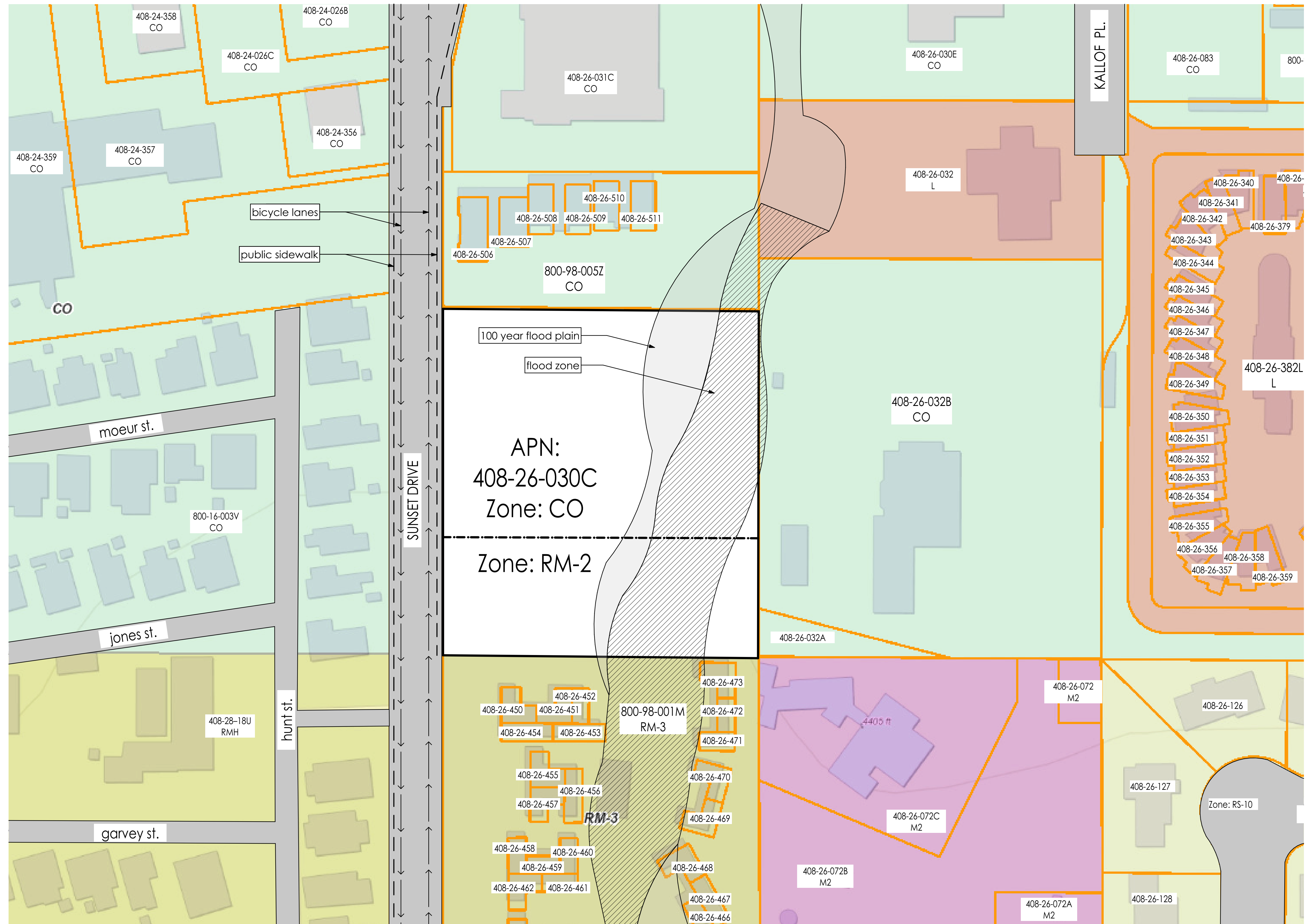




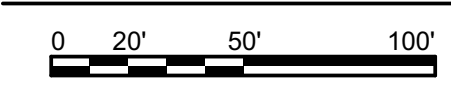
SITE PLAN CODE DATA		SEDONA, ARIZONA	
<b>SITE INFORMATION:</b> 220 S. SUNSET DRIVE SEDONA, AZ 86336 PARCEL #: 408-26-030C Existing Site Zoning: CO & RM-2			
<b>BUILDING/LOT REQUIREMENTS</b>			
TOTAL LOT AREA (sq.ft.):		108,900	
TOTAL LOT AREA (AC):		2.5	
<b>Density:</b>			
CO - COMMERCIAL	Max units per Acre:	20	
	Total Max Units:	50	
	PROVIDED Total Units:	46	
<b>BUILDING HEIGHT:</b>			
https://sedona.municipal.codes/SLD/C/2.24.E	Maximum Overall Building Height:	22'-0" above highest point of natural grade	
	Allowed # of Stories:	based off height restriction	
<b>BUILDING SETBACKS:</b>			
Setback Requirement (CO): https://sedona.municipal.codes/SLDC/2.10.B			
Front:	10'-0"		
Side:	0'-0"		
Rear:	0'-0"		
Any setback abutting against a residential zoning district:	20'-0"		
<b>MAX Building Lot Coverage:</b>			
https://sedona.municipal.codes/SLD/C/2.10.B	CO Commercial	Max Building Lot Coverage (%):	60%
		Max Building Lot Coverage Area (sq ft):	65,340
		Provided:	
		Building 1 (sq ft):	7,971
		Building 2 (sq ft):	8,119
		Building 3 (sq ft):	8,735
		Provided Building Coverage (%):	23%
		Provided Building Coverage Area (sq ft):	24,825
<b>Total Lot Coverage:</b>			
https://sedona.municipal.codes/SLDC/2.14.B	CO Commercial	Max Lot Coverage (%):	80%
		Max Lot Coverage Area (sq ft):	87,120
		Provided Total Impervious Lot Coverage (%):	52%
		Provided Total Impervious Lot Coverage Area (sq ft):	44,663
		Open Space Requirement (%):	20%
		Required Area (sq ft):	21,780
		Provided Total Open Space Area (%):	41%
		Provided Area (sq ft):	44,237



PARKING REQUIREMENTS:							
Min. Parking Req's: https://sedona.municipal.codes/SLD/C/5.5.D							
	UNIT AREA (sq. ft.)	SPACES PER UNIT	# OF UNITS	REQ'D SPACES	TOTAL REQ'D	TOTAL PROVIDED	
UNIT A - One Bedroom	600	1.25	20	25			
UNIT B - Two Bedroom	900	1.75	26	45.5			
<b>TOTAL:</b>	<b>35,400</b>		<b>46</b>	<b>20.5</b>	<b>71</b>	<b>62</b>	
Req'd covered spaces =		0.5	46	23	23	23	
<b>Compact Parking Requirements:</b>							
spaces	8'-0" x 18'-0"			7.05	7	7	Z
<b>Motorcycle Parking</b>							
Compact	4'-0" x 6'-0"			2.115	2	3	Z
<b>Bicycle Parking (bike racks)</b>							
1 per 10 vehicle spaces				7.05	7	7	Z
<b>Req'd Accessible Parking:</b>							
(2018 IBC) Table 1106.1							
spaces provided.	51-75				3 accessible required	3	
at least 2% but not less than 1% of each type of space			2%	1.41	2	3	
at least 2% but not less than 1% of each type of space							

