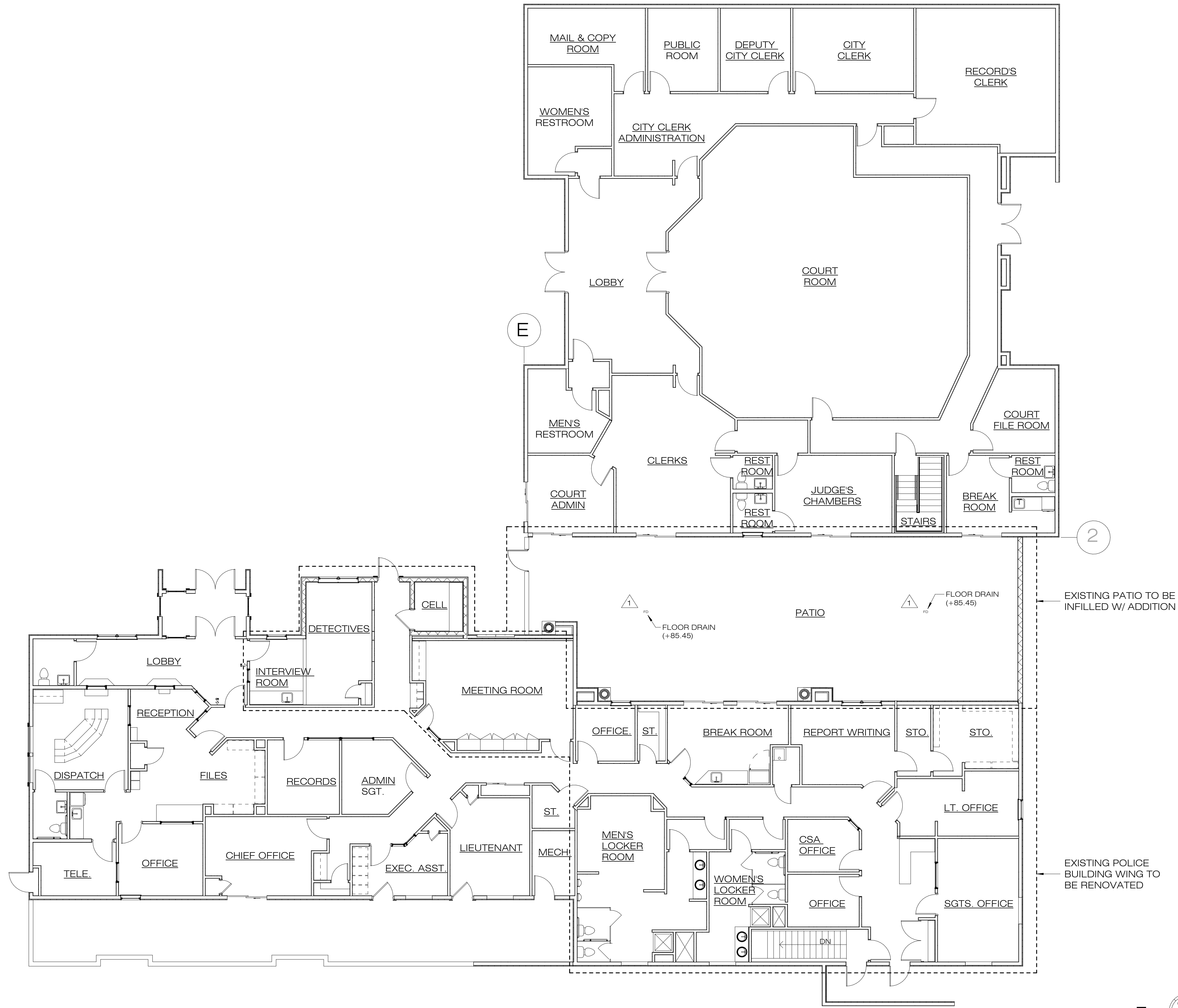
CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

PD Renovation & Expan.
Sedona Project No. PD-03
OCCUPANCY CODE &
ANALYSIS

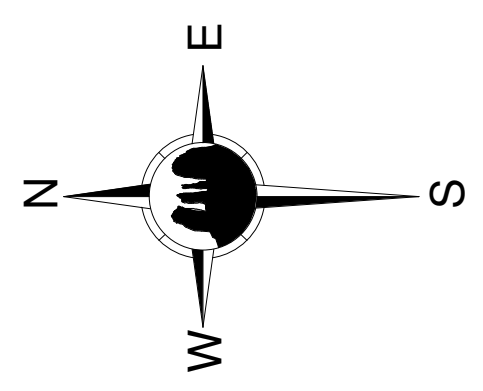
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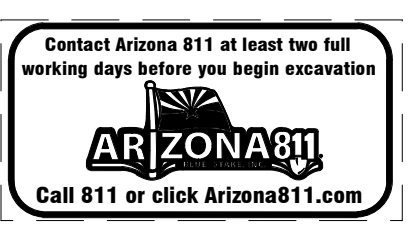


1 FIRST FLOOR PLAN- EXISTING CONDITIONS
1/8" = 1'-0"



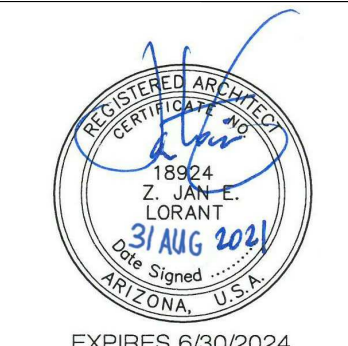
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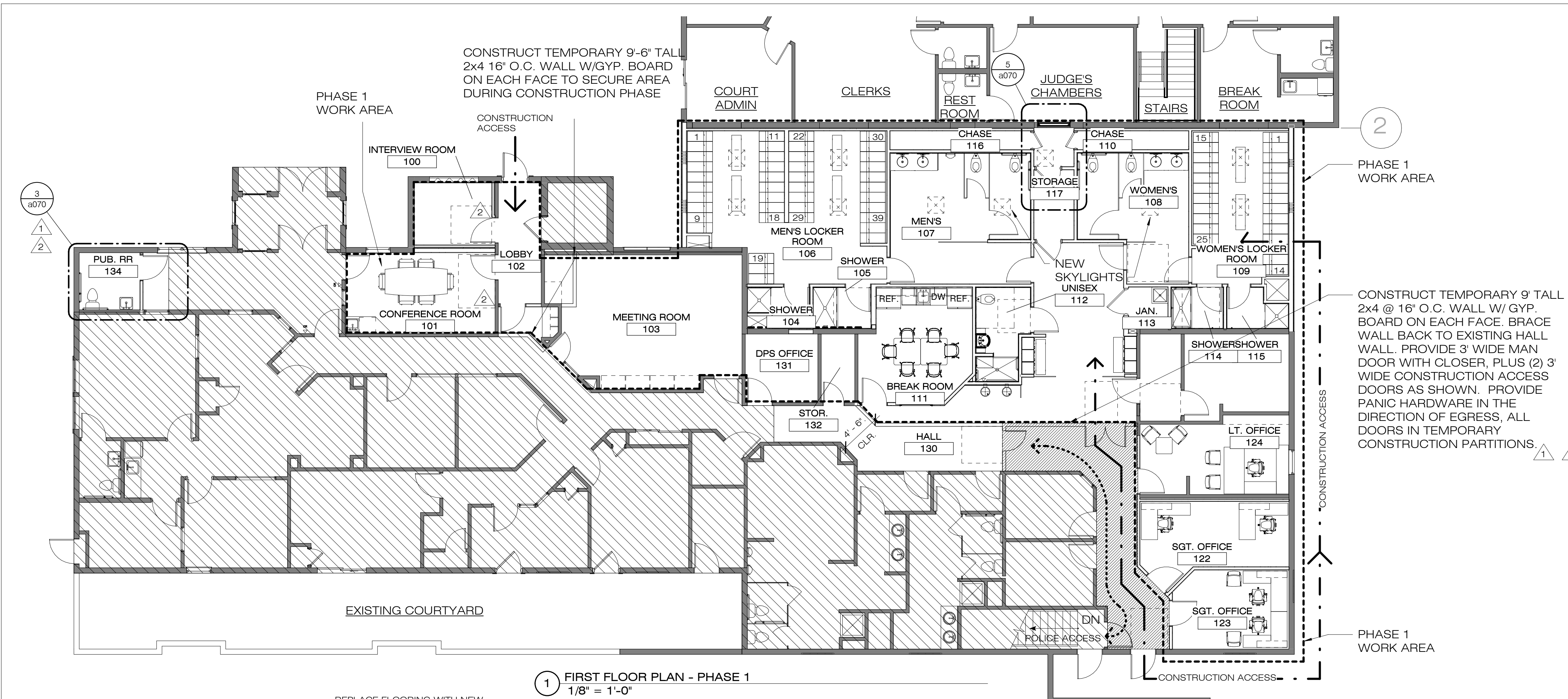
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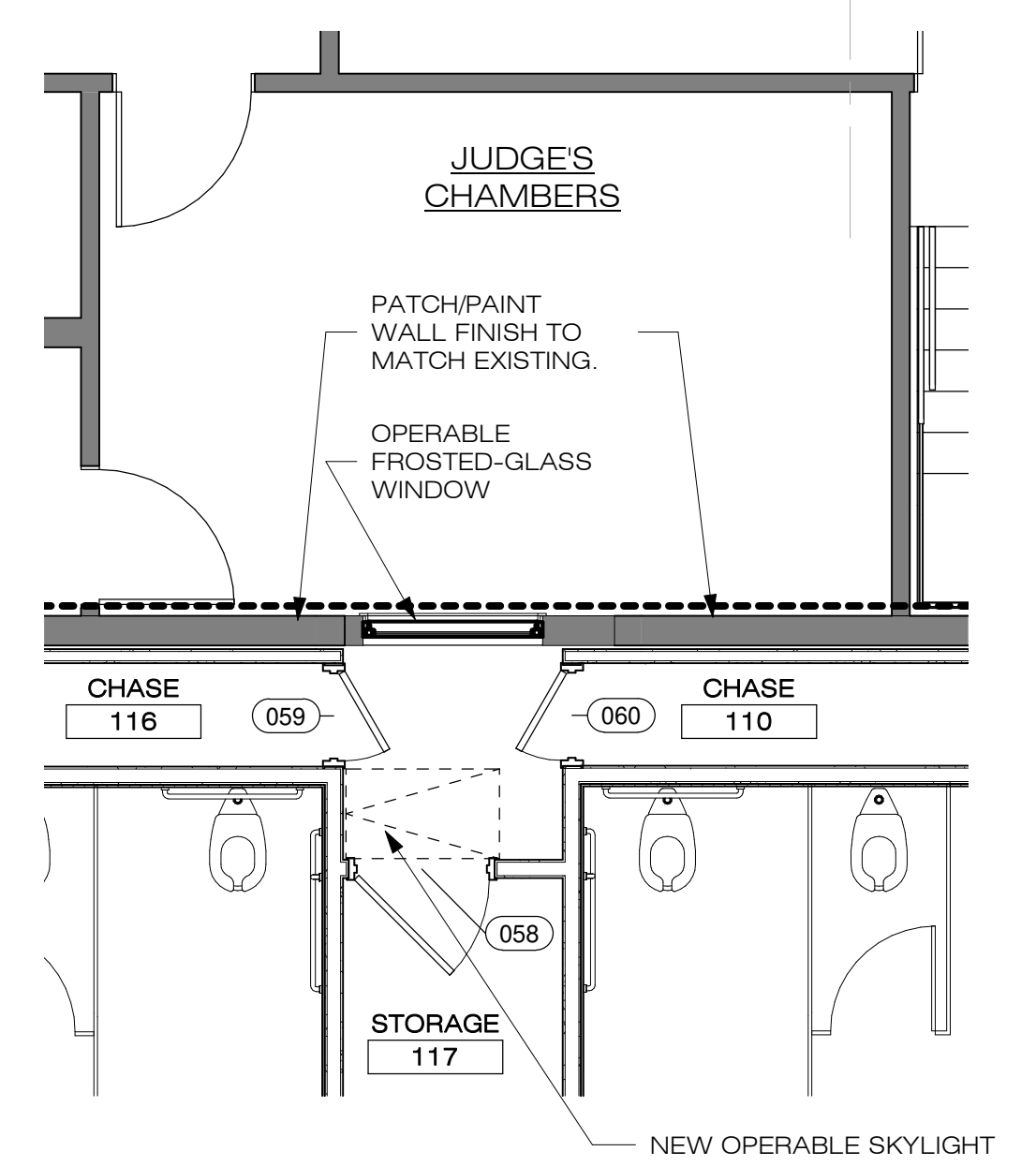
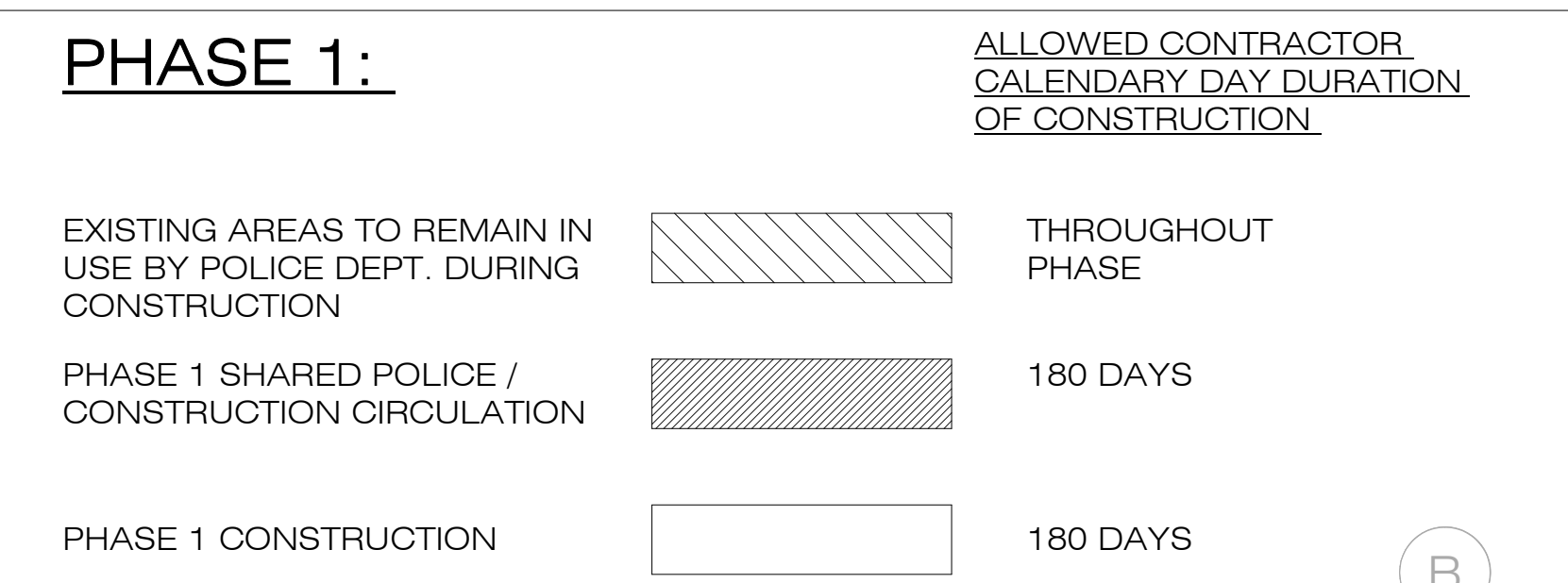
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PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

PD Renovation & Expan.
Sedona Project No. PD-03
**FIRST FLOOR PLAN - EXISTING
CONDITIONS**

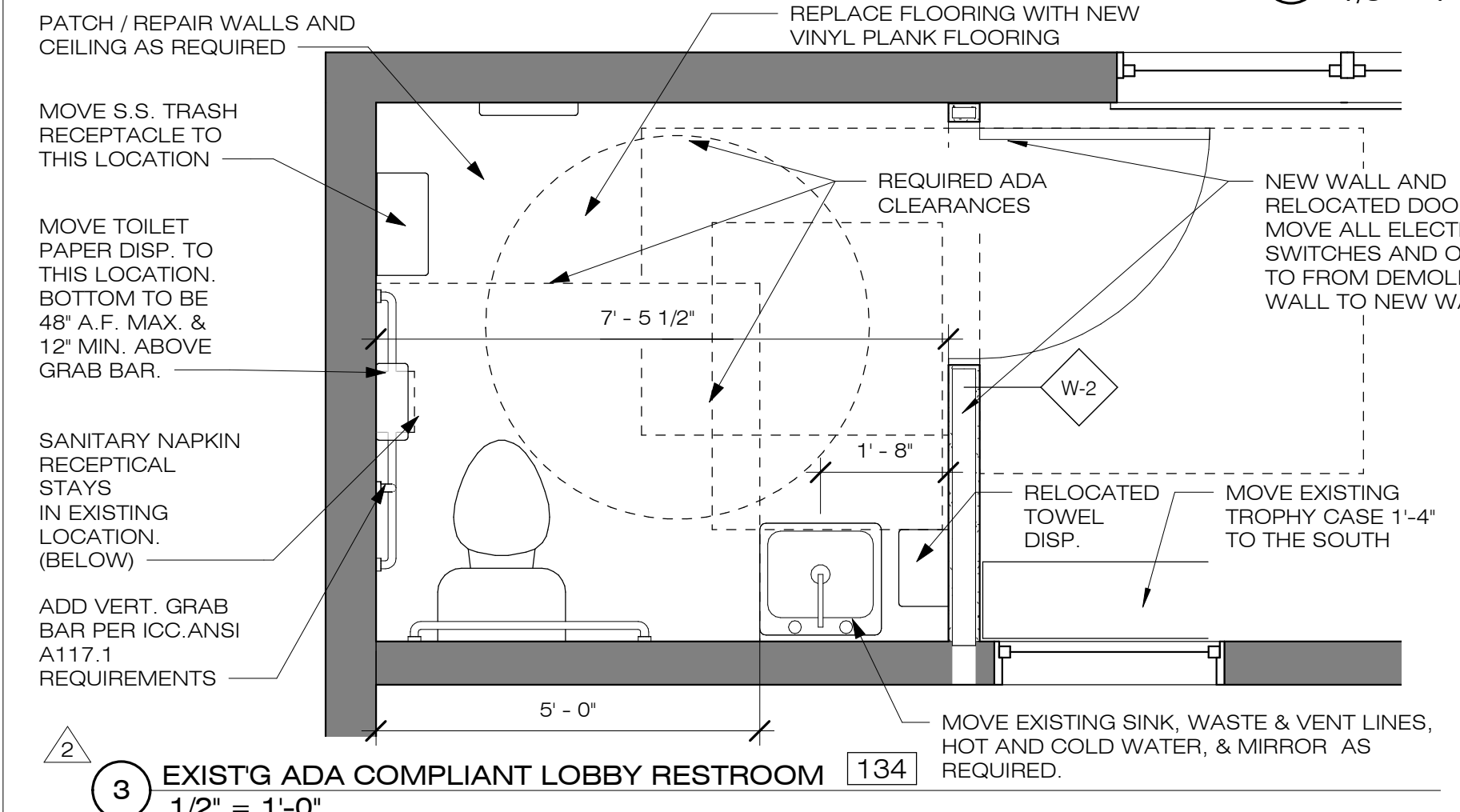
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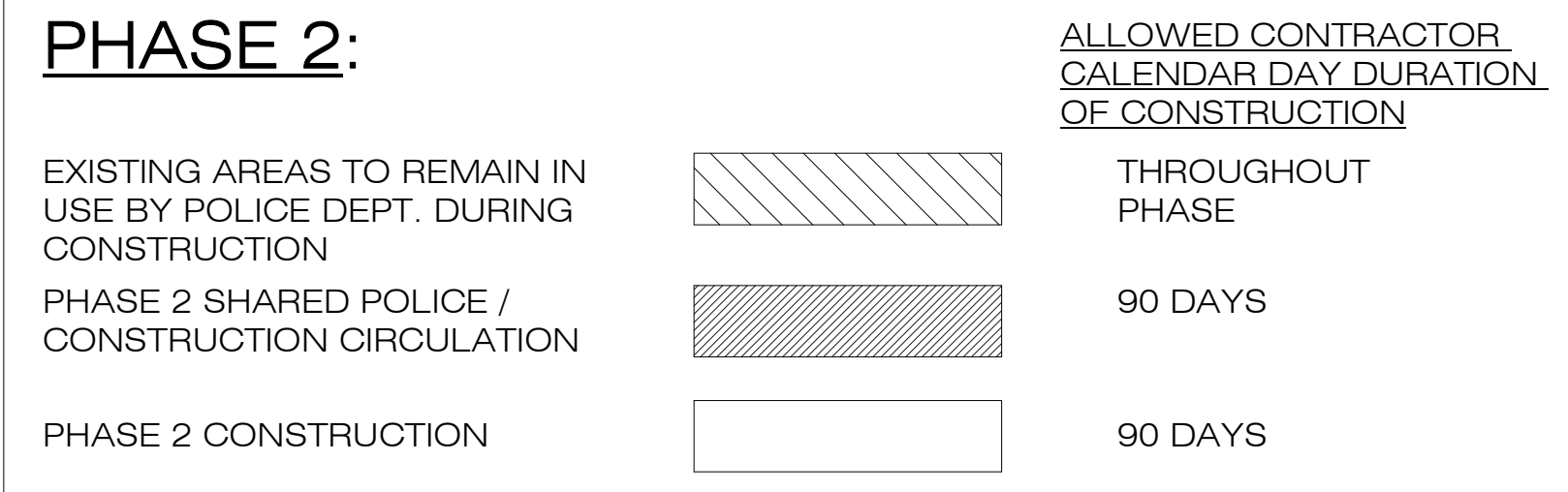
1 FIRST FLOOR PLAN - PHASE 1
1/8" = 1'-0"



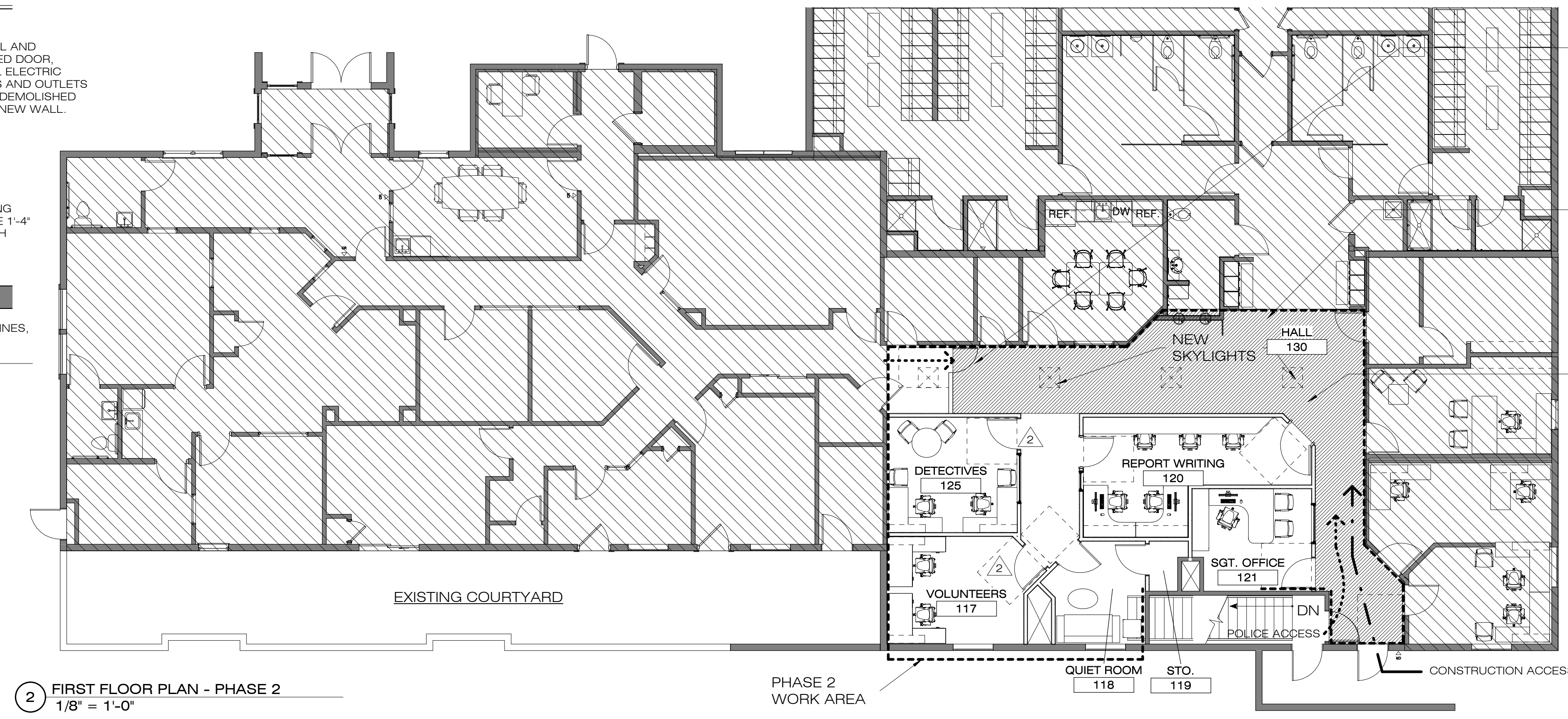
5 JUDGE'S CHAMBERS - PHASE 1
1/4" = 1'-0"



3 EXISTG ADA COMPLIANT LOBBY RESTROOM 134
1/2" = 1'-0"



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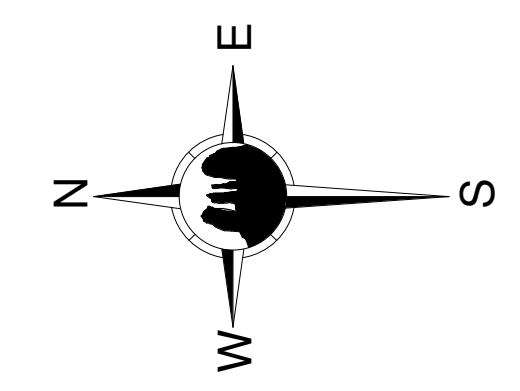


2 FIRST FLOOR PLAN - PHASE 2
1/8" = 1'-0"

2 CONSTRUCT TEMPORARILY 9' TALL 2x4 @ 16" O.C. WALL W/ GYP. BOARD ON EACH FACE. PROVIDE 3' WIDE MAN DOOR W/CLOSER. PROVIDE PANIC HARDWARE IN DOOR IN THE DIRECTION OF EGRESS AT TEMPORARY CONSTRUCTION PARTITION.

