



6859 E Rembrandt Ave #124  
Mesa, Arizona 85212

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October 20, 2021  
City of Sedona  
Public Works Department  
102 Roadrunner Drive  
Sedona, AZ 86336

**Project: Navajo Lofts, PZ21-00007**

**Re: Plan Review Comment Responses – 2<sup>nd</sup> Review**

**Engineering Comments**

1. See response by Kontecture
2. Driveway has been revised to improve approach angle.
3. Sewer Report
  - a. Fixed erroneous reference to Town of Queen Creek
  - b. Revised sewer taps to 6". The existing taps are not in locations that will work with our design.
  - c. Due to the significant grade change on the site, one sewer tap is not possible
  - d. Revised description of main size on Aria to 8"
4. See response by Kontecture
5. See response by Kontecture
6. A pedestrian access easement is shown on the plan.
7. Drainage:
  - a. Channel has been revised to provide 1' of freeboard.
  - b. Added equalizer pipe.
  - c. We will be proposing a pedestrian bridge over the channel. Specific design to be determined during final design.

**Subject:** Navajo Lofts  
10 Navajo Drive  
**Plan Review APN #** 408-24-536B     **Zoning:** CO  
**Response Date:** 11-15-2021

The following are responses to the planning comments received in September 2021 (PZ21-00007).

**ENGINEERING COMMENTS:**

1. Acknowledged
2. Please see enclosed response by Landcor Consulting
3. Please see enclosed response by Landcor Consulting
4. The required number of accessible parking spaces has been met by providing three (3) ADA spaces throughout the site.
5. Parking space has been removed to allow for a minimum 12' vehicle turnaround.
6. Please see enclosed response by Landcor Consulting
7. Please see enclosed response by Landcor Consulting

**PLANNING COMMENTS:**

- 3b. The LOI has been updated with specific references address under the Development Standards section (pages 4-6).
4. A citizen Participation Plan will be provided per previous conversation between the city and the owner.
5. Sidewalks have been relabeled.
- 6a.ii. Paint color restrictions have been addressed under the Building Height heading in the LOI (page 4). Buildings are noted to be under a height of 24'-0". The elevations (sheets A4.0-A4.4) have been updated with the revised colors and LRV.
- 6b. Contour lines have been darkened on building heights exhibits (sheets A0.5-A0.9).
- 7a. A compliant trim color is provided with an LRV that does not exceed 10 percent more than the primary structure. The elevations (sheets A4.0-A4.4) have been updated with the revised trim color and LRV.
- 8a. The lighting application has been updated.
9. Plants have been labeled adaptive on the plant list (sheet L-1).  
The site data table has been updated per the city's requirements of 1 tree and 3 shrubs per 400 SF of landscape area. Existing to remain in place plants have been accounted for per the breakdown shown (on sheet L-1) per table 5.5.  
The landscape area is shown as a diagonal hatched area for visual reference (sheets L-1 – L-2). The landscape area has been calculated at 38,125 SF.

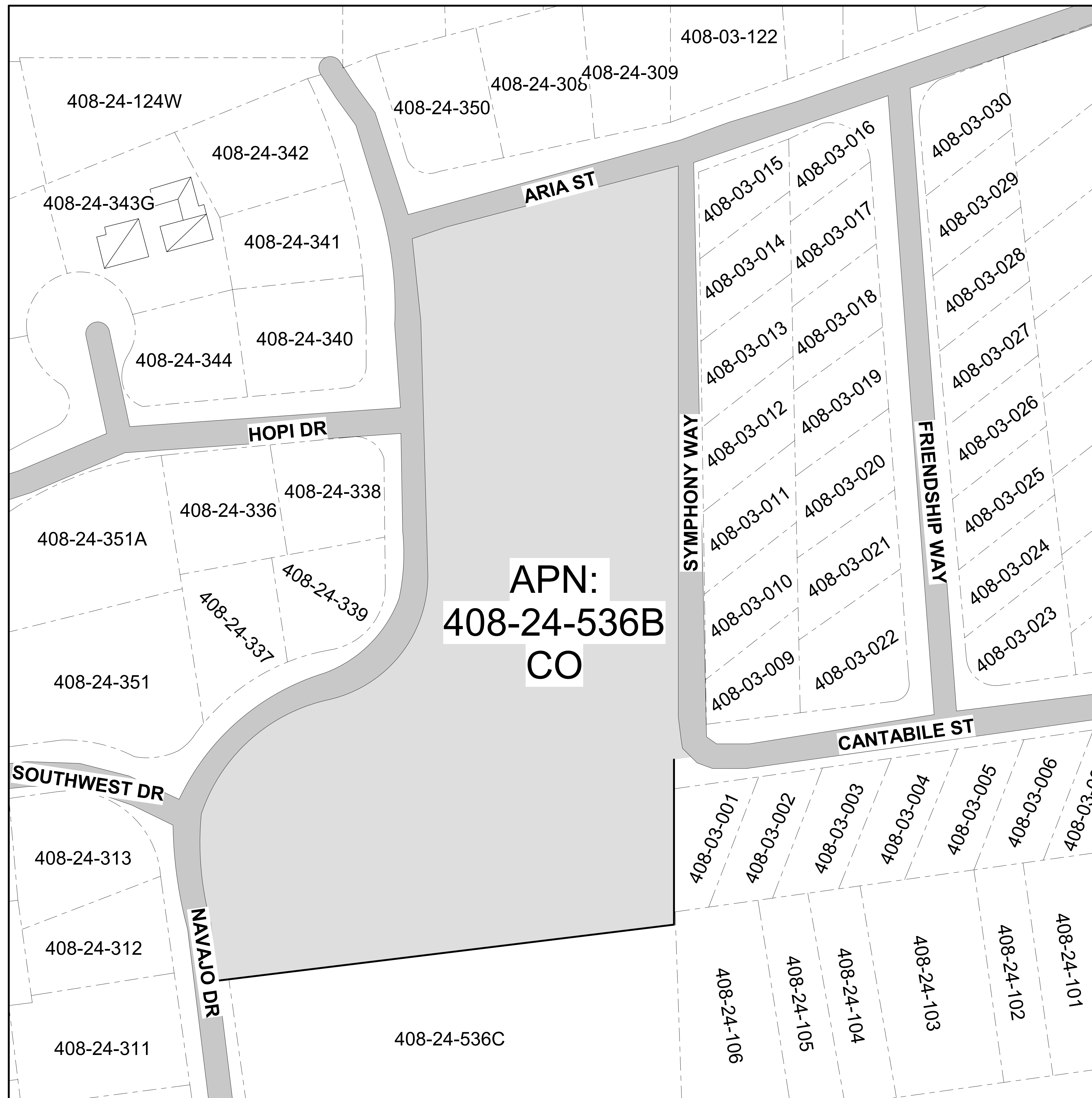
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Please contact me with any questions.

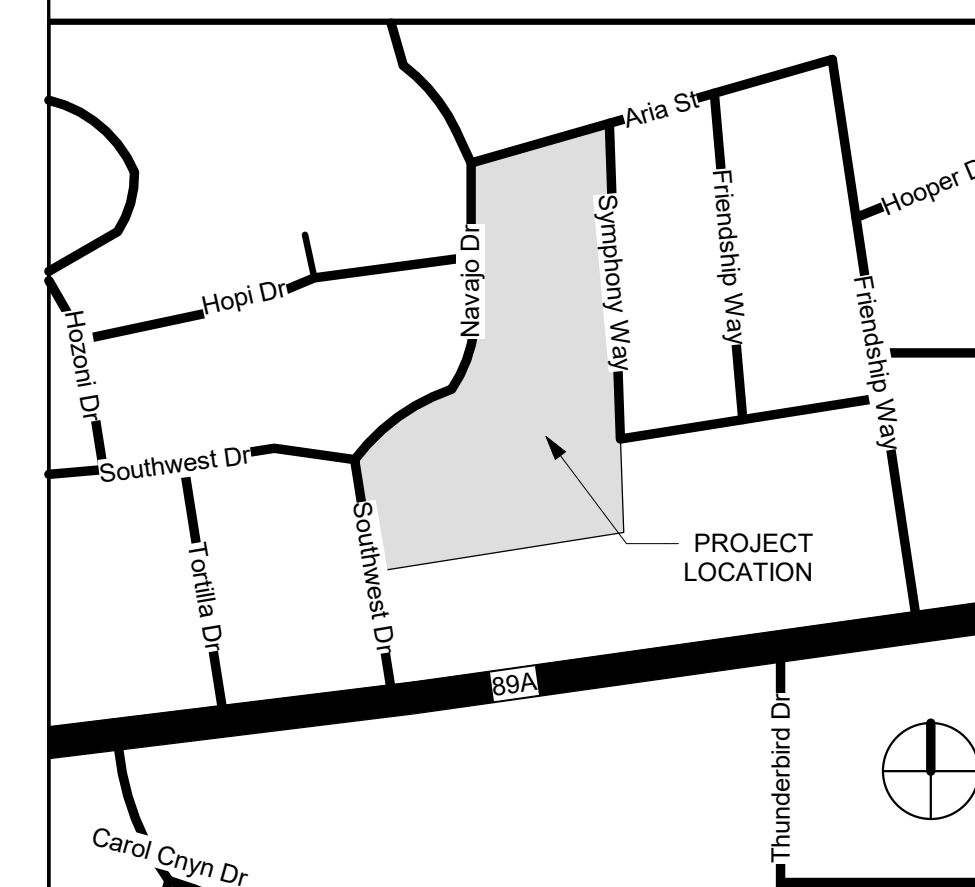
Sincerely,

**Jody Hansen**  
Project Manager  
**KONTEXTURE, LLC**  
3334 N. 20th Street  
Phoenix, AZ 85016  
P. [602.875.6221](tel:602.875.6221)  
D. [602.875.6229](tel:602.875.6229)  
F. [602.875.6239](tel:602.875.6239)  
[www.kontexture.com](http://www.kontexture.com)



2 CONTEXT SITE PLAN  
1" = 50'-0"

**VICINITY MAP**



**PROJECT NARRATIVE**

THE NAVAJO LOFTS PROJECT WILL CONSIST OF THIRTY (30) NEW DUPLEX BUILDINGS PLACED ON THE PROPERTY LOCATED AT 10 NAVAJO DR, SEDONA, ARIZONA 86336. TWO (2) BUILDING TYPES BLDG. OPT. 1 WILL CONSIST OF 2,259 SQ. FT. BUILDING OPT. 2 WILL CONSIST OF 2,285 SQ. FT. EACH UNIT WILL HAVE AN ENCLOSED TWO (2) AND ONE (1) CAR GARAGE AND STORAGE.

**PROJECT INFO**

**PROJECT DESCRIPTION:**  
TWENTY THREE (23) TWO LEVEL MULTI-FAMILY BUILDING DUPLEXES. SEVEN (7) TWO LEVEL MULTI-FAMILY BUILDING DUPLEXES.