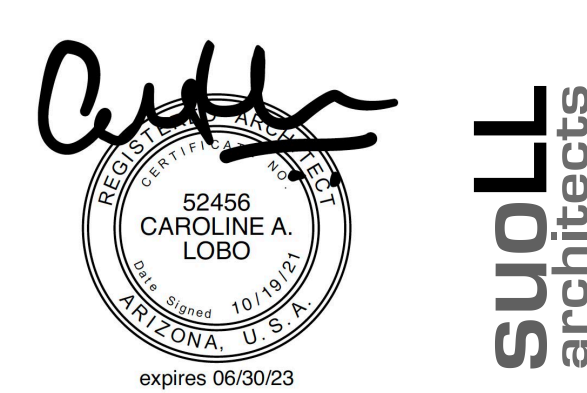
CODE INFO AND CALCULATIONS

CONTEXT PLAN / CIRCULATION PLAN



SUNSET LOFTS, LLC  
15010 N. 78th Way, Suite 109, Scottsdale, AZ 85250

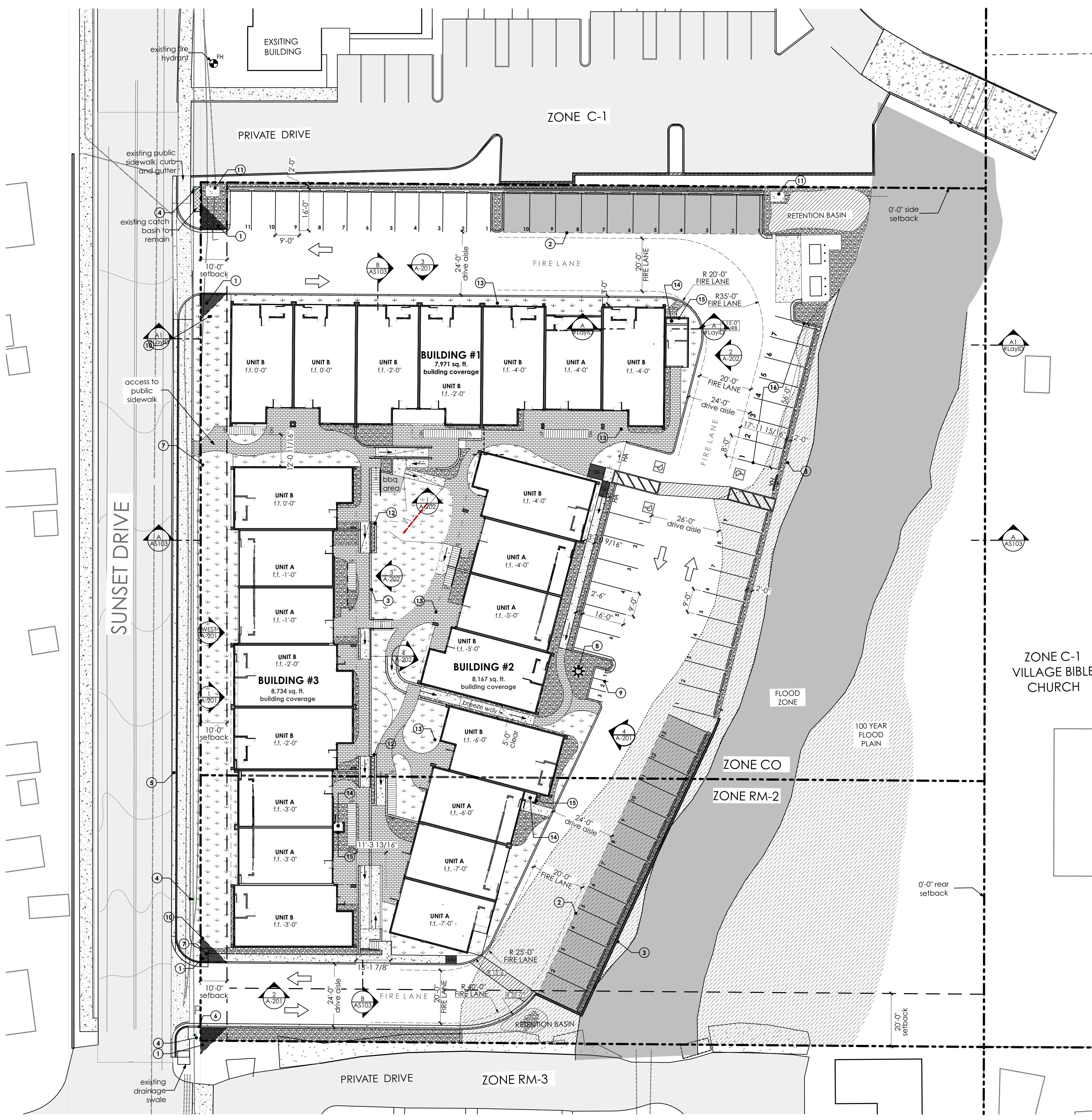
**SEDONA SUNSET**  
220 S. Sunset Drive | SEDONA, AZ 86336



PROJECT NUMBER: 21\_005  
DATE OF ISSUE: 10.18.21

context plan / circulation plan

AS100



SITE PLAN CODE DATA		SEDONA, ARIZONA	
<b>SITE INFORMATION:</b>			
220 S. SUNSET DRIVE SEDONA, AZ 86336 PARCEL #: 408-26-030C Existing Site Zoning: CO & RM-2			
<b>BUILDING/LOT REQUIREMENTS</b>			
TOTAL LOT AREA (sq. ft.):		108,900	
TOTAL LOT AREA (AC):		2.5	
<b>Density:</b>			
CO - COMMERCIAL	Max units per Acre:	20	
	Total Max Units:	50	
	PROVIDED Total Units:	46	
<b>BUILDING HEIGHT:</b>			
<a href="https://sedona.municipal.codes/SLD/C/2.24.E">https://sedona.municipal.codes/SLD/C/2.24.E</a>	Maximum Overall Building Height:	22'-0" above highest point of natural grade	
	Allowed # of Stories:	based off height restriction	
<b>BUILDING SETBACKS:</b>			
<b>Setback Requirement (CO):</b>			
<a href="https://sedona.municipal.codes/SLD/C/2.10.B">https://sedona.municipal.codes/SLD/C/2.10.B</a>			
Front:	10'-0"		
Side:	0'-0"		
Rear:	0'-0"		
Any setback abutting against a residential zoning district: 20'-0"			
<b>MAX Building Lot Coverage:</b>			
<a href="https://sedona.municipal.codes/SLD/C/2.10.B">https://sedona.municipal.codes/SLD/C/2.10.B</a>			
CO Commercial	Max Building Lot Coverage (%):	60%	
	Max Building Lot Coverage Area (sf):	65,340	
<b>Provided:</b>			
	Building 1 (sq ft):	7,971	
	Building 2 (sq ft):	8,119	
	Building 3 (sq ft):	8,735	
	<b>Provided Building Coverage (%):</b>	<b>23%</b>	
	<b>Provided Building Coverage Area (sq. ft.):</b>	<b>24,825</b>	
<b>Total Lot Coverage:</b>			
<a href="https://sedona.municipal.codes/SLD/C/2.10.B">https://sedona.municipal.codes/SLD/C/2.10.B</a>			
CO Commercial	Max Lot Coverage (%):	80%	
	Max Lot Coverage Area (sf):	87,120	
<b>Provided Total Impervious Lot Coverage (%):</b>			
		<b>52%</b>	
<b>Provided Total Impervious Lot Coverage Area (sq. ft.):</b>			
		<b>44,663</b>	
	Open Space Requirement (%):	20%	
	Required Area (sq ft.):	21,780	
	<b>Provided Total Open Space Area (%):</b>	<b>41%</b>	
	<b>Provided Area (sq. ft.):</b>	<b>44,237</b>	

SITE PLAN LEGEND	
	PAVERS
	LANDSCAPE
	PERMEABLE SURFACE / LANDSCAPE
	BROOM FINISH CONCRETE
	FLOOD ZONE
	100 YEAR FLOOD PLAIN
	FIRE LANE SIGN.
	ACCESSIBLE H.C. PARKING SIGN.
	FIRE HYDRANT. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
	PAINTED DIRECTIONAL ARROW ON PAVING.
	FIRE DEPARTMENT CONNECTION.
	REMOTE FIRE DEPARTMENT CONNECTION.
	FIRE DEPARTMENT KEY BOX LOCATION.
	PAINTED CURB
	LIGHT POLE / FIXTURES.
	PROPERTY LINE
	TRASH ENCLOSURE
	TYPICAL PARKING STALL AND PRECAST BUMPER CURB.
	TYPICAL ACCESSIBLE PARKING STALL W/ SYMBOL PAINTED ON PAVING.

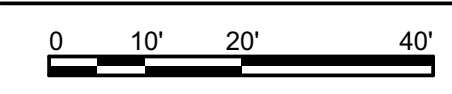
- SITE PLAN GENERAL NOTES:**
- Contractor shall remove all existing vegetation, site improvements, etc. Whether or not specifically indicated on the drawings to facilitate the completion of all required new work. Contractor shall visit the site and verify all quantities and items that are required to be removed prior to submittal of his proposal.
  - Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
  - Finish grade at sidewalks, buildings, etc., as required to provide smooth transition to grade.
  - Construction debris shall be removed from the site on a continuing basis for the duration of construction.
  - Concrete walls shall have expansion joints at a maximum spacing of 20'-0" o.c. And control joints at 5'-0" o.c., unless otherwise noted.
  - Perform all clearing, grubbing and earthwork in accordance with the geotechnical report, unless more restrictive requirements exist.
  - Should slopes of greater than 1'-0" in 20'-0" occur at pavement locations, notify architect immediately.
  - All proposed imported fill material shall be tested by a qualified testing agency to verify that it meets all specification requirements, prior to placing on site.
  - Dimensions are to outside face of stem walls/foundations unless noted otherwise.
  - All areas disturbed by construction, staging, etc. Shall be restored to their original condition by the general contractor. General contractor is responsible for documenting original condition.
  - All sidewalks at building entryways shall be "keyed" into building slab to prevent differential movement.