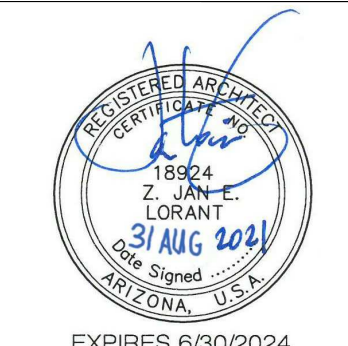
CONSTRUCTION WORK TO & WITHIN HALL 130 SHALL BE COMPLETED BETWEEN 6AM FRIDAY & 10PM SUNDAY DURING PHASE 2

MAINTAIN FIRE SPRINKLERS, FIRE ALARM, EMERGENCY LIGHTING, EXIT SIGNAGE THROUGHOUT LIFE OF THE PROJECT



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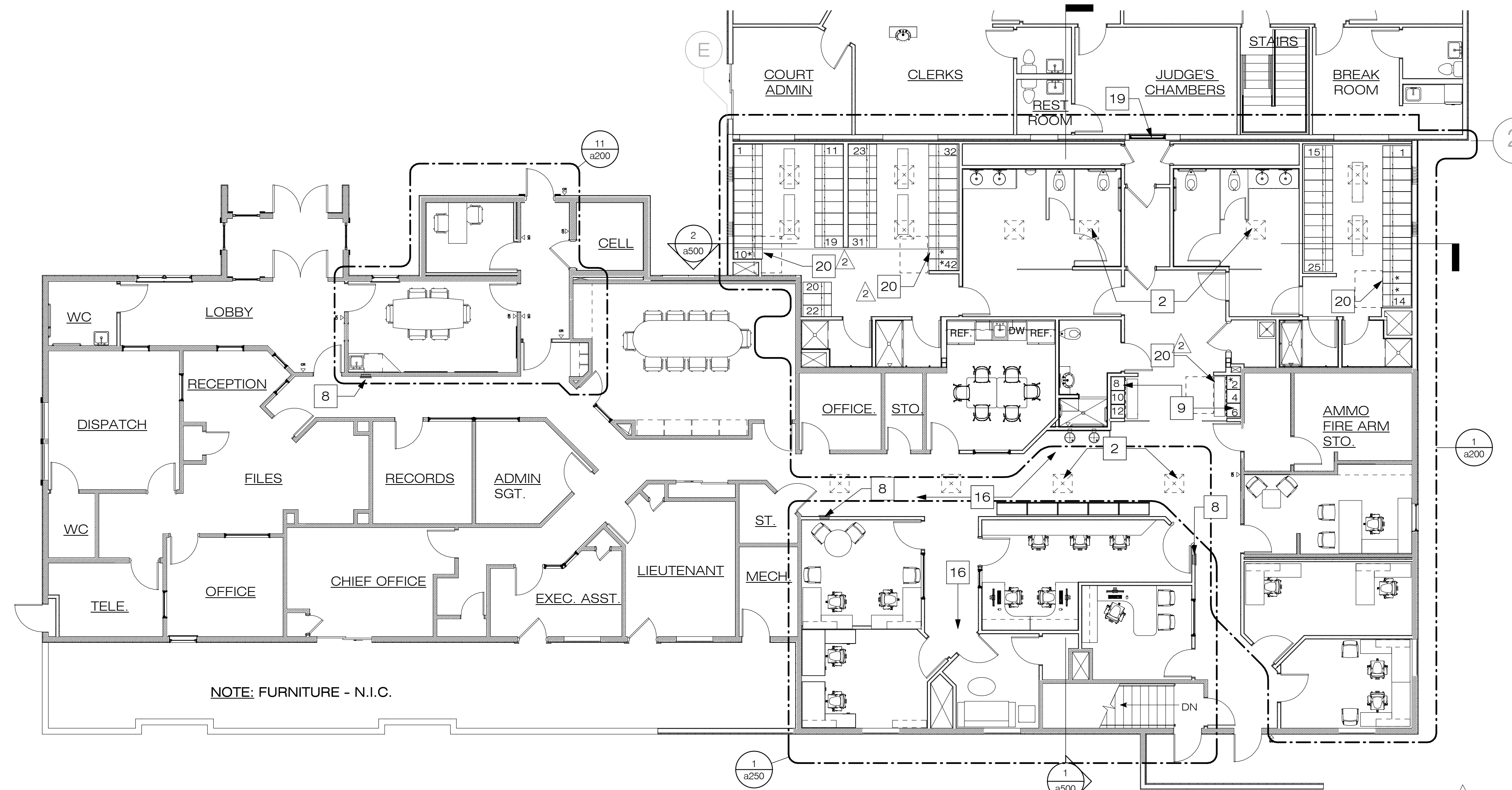


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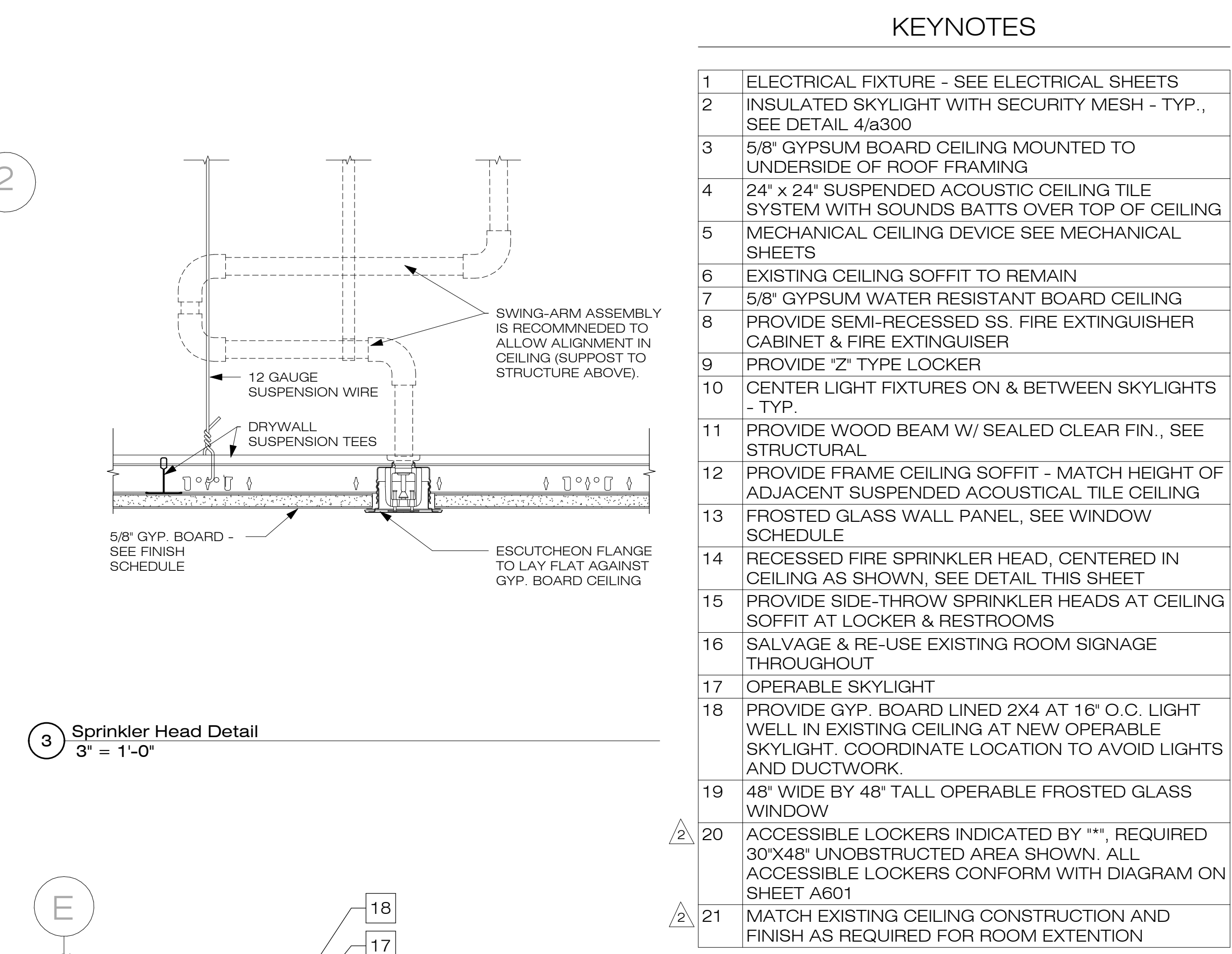
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Sedona Project No. PD-03
**FIRST FLOOR PLAN -
CONSTRUCTION PHASING**

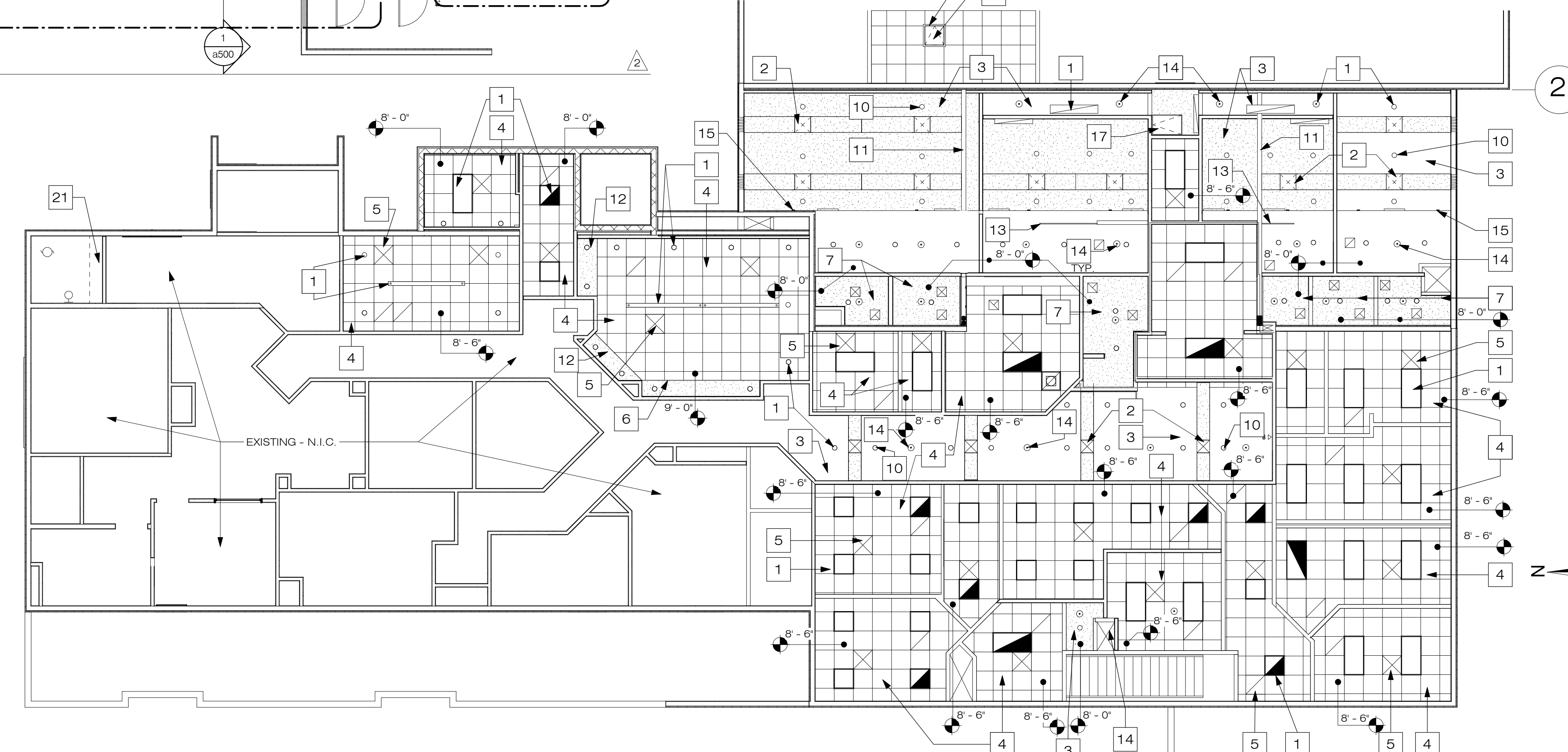
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a070
SHEET NO.
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1 First Floor Plan - Phase 1 & 2
1/8" = 1'-0"



3 Sprinkler Head Detail
3" x 1'-0"



2 First Floor Plan - Phase 1 & 2 RCP
1/8" = 1'-0"

CEILING LEGEND	
	24" X 48" CEILING LIGHT
	24" X 48" CEILING LIGHT
	RETURN REGISTER
	SUPPLY REGISTER
	24" X 24" CEILING LIGHT
	24" X 24" CEILING LIGHT
	LINEAR LIGHT FIXTURE
	RECESSED LIGHT FIXTURE
	RECESSED LINEAR LIGHT FIXTURE
	EXHAUST
	NEW GYPSUM BOARD CEILING
	NEW SUSPENDED ACOUSTIC CEILING
	FIRE SPRINKLER HEAD-RECESSED

NOTE: RELOCATE/ADD FIRE SPRINKLER HEADS THROUGHOUT RENOVATION & ADDITION TO MEET NFPA REQUIREMENTS.
INSTALL FIRE SPRINKLERS ABOVE DUCT WORK OR BETWEEN STRUCTURAL MEMBERS TO FACILITATE ROUGH-INS OF OTHER TRADES.

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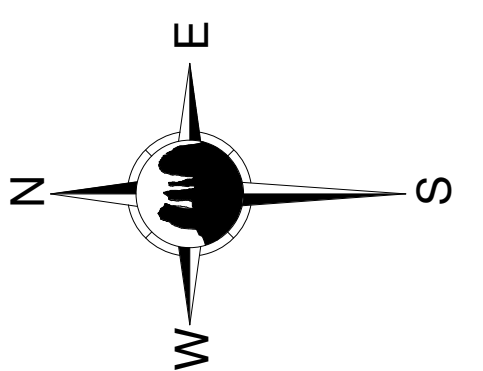
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Sedona Project No. PD-03
FIRST FLOOR PLAN - PHASE 1 & 2 & RCP

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a100
SHEET NO.
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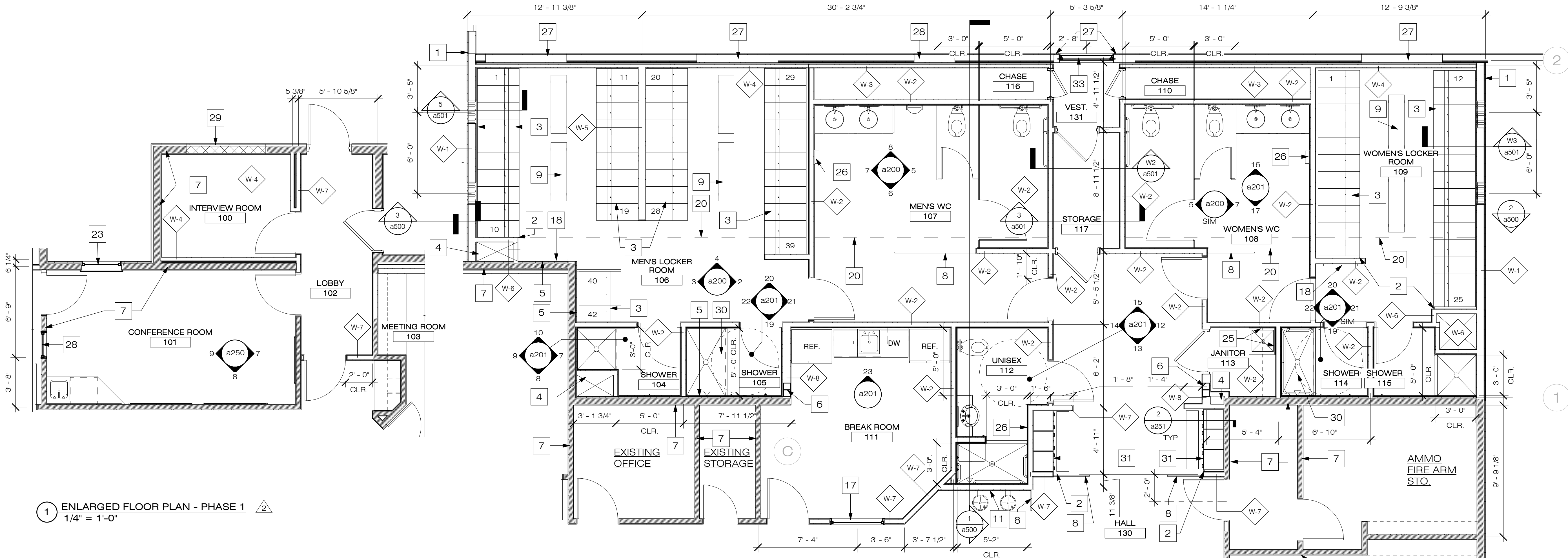


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0 1"
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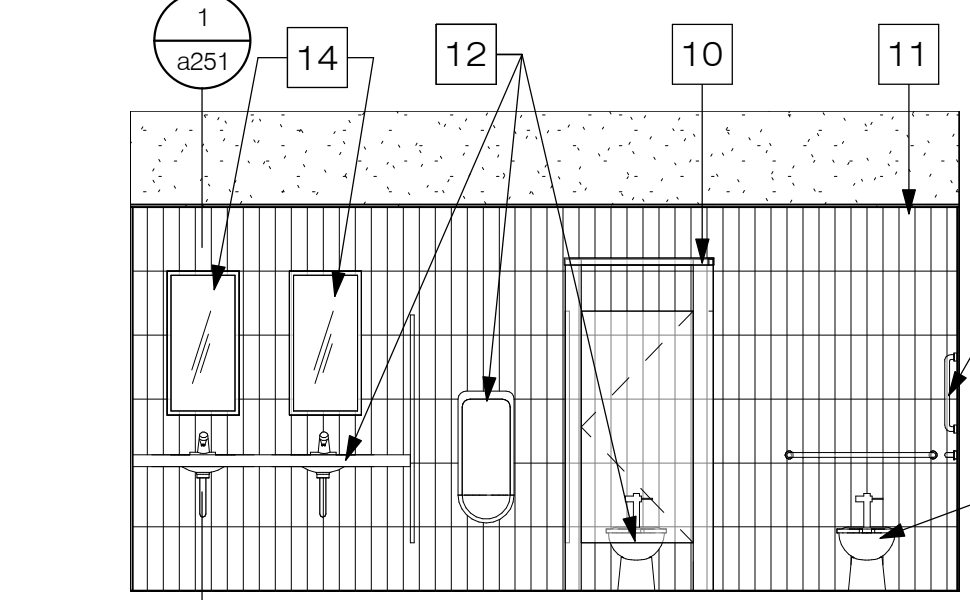
KEYNOTES

- 1 EXTERIOR FACE OF MASONRY BASEMENT GARAGE WALL, ALIGN OUTSIDE FACE OF PLYWOOD OF NEW WALL W/ MASONRY WALL
- 2 LOCKER CLOSURE - COORDINATE WALL LOCATION W/ LOCKER SPACE REQUIREMENTS
- 3 15" X 24" X 84" PERSONAL STORAGE LOCKER WITH BUILT-IN BENCH DRAWER. PROVIDE WALL FURRING TO ACCOMMODATE POWER & DATA ROUGH-INS AT EACH LOCKER
- 4 CHASE FOR PLUMBING
- 5 REMOVE EXISTING STUCCO FINISH AT EXISTING EXTERIOR WALL, PREP WALL TO RECEIVE NEW FINISH
- 6 INSTALL WOOD POST(S), SEE STRUCTURAL SHEETS
- 7 EXISTING WALLS TO REMAIN
- 8 FROSTED GLASS WALL PANEL, FLOOR TO CEILING, SEE WINDOW SCHEDULE
- 9 FREE STANDING 4' LONG BENCH - N.I.C.
- 10 STAINLESS STEEL TOILET PARTITION
- 11 CERAMIC WALL TILE - THIN SET OVER CEMENT BOARD AT SHOWERS, OVER WATER RESISTANT GYP BOARD ELSEWHERE
- 12 PLUMBING FIXTURE, SEE PLUMBING SHEETS
- 13 STAINLESS STEEL GRAB RAIL - SEE ADA SIZING & MOUNTING HEIGHT SHEET
- 14 MIRROR WITH WELDED STAINLESS STEEL FRAME POP-OUT OF 2x2 STUDS AT 12" O.C. HORIZONTALLY & 5/8" GYP. BOARD
- 15 PROVIDE 15" X 24" X 84" LOCKER W/BENCH - DRAWER
- 16 DOOR - SEE DOOR SCHEDULE
- 17 WINDOW - SEE WINDOW SCHEDULE
- 18 30" x 72" MIRROR W/ 1x2 WOOD TRIM SURROUND PAINTED & ROUTED FOR MIRROR. MOUNT MIRROR 8" A.F.F.
- 19 ALIGN JOIN OF CERAMIC WALL TILE WITH TOP OF DOOR FRAME & CUT WALL TILE AS REQUIRED AT TOP & BOTTOM OF WALL
- 20 CEILING SOFFIT, GYP. BOARD CLAD
- 21 RUBBER BASE
- 22 GYP. BOARD FACED WALL - TYP.
- 23 EXISTING DOOR/WINDOW TO REMAIN AT EXTERIOR WALL-TYP.
- 24 ALIGN NEW WALL FINISH WITH INTERIOR FINISH FACE OF EXISTING WALL
- 25 4' TALL CERAMIC TILE WAINSCOT OVER STUD WALL FRAMING
- 26 SEE TOILET ACCESSORY SCHEDULE SHEET a201 FOR TOILET ACCESSORY REQUIREMENTS IN RESTROOM & SHOWER ROOMS
- 27 REMOVE EXISTING DOOR/WINDOW AND INSTALL INFILL WALL W/ 2x4 STUDS AT 16" O.C. AND SOUND BATTS IN CAVITY. MATCH WALL FINISH AT INTERIOR W/ 5/8" GYP. BOARD OVER 1/2" PLYWOOD. PAINT ENTIRE WALL AT EXPOSED INTERIOR FACE
- 28 EXISTING WINDOW TO REMAIN
- 29 REMOVE EXISTING DOOR/WINDOW AND INSTALL INFILL WALL W/ 2x4 STUDS AT 16" O.C. AND SOUND BATTS IN CAVITY. MATCH WALL FINISH AT INTERIOR W/ 5/8" GYP. BOARD OVER 1/2" PLYWOOD. PAINT ENTIRE WALL AT EXPOSED INTERIOR FACE. MATCH STUCCO CONSTRUCTION AND FINISH AT EXTERIOR FACE
- 30 ACCESSIBLE SHOWER COMPARTMENT 60" L X 30" W MIN. CLR. DIM. W/GRAB RAILS
- 31 PROVIDE 'Z' TYPE LOCKER
- 32 ALIGN FACE OF PARTITION W/ EXISTING WINDOW OPENING
- 33 48" WIDE BY 48" TALL OPERABLE FROSTED GLASS WINDOW
- 34 ACCESSIBLE LOCKERS INDICATED BY *** REQUIRED 30'X48' UNOBSTRUCTED AREA SHOWN. ALL ACCESSIBLE LOCKERS CONFORM WITH DIAGRAM ON SHEET A601

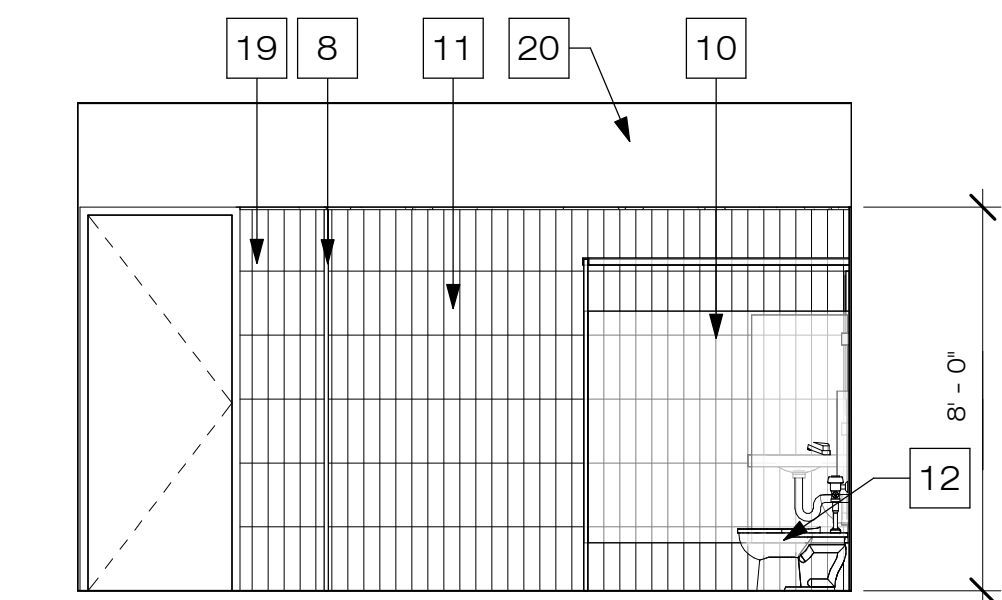
1 ENLARGED FLOOR PLAN - PHASE 1
1/4" = 1'-0"



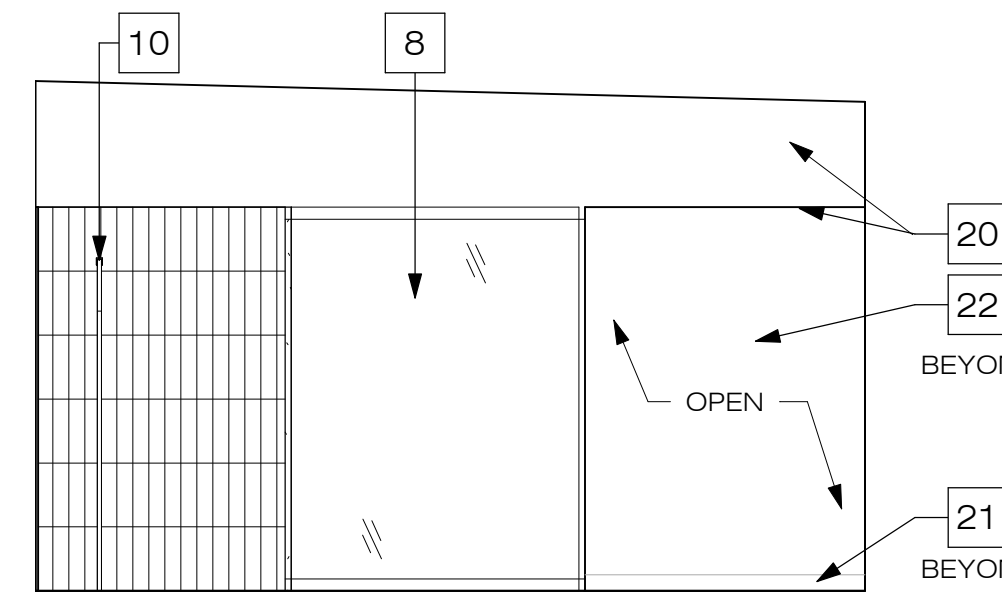
WALL TYPE	WALL TYPE NOTES	WALL TYPE	WALL TYPE NOTES	WALL TYPE	WALL TYPE NOTES
W-1	2x6 STUDS @ 16" O.C. W/ EXTERIOR PLYWOOD SHEATHING (SEE STRUCTURAL FOR TYPE, THICKNESS & NAILING). PROVIDE EIFS FINISH AT EXTERIOR, WATER RESISTANT 5/8" GYP. BOARD AT INTERIOR. PROVIDE R-19 BATT INSULATION THROUGHOUT WALL CAVITY. PROVIDE CEMENT BACKER BOARD @ TILE FINISH.	W-4	2x3 STUDS @ 16" O.C. FROM FLOOR TO UNDERSIDE OF ROOF DECK. PROVIDE OPEN FACE BATTS BETWEEN STUDS. PROVIDE 1" CLEAR SPACE BETWEEN EXISTING ADJACENT WALL FINISH & FACE OF NEW STUDS. 5/8" GYP. BO. OVER STUDS FOR INTERIOR FINISH.	W-7	2x4 STUDS @ 16" O.C. TO UNDERSIDE OF EXISTING ROOF JOIST FRAMING. PROVIDE SOUND BATTS THROUGHOUT CAVITY & 5/8" GYP. BOARD FINISH, BOTH FACES.
W-2	2x4 STUDS @ 16" O.C. FROM FLOOR TO UNDERSIDE OF HARD LID CEILING. PROVIDE SOUND BATTS THROUGHOUT CAVITY. PROVIDE WATER RESISTANT 5/8" GYP. BOARD FINISH BOTH SIDES OF WALL.	W-5	2x4 STUDS @ 16" O.C., MATCH WALL HEIGHT @ UPPER EDGE OF SLOPED TOP OF LOCKERS. PROVIDE 5/8" GYP. BOARD FINISH ON ALL FACES.	W-8	2x6 STUDS @ 16" O.C. TO UNDERSIDE OF EXISTING ROOF FRAMING. PROVIDE SOUND BATTS THROUGHOUT CAVITY & 5/8" GYP. BOARD FINISH, BOTH FACES. PROVIDE CEMENT BACKER BOARD @ TILE FINISH.
W-3	2x3 STUDS @ 16" O.C. FROM FLOOR TO UNDERSIDE OF ROOF DECK. PROVIDE OPEN FACE BATTS BETWEEN STUDS. PROVIDE 1" CLEAR SPACE BETWEEN EXISTING ADJACENT WALL FINISH & FACE OF NEW STUDS. PROVIDE WATER RESISTANT 5/8" GYP. BO. OVER STUDS AT SIDE ADJACENT TO EXISTING WALL.	W-6	2x3 STUDS @ 16" O.C. TO UNDERSIDE OF HARD LID CEILING FRAMING. PROVIDE 5/8" GYP. BOARD FINISH @ LOCKER ROOM FACES.	W-9	2x4 STUDS @ 16" O.C. WITH TWO LAYER, 5/8" TYPE 'X' GYP. BOARD FIRE RATED SHAFT.