**SITE INFORMATION:**

APN:	408-24-536B
ZONING:	
LOT SIZE (NET):	196,163 SQ. FT. = 4.50 AC.
SUBDIVISION	N/A
LOT SALES:	NO

TOTAL SITE: 196,163 SQ.FT. = 4.50 AC.

OPEN SPACE AREA: 38,125 SQ. FT. (OPEN SPC + GUN. CHAN.)  
15,000 SQ. FT. (GUNNITE CHANNEL)  
10,316 SQ. FT. (PRIVATE YARDS)  
48,441/169,163 = 28.6%

NEW LANDSCAPE: 38,125 SQ. FT. = .88 AC.

SQ. FT. UNIT A:	2,009 SQ. FT.
SQ. FT. UNIT B:	2,187 SQ. FT.
SQ. FT. UNIT C:	1,866 SQ. FT.
SQ. FT. UNIT D:	2,115 SQ. FT.

**FOOTPRINT - BLDG A/B:** 2,259 SQ. FT.  
**FOOTPRINT - BLDG C/D:** 2,285 SQ. FT.  
**# OF UNITS:** 60 UNITS  
**# OF BLDGS:** 30 BLDGS

**FLOOR AREA COVERAGE:**

Opt. A/B	2,259 x 7 = 15,813 S.F.
Opt. C/D	2,285 x 23 = 52,555 S.F.
Offices	242 x 2 = 484 S.F.
Gazebo	225 x 1 = 225 S.F.
	69,077 / 196,163 = 40.83%

**APPLICANT/DESIGN PROFESSIONAL:**

KONTEXTURE  
DANIEL ISTRATE  
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PHOENIX, AZ 85016  
T. 602.875.6221  
F. 602.875.6239  
DANIEL.ISTRATE@KONTEXTURE.COM

**OWNER / DEVELOPER:**

IMGC HOLDINGS LLC  
15010 N 78TH WAY STE. 109  
SCOTTSDALE, AZ. 85260

**BUILDING CODES**

International Building Code with Amendments	2018 IBC
International Mechanical Code with Amendments	2018 IMC
National Electrical Code/NFPA-70 with Amendments	2017 NEC
International Plumbing Code with Amendments	2018 IPC
International Energy Code with Amendments	2018 IECC
International Existing Building Code with Amendments	2018 IRC

**PARKING CALCULATIONS**

2 PARKING SPACE PER UNIT: 60 UNITS X 2 = 120  
TOTAL PARKING REQUIRED = 120  
TOTAL PARKING PROVIDED = 131  
TOTAL ADA PARKING REQUIRED = 3  
TOTAL ADA PARKING PROVIDED = 3

**SITE AMENITIES**

- BBQ GRILL AND PICNIC TABLE
- POOL
- DOG PARK
- BYCICLE RACK

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10 NAVAJO DR.  
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SEALS AND SIGNATURES



KEYPLAN

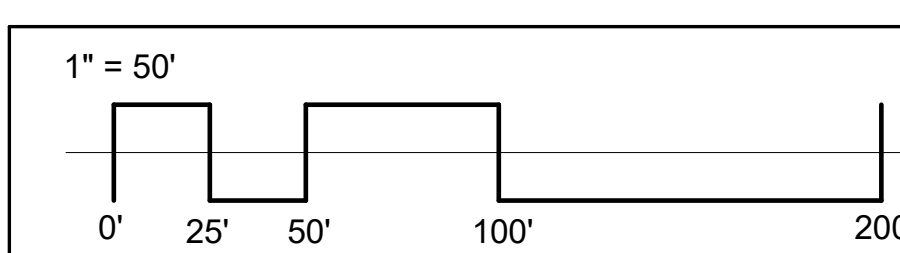
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CONTEXT SITE PLAN

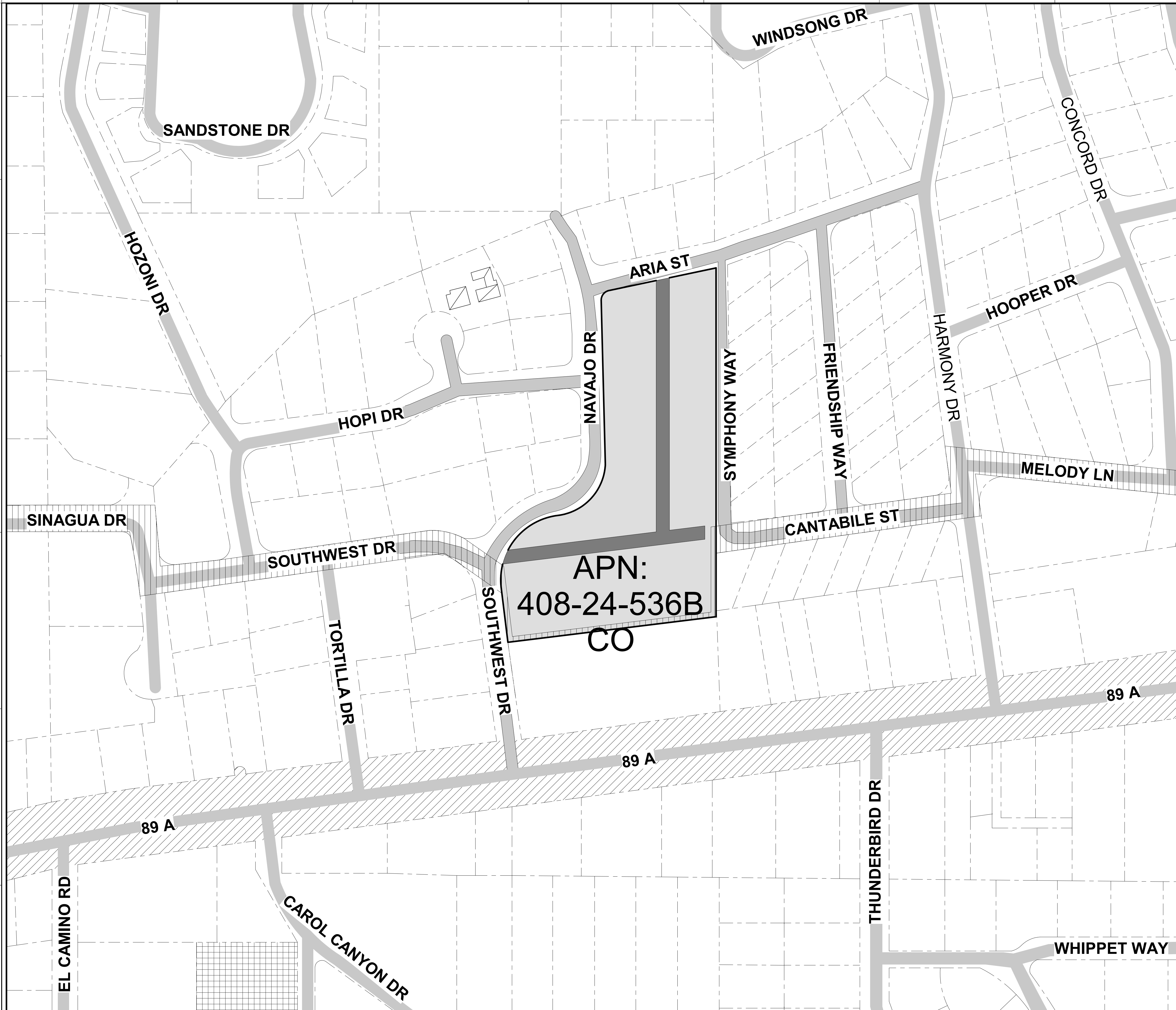
SCALE As indicated

PROJECT NUMBER 20-043

DRAWING NUMBER **A0.1**







SITE LEGEND:	
	PUBLIC STREET
	RIGHT-OF-WAY
	PUBLIC PARKING AREA
	PEDESTRIAN WAY
	PROPOSED BIKEWAY NETWORK
	INTERNAL STREET

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KEYPLAN

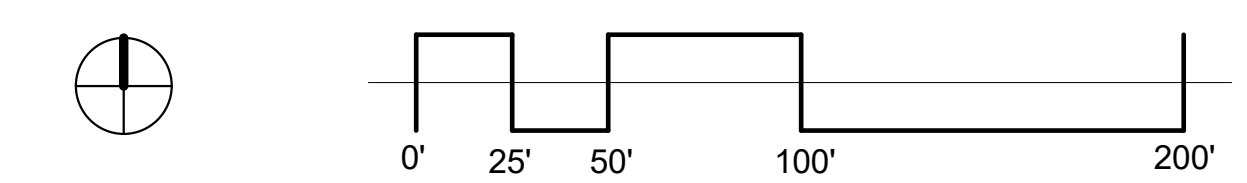
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**CIRCULATION MAP**

SCALE  
 As indicated

PROJECT NUMBER  
**20-043**

DRAWING NUMBER  
**A0.2**

1 CIRCULATION MAP  
 1" = 90'-0"



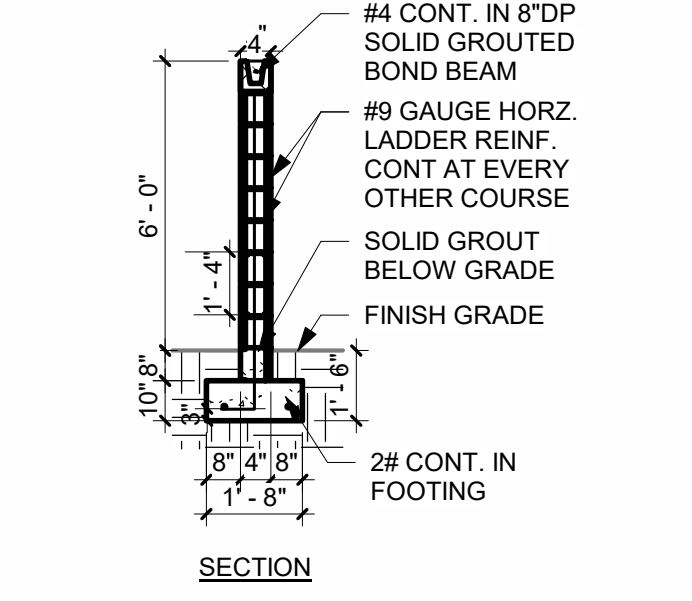
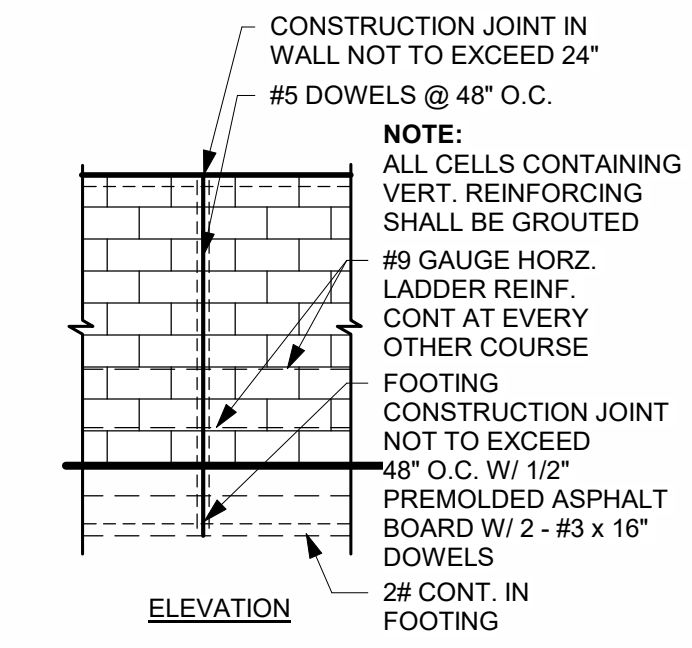