- SITE PLAN KEYNOTES:**
- Visibility triangle.
  - Covered parking.
  - Retaining wall, provide weep holes throughout wall.
  - Existing light pole to remain.
  - Provide new curb and gutter.
  - Existing utilities enclosed by 6" chain link fence to be relocated, refer civil drawings.
  - Provide new underground drainage pipe to connect to existing swale.
  - Bicycle parking.
  - Motorcycle parking.
  - Potential fire hydrant location.
  - Proposed transformer location on concrete pad.
  - Built-in planter.
  - Roof overhang line.
  - Fire Riser Room
  - Knox Box
  - Compact Parking Only, 8'-0" x 18'-0"

PARKING REQUIREMENTS:						
Min. Parking Req's:						
<a href="https://sedona.municipal.codes/SLD/C/5.5.D">https://sedona.municipal.codes/SLD/C/5.5.D</a>						
	UNIT AREA (sq. ft.)	SPACES PER UNIT	# OF UNITS	REQ'D SPACES	TOTAL REQ'D	TOTAL PROVIDED
UNIT A - One Bedroom	600	1.25	20	25		
UNIT B - Two Bedroom	900	1.75	26	45.5		
<b>TOTAL:</b>	<b>35,400</b>		<b>46</b>	<b>70.5</b>	<b>71</b>	<b>42</b>
	Req'd covered spaces =	0.5	46	23	23	23
<b>Compact Parking Requirements:</b>						
	spaces	8'-0" x 18'-0"		7.05	7	2
<b>Motorcycle Parking</b>						
	Compact	4'-0" x 6'-0"		2.115	2	3
<b>Bicycle Parking (bike racks)</b>						
	1 per 10 vehicle spaces			7.05	7	2
<b>Req'd Accessible Parking:</b>						
(2018 IBC) Table 1106.1						
	spaces provided, 51-75				3 accessible required	3
	at least 2% but not less than 1% of each type of space		2%	1.41	2	3
	at least 2% but not less than 1% of each type of space					

**CODE INFORMATION AND CALCULATIONS**

**CONCEPT SITE PLAN**



NORTH

**SUNSET LOFTS, LLC**  
15010 N. 78th Way, Suite 109, Scottsdale, AZ 85250

**SEDONA SUNSET**  
220 S. Sunset Drive | SEDONA, AZ 86336

*Carly*

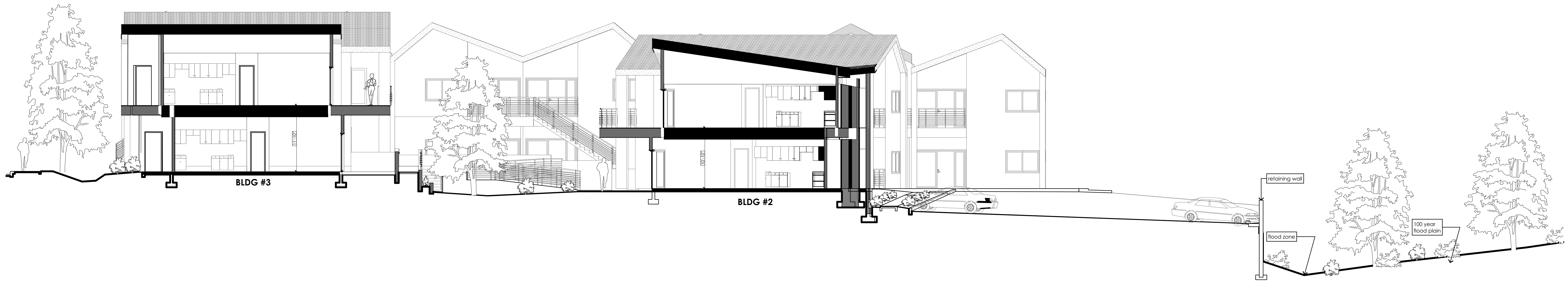
**SUOLL architects**

52456 CAROLINE A. LOBO  
Arizona, U.S.A.  
expire 06/30/23

PROJECT NUMBER: 21\_005  
DATE OF ISSUE: 10.18.21

conceptual site plan

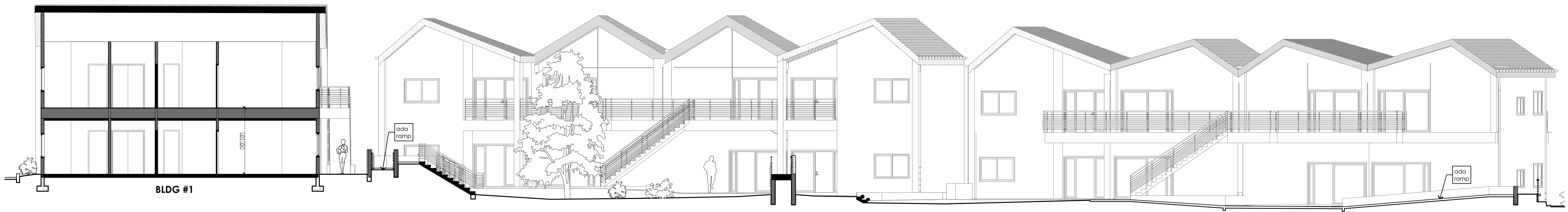
**AS101**



**SECTION**

0 4' 8' 16'

NORTH



**SECTION**

0 4' 8' 16'

NORTH

REVISION NO.

**SUNSET LOFTS, LLC**  
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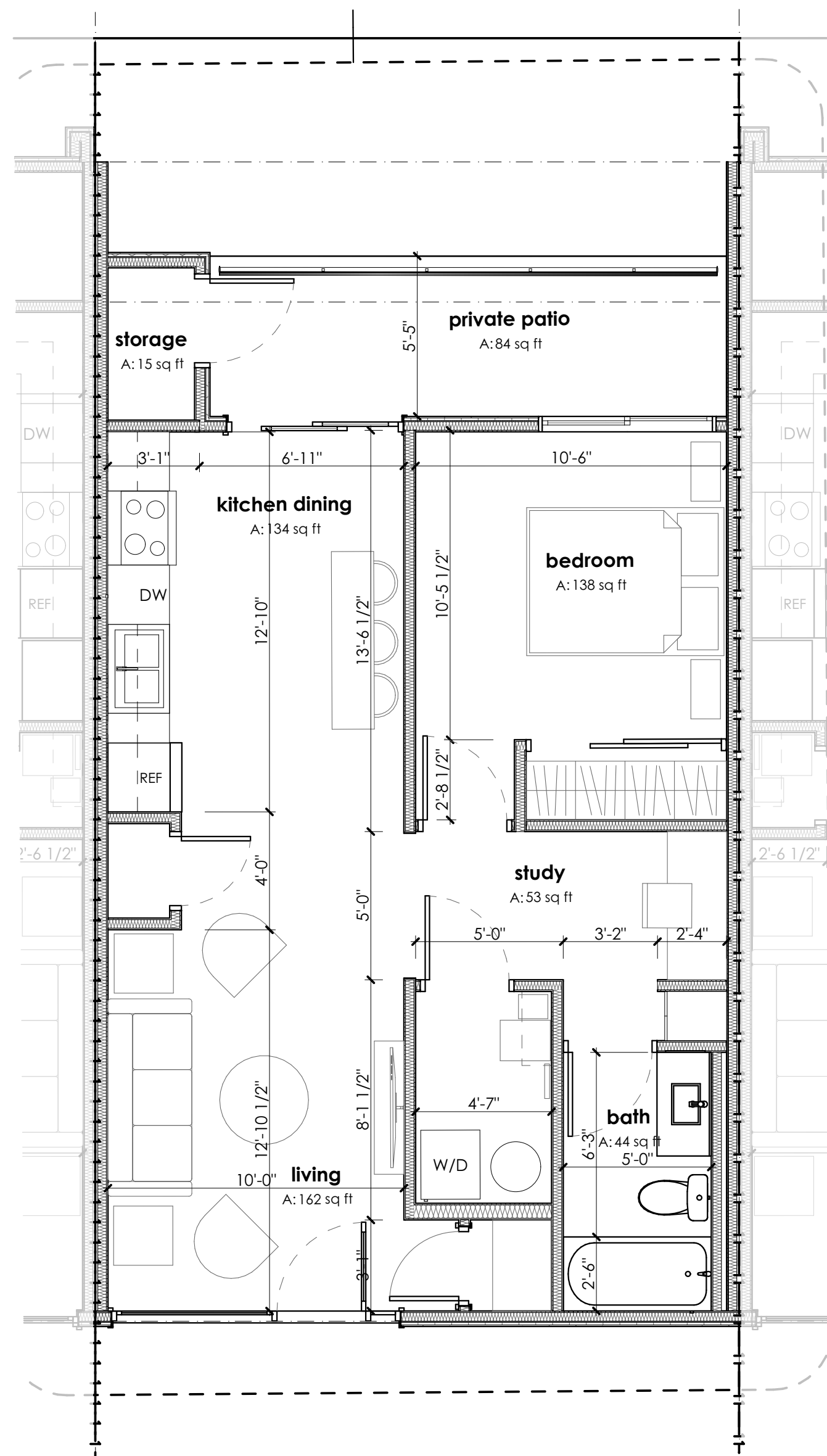
**SEDONA SUNSET**  
220 S. Sunset Drive | SEDONA, AZ 86336