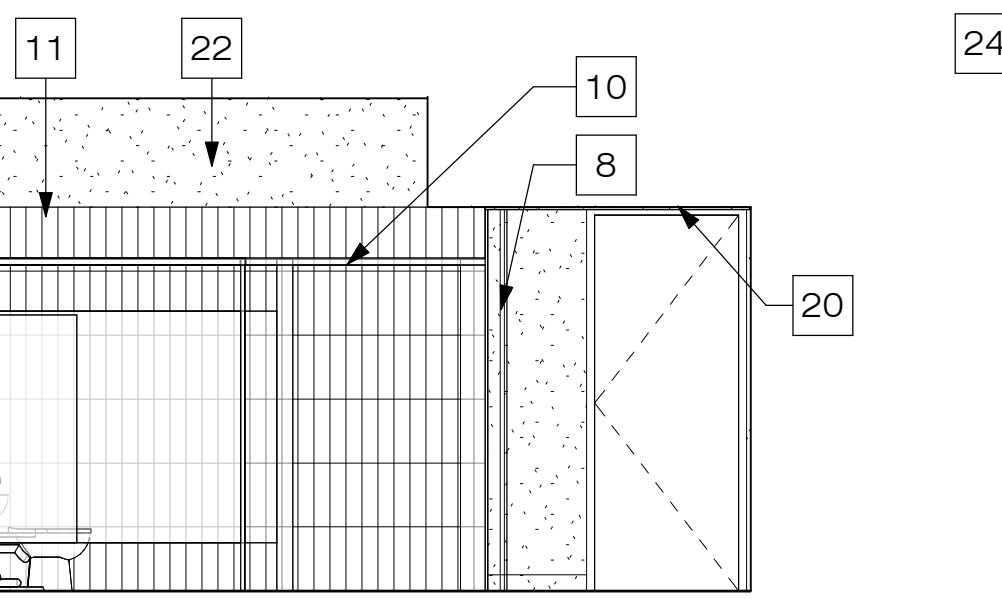
8 MEN'S - EAST ELEVATION
1/4" = 1'-0"



7 MEN'S - NORTH ELEVATION
1/4" = 1'-0"



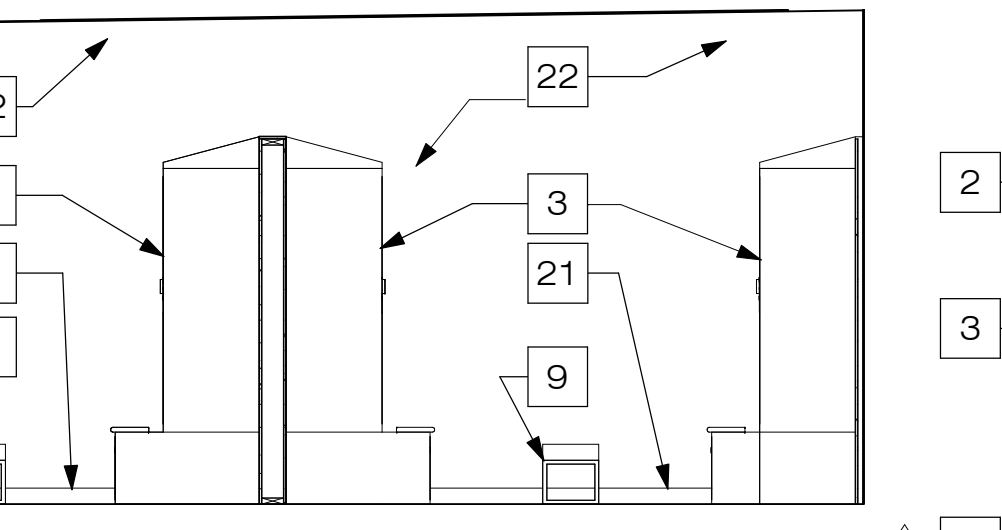
6 MEN'S - WEST ELEVATION
1/4" = 1'-0"



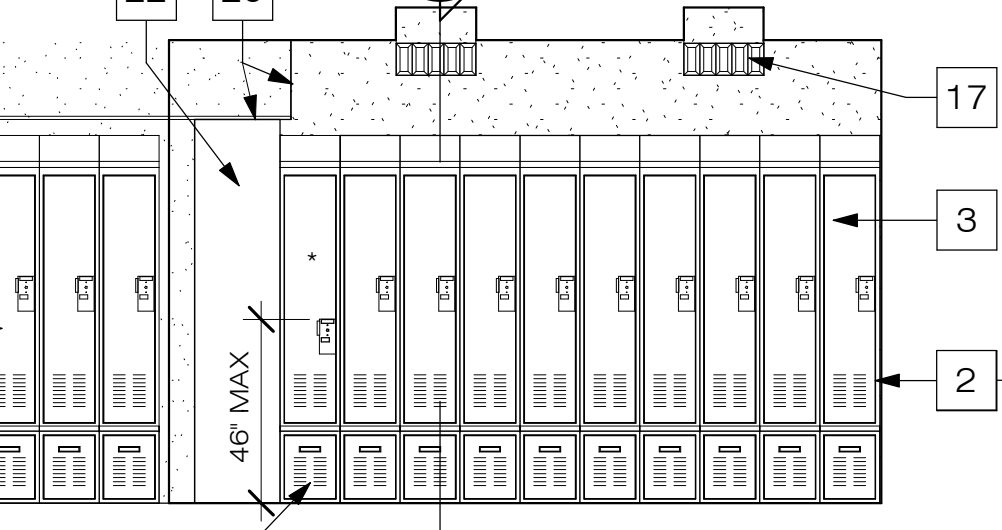
5 M LOCKER ROOM - SOUTH ELEVATION
1/4" = 1'-0"



4 M LOCKER ROOM - EAST ELEVATION
1/4" = 1'-0"



3 M LOCKER ROOM - NORTH ELEVATION
1/4" = 1'-0"



2 M LOCKER ROOM - SOUTH ELEVATION
1/4" = 1'-0"

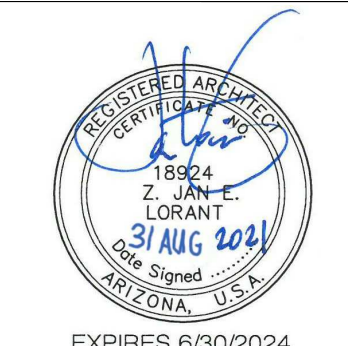
NOTICE OF EXTENDED PAYMENT PROVISION

(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



Symbol	Revisions	Date	Appr.
1	AHJ REVIEW	16 July 2021	
2	AHJ 2nd REVIEW	16 Aug 2021	

Designed by:	JL	Date:	08/31/2021
Drawn by:	RGH	Scale:	1/8" = 1'-0"
Checked by:	JL	Project Code:	GLA PROJECT NO. 19107



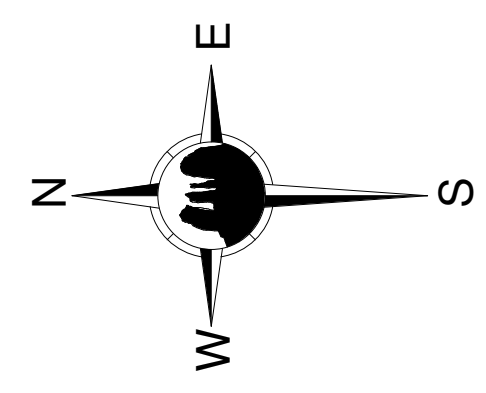
gabor lorant architects

3326 n. 3rd avenue suite 200
phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
gaborlorant.com



**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

**PD Renovation & Expan.
Sedona Project No. PD-03
INTERIOR ELEVATIONS &
ENLARGED PLANS**



VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

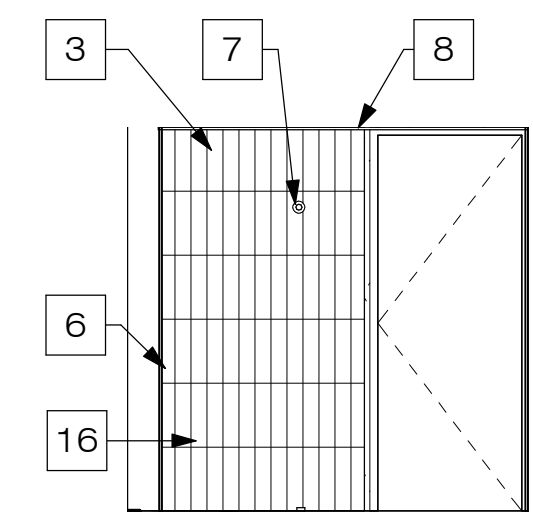
0 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

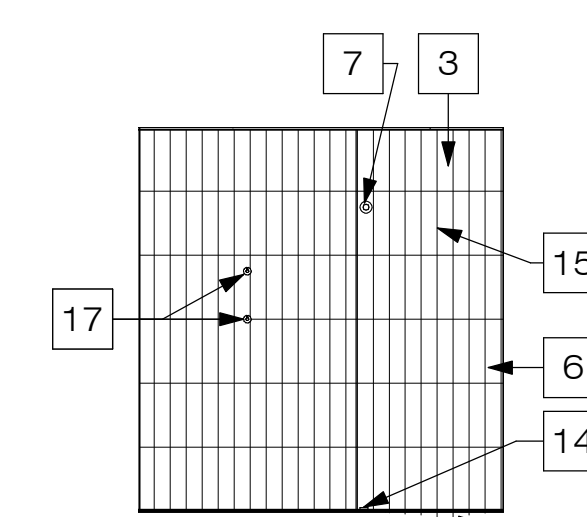
**SHEET ID
a200
SHEET NO.
8 OF 18**

KEYNOTES 1

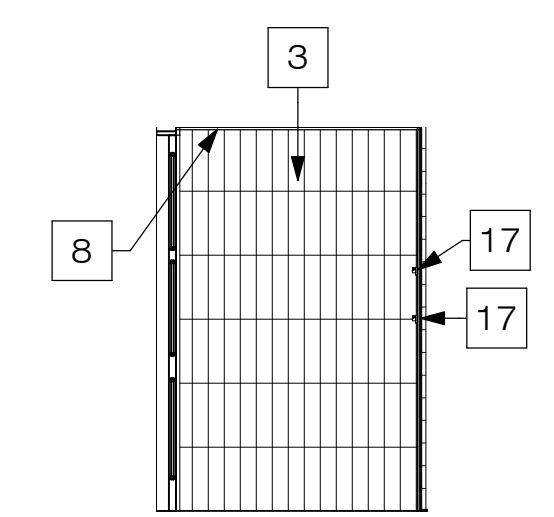
1	MICROWAVE OVEN
2	ARCHITECTURAL MILLWORK
3	CERAMIC WALL TILE - THIN SET OVER CEMENT BOARD AT SHOWERS, OVER WATER RESISTANT GYP BOARD ELSEWHERE
4	MUD-SET CERAMIC FLOOR TILE
5	PLUMBING FIXTURE, SEE PLUMBING SHEETS
6	STAINLESS STEEL GRAB RAIL - SEE ADA SIZING & MOUNTING HEIGHT SHEET
7	STAINLESS SHOWER ROD WITH CURTAIN (WHITE)
8	ALIGN JOIN OF CERAMIC WALL TILE WITH TOP OF DOOR FRAME & CUT WALL TILE AS REQUIRED AT TOP & BOTTOM OF WALL
9	STAINLESS STEEL TOILET PARTITION
10	MIRROR WITH WELDED STAINLESS STEEL FRAME POP-OUT OF 2x2 STUDS AT 12" O.C. HORIZONTALLY & 5/8" GYP. BOARD
11	FROSTED GLASS WALL PANEL, FLOOR TO CEILING, SEE WINDOW SCHEDULE
12	FULL HEIGHT SOLID SURFACE BACKSPLASH
13	REFRIGERATOR / FREEZER
14	PROVIDE MARBLE SHOWER THRESHOLD RAISE 3/8" ABOVE ADJACENT FLOOR TILE
15	CHROME SHOWER VALVE & HEAD(S), SEE PLUMBING SHEETS
16	FOLD - DOWN ADA COMPLIANT SHOWER SEAT
17	STAINLESS STEEL CLOTHES HOOKS MOUNTED AT 4' AND 5' A.F.F
18	GYP. BOARD FACED WALL - TYP.
19	RUBBER BASE
20	SLOPE FLOOR TILE TO FLOOR DRAIN - TYP.
21	ACCESSIBLE SHOWER COMPARTMENT 60" L X 30" W MIN. CLR. DIM. W/GRAB RAILS
22	DISHWASHER
23	ADA ACCESSIBLE WATER CLOSET, TO ACCOMMODATE 5' DIAMETER WHEELCHAIR TURNING CIRCLE



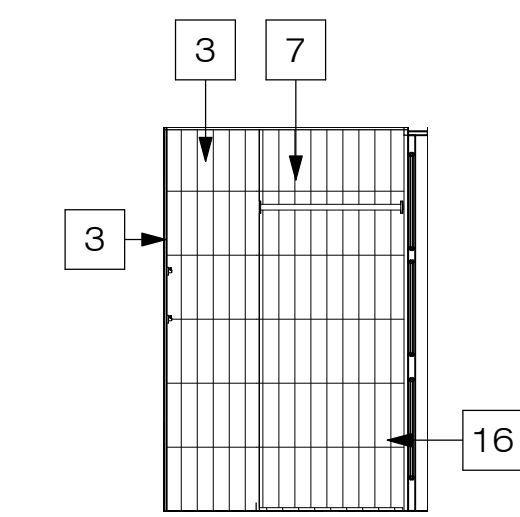
10 SH 104 - EAST
1/4" = 1'-0"
SH 115 - SIM.



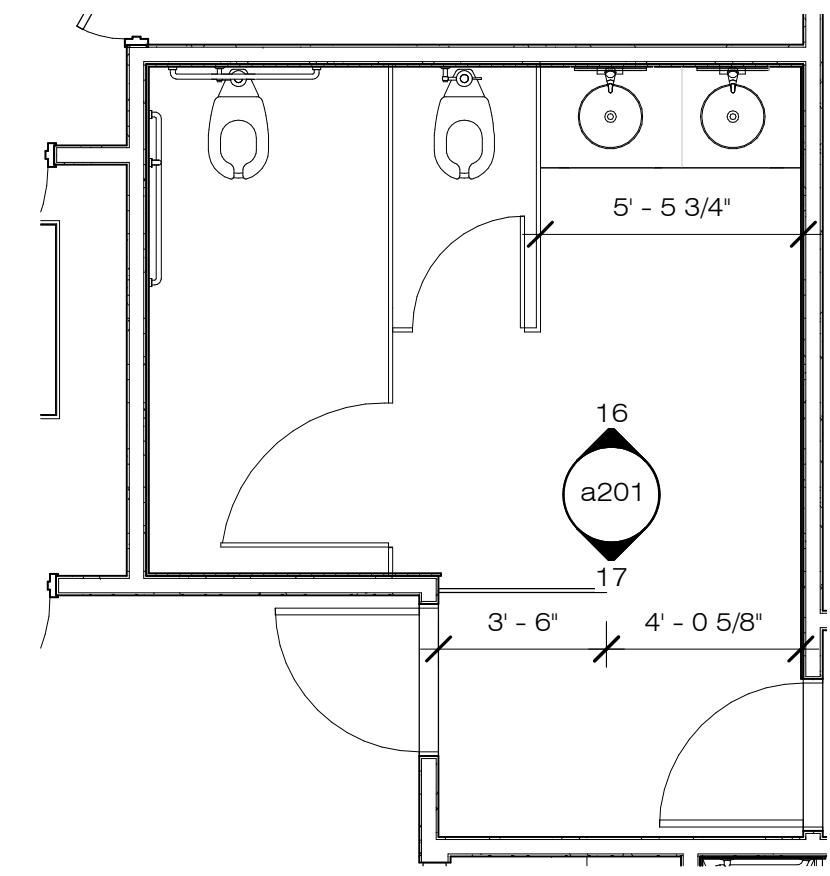
8 SH 104 - WEST
1/4" = 1'-0"
SH 115 - SIM.



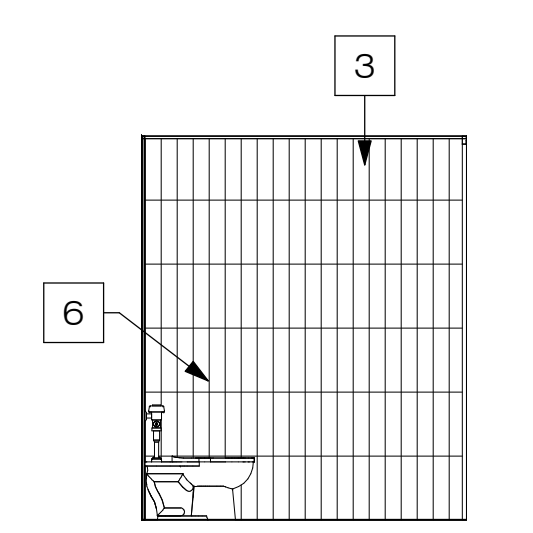
7 SH 104 - SOUTH
1/4" = 1'-0"
SH 115 NORTH - SIM.



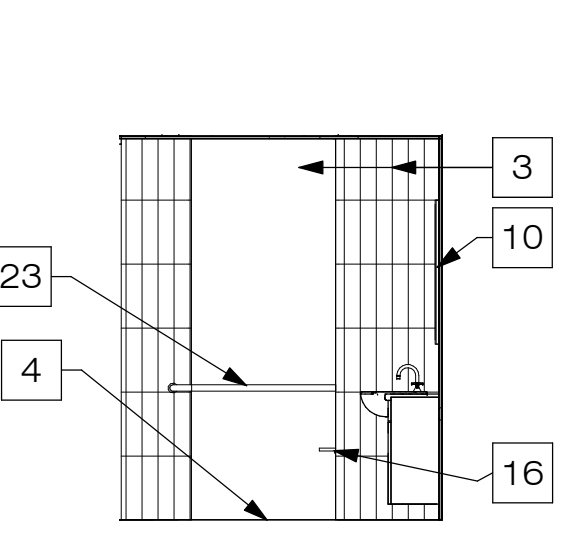
9 SH 104 - NORTH
1/4" = 1'-0"
SH 115 SOUTH - SIM.



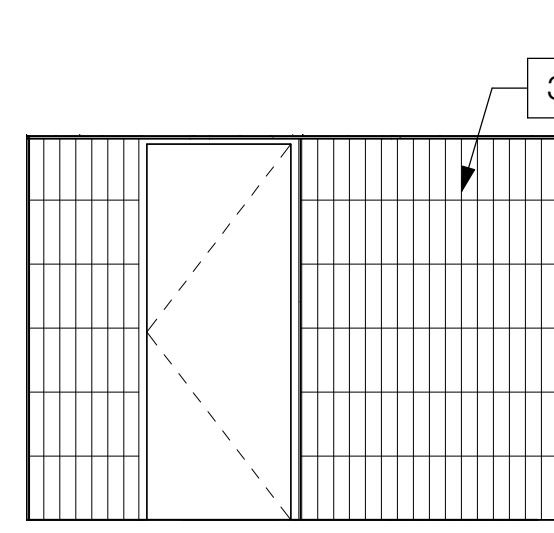
18 Women's 108
1/4" = 1'-0"



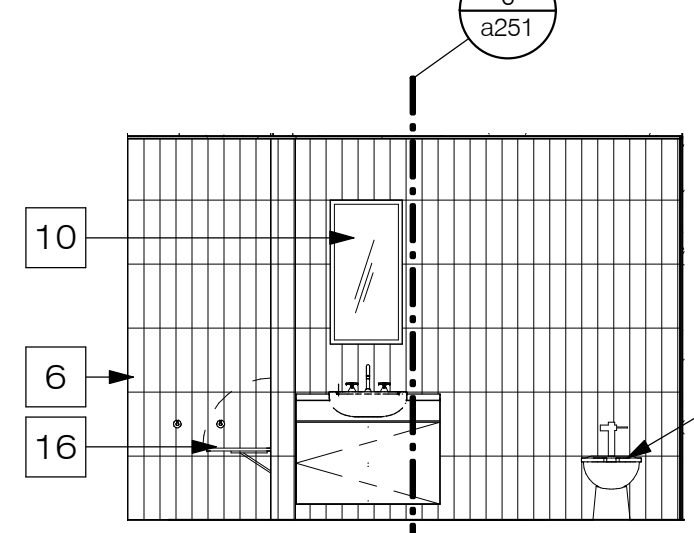
15 UNISEX 112 - EAST
1/4" = 1'-0"



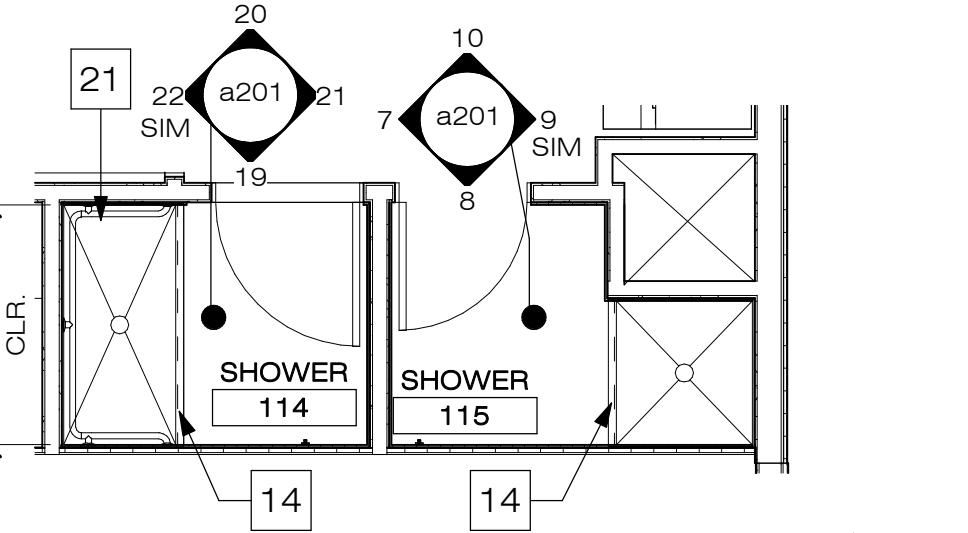
13 UNISEX 112 - WEST
1/4" = 1'-0"



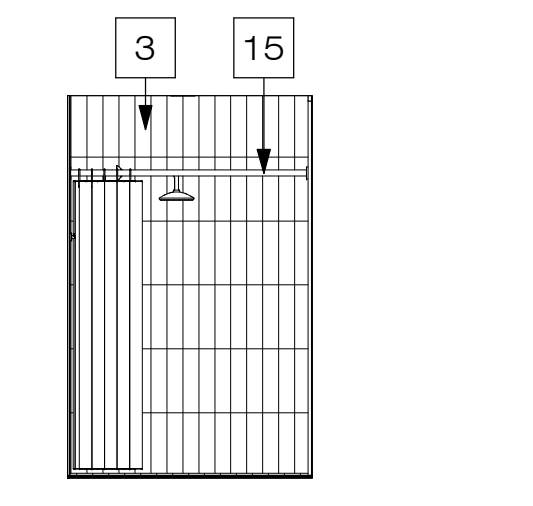
12 UNISEX 112 - SOUTH
1/4" = 1'-0"



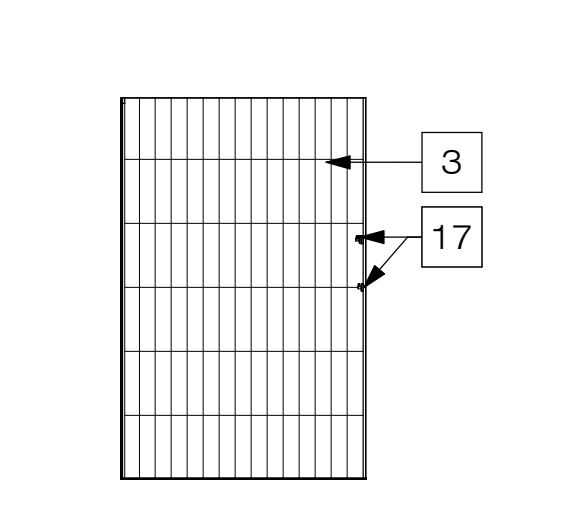
14 UNISEX 112 - NORTH
1/4" = 1'-0"



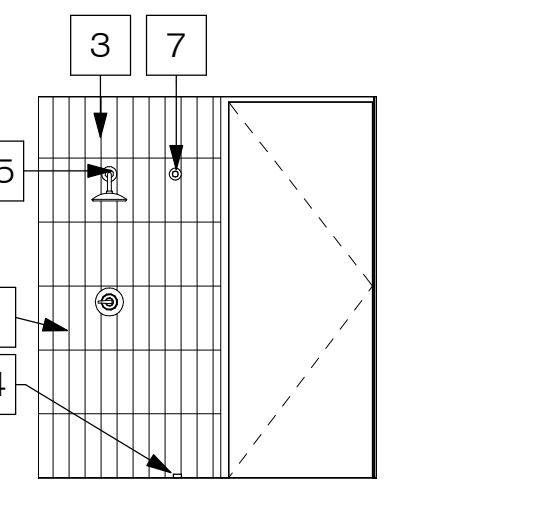
1 Showers - Plan 114 - 115
1/4" = 1'-0"



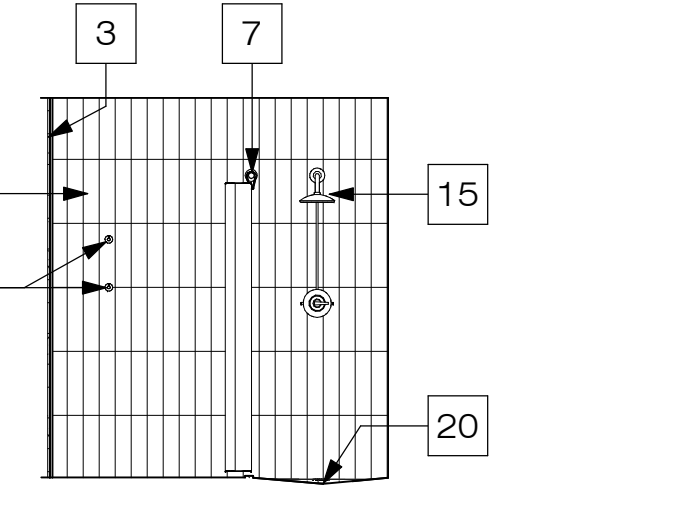
22 SHOWER 105 - NORTH
1/4" = 1'-0"
SH 114 - SIM.