NAVAJO DRIVE

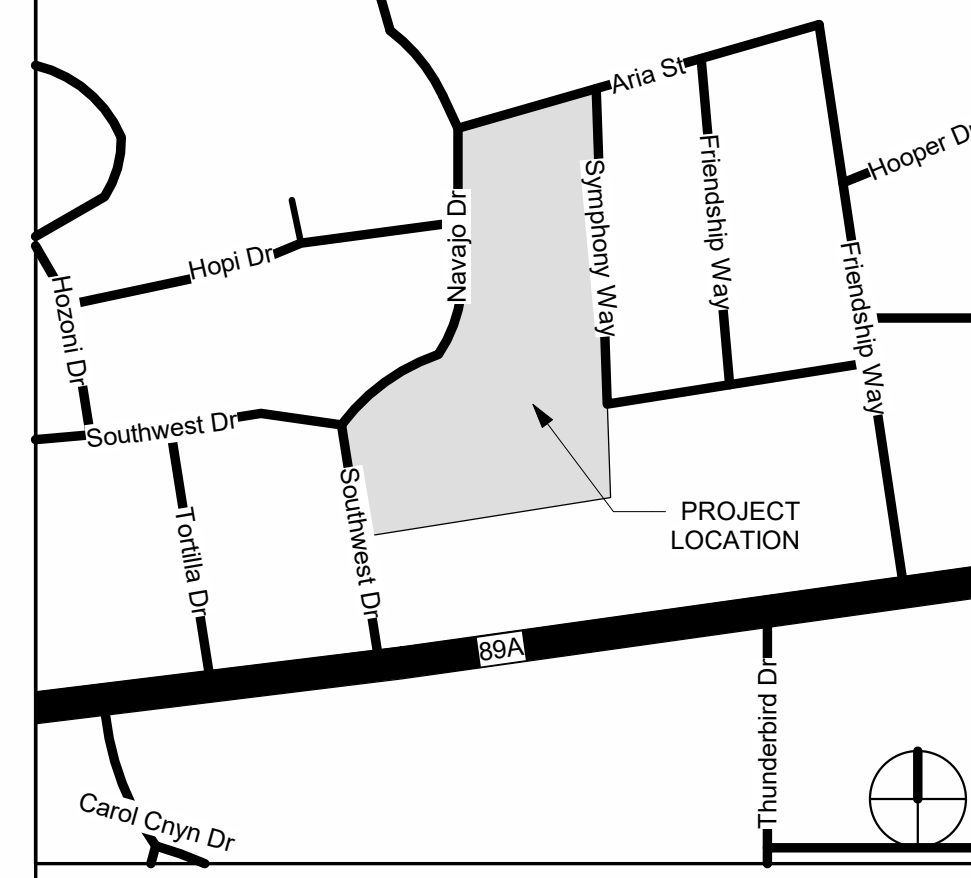
ARIA STREET

1 SITE PLAN - NORTH  
1" = 20'-0"

SCREEN FENCE DETAIL:



VICINITY MAP



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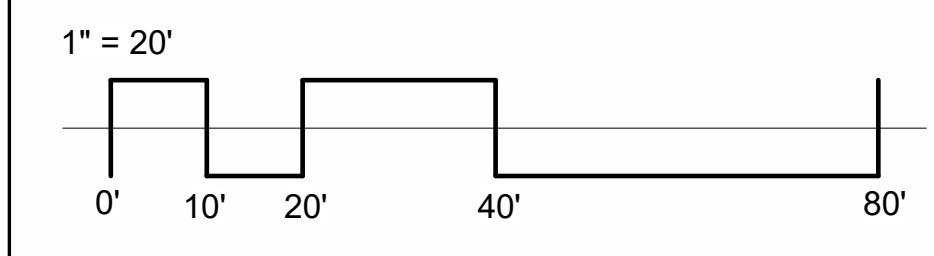
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GRAPHIC SCALE:



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2. POOL
3. DOG PARK
4. BYCICLE RACK

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KEYPLAN

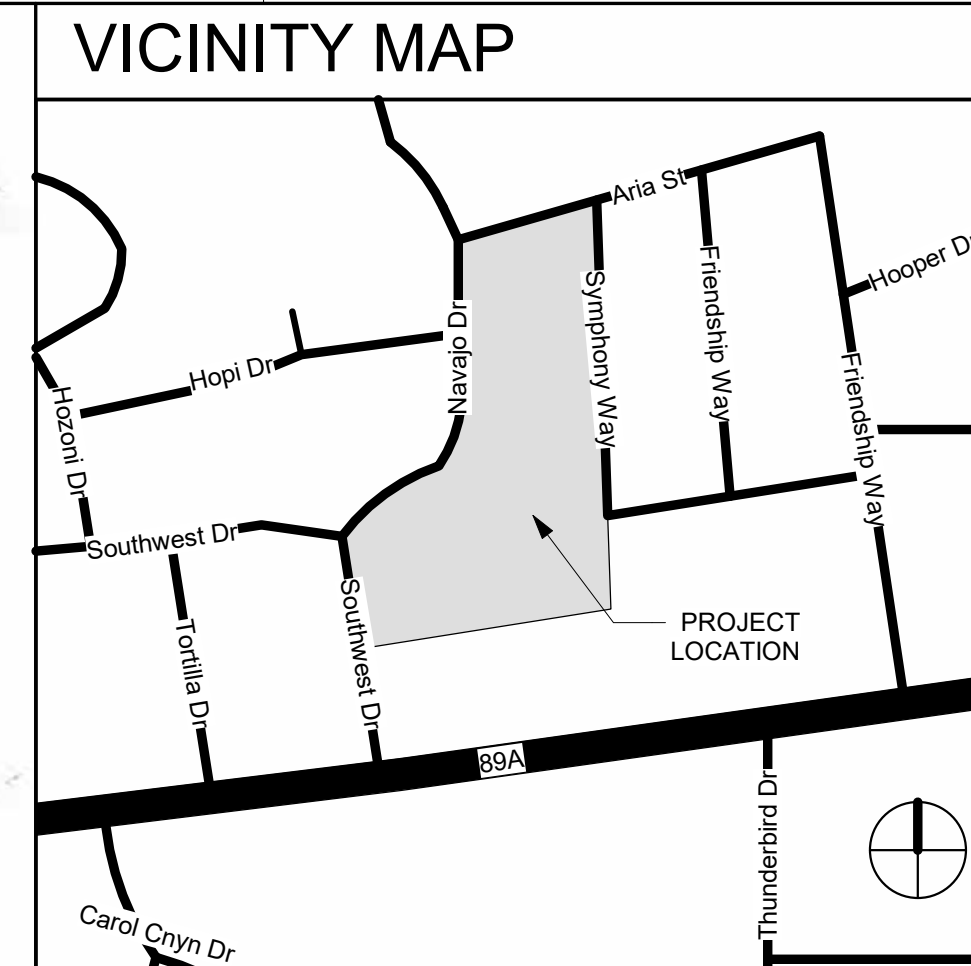
DRAWING TITLE  
SITE PLAN - NORTH

SCALE  
As indicated

PROJECT NUMBER  
20-043

DRAWING NUMBER  
A0.3





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 DANIEL.ISTRATE@KONTEXTURE.COM

**OWNER / DEVELOPER:**  
 IMKC HOLDINGS LLC  
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 SCOTTSDALE, AZ. 85260

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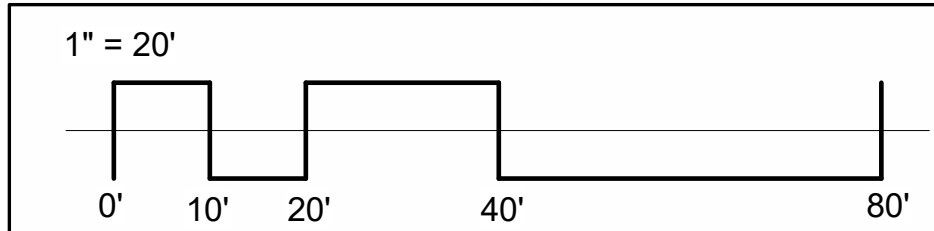
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### SITE AMENITIES

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- POOL
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- BYCICLE RACK