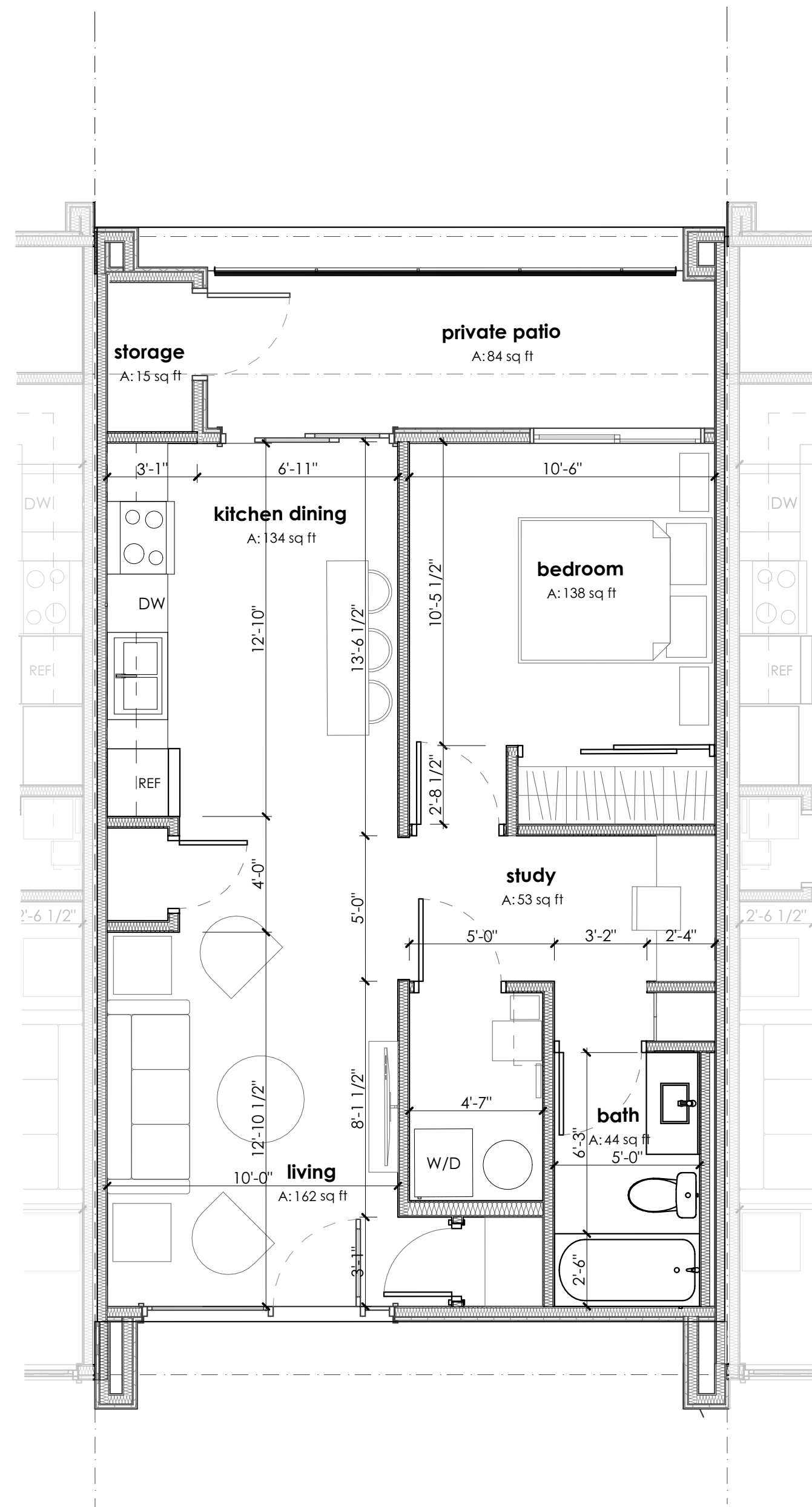
**SUOLL architects**

PROJECT NUMBER 21\_005 DATE OF ISSUE 10.18.21

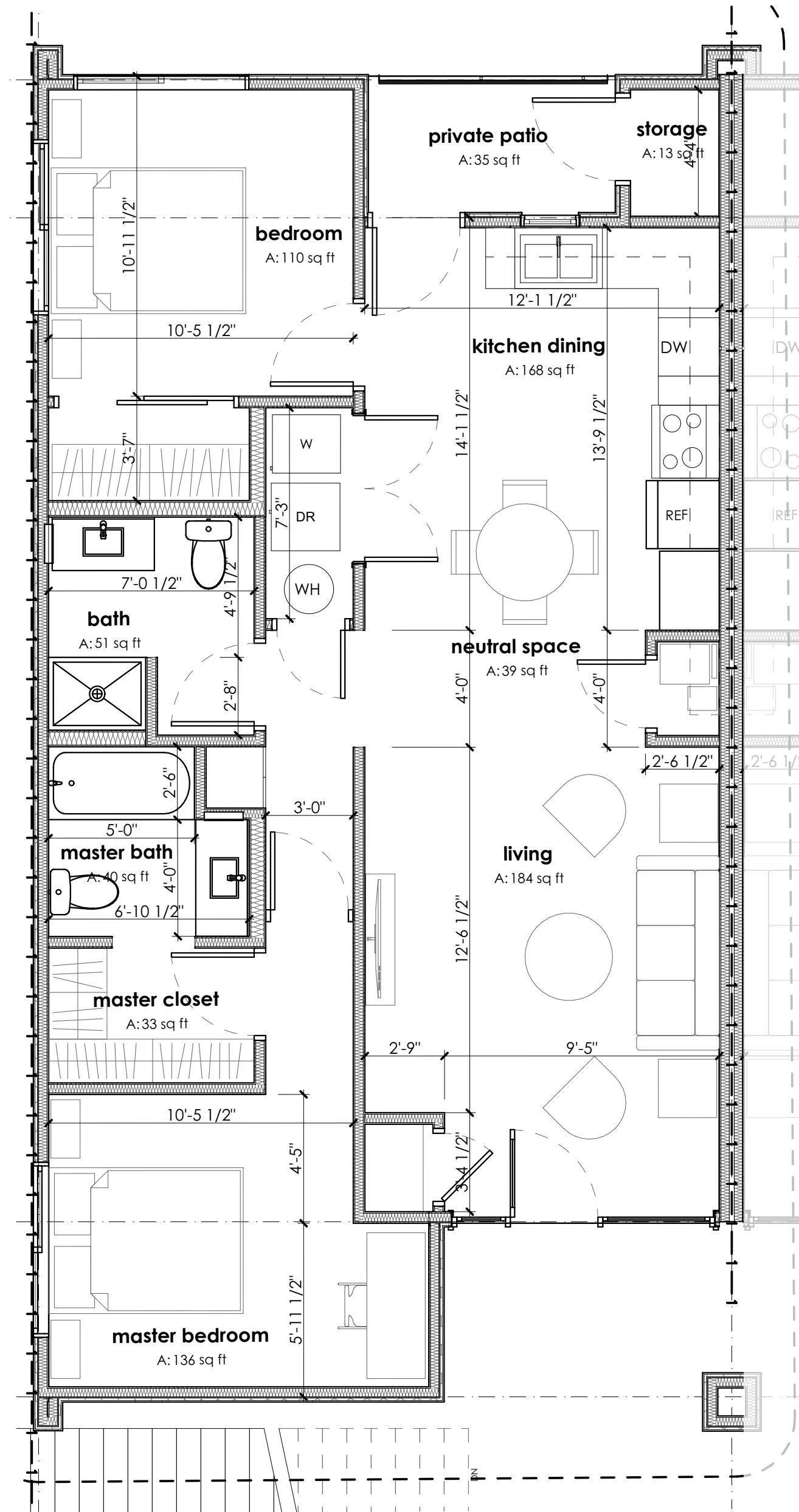
site sections  
**AS103**



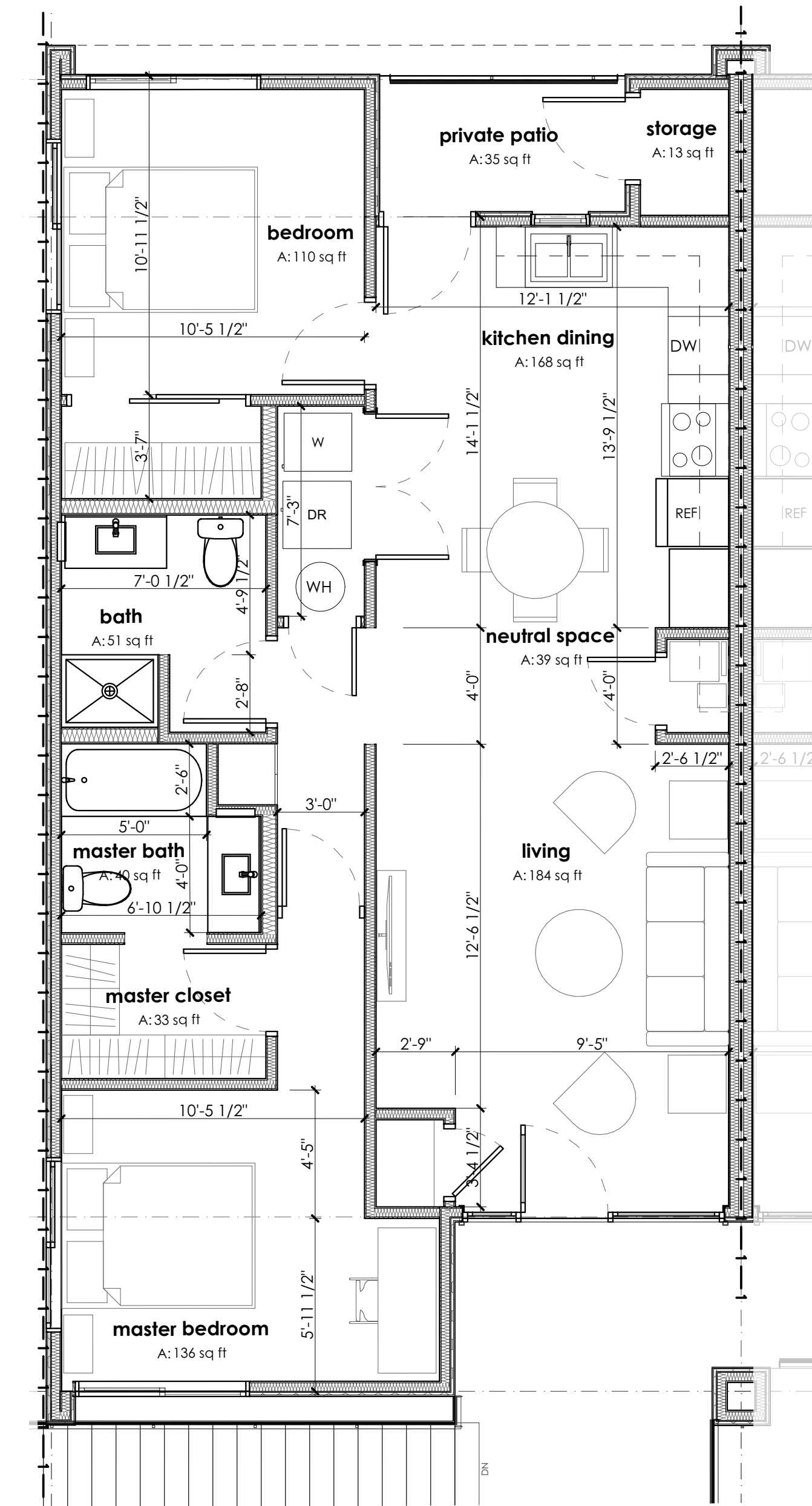
**UNIT A - LEVEL 1**



**UNIT A - LEVEL 2**

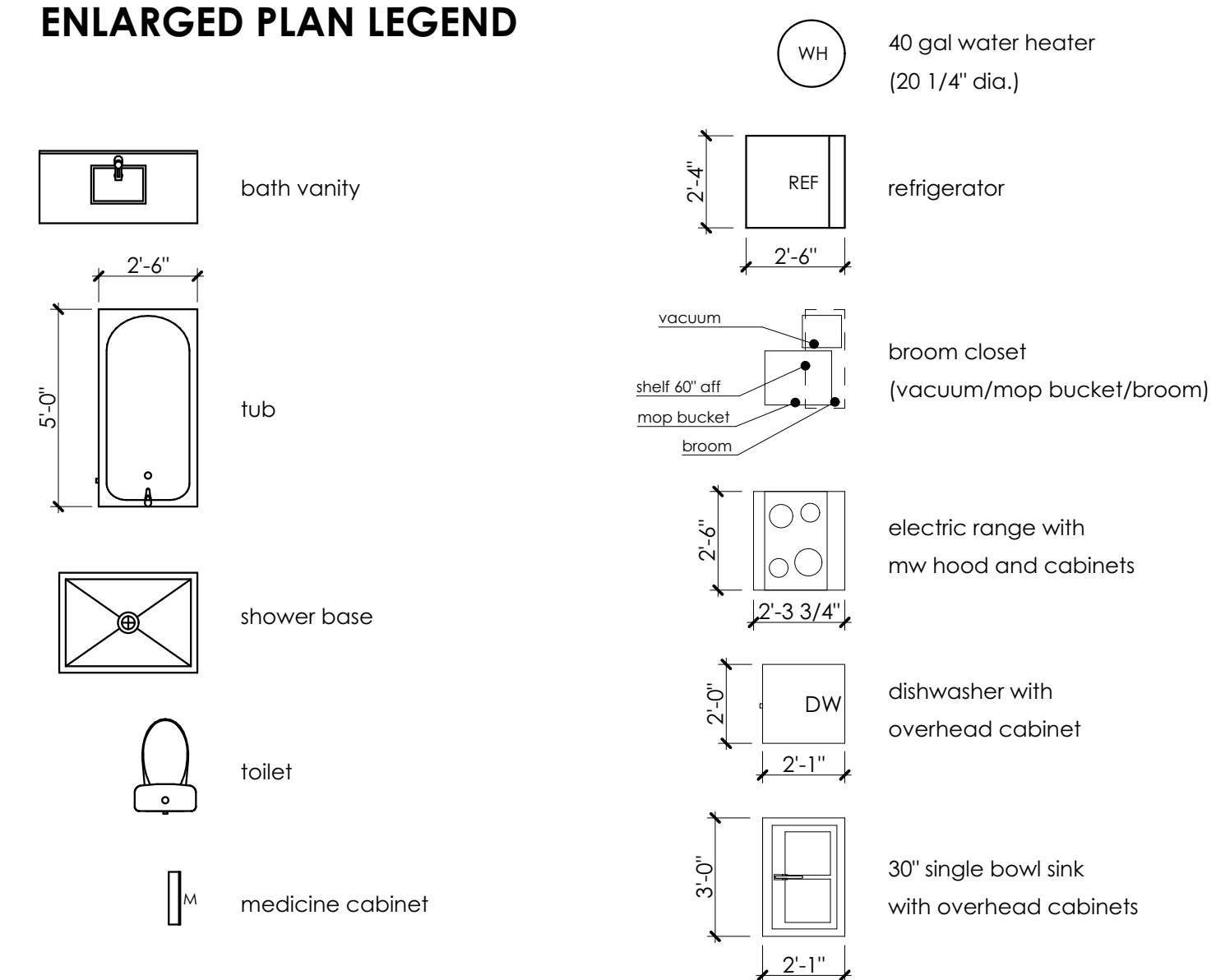


**UNIT B - LEVEL 1**



**UNIT B - LEVEL 2**

**ENLARGED PLAN LEGEND**

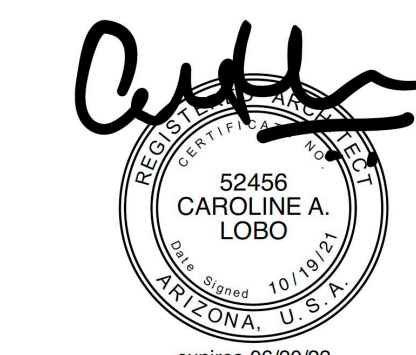


REVISION NO.

**SUNSET LOFTS, LLC**  
15010 N. 78th Way, Suite 109, Scottsdale, AZ 85250

**SEDONA SUNSET**

220 S. Sunset Drive | SEDONA, AZ 86336



**SUOLL architects**

PROJECT NUMBER  
21\_005

DATE OF ISSUE  
10.18.21

unit enlarged plans

**A-101**



**ROOF PLAN GENERAL NOTES:**

- A. Do not begin work without holding a pre roofing conference. Notify architect, roofing, manufacturer, installer, sheet metal subcontractor and other related subcontractors a minimum of 7 days before commencing roofing work.
- B. Roofing supplier, manufacturer and installer shall review all roofing details and advise architect on any recommended changes. Unless notified otherwise, details will be assumed to have been reviewed and approved by all parties.
- C. Provide crickets behind all mechanical equip, curbs, roof hatch curbs, etc.
- D. Minimum slope at all cricket valleys shall be 1/4" per foot. Do not scale plan for cricket dimensions.
- E. All cricket slopes shall be achieved in a manner acceptable to Architect and in accordance with roofing manufacturers requirements.