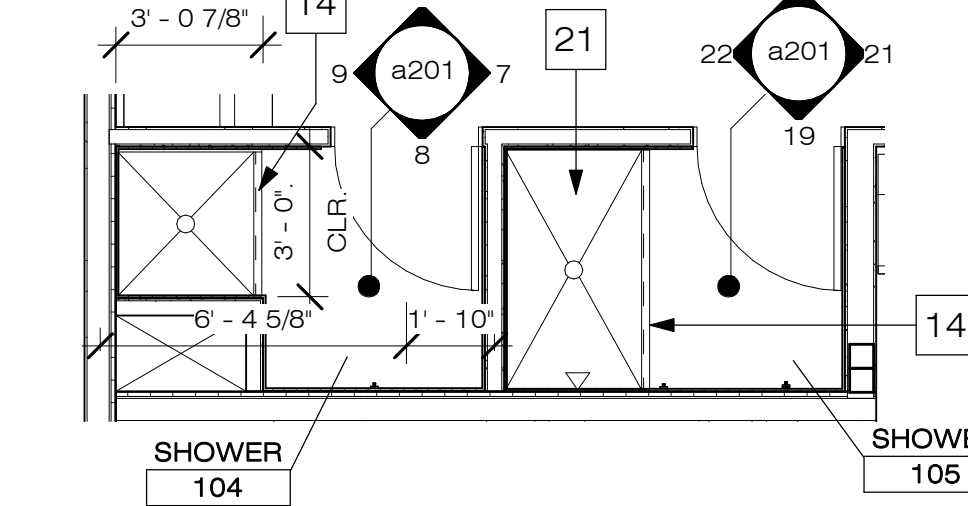
21 SHOWER 105 - SOUTH
1/4" = 1'-0"
SH 114 - SIM.



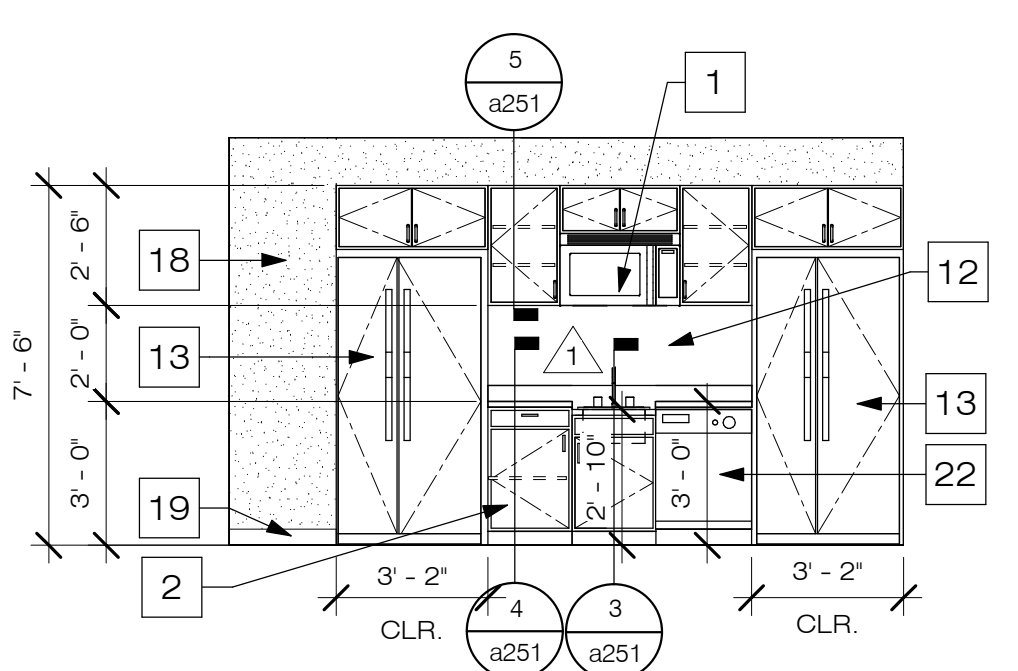
20 SHOWER 105 - EAST
1/4" = 1'-0"
SH 114 - SIM.



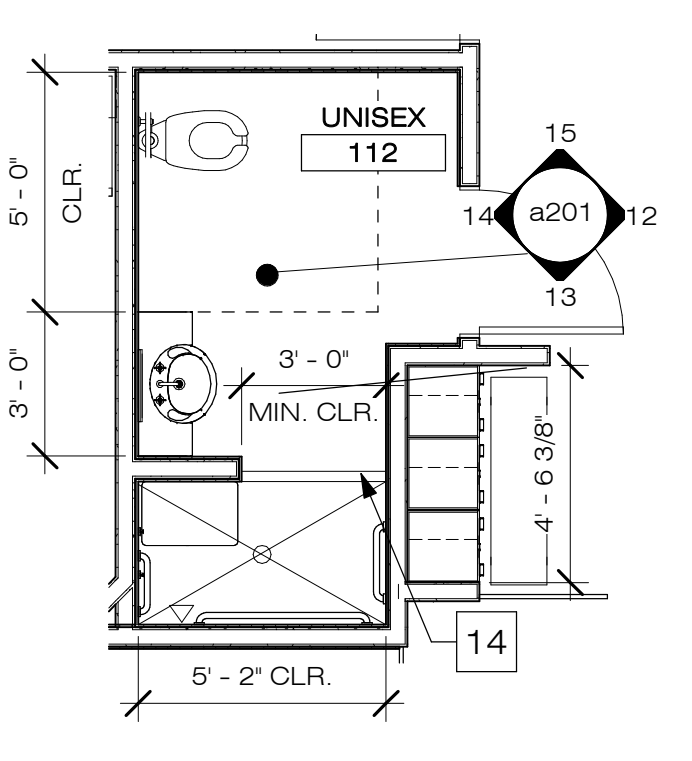
19 SHOWER 105 - WEST
1/4" = 1'-0"
SH 114 - SIM.



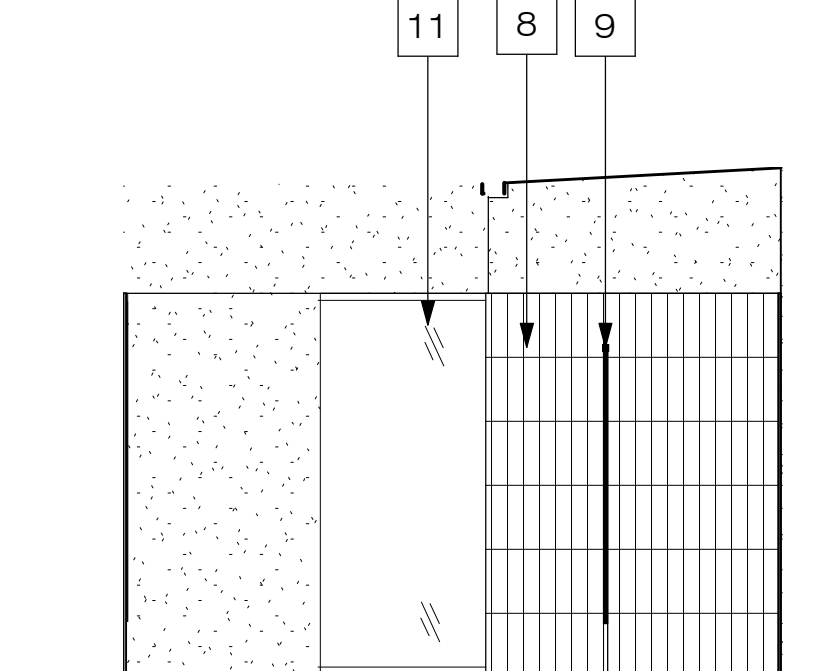
6 Showers - Plan 104 - 105
1/4" = 1'-0"



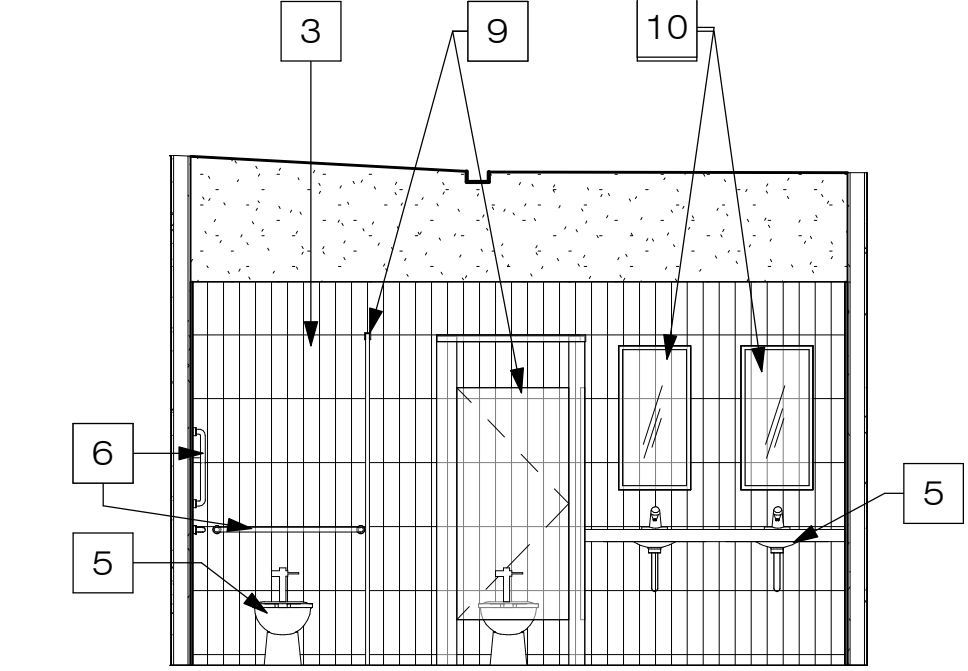
23 BREAK ROOM - EAST ELEVATION
1/4" = 1'-0"



11 U WC Plan - Call Out
1/4" = 1'-0"

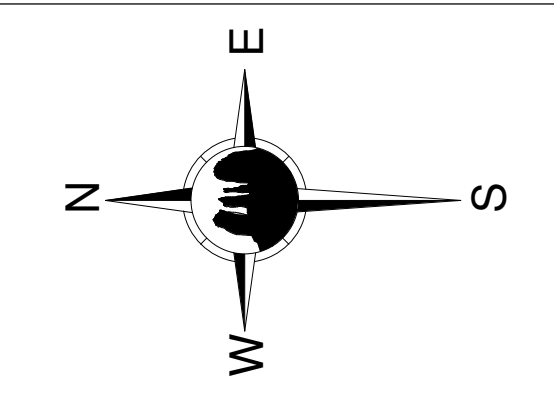


17 W Locker Room WC - West Elevation
1/4" = 1'-0"



16 W Locker Room WC - East Elevation
1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE	
ALL TOILET ACCESSORIES ARE CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	
DESCRIPTION	COMMENTS
TOILET TISSUE DISPENSER	(1) EA. TOILET (SEE SHEET a850)
SOAP DISPENSER	(1) EA. LAVATORY (LOCATE AS FIELD DIRECTED)
GRAB BAR - REAR WALL, HORIZONTAL	(1) EA. TOILET (SEE SHEET a850)
GRAB BAR - SIDE WALL, HORIZONTAL	(1) EA. TOILET (SEE SHEET a850)
GRAB BAR - SIDE WALL, VERTICAL	(1) EA. TOILET (SEE SHEET a850)
SANITARY NAPKIN DISPOSAL UNIT	(1) EA. TOILET (WOMENS & UNISEX)
COAT HOOK	(1) EA. TOILET (LOCATE AS FIELD DIRECTED)
TOWEL HOOK	(1) EA. SHOWER (LOCATE AS FIELD DIRECTED)
SURFACE MOUNTED PAPER TOWEL DISPENSER	(1) PER ROOM (LOCATE AS FIELD DIRECTED)
ADA SHOWER SEAT (FOLDING)	(1) PER ADA SHOWER (SEE FLOOR PLAN & SHEET a850)
ADA SHOWER GRAB BARS	(1) SET PER ADA SHOWER (SEE FLOOR PLAN & SHEET a850)
WALL MOUNTED SHOWER CURTAIN ASSEMBLY	(1) EA. SHOWER



VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



Symbol	Revisions	Date	Appr.	Designed by:	Date:
1	AHJ REVIEW	16 July 2021		JL	08/31/2021
2	AHJ 2nd REVIEW	16 Aug 2021		RGH	Scale: 1/8" = 1'-0"
				Checked by:	Project Code:
				JL	GLA PROJECT NO. 19107



gabor lorant architects
3326 n. 3rd avenue suite 200
phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
gaborlorant.com

CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

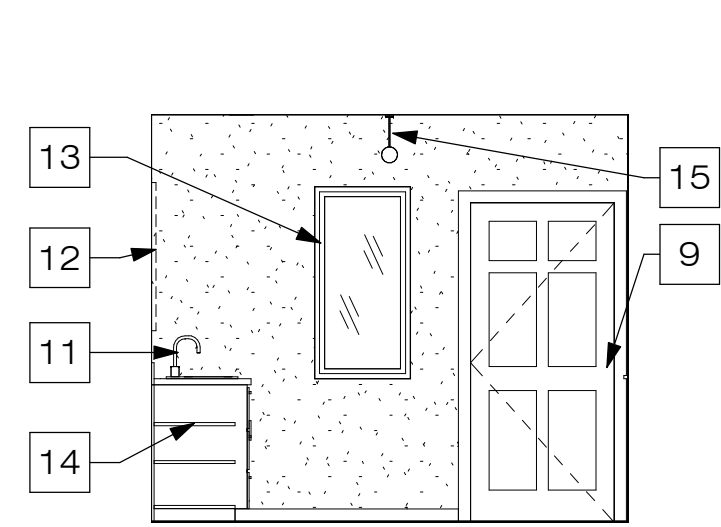
PD Renovation & Expan.
Sedona Project No. PD-03
INTERIOR ELEVATIONS & ENLARGED PLANS

SHEET ID
a201

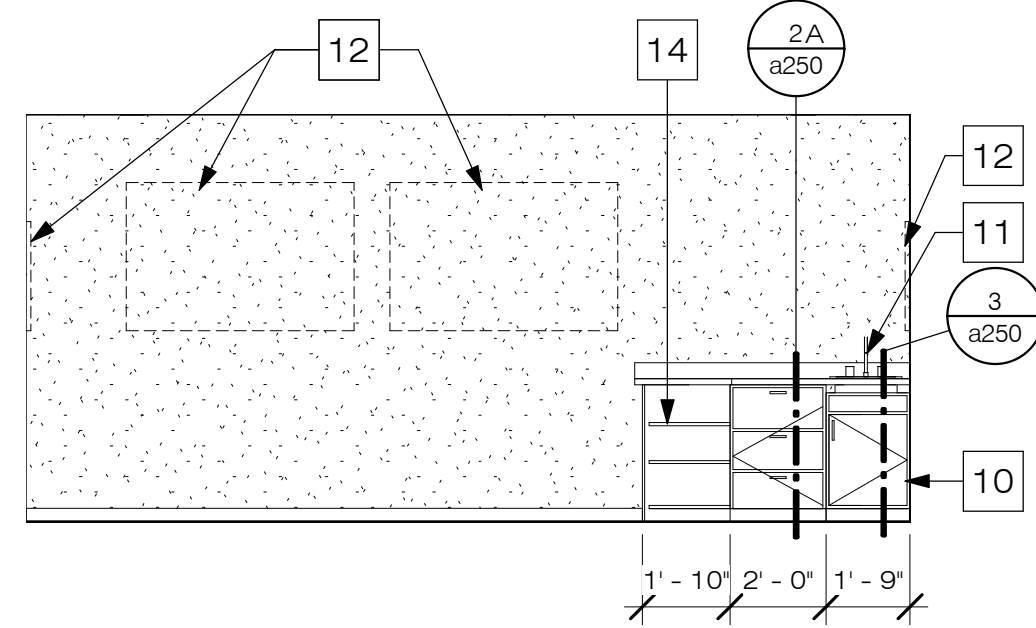
SHEET NO.
9 OF 18

KEYNOTES

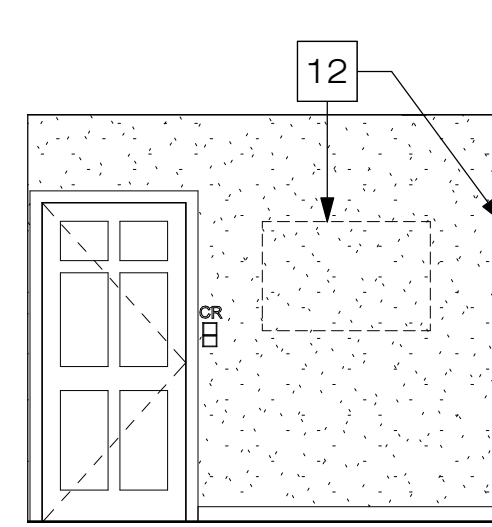
1	CHASE FOR PLUMBING
2	EXISTING WALLS TO REMAIN
3	MAINTAIN UTILITIES & DUCTWORK AT CHASE DOWN TO BASEMENT
4	SEE DOOR & WINDOW SCHEDULES FOR NEW DOORS & WINDOWS
5	135 DEGREE LAYOUT ANGLE - TYP.
6	PROVIDE TRIPLE STOP AT DOOR/WINDOW JAMB
7	EXISTING DOOR/WINDOW TO REMAIN AT EXTERIOR WALL-TYP.
8	ACCESSIBLE DOOR APPROACH PER ADA 404.2.4.3 (RECESSED EQUIVALENT)
9	EXISTING DOOR TO REMAIN
10	ARCHITECTURAL MILLWORK
11	PLUMBING FIXTURE, SEE PLUMBING SHEETS
12	OWNER SUPPLIED VIDEO DISPLAY. PROVIDE POWER/DATA PER ELEC. SHEETS.
13	EXISTING WINDOW TO REMAIN
14	FIXED SHELVES - 3/4" MDF W/ P-LAM FINISH ALL SIDES
15	ELECTRICAL FIXTURE - SEE ELECTRICAL SHEETS



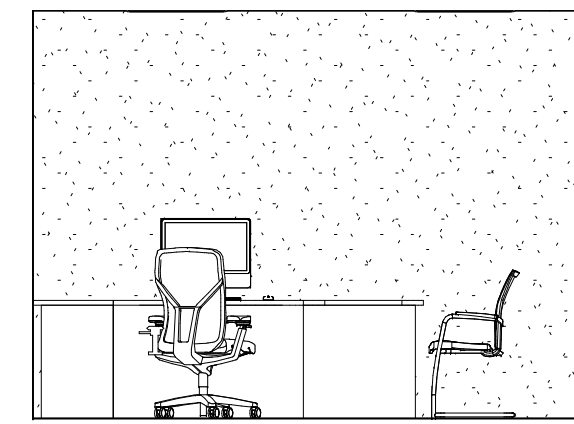
9 CONF. ROOM - NORTH
1/4" = 1'-0"



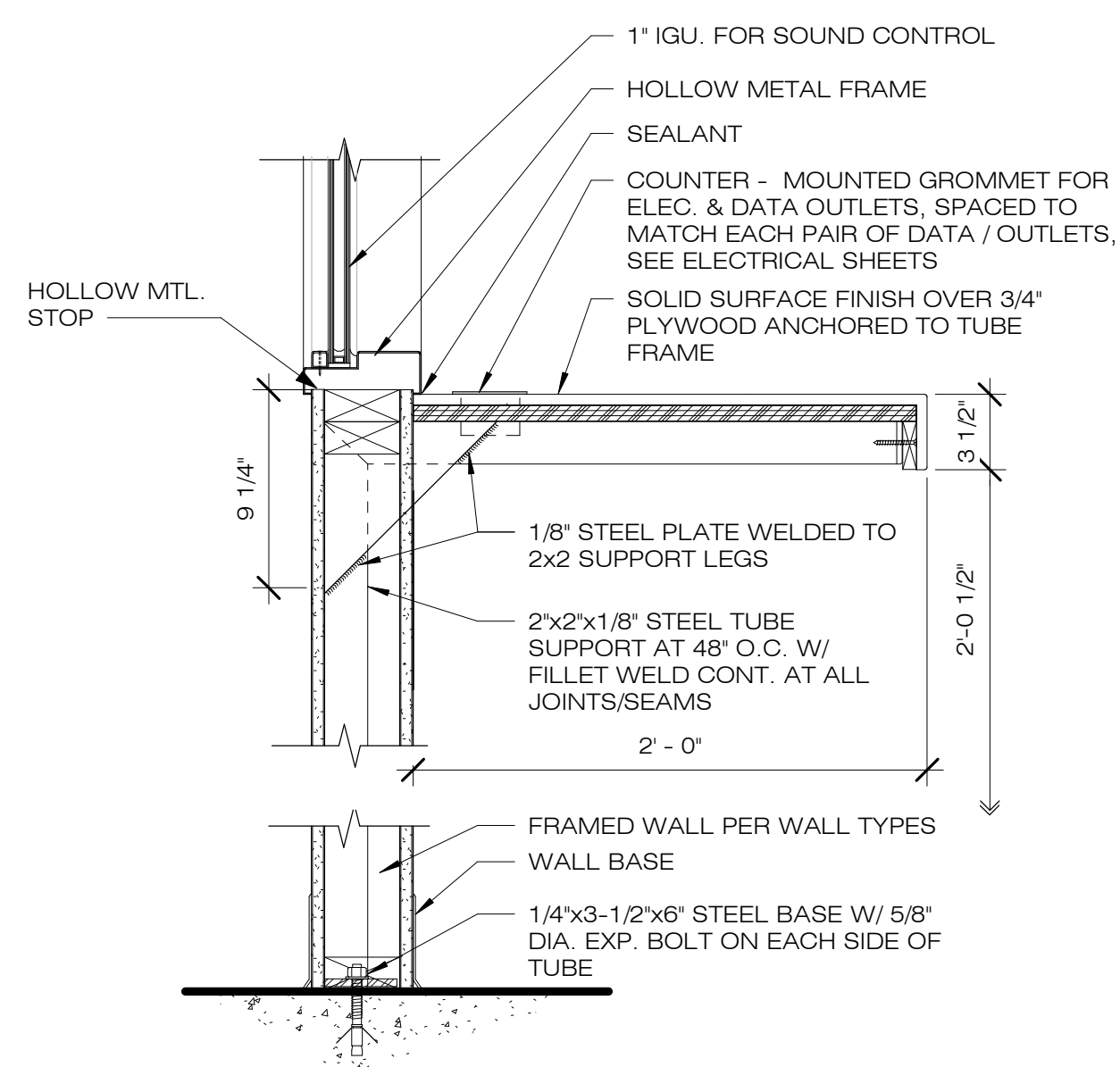
8 CONF. ROOM - WEST
1/4" = 1'-0"