1 SITE PLAN - SOUTH  
 1" = 20'-0"



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KEYPLAN

DRAWING TITLE  
**SITE PLAN - SOUTH**

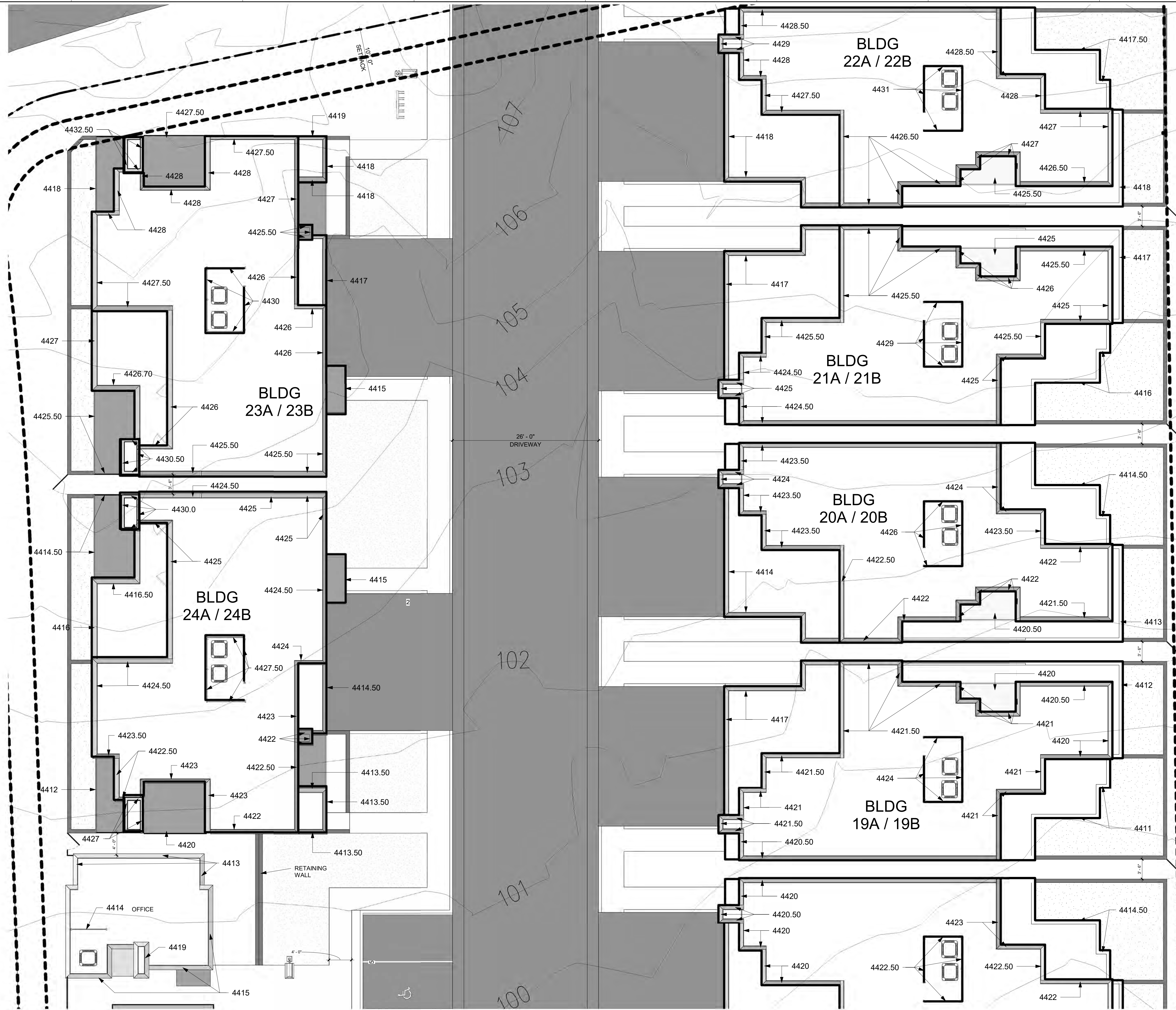
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SCALE

PROJECT NUMBER  
**A0.4**

DRAWING NUMBER





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SEALS AND SIGNATURES



KEYPLAN

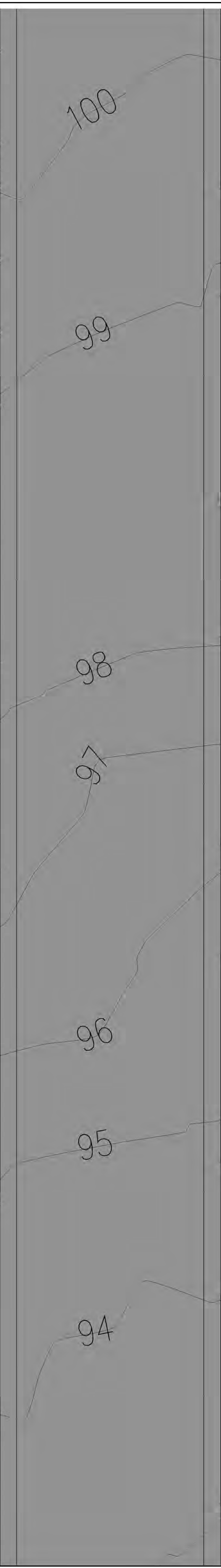
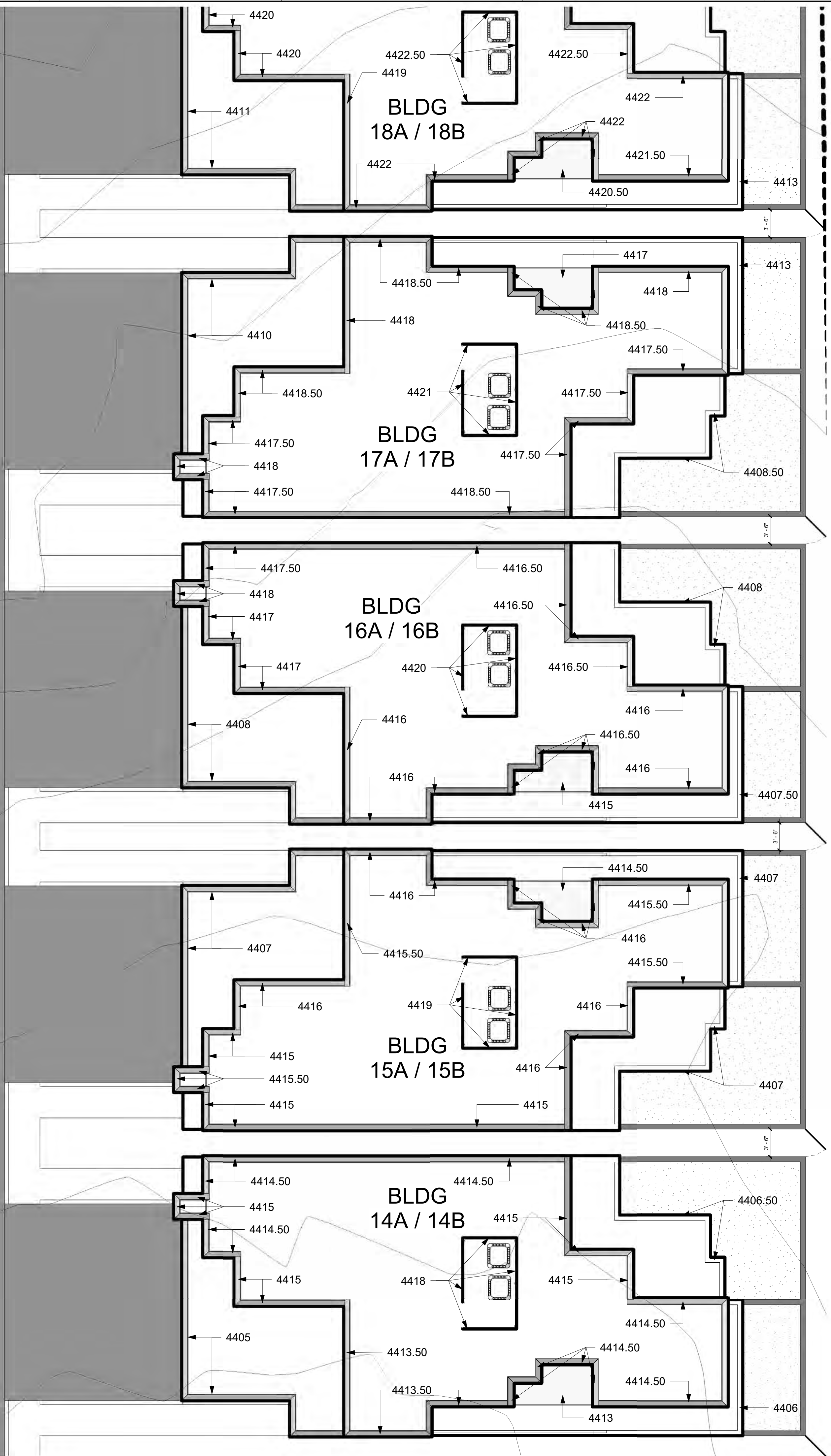
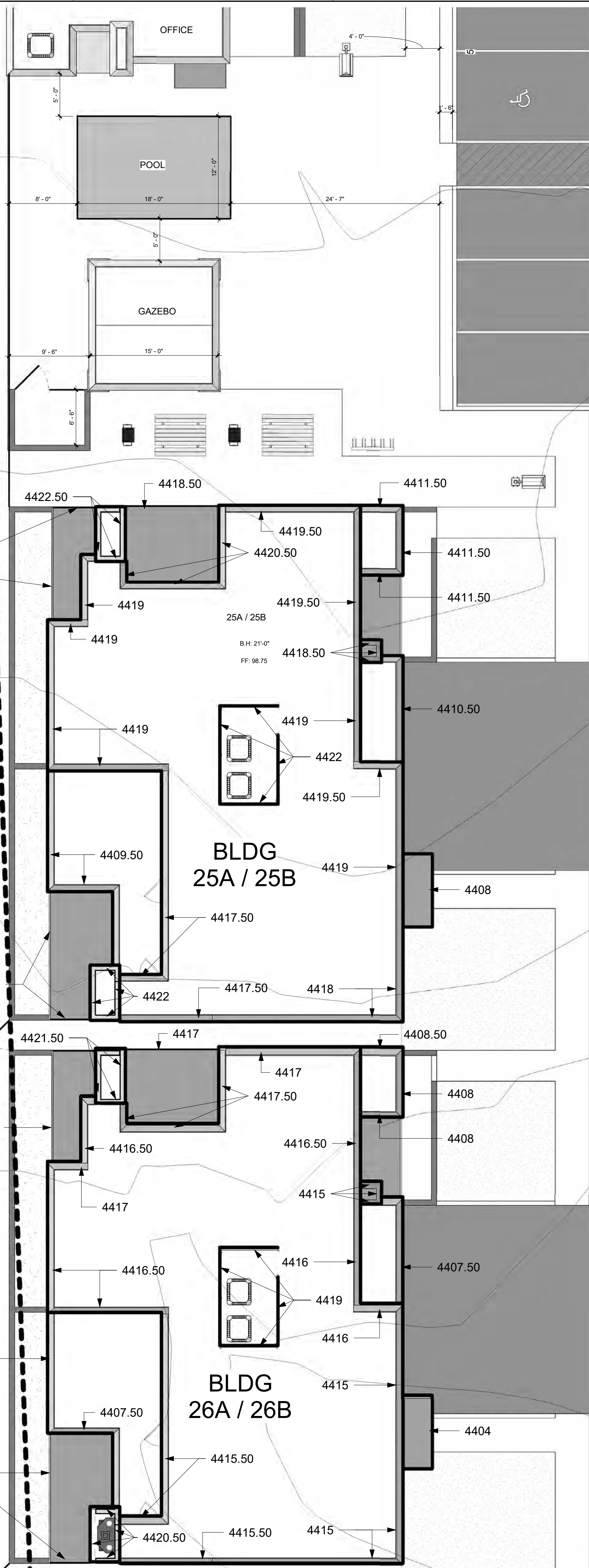
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**BUILDING HEIGHTS - SECTION 1**

SCALE  
1/8" = 1'-0"

PROJECT NUMBER  
20-043

DRAWING NUMBER  
**A0.5**





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ISSUED FOR: \_\_\_\_\_ REV: \_\_\_\_\_ DATE: \_\_\_\_\_

SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE  
BUILDING HEIGHTS -  
SECTION 2