- F. Provide curbs and flashing at any equipment not provided with premanufactured curbs.
- G. Separate all dissimilar metals with bituminous coatings or other methods acceptable to the Architect.
- H. Flashing details shall be in strict compliance with approved roofing manufacturers standards for application and shall be fabricated in accordance with the latest edition of "Sheet Metal and Air Conditioning Contractors National Association" (SMACNA) technical manual.
- I. All sheet metal scuppers, sleeves, etc., penetrating roofing or parapets to which roofing must attach shall be a minimum of 20 gauge, all soldered construction, with minimum 3" wide flanges.
- J. All scuppers shall be constructed with four full sides, with flanges through the thickness of the wall, forming a complete "sleeve" through the wall.
- K. Provide flashing per roof manufacturer's standard details at all electrical conduit, HVAC lines, etc.
- L. Flashing shall be factory finished where indicated. Galvanized unfinished flashing exposed to view shall be washed, primed, and finished with paint per the specifications.
- M. Provide concrete splash blocks below all scuppers and at all drain leaders that daylight above grade or onto other roof surfaces.
- N. Contractor and all sub-trades shall exercise the necessary care to limit traffic and prevent damage to the roof membrane.

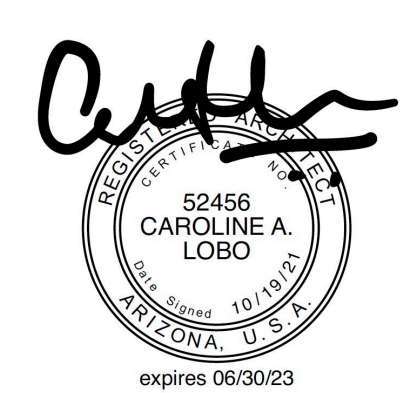
**ROOF PLAN KEYNOTES:**

- 1. Roof Cricket at slope 1/4"=1'-0"
- 2. Roof Gutter
- 3. Downspout
- 4. Top of Roof Ridge

REVISION NO.