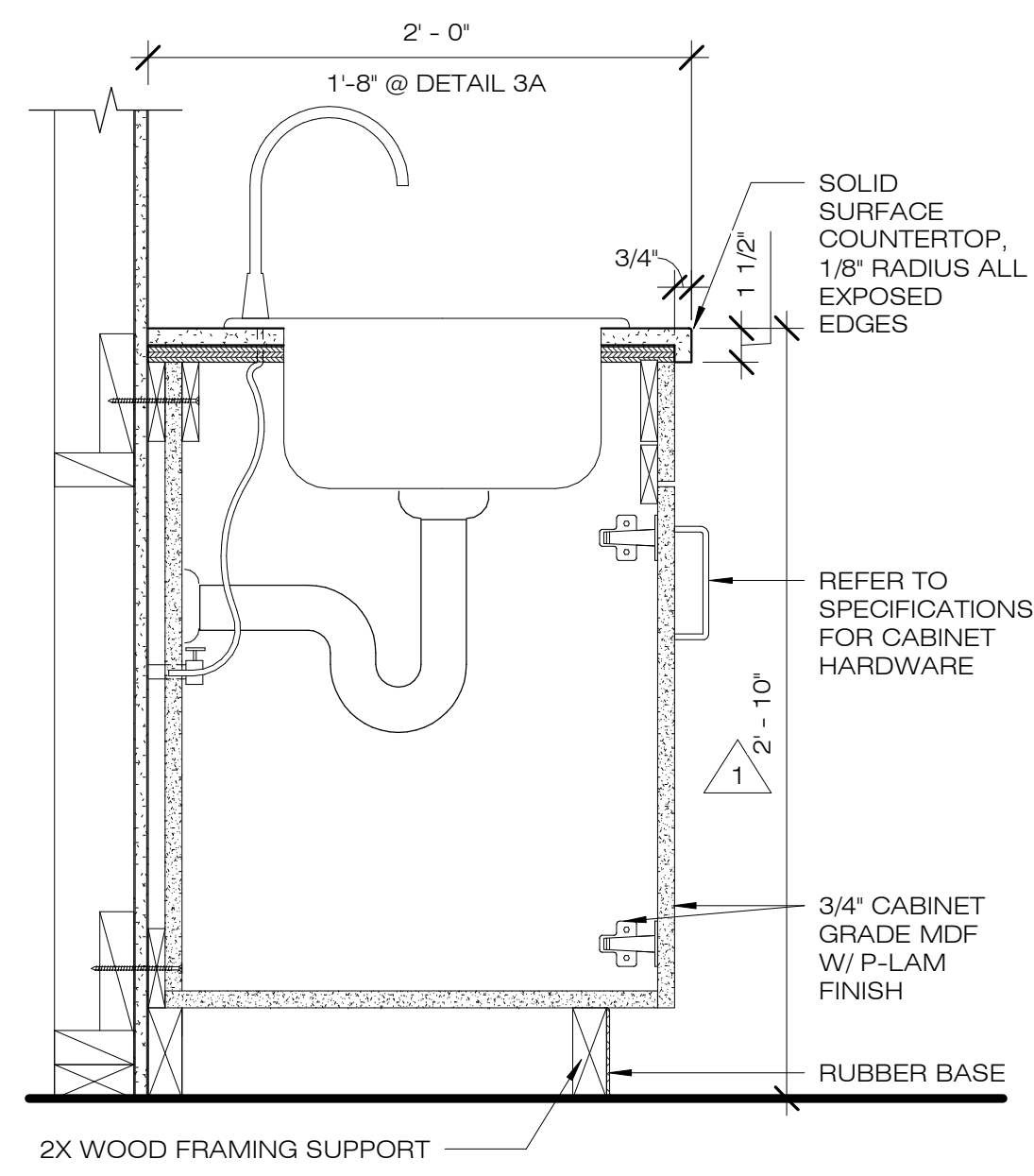
7 CONF. ROOM - SOUTH
1/4" = 1'-0"



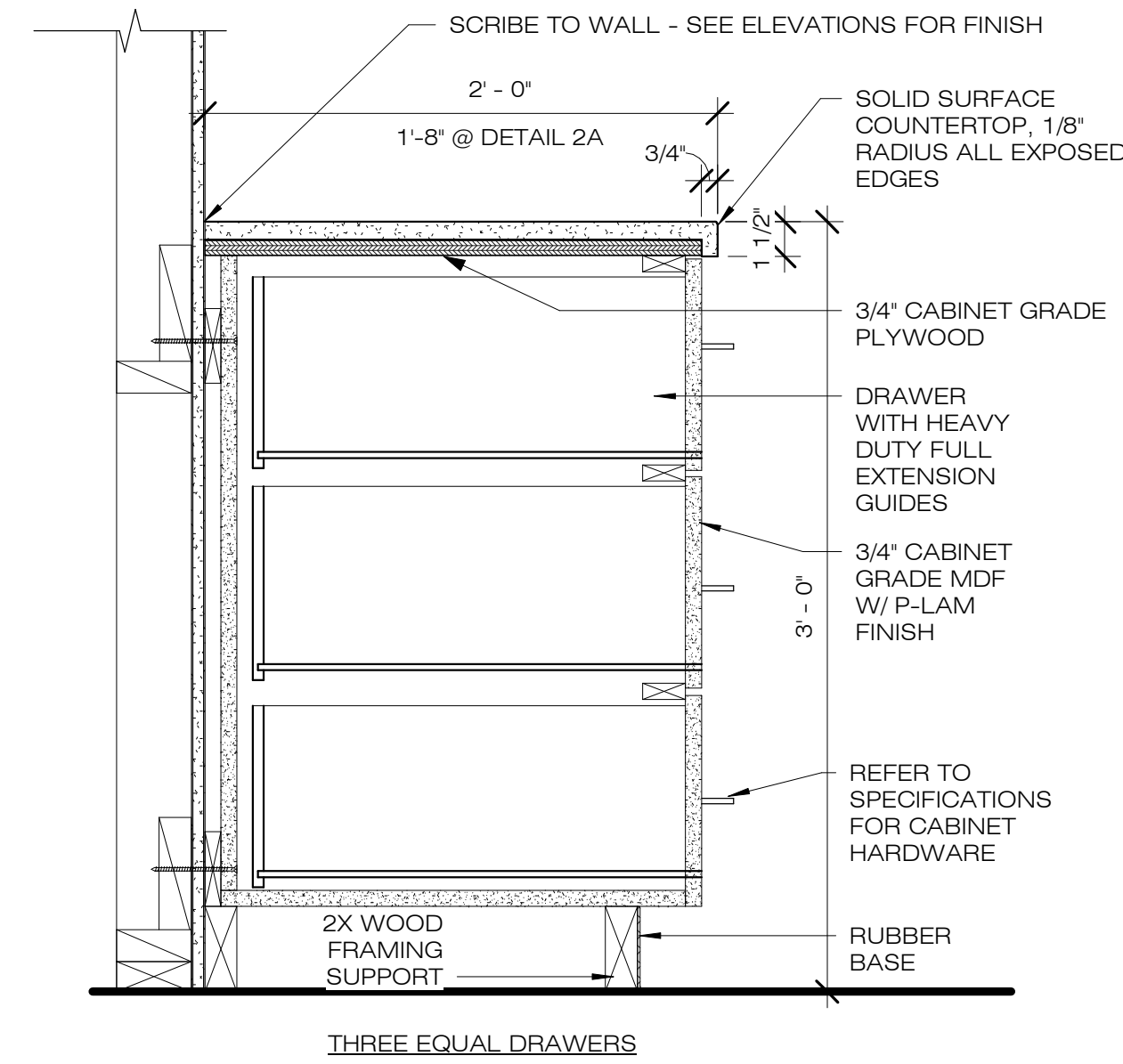
6 SGT. OFFICE
1/4" = 1'-0"



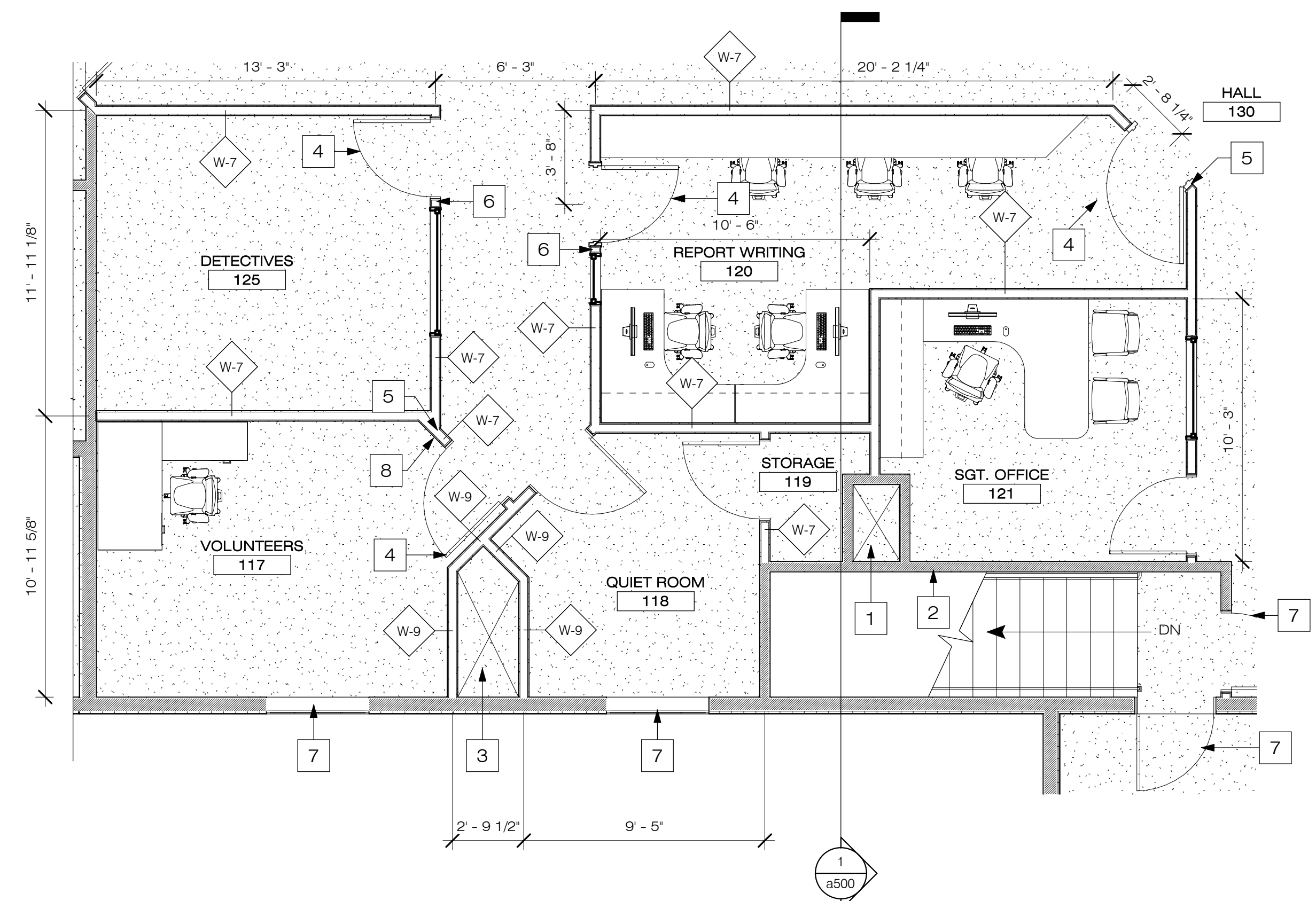
5 WORK SURFACE @ INTERIOR WINDOW
1 1/2" = 1'-0"



3 SINK CABINET
1 1/2" = 1'-0"

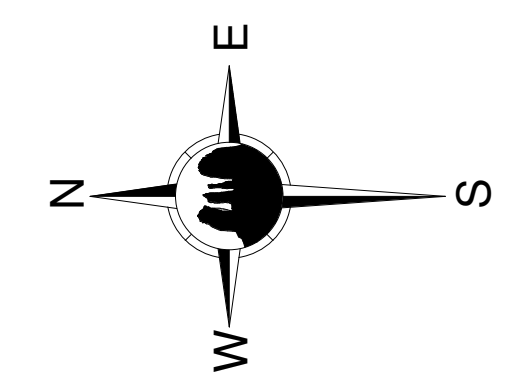


2 BASE CABINET W/ DRAWERS
1 1/2" = 1'-0"



1 ENLARGED FLOOR PLAN - PHASE 2
1/4" = 1'-0"

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VERIFY SCALES
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0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

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2	AHJ 2nd REVIEW	16 Aug 2021	

Designed by:	JL	Date:	08/31/2021
Drawn by:	RGH	Scale:	1/8" = 1'-0"
Checked by:	JL	Project Code:	GLA PROJECT NO. 19107



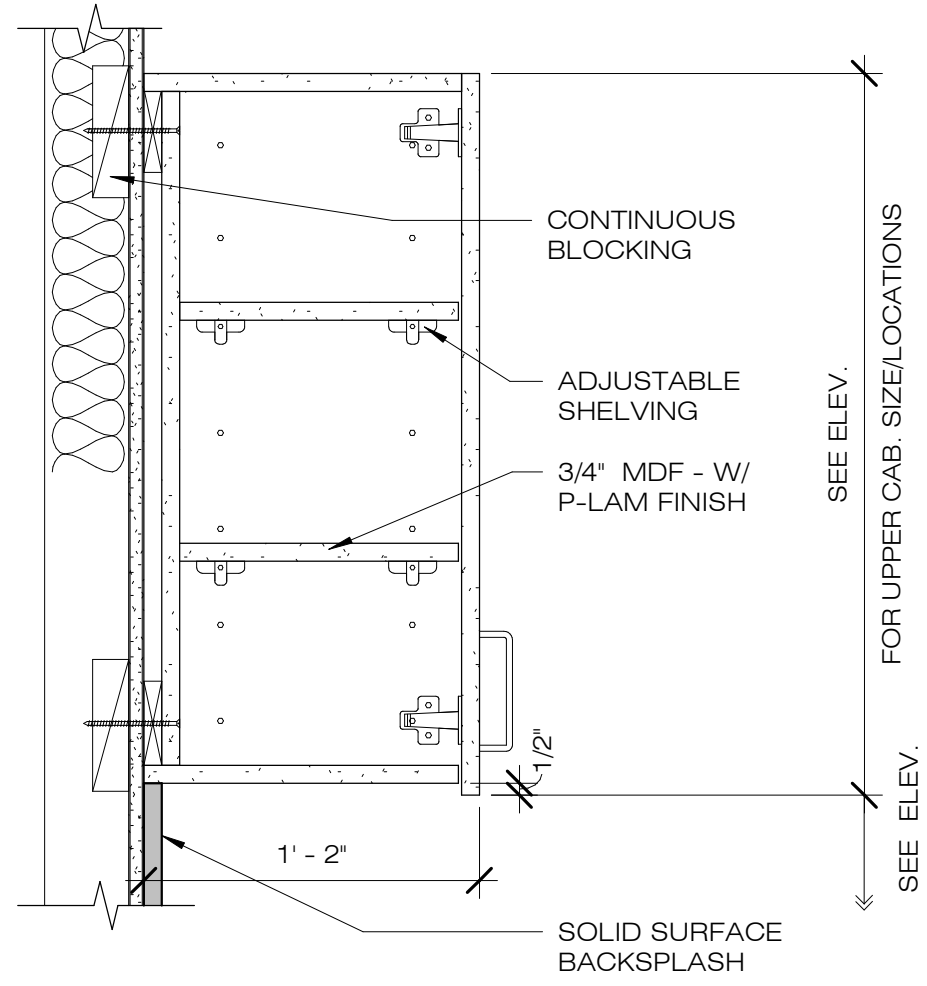
gabor lorant architects
3326 n. 3rd avenue suite 200
phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
gaborlorant.com



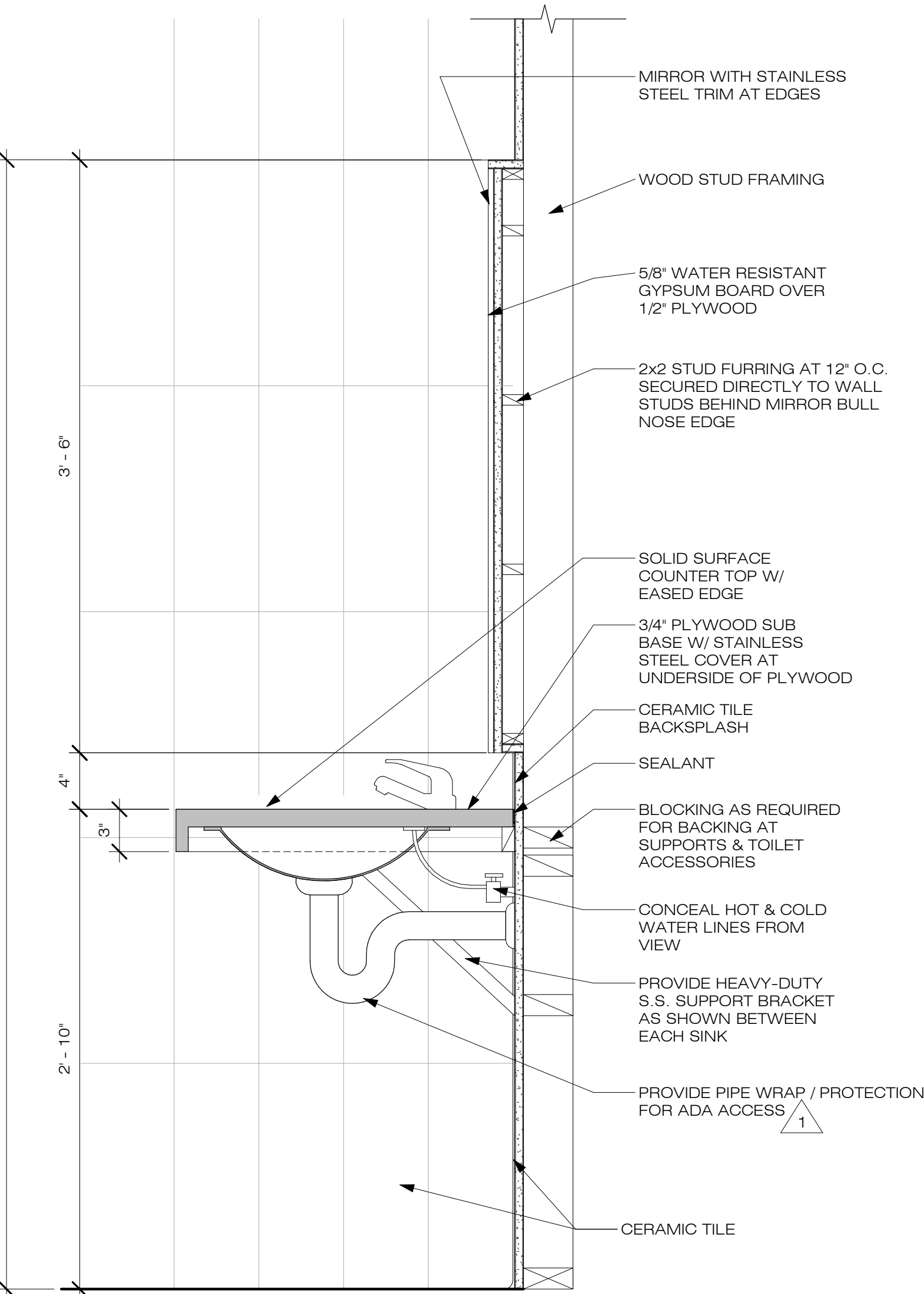
CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

PD Renovation & Expan.
Sedona Project No. PD-03
INTERIOR ELEVATIONS &
ENLARGED PLANS

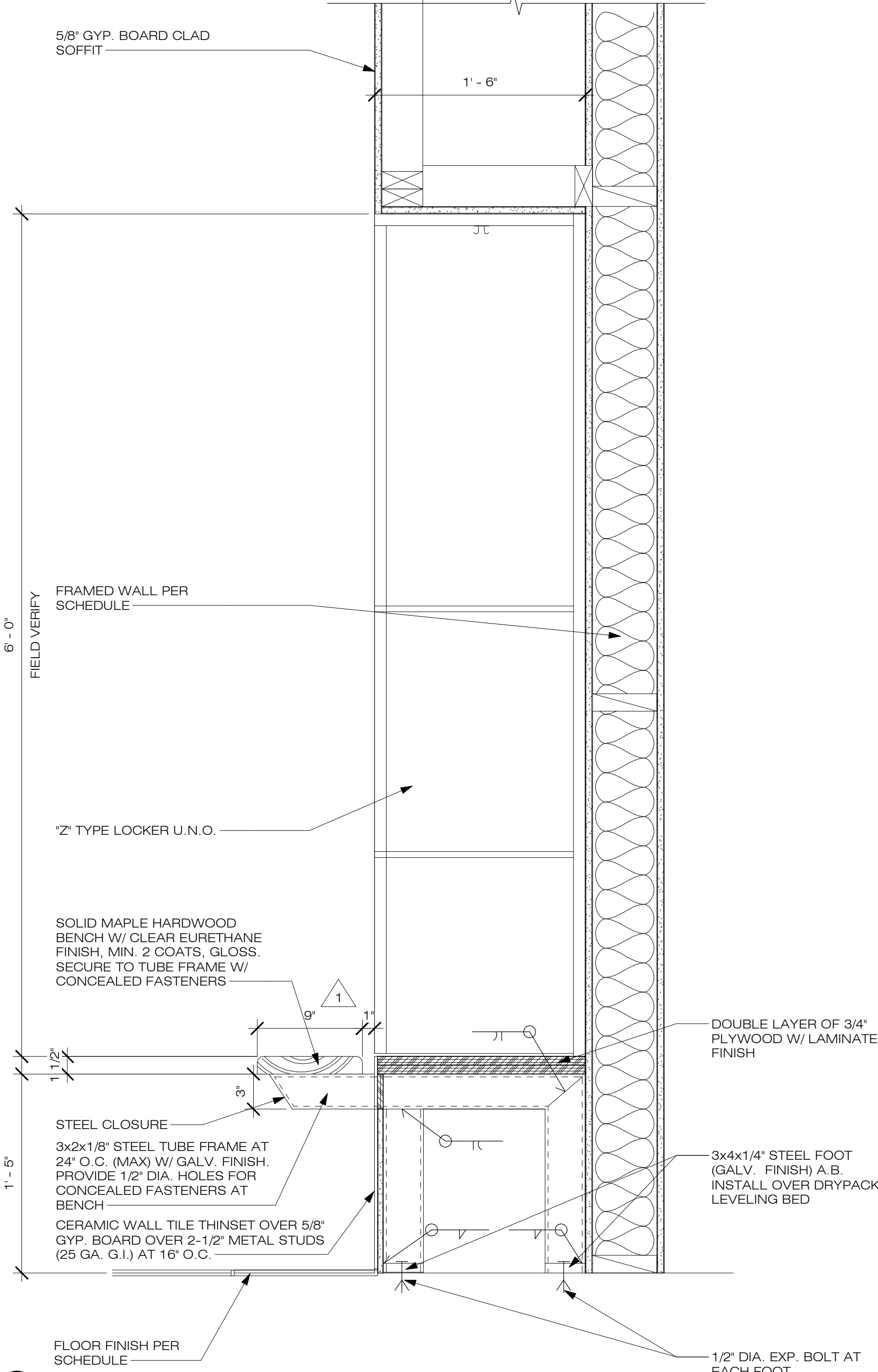
SHEET ID
a250
SHEET NO.
10 OF 18



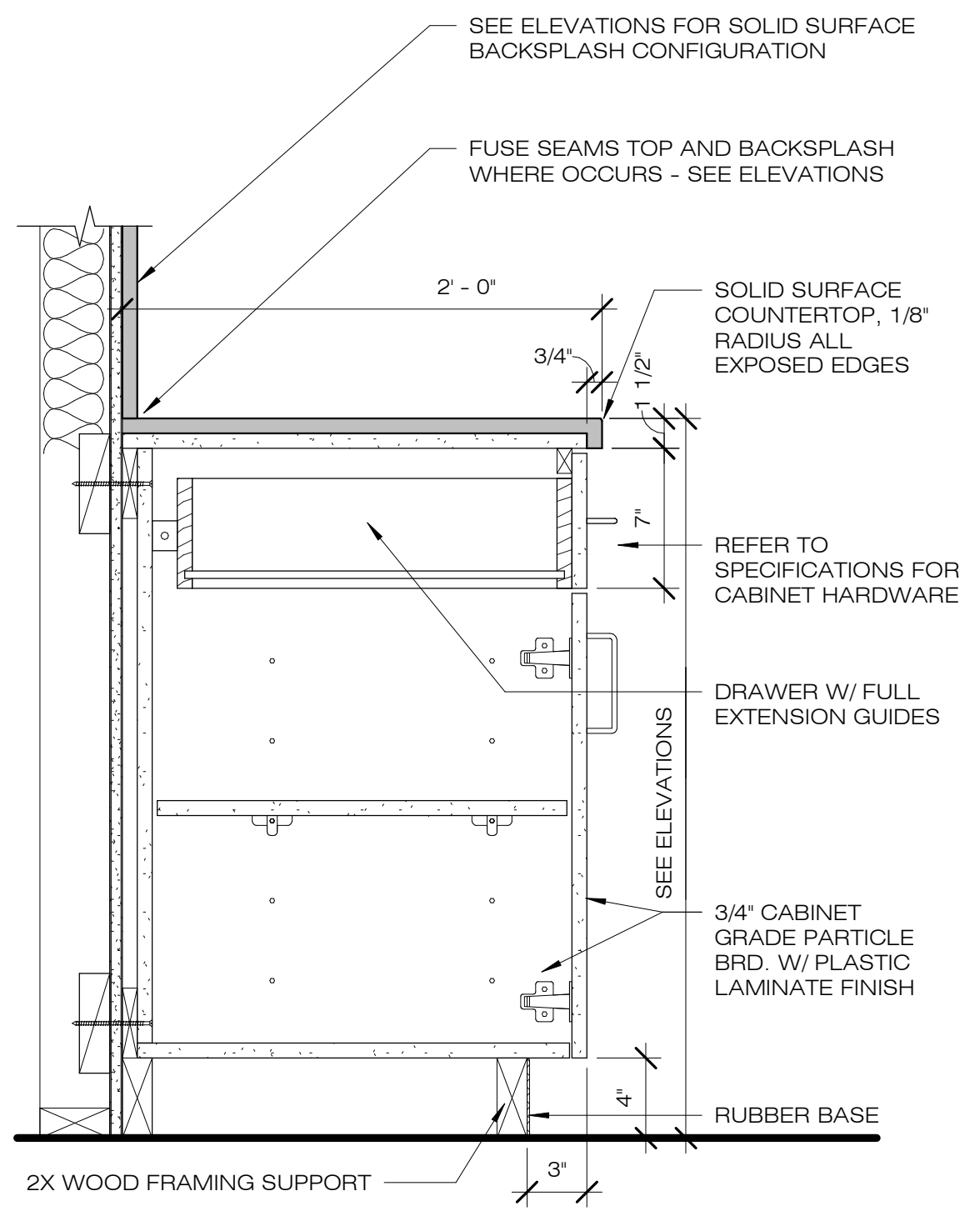
5 TYPICAL UPPER CABINET
1 1/2" = 1'-0"