SCALE 1/8" = 1'-0"  
PROJECT NUMBER 20-043

DRAWING NUMBER

A0.6





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SEALS AND SIGNATURES

KEYPLAN

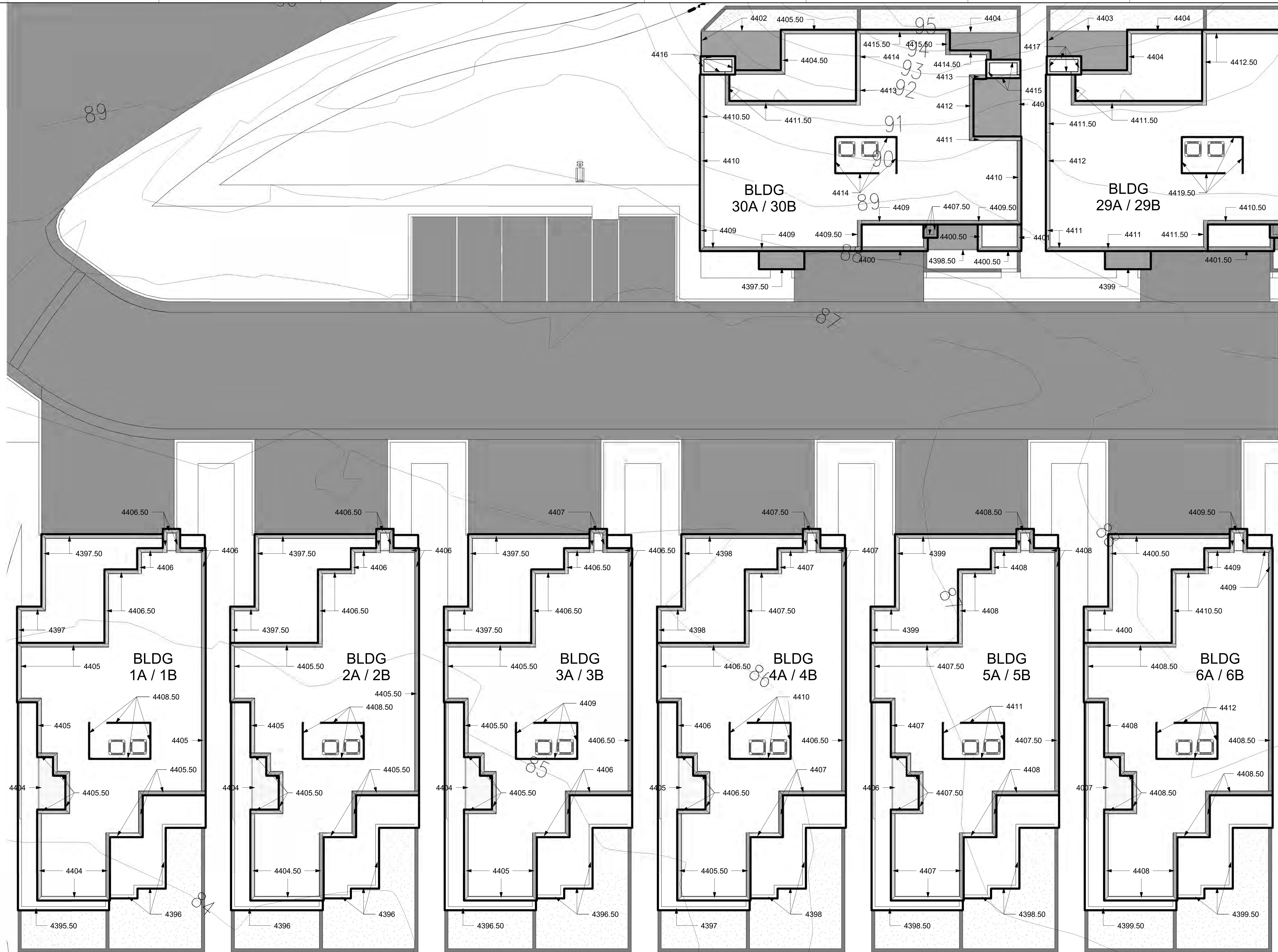
DRAWING TITLE  
**BUILDING HEIGHTS - SECTION 3**

SCALE 1/8" = 1'-0"

PROJECT NUMBER 20-043

DRAWING NUMBER **A0.7**





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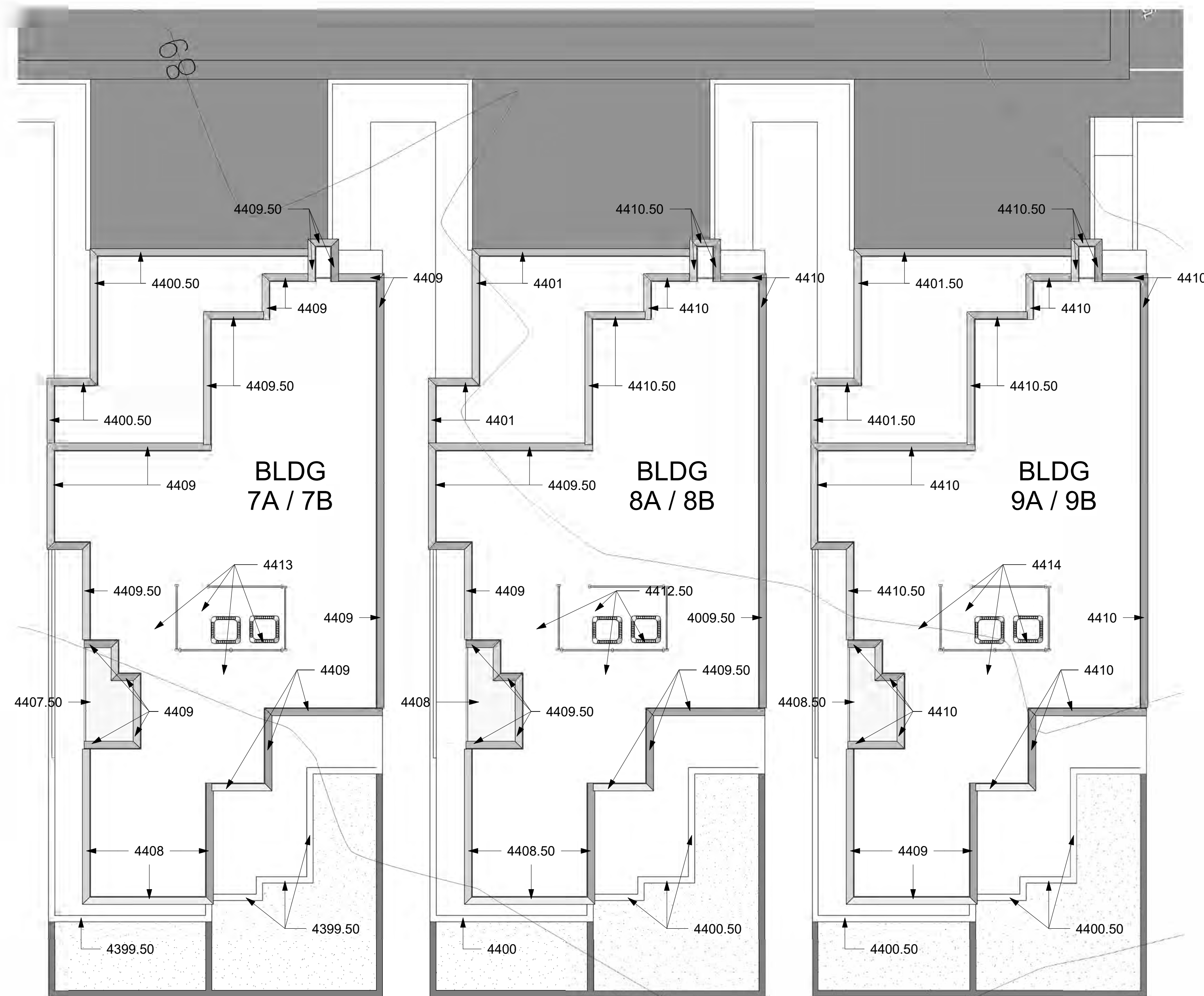
KEYPLAN

DRAWING TITLE  
**BUILDING HEIGHTS - SECTION 4**

SCALE  
1/8" = 1'-0"

PROJECT NUMBER  
20-043

DRAWING NUMBER  
**A0.8**



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SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE

**BUILDING HEIGHTS -  
SECTION 5**

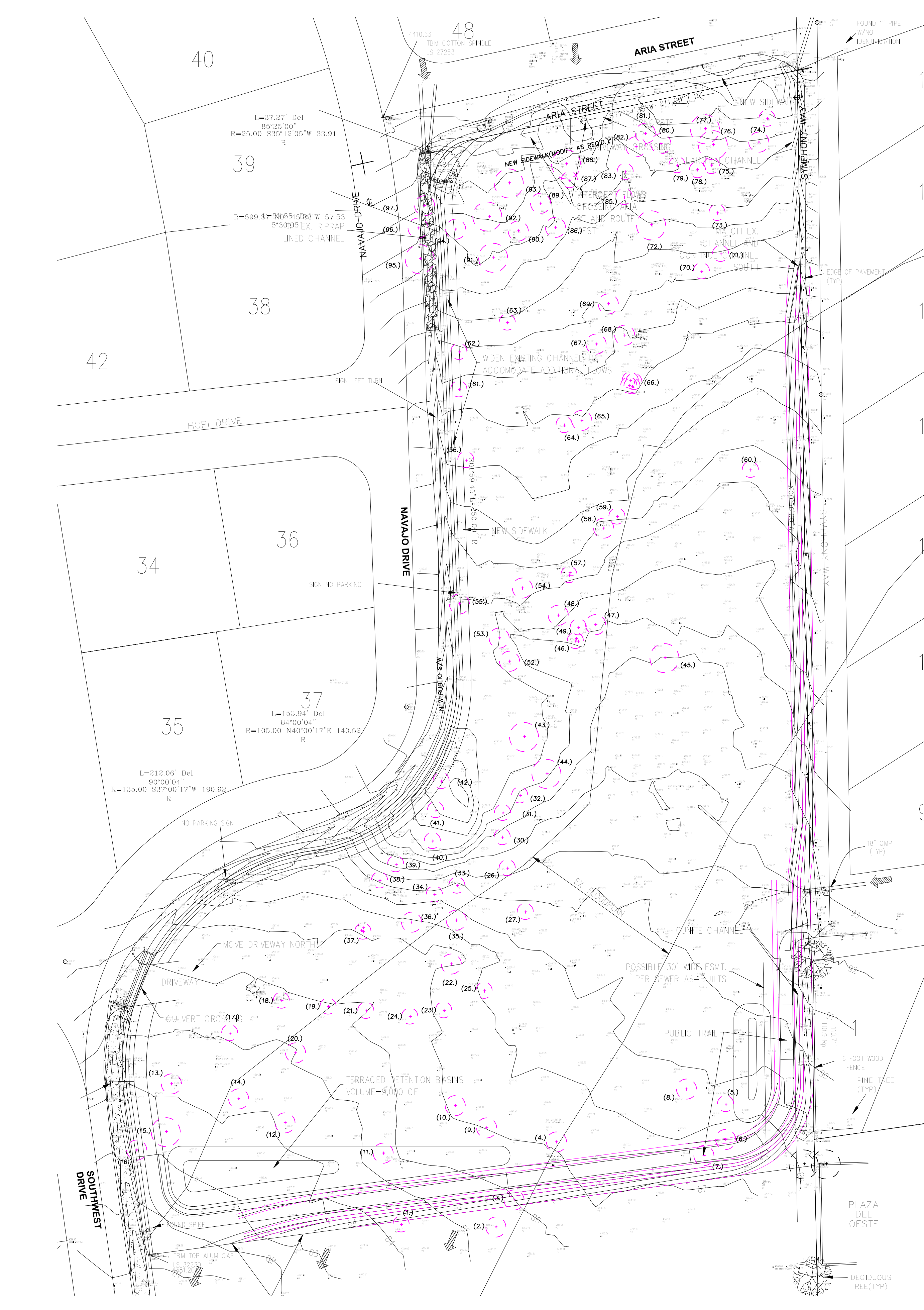
SCALE 1/8" = 1'-0"