**SUNSET LOFTS, LLC**  
 15010 N. 78th Way, Suite 109, Scottsdale, AZ 85250

**SEDONA SUNSET**  
 220 S. Sunset Drive | SEDONA, AZ 86336



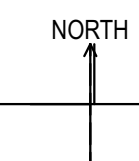
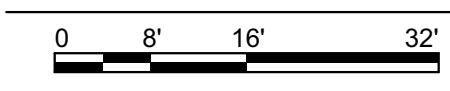
**SUOLL architects**  
 ARCHITECTS

PROJECT NUMBER: 21\_005  
 DATE OF ISSUE: 10.18.21

roof plan

**A-102**

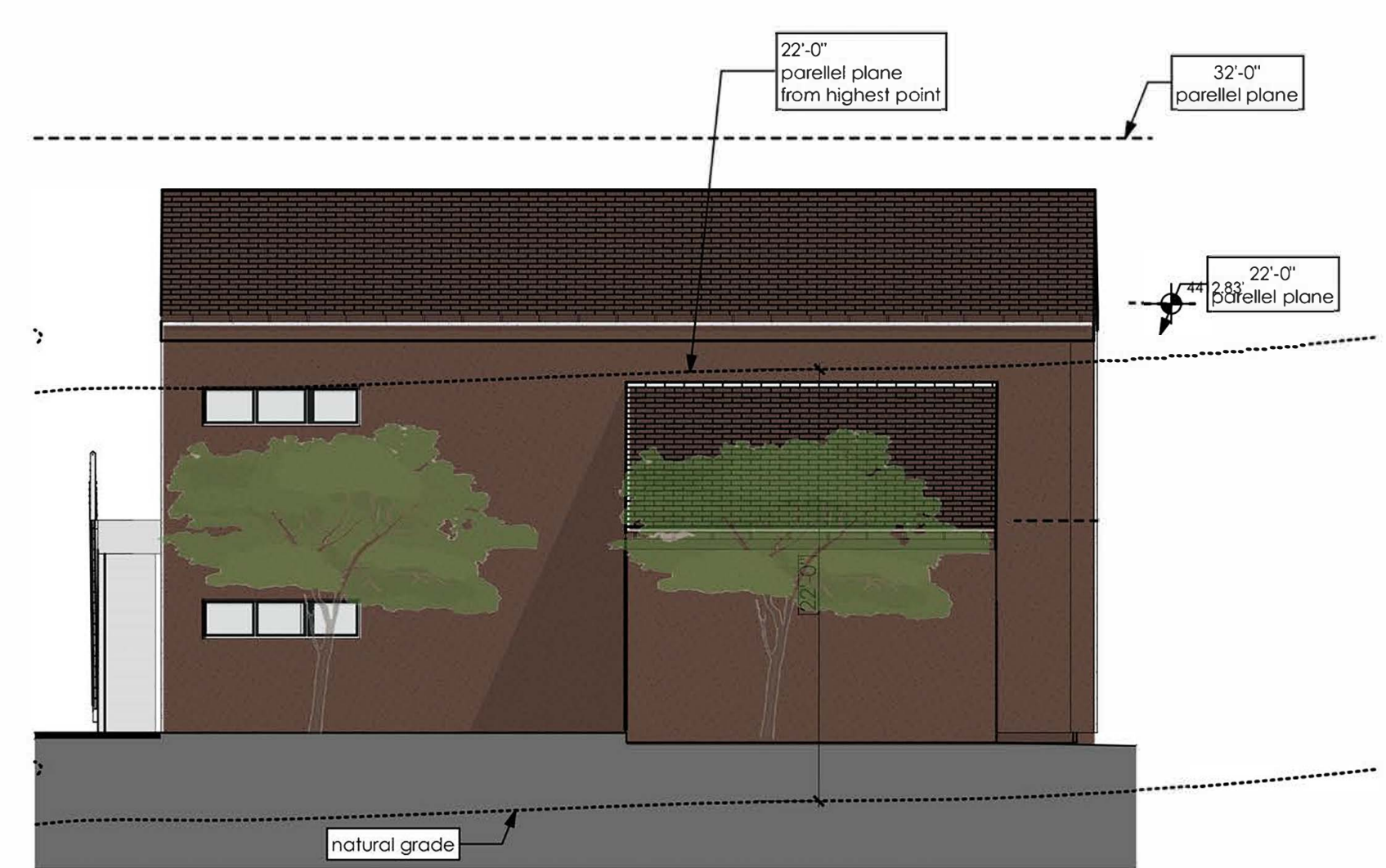
**ROOF PLAN -2**







**1 COURTYARD SOUTH ELEVATION**  
0 4' 8' 16'



**2 EAST ELEVATION BLDG 1**  
0 4' 8' 16'



**3 COURTYARD EAST ELEVATION**  
0 4' 8' 16'



**4 COURTYARD WEST ELEVATION**  
0 4' 8' 16'

SECTION / ELEVATION LEGEND

- PAINTED STUCCO  
DUNN EDWARD - PAINT COLOR  
NORTHERN TERRITORY-DEA15  
LRV 7
- PAINTED STUCCO  
DUNN EDWARD - PAINT COLOR  
SANDPIT- DE6118  
LRV 21
- PAINTED STUCCO  
DUNN EDWARD - PAINT COLOR  
DARK ENGINE - DE6350  
LRV 5
- PAINTED STUCCO  
DUNN EDWARD - PAINT COLOR  
RHINOCEROS - DE6327  
LRV 18
- GAF - TIMBERLINE® HDZ™  
RS SHINGLES  
COLOR- HICKORY
- GAF - TIMBERLINE® HDZ™  
RS SHINGLES  
COLOR- CHARCOAL
- CERTAINTEEED - VINYL SIDING  
MODEL- MONOGRAM  
COLOR- ESPRESSO
- CERTAINTEEED - VINYL SIDING  
MODEL- MONOGRAM  
COLOR- SLATE
- 42" HIGH GUARD RAIL

REVISION NO.

SUNSET LOFTS, LLC  
15010 N. 78th Way, Suite 109, Scottsdale, AZ  
85250

**SEDONA  
SUNSET**  
720 E Sunset Drive | SEDONA, AZ 86336



**SUOLL**  
architects

PROJECT NUMBER: 21\_005  
DATE OF ISSUE: 10.18.21

building elevations

**A-202**





1 AERIAL VIEW



3 ENTRY VIEW



4 VIEW FROM SUNSET DRIVE



2 AERIAL VIEW



5 AERIAL VIEW EAST SIDE

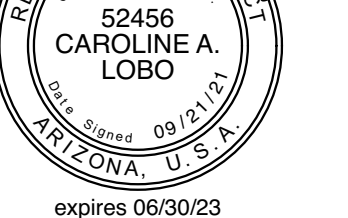
REVISION NO.

SUNSET LOFTS, LLC  
15010 N. 78th Way, Suite 109, Scottsdale, AZ 85250

**SEDONA  
SUNSET**

220 S. Sunset Drive | SEDONA, AZ 86336

*Caroline A. Lobo*



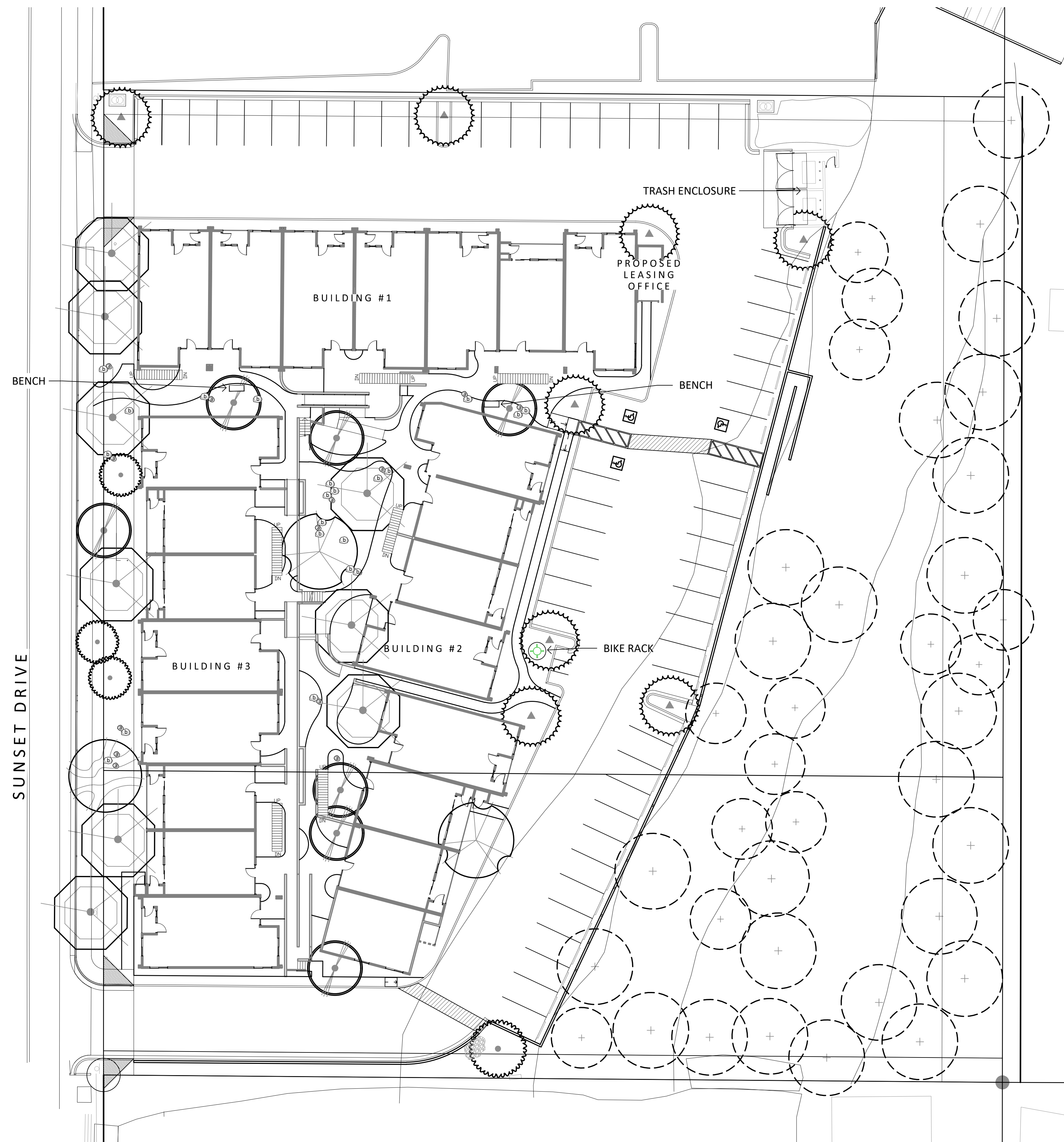
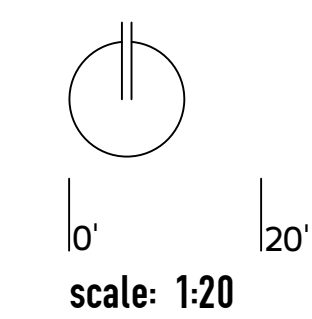
**SUOLL**  
architects