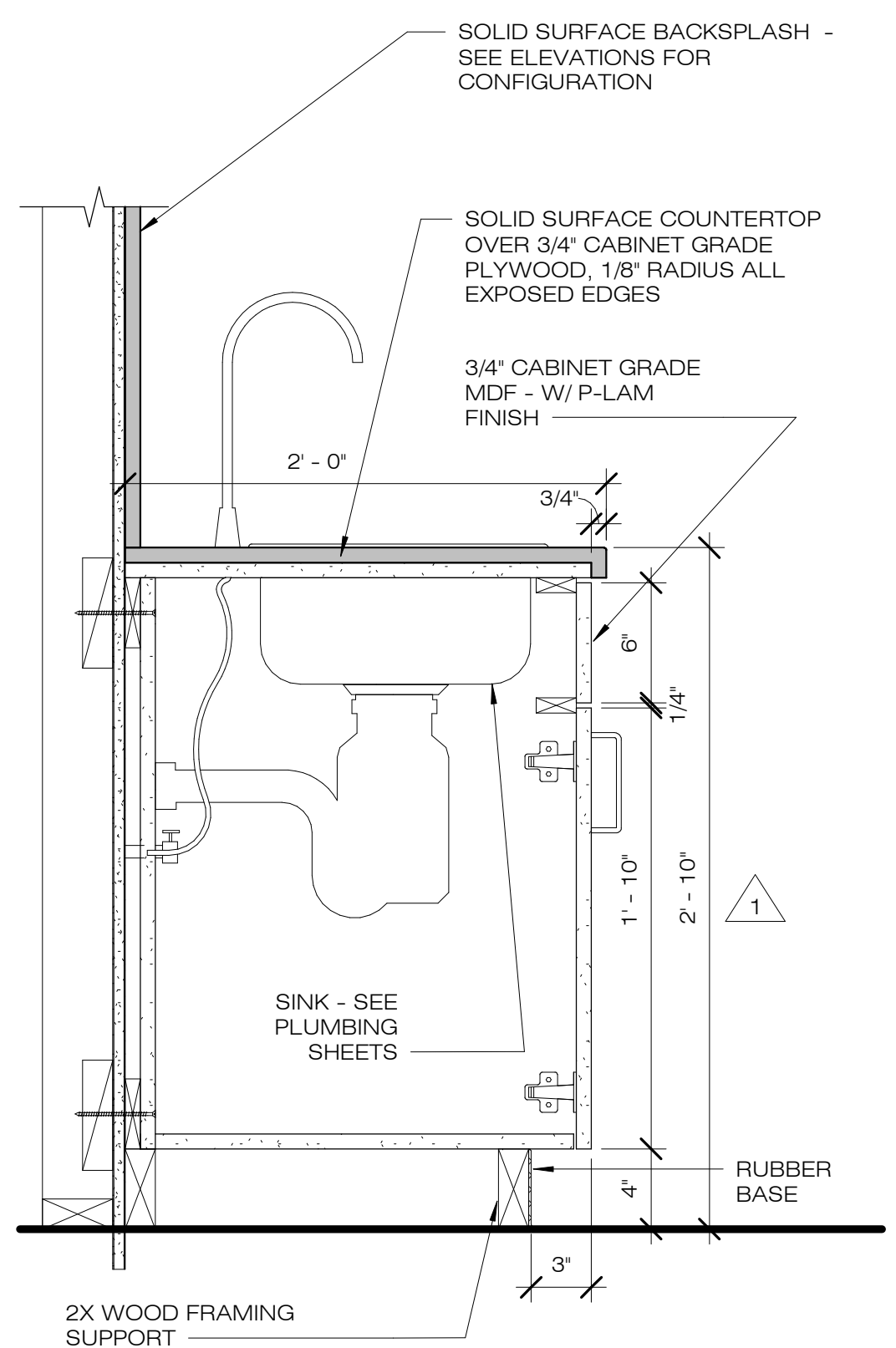
1 SINK DETAIL
1 1/2" = 1'-0"



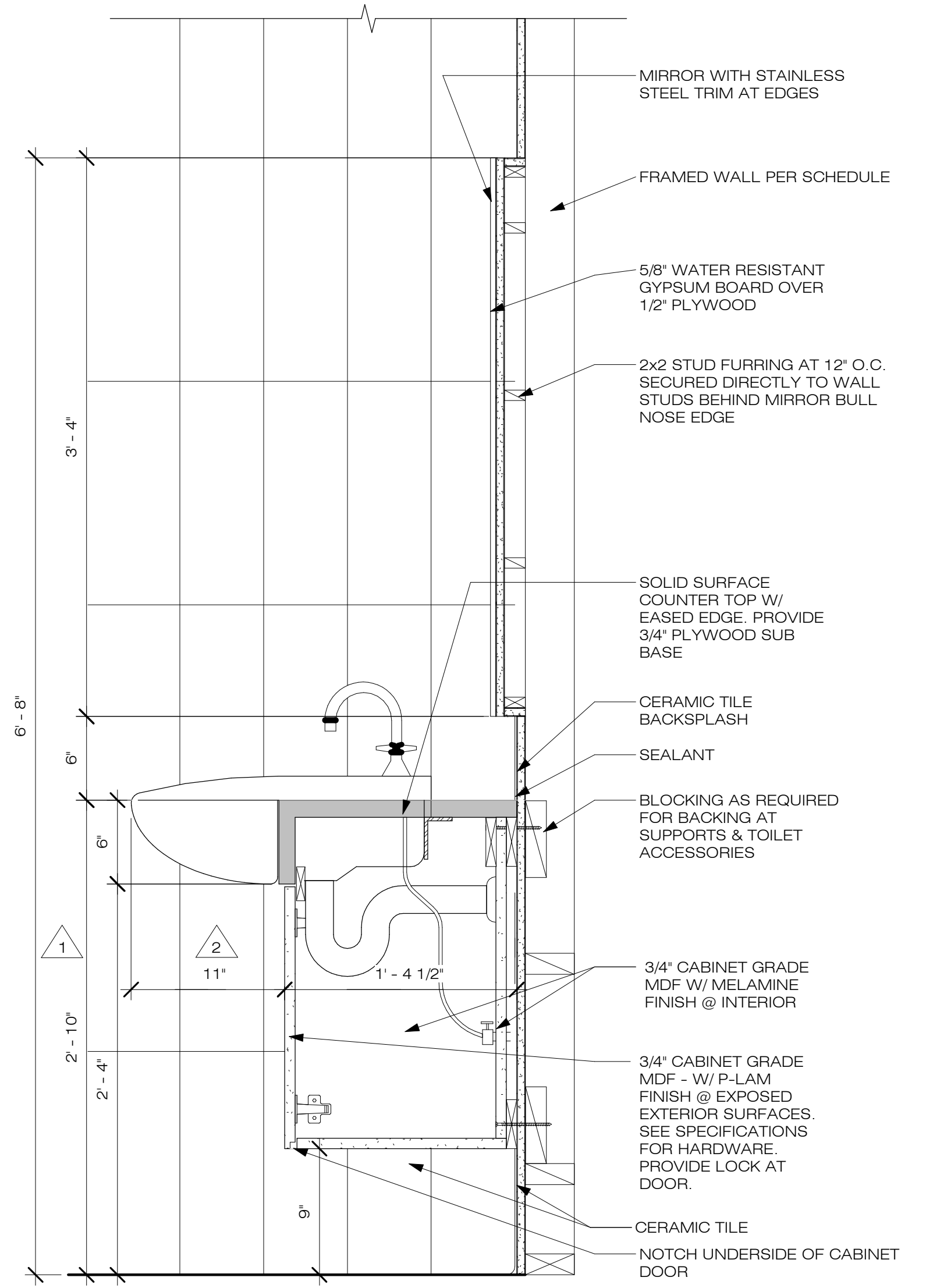
2 LOCKER DETAIL
1 1/2" = 1'-0"



4 TYPICAL BASE CABINET
1 1/2" = 1'-0"



3 BASE CABINET AT BREAK ROOM
1 1/2" = 1'-0"

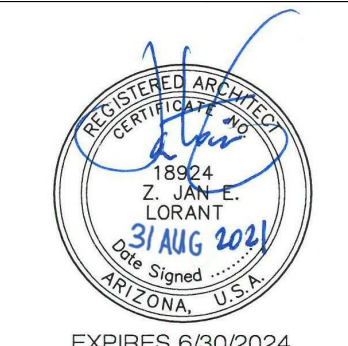


6 SINK W/ BASE CABINET
1 1/2" = 1'-0"

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phoenix, arizona 85013
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fax: 602.667.9133
gaborlorant.com

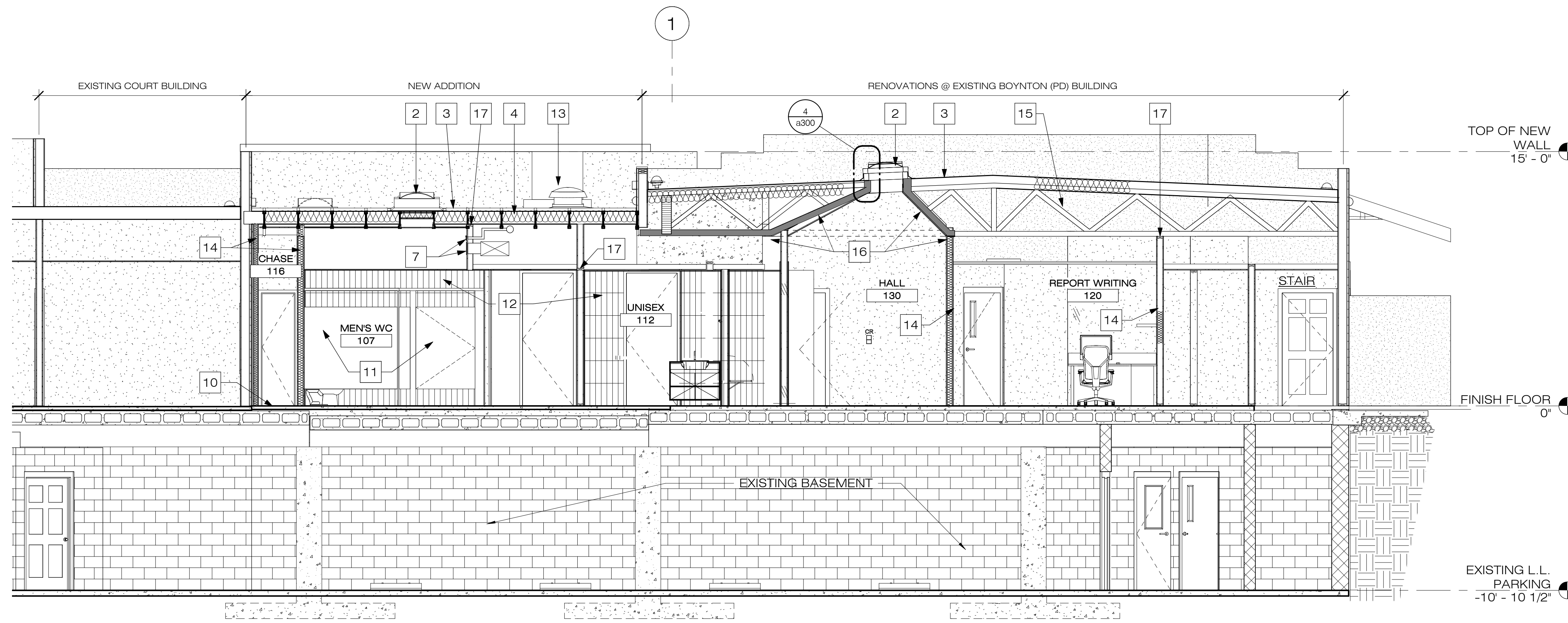


**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

PD Renovation & Expan.
Sedona Project No. PD-03
MILLWORK DETAILS

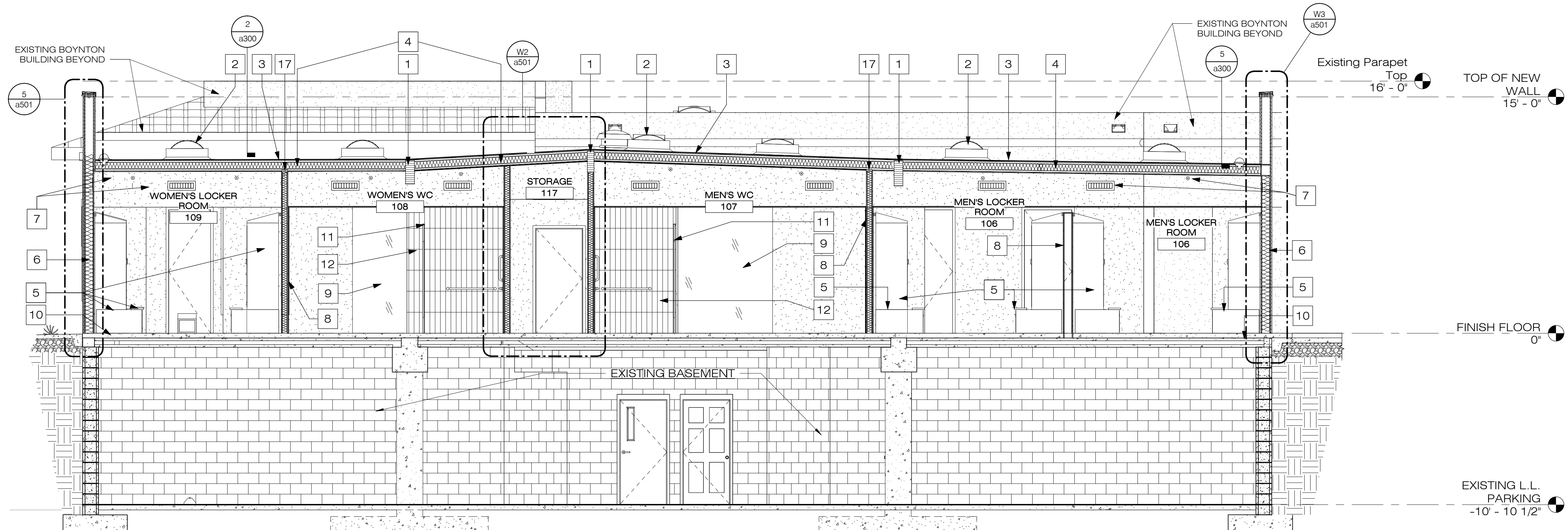
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SHEET ID
a251
SHEET NO.
11 OF 18

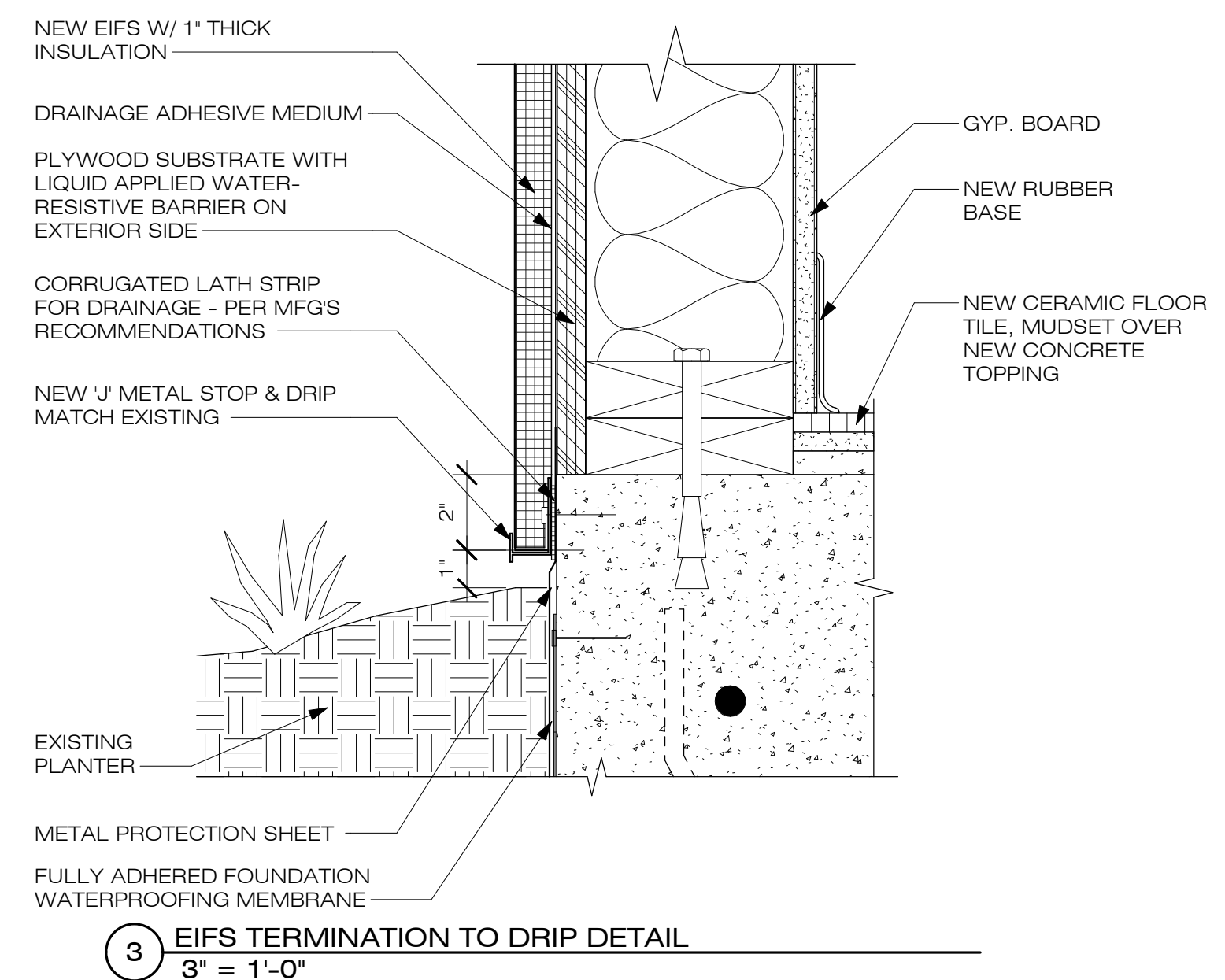


1 BUILDING SECTION 1
1/4" = 1'-0"

KEYNOTES	
1	GLU-LAM BEAM - SEE STRUCTURAL. PROVIDE CLEAR, SEALED FINISH
2	SKYLIGHT, MAXIMUM U-FACTOR OF 0.50
3	T.P.O. ROOFING OVER SHEATING & PRE-FAB WOOD JOISTS - SEE ROOF PLAN & STRUCTURAL
4	R-39 MIN. SPRAY APPLIED FOAM INSULATION THROUGHOUT ROOF CAVITY, TAPPER THICKNESS AT SKYLIGHT SCONCES WHILE MAINTAINING R-39 (6" THICKNESS)
5	PERSONAL STORAGE LOCKER WITH BUILT-IN BENCH/DRAWER, PROVIDE POWER & DATA HOOK-UPS AT EACH LOCKER
6	2 X 6 EXTERIOR FRAME WALL - SEE STRUCTURAL, PROVIDE R-19 BATT INSULATION THROUGHOUT WALL CAVITY
7	GYP. BOARD FACED CEILING SOFFIT WITH SIDE THROW FIRE SPRINKLER HEADS & MECHANICAL REGISTERS
8	2 X 6 AT 16" O.C. WALL W/5/8" GYP. BOARD FINISH, INTERIOR FACE(S)
9	FULL - HEIGHT, FROSTED GLASS PANEL
10	CONCRETE LEVELING BED OVER EXISTING CONCRETE TOPPING OVER EXISTING CONCRETE CORE-SLAB, PRECAST PLANKS
11	TOILET PARTITION
12	CERAMIC WALL TILE
13	MECHANICAL EQUIPMENT - SEE MECHANICAL
14	SOUND INSULATION THROUGHOUT WALL CAVITY
15	EXISTING PRE-FAB WOOD TRUSSES
16	FRAME SKYLIGHT SCONCE TO ALIGN BOTTOM EDGE OF SCONCE WITH TOP OF WALL & HEIGHT OF ADJACENT CEILING
17	2X FIRE BLOCKING CONTINUOUS @ CEILING SOFFIT EDGES & TOP OF FULL - HEIGHT PARTITION



2 BUILDING SECTION 2
1/4" = 1'-0"

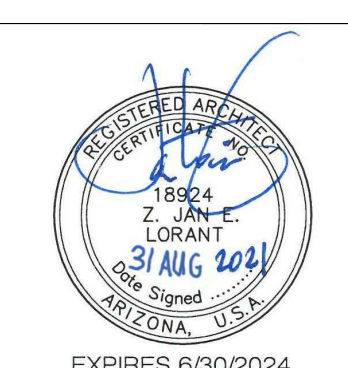


3 EIFS TERMINATION TO DRIFT DETAIL
3" = 1'-0"

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gabor lorant architects
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phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
gaborlorant.com

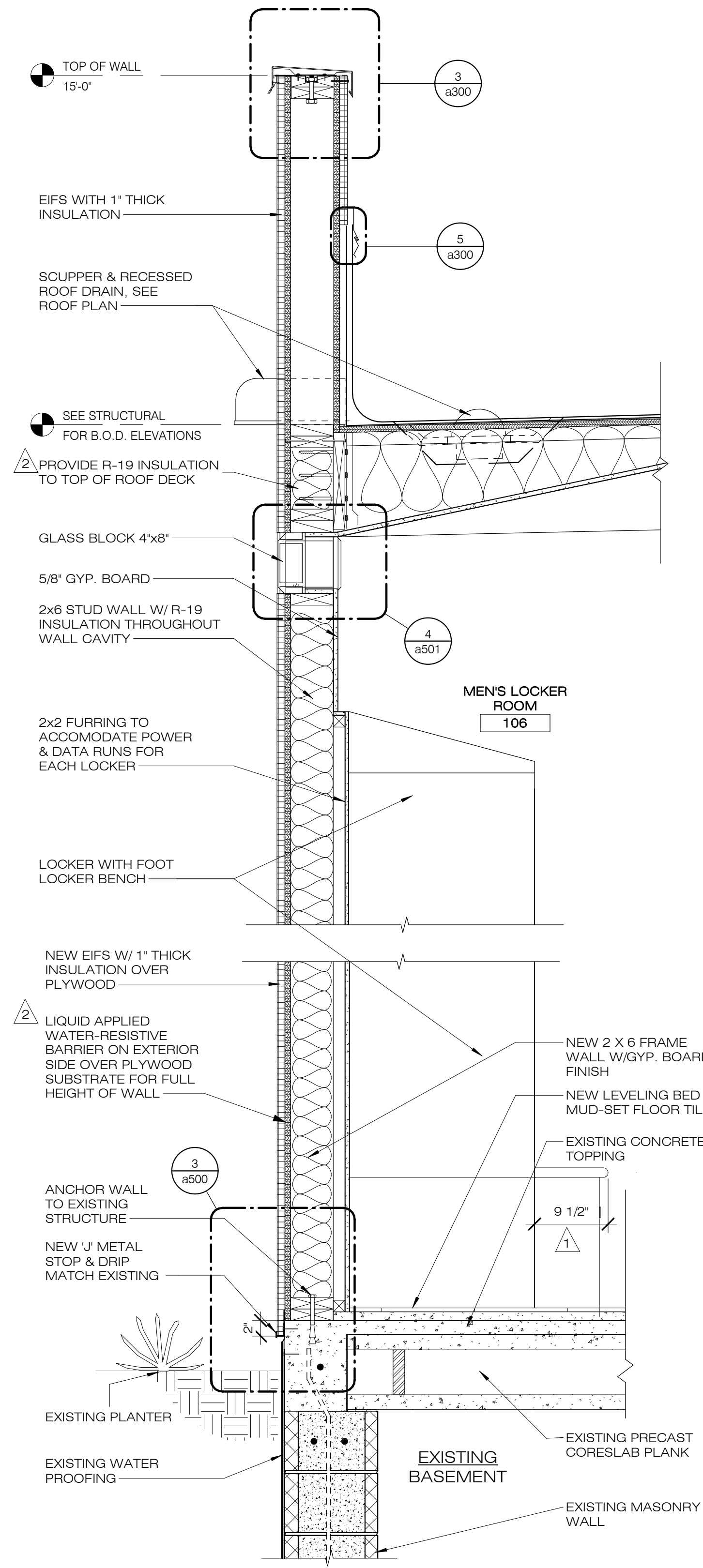
**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