PROJECT NUMBER 20-043

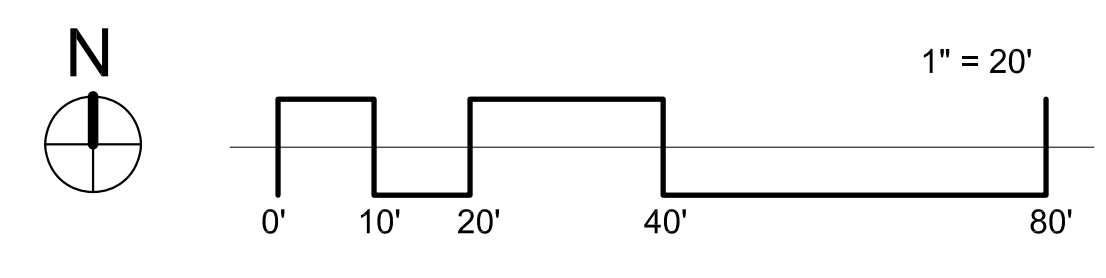
DRAWING NUMBER

**A0.9**





1 NATIVE PLANT INVENTORY  
1" = 40'-0"



NATIVE PLANT/TREE INVENTORY SEDONALOFTS NAVAJO DRIVE

#	TREE-SPECIE	CALIPER	SIZE H&W	TO REMAIN	SALVAGE
1	Prosopis-native mesquite	4" x 6"	Multi 10x10'	YES	
2	Prosopis-native mesquite	10" x 3"	Multi 18x12'	YES	
3	Prosopis-native mesquite	6" x 6"	Multi 14x12'	YES	
4	Prosopis-native mesquite	8" x 4"	Multi 18x12'		No
5	Prosopis-native mesquite	5" x 5"	Multi 12x10'		no
6	Prosopis-native mesquite	8"	12x12'		yes
7	Prosopis-native mesquite	10" x 4"	Multi 18x12'	unbalanced	no
8	Prosopis-native mesquite	8" x 8"	Multi 18'		no
9	Prosopis-native mesquite	10" x 3"	Multi 12'		No
10	Juniperus-one seed	3"	8' x 6'		Yes
11	Juniperus-one seed	10"	Multi 16' x 12'	Misfit/lost	no
12	Prosopis-native mesquite	8" x 4"	Multi 14' x 12'		No
13	Prosopis-native mesquite	8" x 3"	Multi 18' x 16'	Too large	No
14	Prosopis-native mesquite	5" x 5"	Multi 12' x 10'		Yes
15	Prosopis-native mesquite	10" x 4"	Multi 18' x 12'	Too large	No
16	Prosopis-native mesquite	4" x 4"	Multi 14' x 10'		Yes
17	Prosopis-native mesquite	6" x 3"	Multi 12'	YES	
18	Manzanita-Cluster	15' x 10'		YES	
19	Juniperus-one seed	10"	18' x 12'	YES	
20	Manzanita-Cluster	30' x 8'			No
21	Juniperus-one seed	4"	12' x 6'		No
22	Cupressus-arizona	4"	12' x 6'		Yes
23	Juniperus-one seed	3"	6' x 4'		Yes
24	Juniperus-one seed	4" x 3"	12' x 10'		Yes
25	Prosopis-native mesquite	5" x 9"	14' x 18'		No
26	Cupressus-arizona	6"	12' x 8'		Yes
27	Juniperus-one seed	12"	18' x 12'		No
28	Manzanita-Cluster	8' x 8'			No
29	Juniperus-one seed	20"	20' x 20'		No
30	Juniperus-one seed	3" x 2"	Multi 9' x 5'		Yes
31	Juniperus-one seed	3"	6' x 4'		No
32	Juniperus-one seed	3"	6' x 4'	Rock	Yes

Page 1

NATIVE PLANT/TREE INVENTORY SEDONALOFTS NAVAJO DRIVE

#	TREE-SPECIE	CALIPER	SIZE H&W	TO REMAIN	SALVAGE
64	Pinus-edulis cluster	20"	20' x 10'	Dying	No
65	Juniperus-one seed	8"	12' x 8'	Unbalanced	No
66	Pinus-edulis cluster	6"	Multi 20' x 30'	Too close	No
67	Juniperus-one seed	6" x 4"	Multi 16' x 12'	Dying	No
68	Juniperus-one seed	18"	18' x 16'	Misfit/lost	No
69	Juniperus-one seed	10" x 3"	Multi 12' x 16'	Unbalanced	No
70	Juniperus-one seed	6" x 2"	Multi 12' x 12'		Yes
71	Pinus-edulis cluster	10"	24' x 24'		No
72	Juniperus-one seed	30"	24' x 24'		No
73	Juniperus-one seed	8"	Multi 16' x 10'	dying	No
74	Juniperus-one seed	20"	16' x 16'	yes	No
75	Juniperus-one seed	16"	20' x 20'		No
76	Juniperus-one seed	24"	24' x 24'	Too large	No
77	Juniperus-one seed	28"	24' x 24'	Too large	No
78	Pinus-edulis (pinyon)	8"	26' x 12'		Yes
79	Juniperus-one seed	8"	20' x 10'	Unbalanced	no
80	Juniperus-one seed	20"	20' x 16'		Yes
81	Juniperus-one seed	18"	20' x 12'		Yes
82	Juniperus-one seed	16"	20' x 12'	unbalanced	No
83	Juniperus-one seed	12"	16' x 12'		Yes
84	Juniperus-one seed	28"	26' x 24'	dying	No
85	Pinus-edulis (pinyon)	10"	24' x 12'		Yes
86	Juniperus-one seed	12"	16' x 12'		no
87	Juniperus-one seed	8" x 3"	Multi 14x12'	dying	No
88	Juniperus-one seed	28"	16' x 14'	misfit/lost	no
89	Pinus-edulis	8"	14' x 10'		Yes
90	Pinus-edulis (pinyon)	6"	12' x 6'	dying	No
91	Juniperus-one seed	30" x 2"	Multi 18' x 18'		No
92	Juniperus-Utah	30"	20' x 18'		No
93	Juniperus-one seed	30"	18' x 18'	Yes	
94	Pinus-edulis (pinyon)	12"	24' x 12'		Yes

Page 3

NATIVE PLANT/TREE INVENTORY SEDONALOFTS NAVAJO DRIVE

#	TREE-SPECIE	CALIPER	SIZE H&W	TO REMAIN	SALVAGE
95	Juniperus-Utah	40"	24' x 30'	YES	
96	Pinus-edulis (pinyon)	6"	24' x 12'	YES	
97	Pinus-Plum	6"	12' x 10'	YES	

1 NOTE: Numerous clusters of Scrub oak and manzanita some of which could be saved in any open areas.

2 Would suggest reconfiguring the sidewalk around the perimeter to accommodate tree clusters.

Page 4

NATIVE PLANT/TREE INVENTORY SEDONALOFTS NAVAJO DRIVE

#	TREE-SPECIE	CALIPER	SIZE H&W	TO REMAIN	SALVAGE
33	Juniperus-one seed	3"	6' x 2"	rock	No
34	Juniperus-one seed	5"	7' x 4"		No
35	Juniperus-one seed	10"	12' x 8"		No
36	Juniperus-one seed	10"	16' x 14'		Yes
37	Manzanita - cluster		12' x 12'		Yes
38	Prosopis - native mesquite	6" x 4"	Multi 12x6'		Yes
39	Juniperus-one seed	4"	10' x 8"		Yes
40	Juniperus-one seed	2"	4' x 2"		No
41	Mesquite Cluster				yes
42	Prosopis-native mesquite	3" x 5"	Multi 12' x 18'		yes
43	Juniperus-one seed	16"	18' x 18'	Rock	No
44	Juniperus-Utah	24"	28' x 20'	Misfit/lost	No
45	Juniperus-Utah	24"	28' x 20'	Too large	No
46	Juniperus-one seed	10' x 3"	Multi 18x18'	Too close	No
47	Pinus-edulis (pinyon)	12"	20' x 12'		Yes
48	Juniperus-one seed	8"	16' x 10'		Yes
49	Juniperus-one seed	12"	12' x 12'	Misfit/lost	No
50	Juniperus-one seed	10" x 2"	Multi 18x16'	Too large	No
51	Pinus-edulis (pinyon)	12"	20' x 16'		Yes
52	Pinus-edulis (pinyon)	10"	16' x 8"		Yes
53	Pinus-edulis (pinyon)	12"	18' x 10'		Yes
54	Juniperus-one seed	12"	12' x 16'	Damaged	No
55	Prosopis-native mesquite	6" x 8"	Multi 10x14'		Yes
56	Prosopis-native mesquite	6" x 4"	Multi 14x14'		Yes
57	Prosopis-native mesquite	4" x 3"	Multi 10x10'		Yes
58	Juniperus-one seed	6" x 3"	Multi 18x18'		Yes
59	Pinus-edulis (pinyon)	6"	18' x 10'		Yes
60	Prosopis-native mesquite	4" x 8"	12' x 10'		Yes
61	Juniperus-one seed	8"	12' x 12'		Yes
62	Juniperus-one seed	6" x 2"	Multi 12' x 12'		Yes
63	Juniperus-one seed	10" x 3"	Multi 16' x 16'	Too large	no