PROJECT NUMBER: 21\_005      DATE OF ISSUE: 09.21.21

renderings

**A-401**

# Sedona Sunset



## PLANT MATERIALS LEGEND

Trees	Size	Quantity
Acer glabrum	24" box	-
Rocky Mountain Maple	24" box	-
Cupressus arizonica var. arizonica	24" box	-
Arizona Cypress	24" box	-
Fraxinus velutina	24" box	-
Velvet Ash	24" box	-
Juniperus depeana	24" box	-
Alligator Juniper	24" box	-
Juniperus monosperma	15 gal.	-
One Seed Juniper	Multi-Trunk	-
Pistacia chinensis 'Sarah's Radiance'	24" box	-
Chinese Pistache	24" box	-
Platanus wrightii	15 gal.	-
Arizona Sycamore	15 gal.	-
Quercus virginiana	24" box	-
'Cathedral' Oak	24" box	-
Existing Tree		

Extra Large Shrubs	Size	Quantity
Arctostaphylos pungens	5 gal.	-
Pointleaf Manzanita	5 gal.	-
Cercocarpus montanus	5 gal.	-
Mountain Mahogany	5 gal.	-
Purshia subintegra	5 gal.	-
Arizona Cliff Rose	5 gal.	-
Quercus turbinella	5 gal.	-
Shrub Live Oak	5 gal.	-

Large Shrubs	Size	Quantity
Larrea tridentata	5 gal.	-
Cresote	5 gal.	-

Medium Shrubs	Size	Quantity
Leucophyllum langmaniae 'Lynn's Legacy'	5 gal.	-
Lynn's Legacy Sage	5 gal.	-
Ephedra viridis	5 gal.	-
Mormon Tea	5 gal.	-
Leucophyllum frutescens 'compacta'	5 gal.	-
Compact Texas Sage	5 gal.	-
Malvastrum drummondii	5 gal.	-
'Big Momma' Turks Cap	5 gal.	-
Phloxia fraseri	5 gal.	-
Red Tip Photinia	5 gal.	-

Small Shrubs	Size	Quantity
Ceratoides lanata	5 gal.	-
Winterfat	5 gal.	-
Hamelia patens 'Sierra Red'	5 gal.	-
Firecracker Bush	5 gal.	-
Salvia greggii	5 gal.	-
Red Salvia	5 gal.	-
Scutellaria suffrutescens	5 gal.	-
Pink Texas Skullcap	5 gal.	-

Groundcovers	Size	Quantity
Juniperus sabina 'Buffalo'	1 gal.	-
Buffalo Juniper	1 gal.	-
Rosemarinus officinalis 'Prostratus'	1 gal.	-
Trailing Rosemary	1 gal.	-

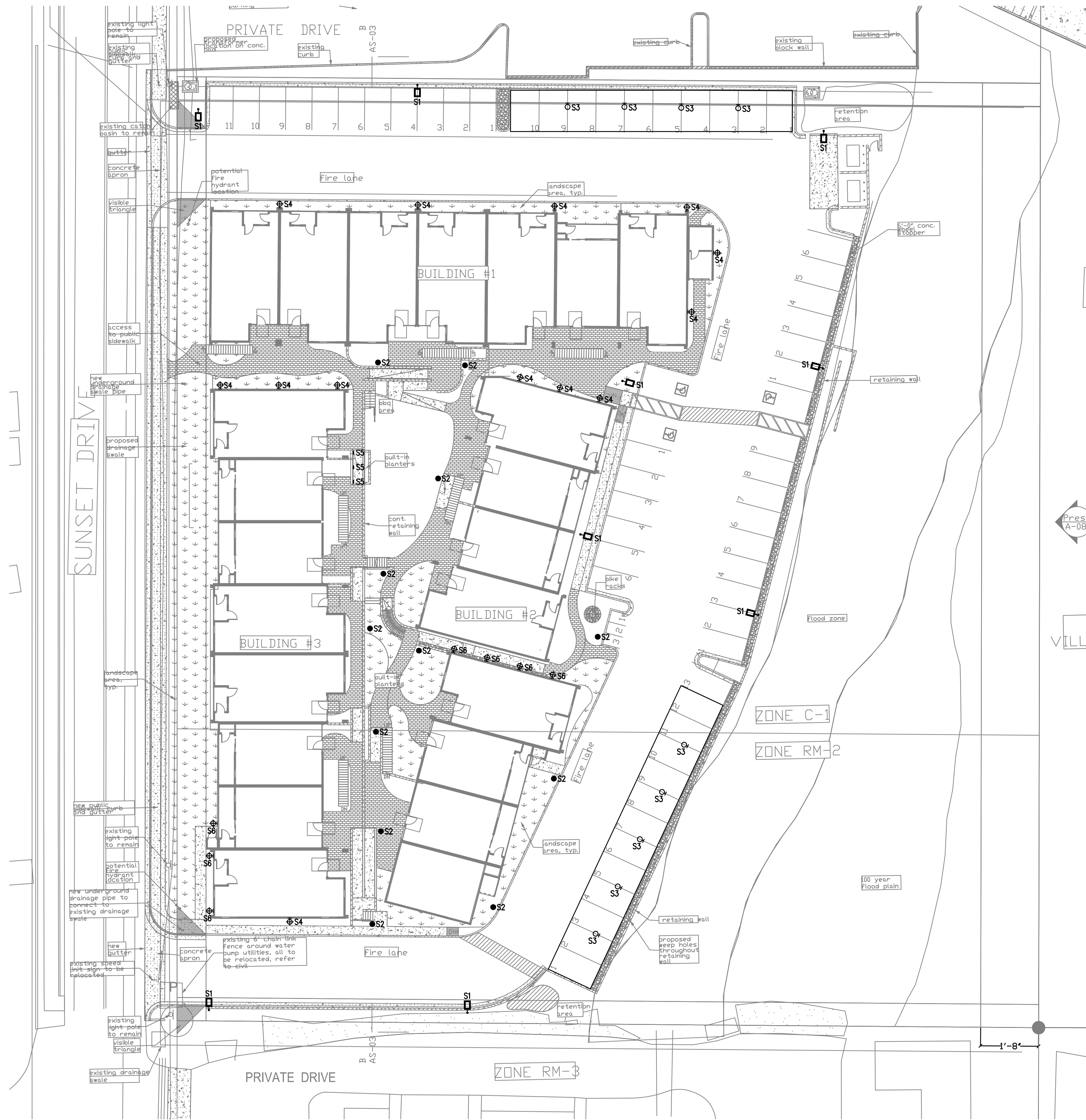
Cacti/ Accents	Size	Quantity
Agave parryi 'truncata'	5 gal.	-
Parry's Agave	5 gal.	-
Dasyliroon wheeleri	5 gal.	-
Desert Spoon	5 gal.	-
Manfreda x 'Silver Leopard'	5 gal.	-
Silver Leopard	5 gal.	-
Muhlenbergia capillaris 'White Cloud'	5 gal.	-
White Awn Muhly	5 gal.	-
Opuntia basilaris	5 gal.	-
Beverly Prickly Pear	5 gal.	-

Other	Size	Quantity
Decomposed Granite 1/2" Screened Apache Red		X s.f.
Rip Rap - Size Per Civil, Color: Apache Red		X s.f.