PD Renovation & Expan.
Sedona Project No. PD-03
BUILDING SECTIONS

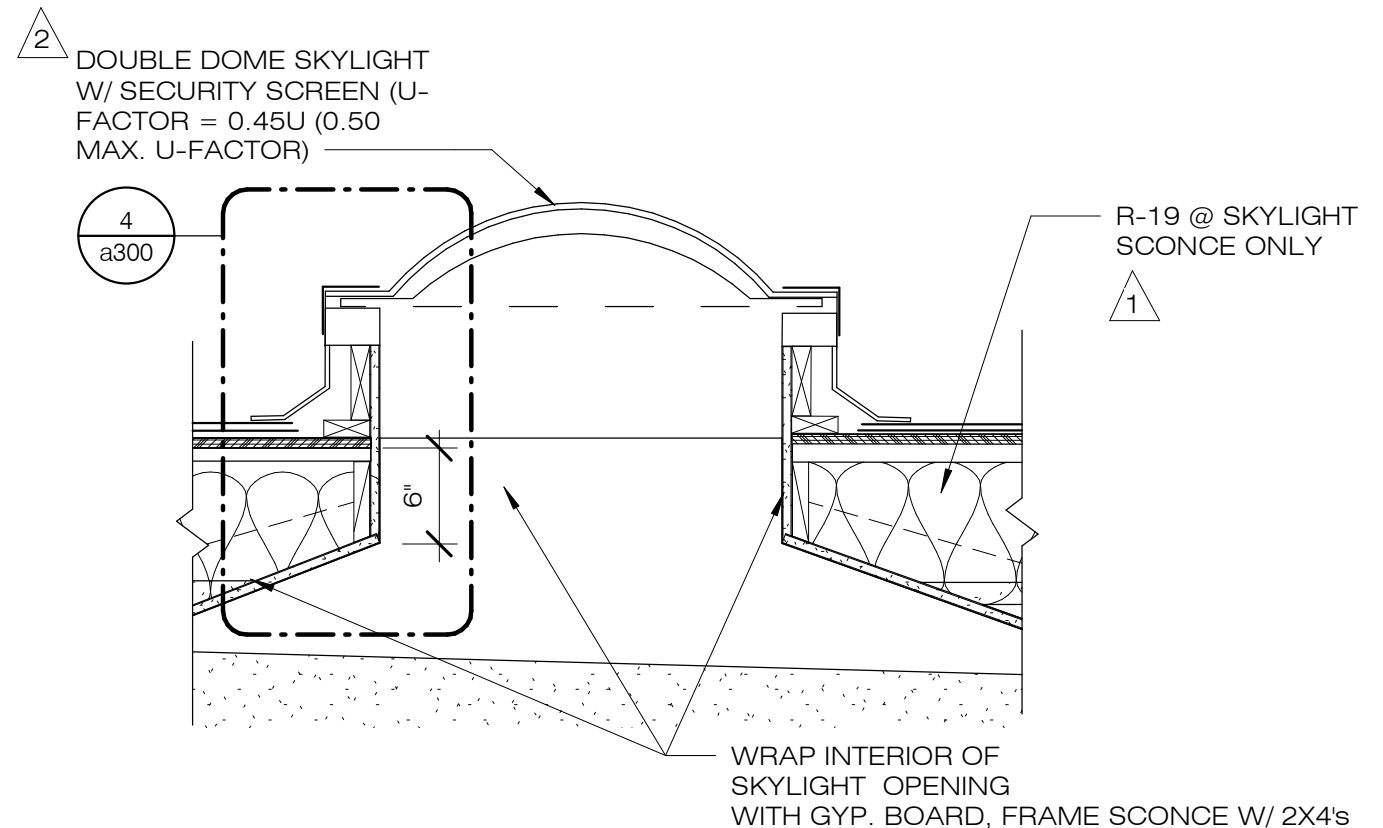
SHEET ID
a500

SHEET NO.
14 OF 18

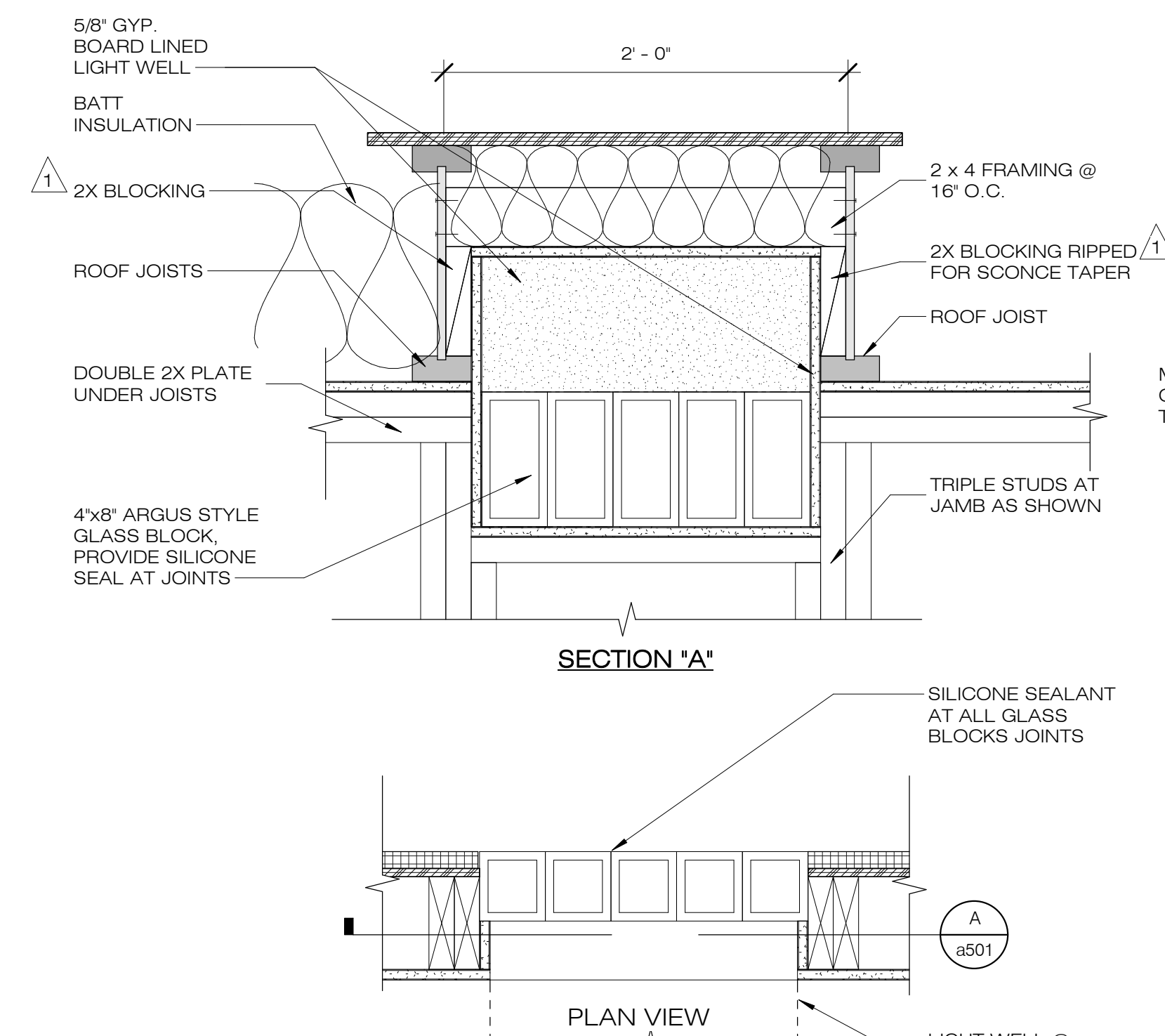
VERIFY SCALES
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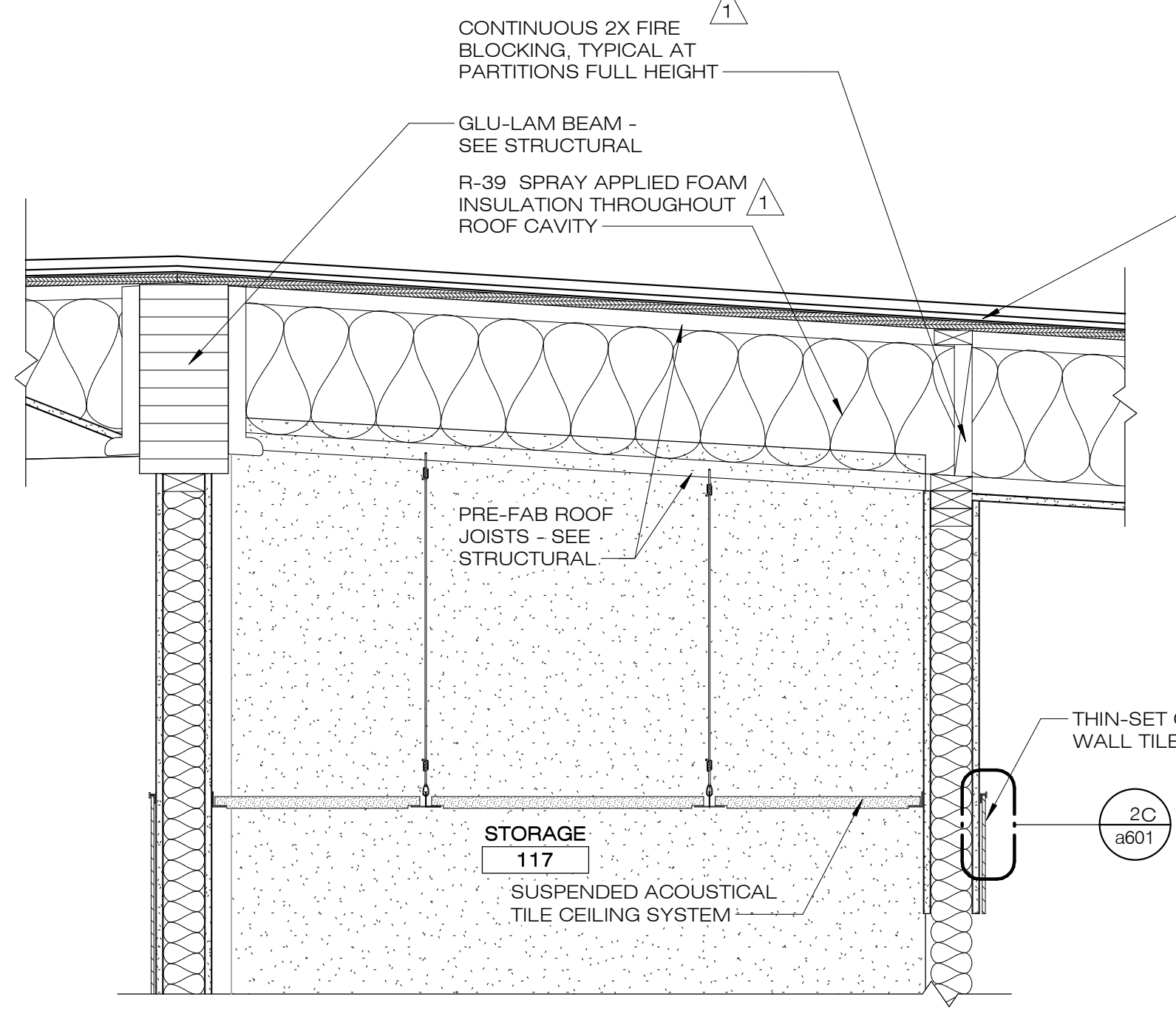
5 NORTH EXTERIOR WALL ADDITION
1" = 1'-0"



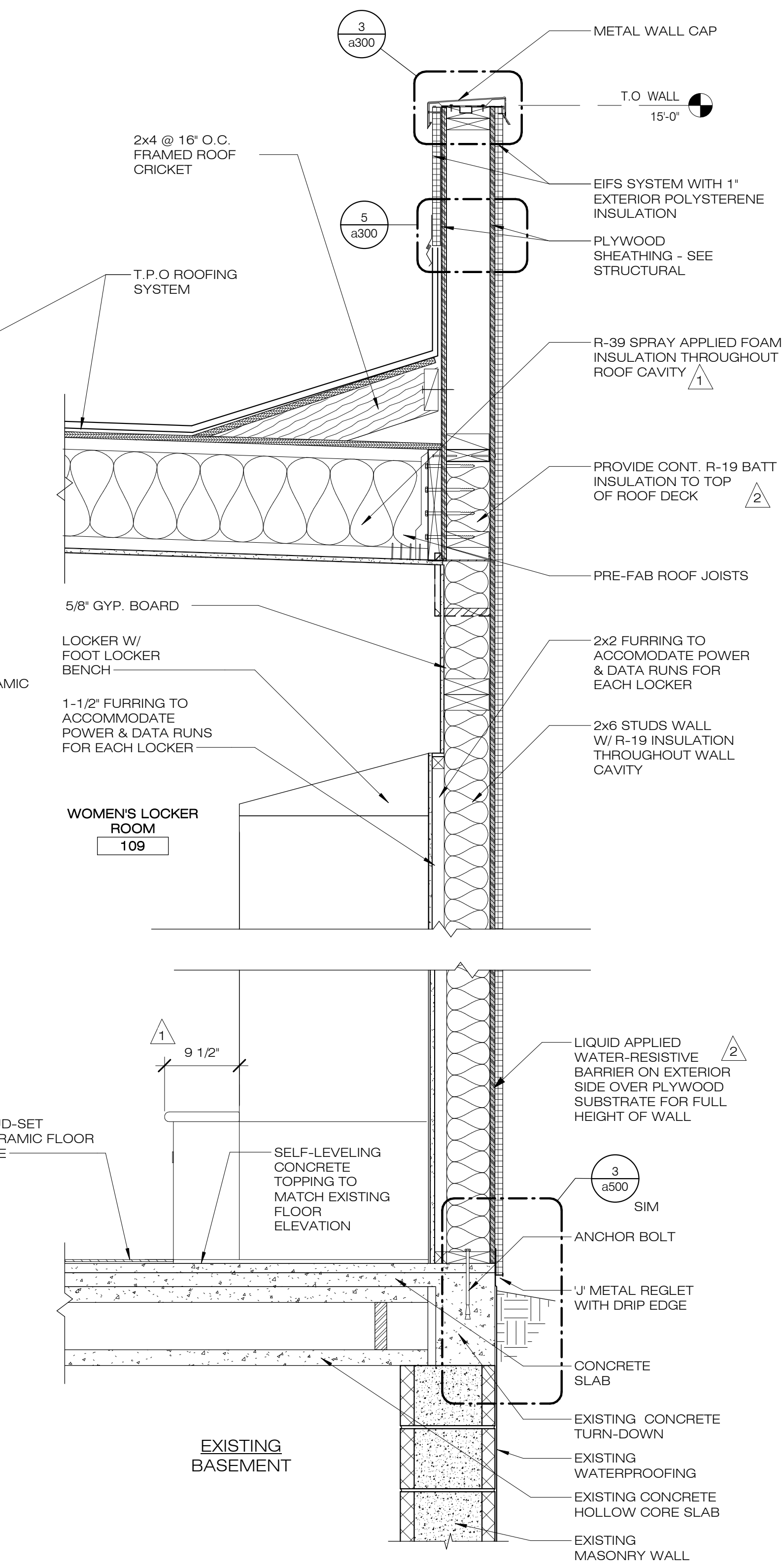
1 SKYLIGHT FRAMING
1" = 1'-0"



4 GLASS BLOCK WINDOW @ EXTERIOR
1 1/2" = 1'-0"

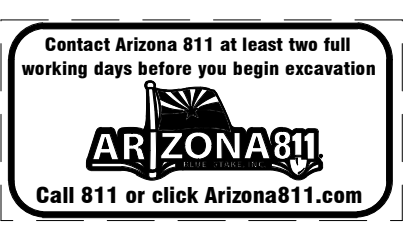


W2 INTERIOR WALLS ADDITION
1" = 1'-0"

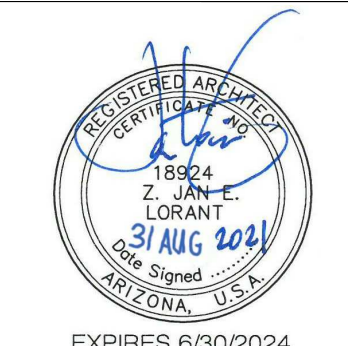


W3 SOUTH EXTERIOR WALL ADDITION
1" = 1'-0"

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gabor lorant architects

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phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
gaborlorant.com



**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

PD Renovation & Expan.
Sedona Project No. PD-03
ASSEMBLY DETAILS

VERIFY SCALES
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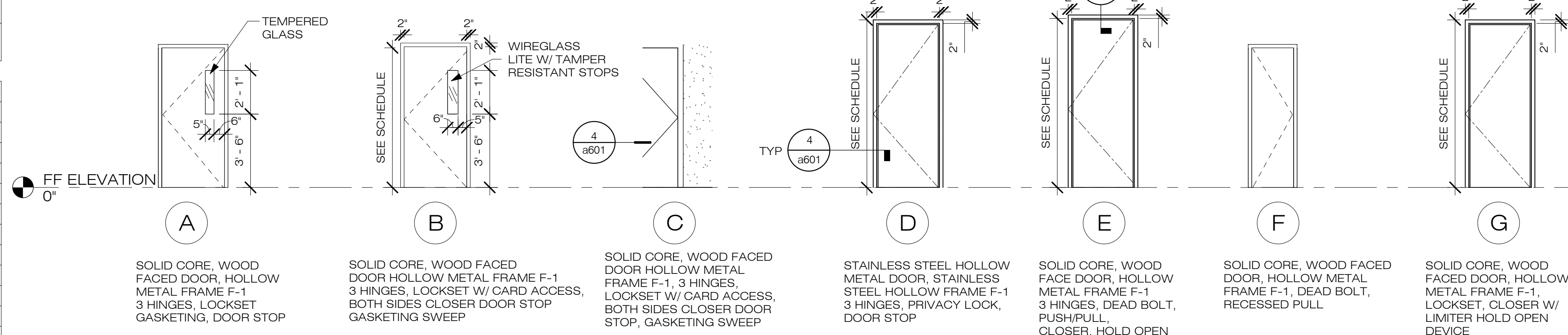
SHEET ID
a501
SHEET NO.
15 OF 18

DOOR SCHEDULE - PHASE 1							
DOOR	ROOM	RM. NUMBER	TYPE	HEIGHT	WIDTH	THICKNESS	THRESHOLD DETAIL
001	LOBBY	102	B	6' - 8"	3' - 0"	1 3/4"	3B
002	LOBBY	102	B	6' - 8"	3' - 0"	1 3/4"	3B
003	LOBBY	102	B	6' - 8"	3' - 0"	1 3/4"	3B
005	SHOWER	104	D	7' - 10"	3' - 0"	1 3/4"	--
006	SHOWER	105	D	7' - 10"	3' - 0"	1 3/4"	--
007	MEN'S	107	E	7' - 10"	3' - 0"	1 3/4"	--
008	BREAK ROOM	111	G	6' - 8"	3' - 0"	1 3/4"	--
010	HALL	130	E	7' - 10"	3' - 0"	1 3/4"	3A
011	MEN'S	107	E	7' - 10"	3' - 0"	1 3/4"	3A
012	JAN.	113	G	6' - 8"	3' - 0"	1 3/4"	--
014	HALL	130	E	7' - 10"	3' - 0"	1 3/4"	3A
015	SHOWER	114	D	7' - 10"	3' - 0"	1 3/4"	--
016	SHOWER	115	D	7' - 10"	2' - 8"	1 3/4"	--
017	WOMEN'S	108	E	7' - 10"	3' - 0"	1 3/4"	--
024	SGT. OFFICE	123	A	6' - 8"	3' - 0"	1 3/4"	3B
025	SGT. OFFICE	122	A	6' - 8"	3' - 0"	1 3/4"	3B
026	LT. OFFICE	124	A	6' - 8"	3' - 0"	1 3/4"	3B
030	STOR.	133	G	6' - 8"	3' - 0"	1 3/4"	3B
058	CHASE	110	F	6' - 8"	3' - 0"	1 3/4"	--
059	CHASE	110	F	6' - 8"	2' - 0"	1 3/4"	--
060	CHASE	110	F	6' - 8"	2' - 0"	1 3/4"	--
061	STORAGE	117	G	6' - 8"	3' - 0"	1 3/4"	--
062				7' - 10"	3' - 0"		

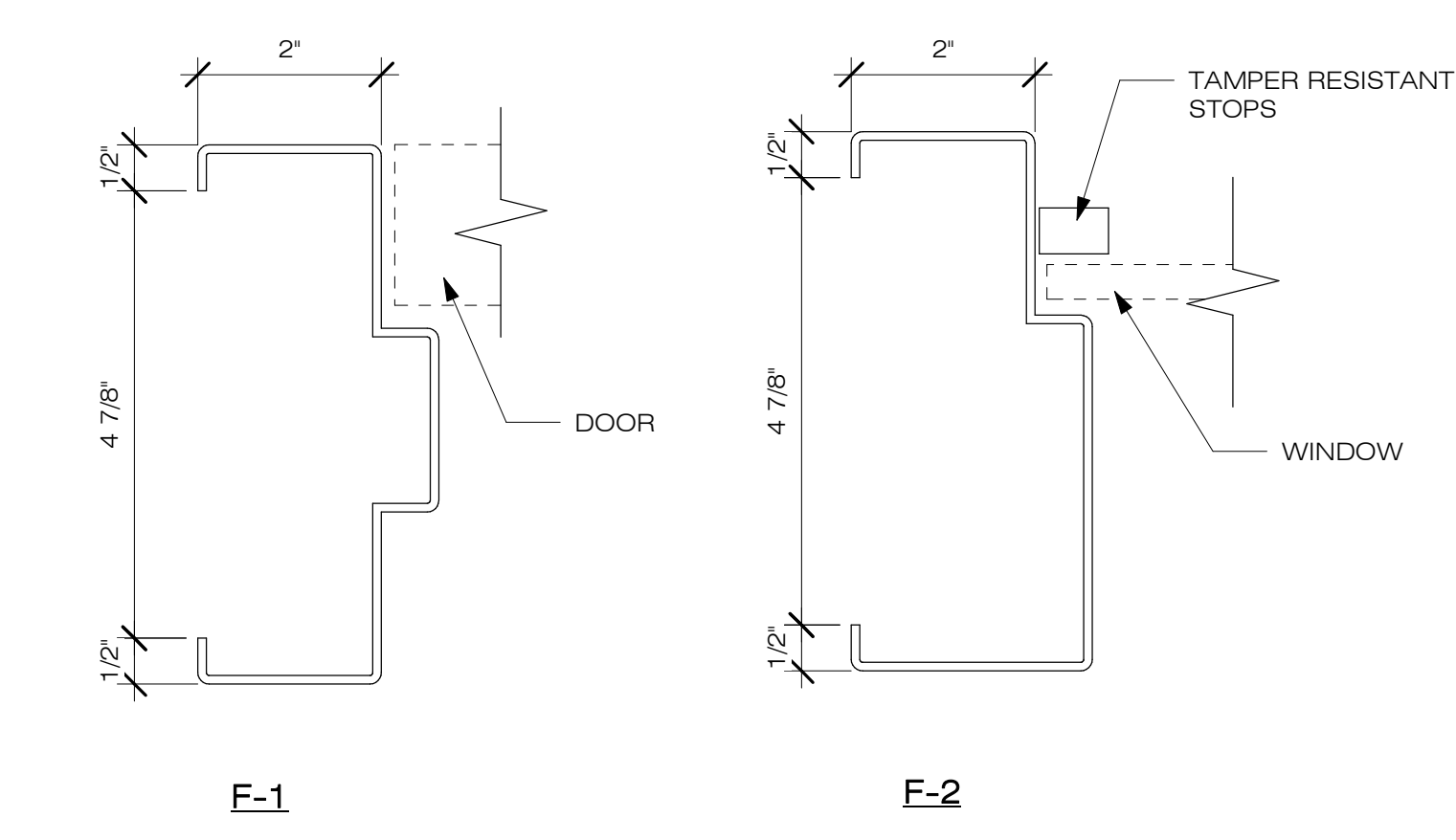
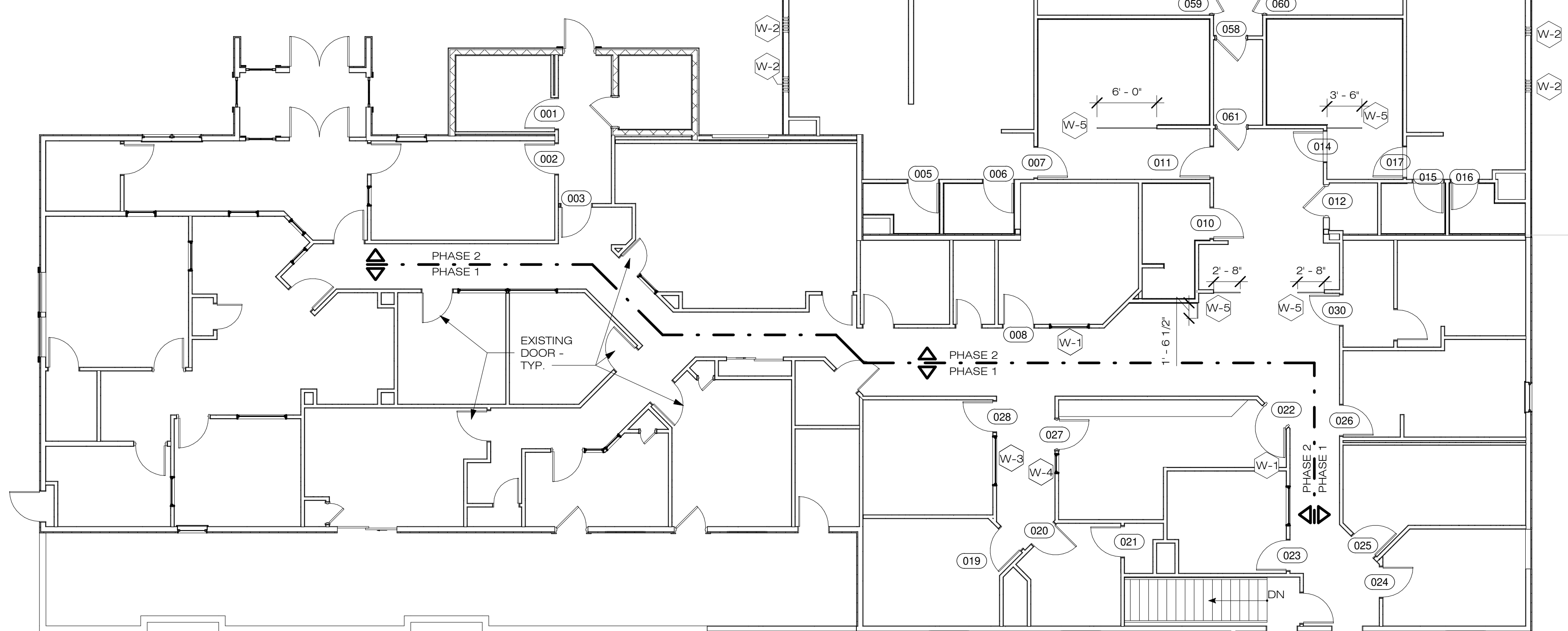
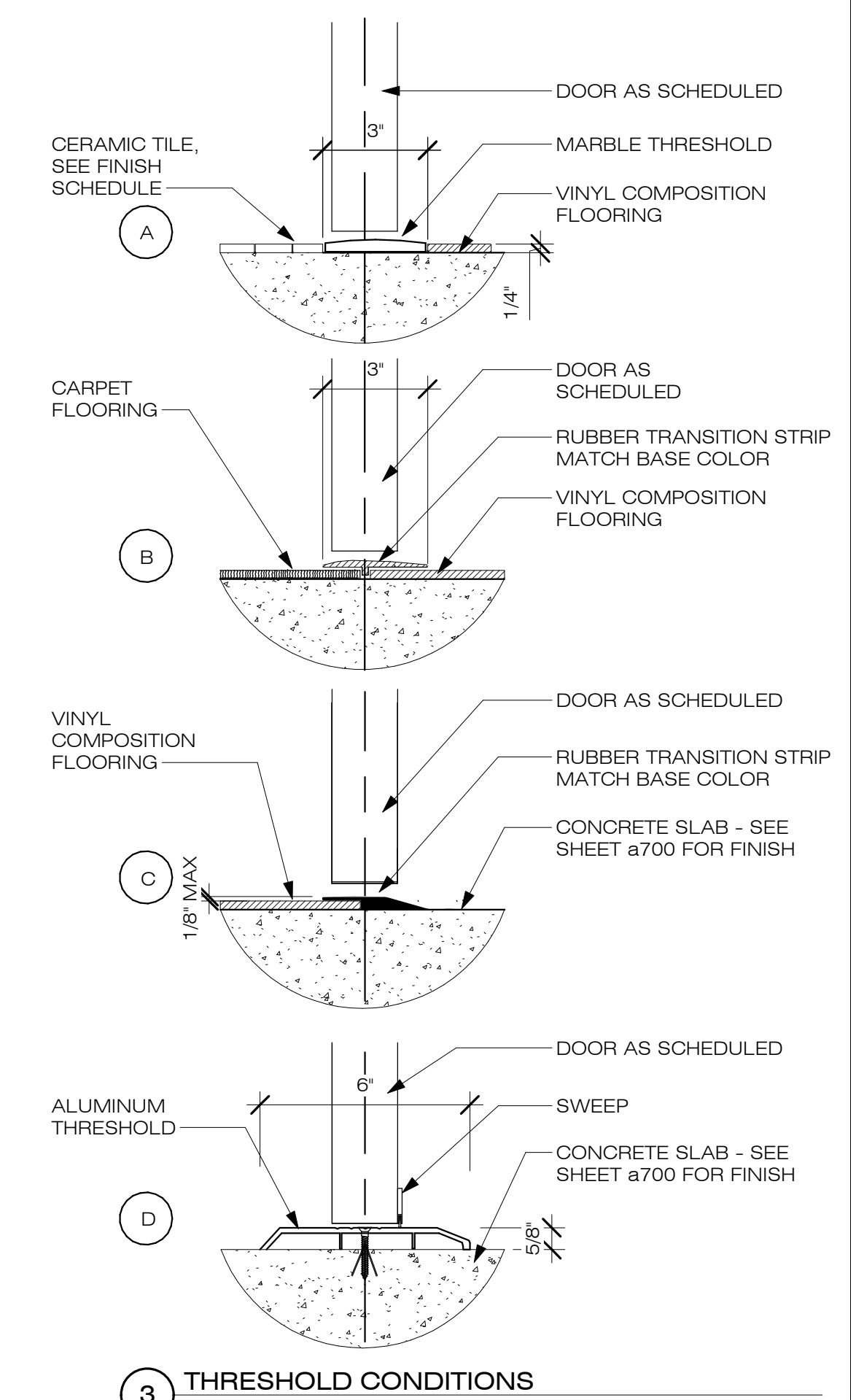
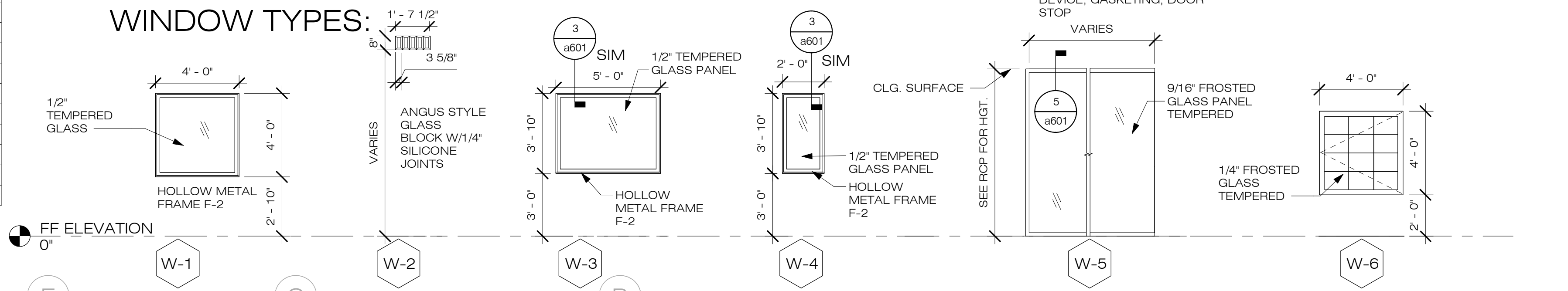
SEE DETAILS 3 & 4 ON SHEET a601 FOR TYPICAL HEAD/JAMB FRAMING & FINISHING