Page 2

NATIVE PLANT/TREE INVENTORY SEDONALOFTS NAVAJO DRIVE

#	TREE-SPECIE	CALIPER	SIZE H&W	TO REMAIN	SALVAGE
74	Juniperus-one seed	20"	16' x 16'	yes	No
75	Juniperus-one seed	16"	20' x 20'		No
76	Juniperus-one seed	24"	24' x 24'	Too large	No
77	Juniperus-one seed	28"	24' x 24'	Too large	No
78	Pinus-edulis (pinyon)	8"	26' x 12'		Yes
79	Juniperus-one seed	8"	20' x 10'	Unbalanced	no
80	Juniperus-one seed	20"	20' x 16'		Yes
81	Juniperus-one seed	18"	20' x 12'		Yes
82	Juniperus-one seed	16"	20' x 12'	unbalanced	No
83	Juniperus-one seed	12"	16' x 12'		Yes
84	Juniperus-one seed	28"	26' x 24'	dying	No
85	Pinus-edulis (pinyon)	10"	24' x 12'		Yes
86	Juniperus-one seed	12"	16' x 12'		no
87	Juniperus-one seed	8" x 5"	Multi 14x12'	dying	No
88	Juniperus-one seed	28"	16' x 14'	misfit/lost	no
89	Pinus-edulis	8"	14' x 10'		Yes
90	Pinus-edulis (pinyon)	6"	12' x 6'	dying	No
91	Juniperus-one seed	30" x 2"	Multi 18' x 18'		No
92	Juniperus-Utah	30"	20' x 18'		No
93	Juniperus-one seed	30"	18' x 18'	Yes	
94	Pinus-edulis (pinyon)	12"	24' x 12'		Yes

Page 3

NAVAJO LOFTS  
10 NAVAJO DR.  
SEDONA, ARIZONA 86336

KONTEXTURE  
architecture | interiors | urban planning

KONTEXTURE, LLC  
ARCHITECT  
3334 E. 20TH STREET  
PHOENIX, AZ 85016  
602.875.6221

ISSUED FOR	REV	DATE

SEALS AND SIGNATURES

KEYPLAN

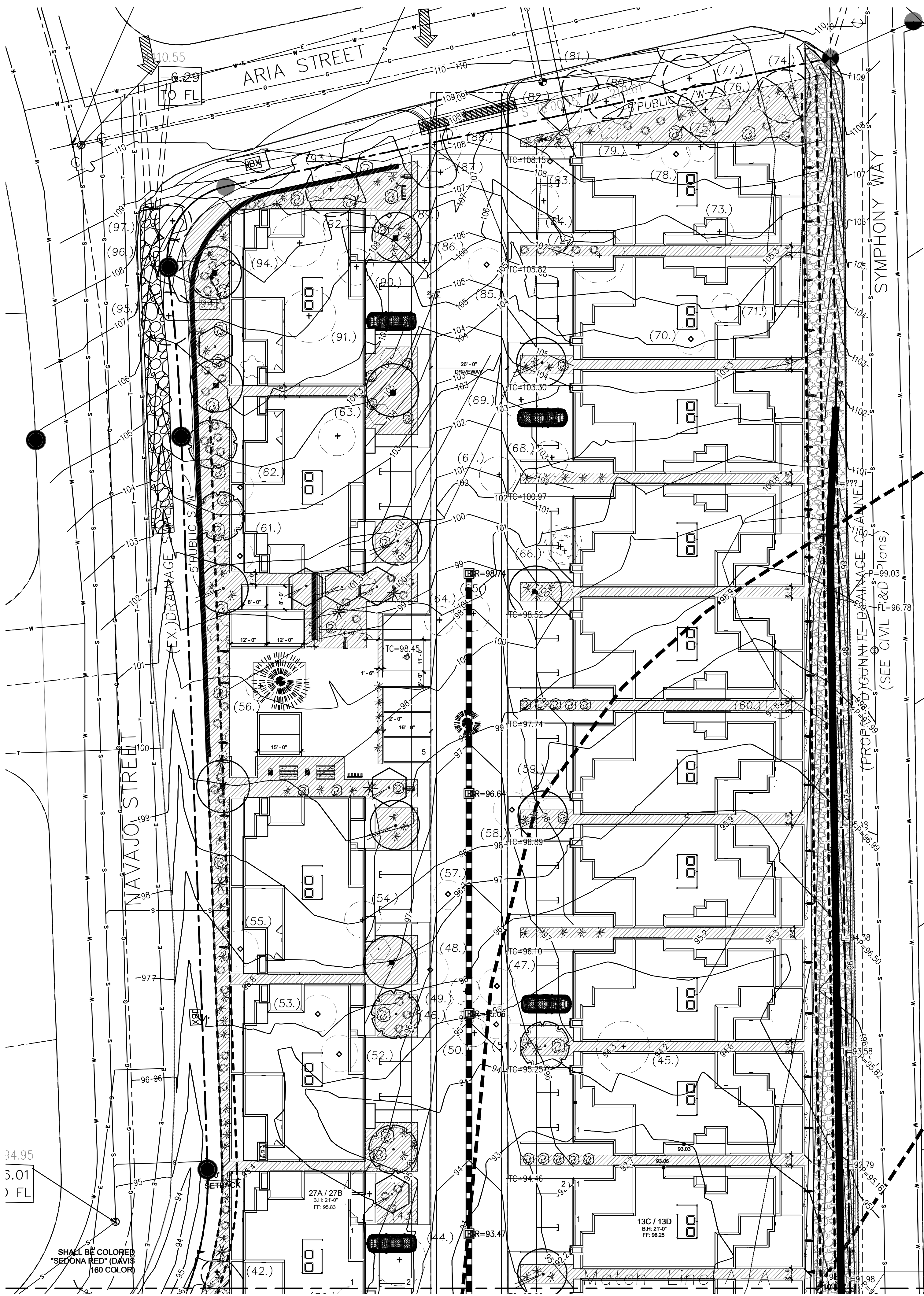
DRAWING TITLE  
**NATIVE PLANT INVENTORY**

SCALE  
1" = 20'-0"

PROJECT NUMBER  
**L0.1**

DRAWING NUMBER





**EXISTING PLANT LEGEND**

Note: BASED ON NATIVE PLANT INVENTORY (NPI) PERFORMED BY:  
DAVE GRONDIN/GREEN EARTH, LC ON 3-19-21  
TOTAL TREES INVENTORIED: 97

- (93.) + (EX.) TREE (Salvageable - To Remain in Place) 13
- (EX.) SCRUB OAK/MANZANITA - (Salvage-replant) 15  
Salvage if possible; clusters and/or best plants - 15 is estimated

REQUIRED MINIMUM TREE SIZES: (50%-2" Cal.) (25%-3" Cal.) (25%-4" Cal.)  
TREE QUANTITY/TYPE REQUIREMENT: MINIMUM 50% TO BE NATIVE SPECIES  
MINIMUM QUANTITIES (PERIMETER): (1) TREES / (5) SHRUBS PER 30 Lin. Ft.  
MINIMUM QUANTITIES (INTERIOR): (1) TREES / (5) SHRUBS PER 400 S.F. = (58) T, (290) S

**PLANT SCHEDULE**

Sym.	Botanical/Common Name	Qty.	Size	Remark
(93.)	Juniperus monosperma/one seed Juniper	3	3" Cal. (8' min. Ht.)	Native-Evergreen
	Juniperus osteosperma/Utah Juniper	-	3" Cal.	
	Chilopsis linearis/ desert willow	9	2" Cal.	Native-Deciduous
	Prosopis velutina/ velvet mesquite	6	2" Cal.	Native-Deciduous
	Quercus gambelii /gambel oak	18	3" Cal.	Native-SemiDeciduous
	Pinus monophyla/ singleleaf pinon pine	6	2" Cal. (8' min. Ht.)	Adaptive-Evergreen
*	Yucca elata/soaptree yucca	16	5 gal.	Native-medium/large accent
*	Agave parryi/agave	116	5 gal.	Native- medium accent
*	Fallugia paradoxa/ apache plume			
	Nolina microcarpa/beargrass			
	Purshia stansboriana/ cliff rose			
●	Salvia greggii/ autumn sage	123	5 gal.	Adaptive- small/med. shrub
	Rosmarinus off. prostrata/trailing rosemary			
	Chrysanthia mexicana/ damianita			
	Dasylium wheeleri/sotol			
⊙	Cercocarpus breviflorus/mtn. mahogany	67	5 gal.	Native-med/large flowering shrub
	Arctostaphylos pungens/ pointleaf manzanita			
	Berberis fremonti/barberry			
	Lycium pallidum/wolfberry			
⬢	Cotoneaster sp./cottoncane	23	5 gal.	Adaptive- med./large flowering shrub
	Photinia fraseri/ photinia			
△	Lantana 'New Gold'/yellow lantana	27	5 gal.	Adaptive-flowering groundcover
	Gaura lind. /whirling butterflies			
	Dalea greggii/ trailing dalea			
—	Mahonia aquifolium/ oregon grape	28	5 gal.	Adaptive-flowering Vine/stake-train
—	Rosa banksia/yellow lady bank's rose	7	"	Adaptive-cascading flowering Vine
•••	'Blue Fescue'/hybrid turf	stolons	7,400 S.F.	Natural Turf Area- southern portion of Site

TOTAL PUBLIC LANDSCAPE AREA

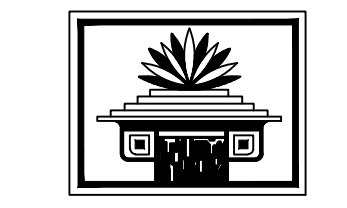
**Site Data Table:**

NET LANDSCAPE AREA: 48,070 S.F.  
PRIVATE YARDS: 10,316 S.F.  
GUNNITE DRAINAGE CHANNEL: 15,000 S.F.  
TOTAL LANDSCAPE AREA: 38,125 S.F.  
38,125 S.F./400 S.F.=REQ.D. (95) TREES,(285) SHRUBS.  
(97) INVT.D.-(13) REMAIN IN PLACE=(84) TREES REQUIRED  
(84) REQ'D.-(42) CREDITED=(42) NURSERY TREES REQ'D.