Boulder Legend	Size	Quantity
1/2 Ton Boulder Sandstone Flatop	2x2x2	-
1 Ton Boulder Sandstone Flatop	3x3x2	-



**ELECTRICAL SITE LIGHTING PLAN**  
1" = 20'-0"

**OUTDOOR LUMENS CALCULATION TABLE**

**Project Name :** SEDONA SUNSET  
**Subject :** Calculations per Town of Sedona Lumen Cap

<b>Lamp Type:</b>	<b>Lamp Type:</b>	<b>Shielding Type:</b>
LPS - Low Pressure Sodium	CFL - Compact Fluorescent	F - Fully Shielded
HPS - High Pressure Sodium	LED - Light Emitting Diode	U - Unshielded
MH - Metal Halide	INC - Incandescent	
CMH - Ceramic Metal Halide	HAL - Halogen	
FL - Linear Fluorescent		

Project Zone ----- II  
Lighting Class ----- 2  
Site Net Acre ----- 2.5

Total Outdoor Lumens Allowed per Site Net Acre ----- 100,000 X 2.50 = 250,000  
Total Outdoor Lumens Allowed for Unshielded Lights ----- 5,500 X 2.50 = 13,750

Fixture Label & Description	Lamp Description Qty	Watts	Type	Initial Lumens & Shielding	Unit Qty	Sub-Total Lumens Shielded	Unshielded	Total Lumens
<b>New Fixture Within the Boundary Limits</b>								
S1 Pole Mtd. Light	1	128	LED	11,725	F 9	105,525		105,525
S2 Post Top Light	1	25	LED	3,000	F 11	33,000		33,000
S3 Carport Light	1	45	LED	4,724	F 9	42,516		42,516
S4 Wall Mtd. Light	1	45	LED	4,724	F 11	51,964		51,964
S5 Step Light	1	3.5	LED	85	F 3	255		255
S6 Wall Cylinder	1	17	LED	2,000	F 7	14,000		14,000
						247,260	0	247,260
								Lumens Used for New Shielded Lights 247,260
								Lumens Used for New Unshielded Lights 0
								Total Lumens Used for New Lights 247,260
								Total Lumens Used / Total Lumens Allowed Ratio for New Lights 99%

**CLASS 2 LIGHTING : GENERAL ILLUMINATION**  
LPS ABOVE 4,050 LUMENS : F  
OTHERS ABOVE 4,050 LUMENS : X\*\*\*  
ALL TYPES BELOW 4,050 LUMENS : F\*\*

d  
L3. : 10 FT OR MORE : 1/10 x LUMEN OUTPUT  
P : MAX 5,500 LUMENS  
A : MAX 5,500 LUMENS  
\*\* : MULTI-FAMILY MAX 2360 LMS OF UNSHIELDED LIGHTS PER UNIT  
\*\*\* : NON-LPS PERMITTED IF FULLY SHIELDED AND LOCATED UNDER AND 5 OR MORE FEET FROM THE NEAREST EDGE.

Rev. Date: Description:  
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**SEDONA SUNSET**  
**220 S. Sunset Drive**  
**SEDONA, AZ. 86336**

**ELECTRICAL SITE LIGHTING PLAN**



**NP ENGINEERING INC.**  
4115 N. 15TH AVE.  
PHOENIX, AZ 85015  
PH: (602) 265-1559 FAX: (602) 265-1605

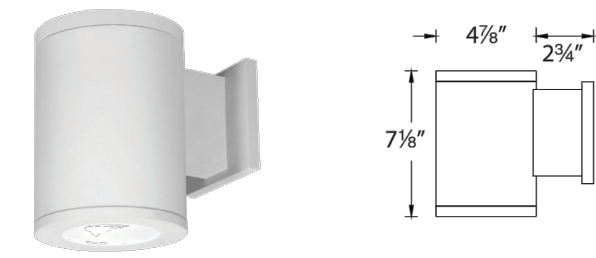
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NP Proj. No: \_\_\_\_\_  
Project Manager: RP  
Drawn by: NPE  
Date: Sept. 2021



**TYPE: S6**

**TUBE ARCHITECTURAL DS-WS05** WAC LIGHTING  
LED Wall Mounts



Fixture Type:

Catalog Number:

Project:

Location:

**PRODUCT DESCRIPTION**

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

**FEATURES**

- High performance exterior rated LED wall mount light
- Fixture can install upside down to alter light distribution
- Solid aluminum construction
- 5 year warranty

**SPECIFICATIONS**

**Input:** Universal voltage 120V - 277VAC, 50/60Hz  
**Dimming:** Electronic low voltage (ELV): 100% - 5%  
 0-10V: 100% - 1%  
**Light Source:** High output 3 Step Mac Adam Ellipse COB  
 Rated life of 60,000 hours at L70  
**Finish:** Electrostatically powder coated, white, black, bronze and graphite  
**Standards:** IP65 rated, ETL & cETL wet location listed, Energy Star® 2.2 rated Title 24 JA8-2016 Compliant  
**Operating Temp:** -13°F to 122°F (-25°C to 50°C)

**ORDERING NUMBER**

Diameter	Watt	Beam Angle	Color Temp	CRI	Reference Lumen	Output CBCP	Efficacy (lm/w)	Light Distribution	Finish	
DS-WS05	5"	Straight up or down	9275	2700K	90	1825	10050	73		BK Black WT White BR Bronze GH Graphite
			275	2700K	85	2190	12057	88		
			9305	3000K	90	1895	10427	76		
		305	3000K	85	2300	12644	92			
		355	3500K	85	2350	12937	94			
		405	4000K	85	2375	13062	95			
	5"	Straight up or down	9275	2700K	90	1810	9280	72		BK Black WT White BR Bronze GH Graphite
			275	2700K	85	2170	6335	87		
			9305	3000K	90	1880	5478	75		
		305	3000K	85	2275	6643	91			
		355	3500K	85	2330	6797	93			
		405	4000K	85	2350	6863	94			
DS-WS0517	5"	Straight up or down	9275	2700K	90	1900	4515	76		BK Black WT White BR Bronze GH Graphite
			275	2700K	85	2280	5417	91		
			9305	3000K	90	1970	4685	79		
		305	3000K	85	2390	5681	96			
		355	3500K	85	2445	5812	98			
		405	4000K	85	2470	5870	99			
	5"	Away from the wall	927A	2700K	90	2000	80		BK Black WT White BR Bronze GH Graphite	
			27A	2700K	85	2400	96			
			930A	3000K	90	2075	83			
		30A	3000K	85	2520	101				
		35A	3500K	85	2575	103				
		40A	4000K	85	2600	104				
5"	Towards the wall	927B	2700K	90	2000	80		BK Black WT White BR Bronze GH Graphite		
		27B	2700K	85	2400	96				
		930B	3000K	90	2075	83				
	30B	3000K	85	2520	101					
	35B	3500K	85	2575	103					
	40B	4000K	85	2600	104					

**DS-WS05** - Reference output shows 25W output. Multiply by 0.7 to determine output for 17W combinations.

Example: DS-WS05-F930A-WT

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585	Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050	Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122	Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760
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WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. SEPT 2019

**Model: WL-LED101**  
LEDme® Step Light

**WAC LIGHTING**  
Responsible Lighting®

**TYPE: S5**



Fixture Type:

Catalog Number:

Project:

Location:

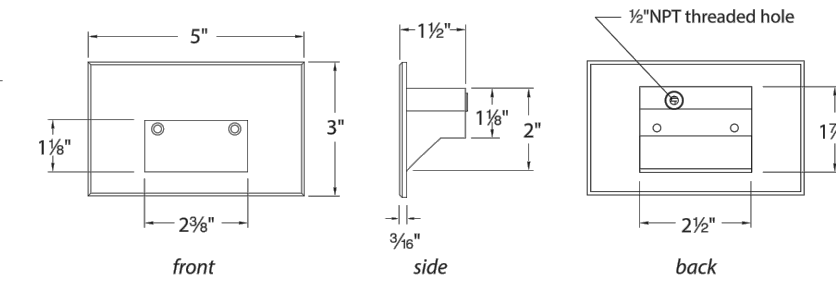
**PRODUCT DESCRIPTION**

Horizontal rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to restrain a wide range of bacteria, coliform, mold, fungus, algae, and yeast. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building penimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

**FEATURES**

- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty



**SPECIFICATIONS**

**Construction:** Die-cast aluminum  
**Power:** Direct wiring, no remote driver needed.  
**Input:** 120V 50/60Hz (277V special order/3000K Amber (AM)  
**Light Source:** HV-AC High Power LED, CRI: 90  
 Optional color lenses. Total power consumption of 3.5W  
**Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3" L x 2" W x 2" H  
 Includes bracket for J-Box mount.  
**Dimming:** Dim to 10% with ELV dimmer (120V only).  
 Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Metri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600  
**Standards:** IP66, UL & cUL Listed for wet locations, Title 24 Compliant (120V only)

**ORDER NUMBER**

Model #	Light Color	Finish
WL-LED101	27 2700K 30 3000K AM Amber (610nm)	WT White

Example: WL-LED101-27-WT  
 For 277V, add "F" before CCT: WL-LED101F-30-WT

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585	Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050	Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122	Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760
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Rev. Date: Description:



**SEDONA SUNSET**  
220 S. Sunset Drive  
SEDONA, AZ. 86336

**ELECTRICAL SITE LIGHTING CUTSHEETS**



**NP ENGINEERING INC.**  
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PHOENIX, AZ 85015  
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NP Proj. No: \_\_\_\_\_  
 Project Manager: RP  
 Drawn by: NPE  
 Date: Sept. 2021

**E3**