DOOR SCHEDULE - PHASE 2							
DOOR	ROOM	ROOM NUMBER	TYPE	HEIGHT	WIDTH	THICKNESS	THRESHOLD
019	VOLUNTEERS	117	A	6' - 8"	3' - 0"	1 3/4"	3B
020	QUIET ROOM	118	G	6' - 8"	3' - 0"	1 3/4"	3B
021	STO.	119	G	6' - 8"	3' - 0"	1 3/4"	--
022	HALL	130	A	6' - 8"	3' - 0"	1 3/4"	3B
023	HALL	130	G	6' - 8"	3' - 0"	1 3/4"	3B
027	REPORT WRITING	120	A	6' - 8"	3' - 0"	1 3/4"	3B
028	DETECTIVES	125	A	6' - 8"	3' - 0"	1 3/4"	3B

DOOR TYPES:



WINDOW TYPES:



GENERAL NOTES

1. ALL DOOR HARDWARE SHALL BE ADA ACCESSIBLE.

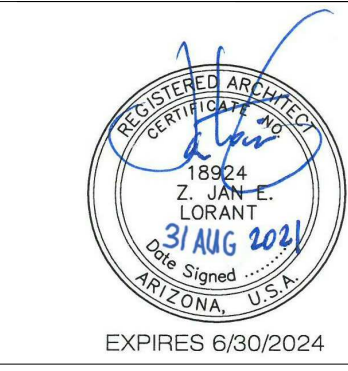
2. FRAME TYPES
6\"/>

1 First Floor Plan - Phase 1 Door & Window Schedule
1/8\"/>

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				Checked by:	Project Code:
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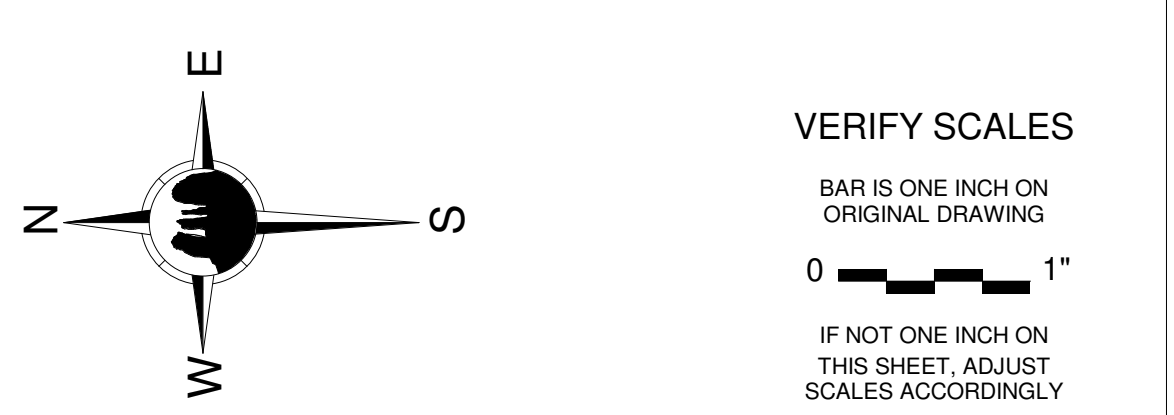


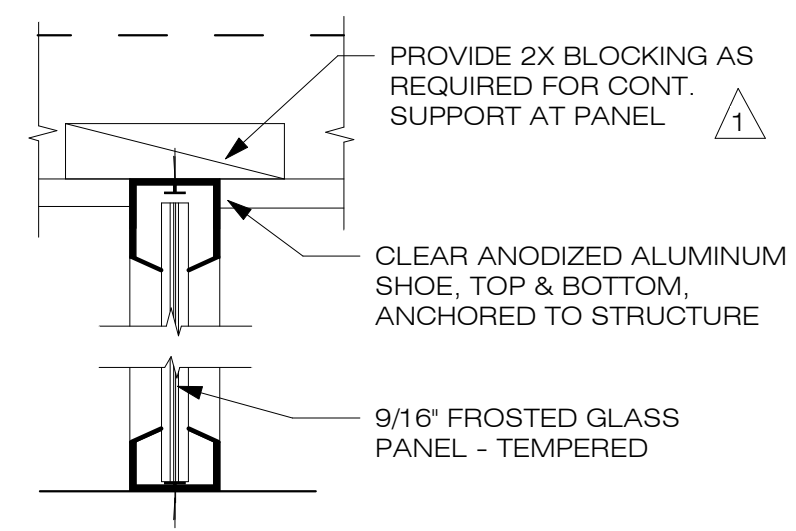
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CITY OF SEDONA
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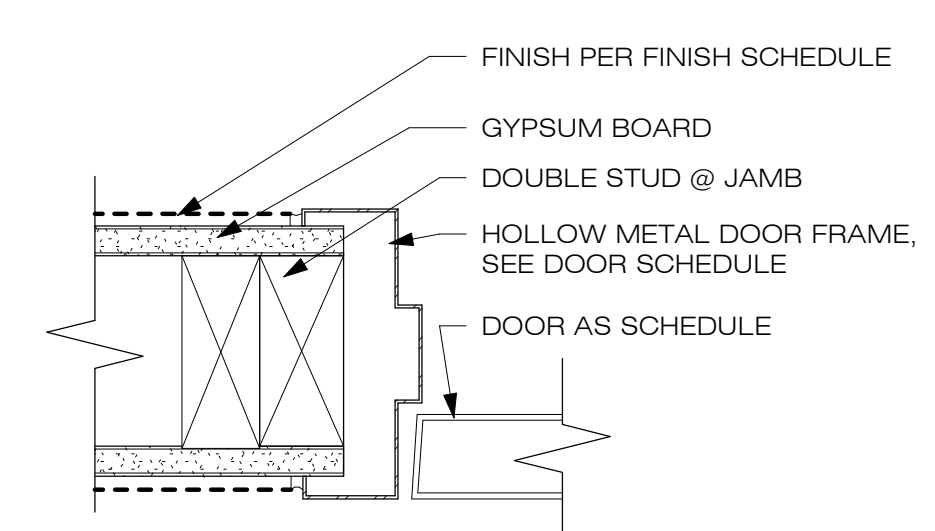
PD Renovation & Expan.
Sedona Project No. PD-03
FIRST FLOOR PLAN - WINDOW & DOOR SCHEDULE

SHEET ID
a600
SHEET NO.
16 OF 18

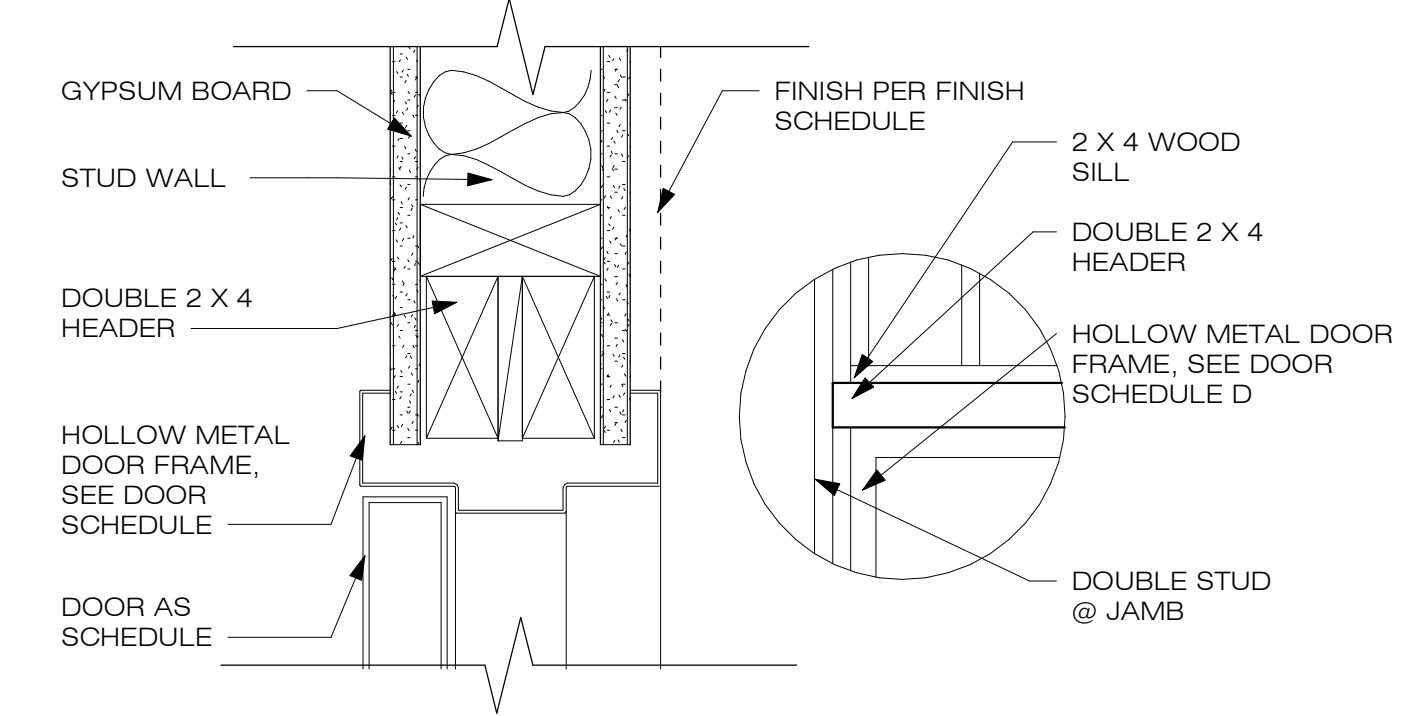




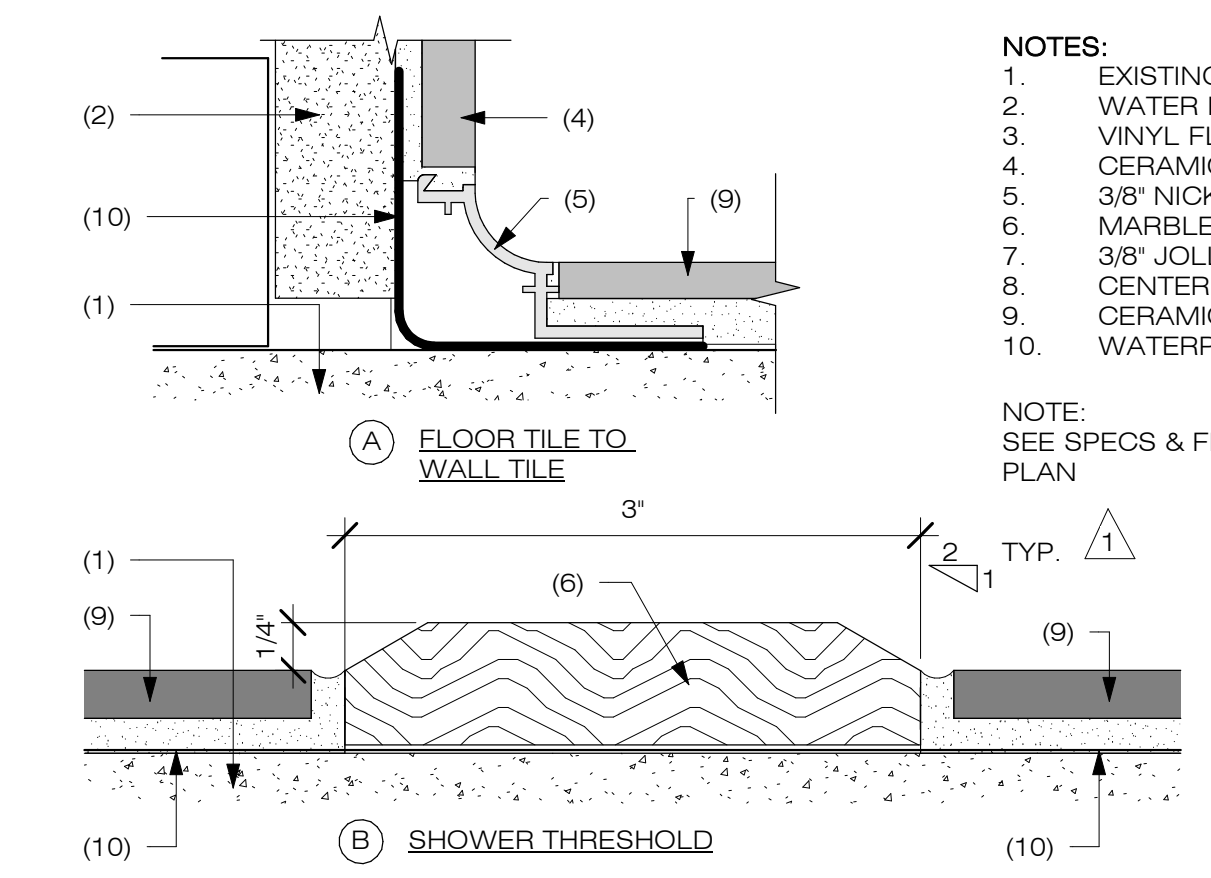
5 FROSTED GLASS PANEL
3" = 1'-0"



4 DOOR JAMB - WINDOW SIM.
3" = 1'-0"



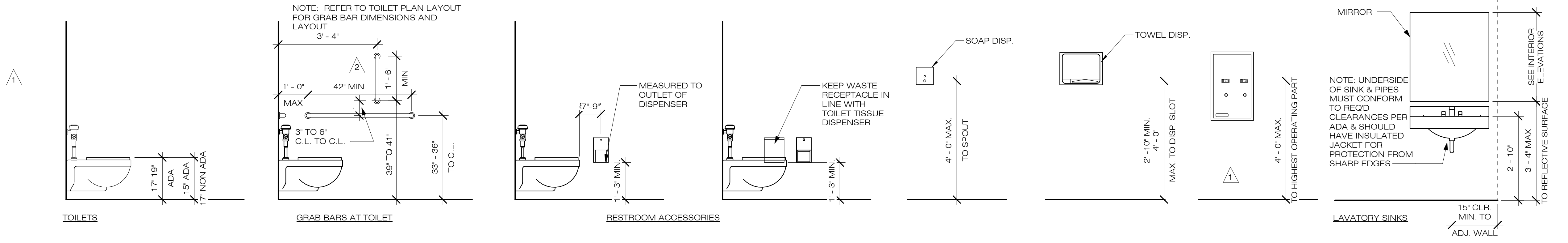
3 DOOR / WINDOW HEAD FRAMING
3" = 1'-0"



- NOTES:
- EXISTING CONCRETE FLOOR SYSTEM
 - WATER RESISTANT GYPSUM BOARD CEMENT BOARD @ SHOWERS
 - VINYL FLOORING
 - CERAMIC WALL TILE - THIN SET
 - 3/8" NICKEL COVE BASE FLOOR TO WALL TRANSITION
 - MARBLE THRESHOLD
 - 3/8" JOLLY NICKEL WALL CAP
 - CENTERLINE OF DOOR WHERE OCCURS.
 - CERAMIC FLOOR TILE - MUDSET
 - WATERPROOF MEMBRANE

NOTE:
SEE SPECS & FLOOR FINISH PLAN

2 Floor & Wall Transitions
12" = 1'-0"



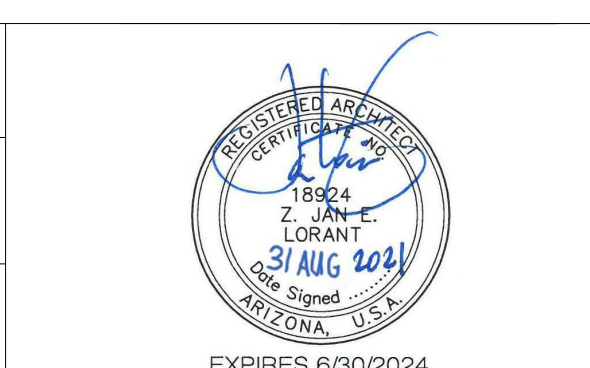
1 ACCESSIBILITY DIAGRAMS
1/2" = 1'-0"

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928-204-7111

PD Renovation & Expan.
Sedona Project No. PD-03
DOOR DETAILS &
ACCESSIBILITY DIAGRAMS

SHEET ID
a601
SHEET NO.
17 OF 18

ROOM SCHEDULE ²					
WT	Name	North Wall/Base	East Wall/Base	South Wall/Base	West Wall/Base
100	INTERVIEW ROOM	GWB/R1	GWB/R1	GWB/R1	GWB/R1
101	CONFERENCE ROOM	GWB/R1	GWB/R1	GWB/R1	GWB/R1
102	LOBBY	GWB/R1	GWB/R1	GWB/R1	GWB/R1
103	MEETING ROOM	GWB/R1	GWB/R1	GWB/R1	GWB/R1
104	SHOWER	WT	WT	WT	WT
105	SHOWER	WT	WT	WT	WT
106	MEN'S LOCKER ROOM	GWB/R1	GWB/R1	GWB/R1	GWB/R1
107	MEN'S WC	WT	WT	WT	WT
108	WOMEN'S WC	WT	WT/R1	WT/R1	WT/R1
109	WOMEN'S LOCKER ROOM	GWB/R1	WT/R1	WT/R1	WT/R1
110	CHASE	GWB/R1	N/A/PM	GWB/R1	GWB/R1
111	BREAK ROOM	GWB/R1	GWB/R1	GWB/R1	GWB/R1
112	UNISEX	WT	WT	WT	WT
113	JANITOR	GWB/R1	GWB/R1	GWB/R1	GWB/R1
114	SHOWER	WT	WT	WT	WT
115	SHOWER	WT	WT	WT	WT
116	CHASE	GWB/R1	N/A/PM	GWB/R1	GWB/R1
117	VOLUNTEERS	GWB/R1	GWB/R1	GWB/R1	GWB/R1
118	STORAGE	GWB/R1	GWB/R1	GWB/R1	GWB/R1
119	STORAGE	GWB/R1	GWB/R1	GWB/R1	GWB/R1
120	REPORT WRITING	GWB/R1	GWB/R1	GWB/R1	GWB/R1
121	SGT. OFFICE	GWB/R1	GWB/R1	GWB/R1	GWB/R1
122	SGT OFFICE	GWB/R1	GWB/R1	GWB/R1	GWB/R1
123	SGT OFFICE	GWB/R1	GWB/R1	GWB/R1	GWB/R1
124	LT. OFFICE	GWB/R1	GWB/R1	GWB/R1	GWB/R1
125	DETECTIVES	GWB/R1	GWB/R1	GWB/R1	GWB/R1
126	EXISTING JUDGE'S CHAMBERS				
130	HALL	GWB/R1	GWB/R1	GWB/R1	GWB/R1
131	VEST.	GWB/R1	GWB/R1	GWB/R1	GWB/R1
132	STOR.				
133	STOR.				
134	STOR.				
135	Room				
136	OFFICE				

	Vinyl Plank Flooring
	Ceramic Floor Tile
	Sealed Concrete
	Carpet

FINISH SCHEDULE LEGENDS

FLOORS

CA	Carpet
FT	Ceramic Floor Tile
SC	Sealed Concrete Floor
V	VCT

BASE

CT	Ceramic Tile Alum. Cove Base
R1	Rubber Wall Base

WALL & WAINSCOT MATERIALS

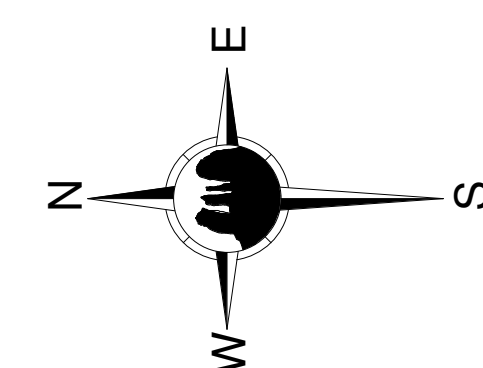
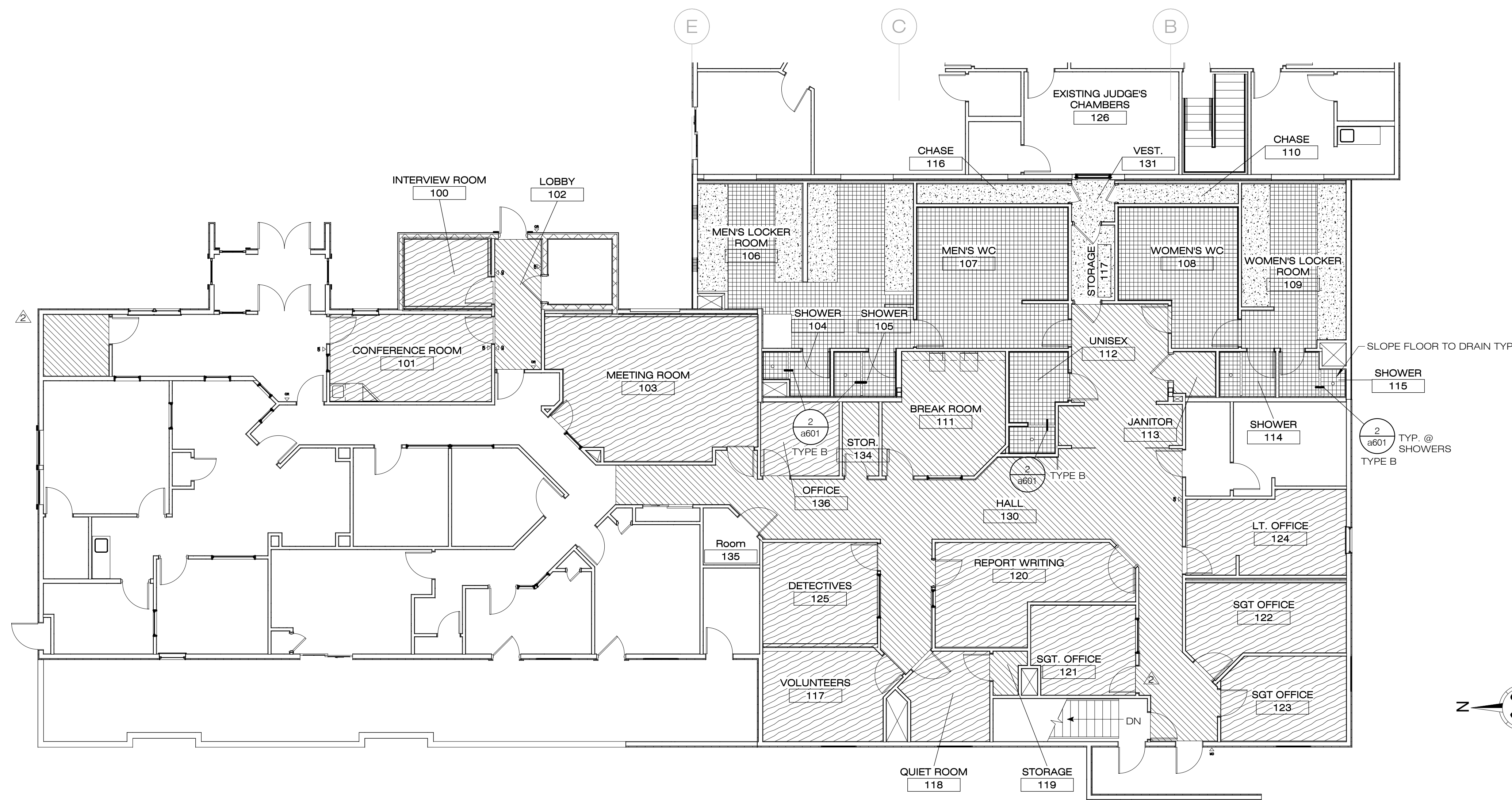
WT	Glazed Ceramic Wall Tile Full Hgt. of Wall
PM	Painted Masonry
GWB	Gypsum Board - Painted
FCP	Fiber Cement Panel

GENERAL NOTES

- 1 See Interior Elevations for more detailed information
- 2 See Reflected Ceiling Plans for more detailed information
- 3 See Floor Finish Plans for more detailed information
- 4 Provide Fire Resistant Type "X" Gypsum Board at Rated Assemblies
- 5 Provide Water Resistant "WR" type Gypsum Board at Wet locations
- 6 Fire-Treated Plywood to be applied on top of materials indicated in Partition Types.
- 7 See Floor Finish Plans for additional wall base information.
- 8 All Ceramic Tile Corners shall be installed with Schluter Rondex Corner Trims.
- 9 All existing exposed painted surfaces impacted by construction shall receive new paint to match existing or as indicated in the drawings.

NOTICE OF EXTENDED PAYMENT PROVISION

(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



1 FIRST FLOOR PLAN - ROOM FINISH
1/8" = 1'-0"

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

Symbol	Revisions	Date	Appr.	Designed by:	Date:
1	AHJ REVIEW	16 July 2021		JL	08/31/2021
2	AHJ 2nd REVIEW	16 Aug 2021		RGH	1/8" = 1'-0"
				Checked by:	Project Code:
				JL	GLA PROJECT NO. 19107



gabor lorant architects
3326 n. 3rd avenue suite 200
phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
gaborlorant.com

**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

PD Renovation & Expan.
Sedona Project No. PD-03
ROOM FINISH SCHEDULE

SHEET ID
a700

SHEET NO.
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