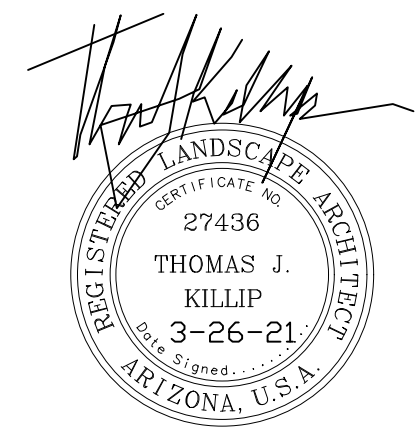
**NATIVE PLANT INVENTORY (REMAIN IN PLACE)**

TAG#	SPECIES	CALIPER	SIZE(HxW)
38.	Prosopis-native mesquite	6" (4)	Multi(12'x6')
39.	Juniperus (one-seed)	4"	10'x5'
41.	Mesquite cluster		
42.	Prosopis-native mesquite	3" (5)	Multi(12'x12')
74.	Juniperus (one-seed)	20"	Multi(16'x16')
76.	Juniperus (one-seed)	20"	Multi(16'x16')
77.	Juniperus (one-seed)	28"	24'x24'
80.	Juniperus (one-seed)	20"	Multi(20'x16')
81.	Juniperus (one-seed)	18"	Multi(20'x12')
93.	Juniperus (one-seed)	30"	Multi(20'x18')
95.	Juniperus-Utah	40"	24'x30'
96.	Pinus-aldulid/Pinon	6"	24'x12'
97.	Prunus-plum	6"	12'x10'

TREE PRESERVATION CREDIT	# of Tree credit
Diameter at Breast Height	
25" or greater	6
13" to 24.5"	4
8" to 12.5"	3
4" to 7.5"	2
2" to 3.5"	1



**KILLIP LAND PLANNING, LLC**  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
PLANNING  
15049 N. HANA WALK DRIVE  
PHOENIX, AZ 85022  
(602) 955-3661  
www.killiplanning.com

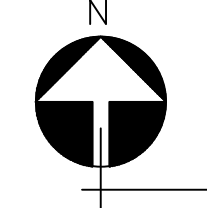


Exp: 9-30-23

10-28-21

**Sheet Index**

- L-1 Landscape Plan
- L-2 Landscape Plan
- L-3 Irrigation Plan
- L-4 L & I Details
- L-5 L & I Specifications



**Landscape Plan**

SCALE: 1" = 20'-0"



NAVAJO LOFTS  
10 NAVAJO DR.  
SEDONA, ARIZONA 86336

KONTEXTURE  
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KONTEXTURE, LLC  
ARCHITECT  
3334 E. 20TH STREET  
PHOENIX, AZ 85016  
602.875.6221

ISSUED FOR	REV	DATE

SEALS AND SIGNATURES

KEYPLAN

DRAWING TITLE

Landscape Plan

1" = 40'-0"

SCALE

18-051

PROJECT NUMBER

DRAWING NUMBER

**L-1**

OF 5







# PRELIMINARY GRADING & DRAINAGE PLAN FOR NAVAJO LOFTS

### OWNER

MKC HOLDINGS LLC  
15010 N 78TH WAY SUITE 109  
SCOTTSDALE, AZ 85260  
PHONE: (602) 390-9401  
CONTACT: KEITH HOLBEN  
EMAIL: kh@mkcompany.com

### ENGINEER

LANDCOR CONSULTING  
6859 E. REMBRANDT AVE. #124  
MESA, AZ 85212  
PHONE: (480) 734-9157  
CONTACT: JOEL D. MILLER, P.E.  
EMAIL: joel@landcorconsulting.com

### PROJECT DATA

ADDRESS: 10 NAVAJO DR  
CITY OF SEDONA  
408-24-5368  
CO  
TAX ASSESSORS PARCEL NUMBER: 196,020 SQFT. (4.5 ACRES)  
ZONING: R5E  
PARCEL AREA:

### LEGAL DESCRIPTION

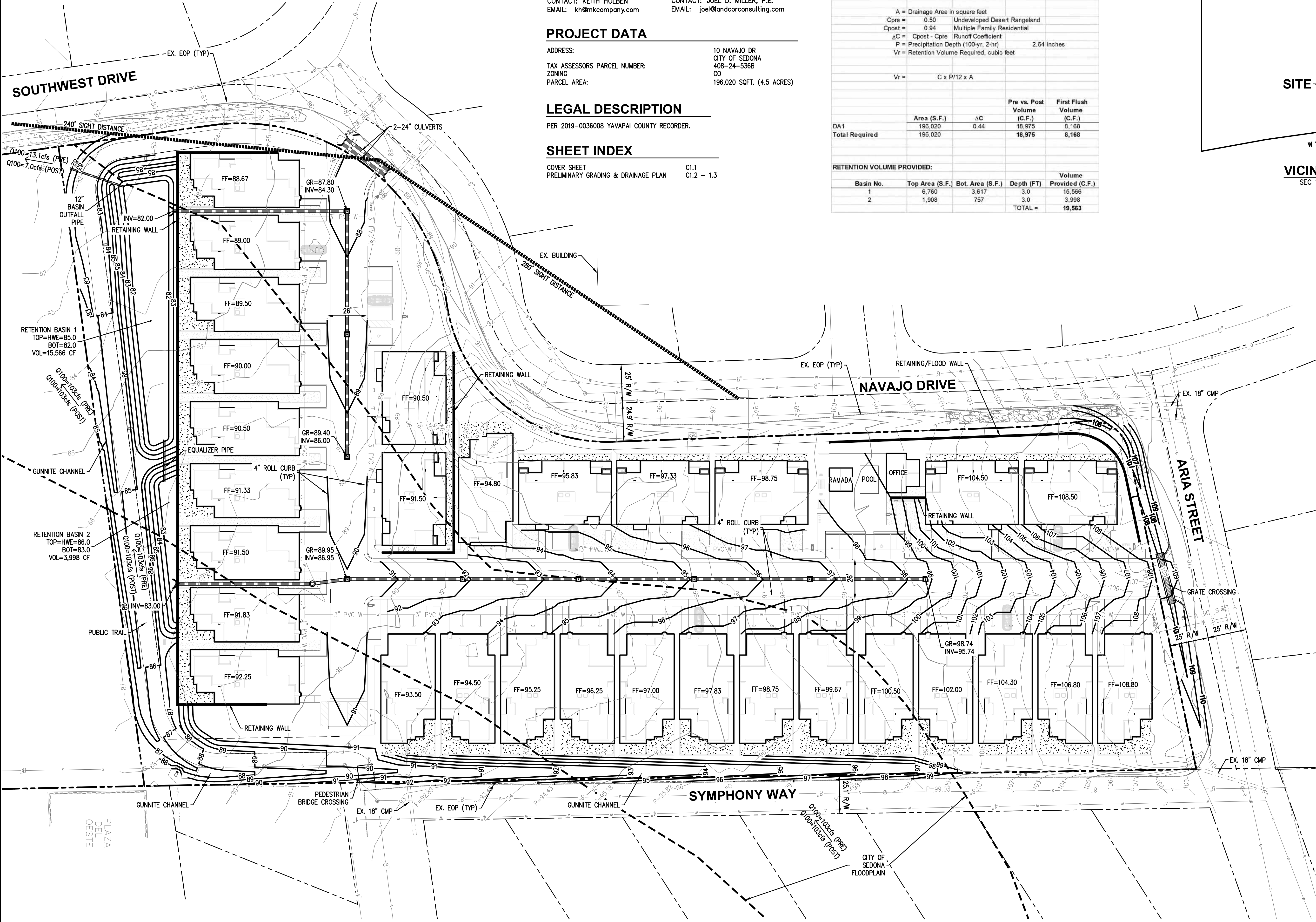
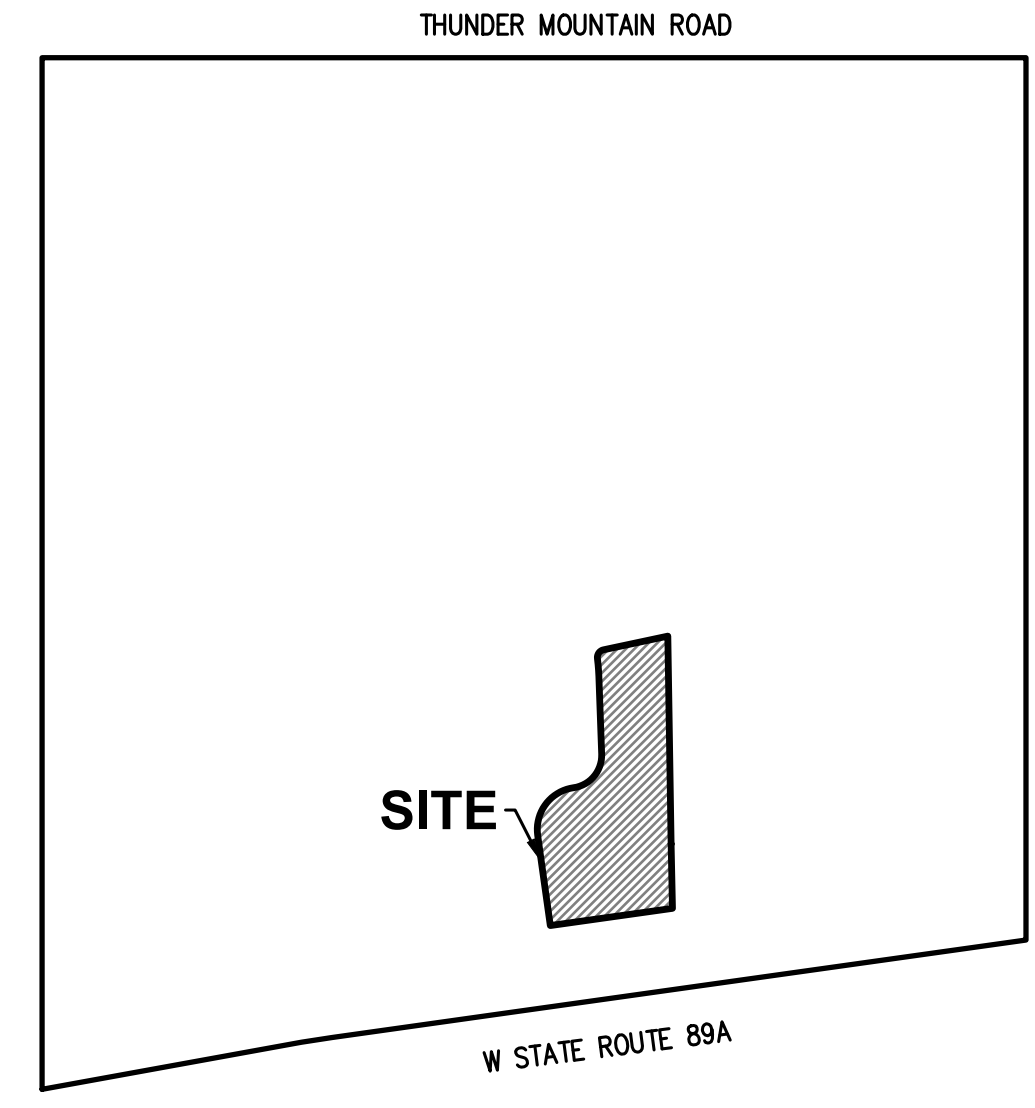
PER 2019-0036008 YAVAPAI COUNTY RECORDER.

### SHEET INDEX

COVER SHEET C1.1  
PRELIMINARY GRADING & DRAINAGE PLAN C1.2 - 1.3

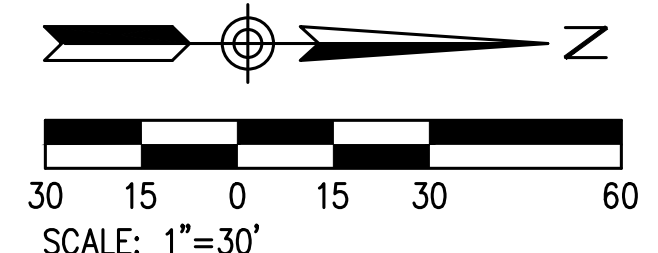
### RETENTION CALCULATIONS

RETENTION VOLUME REQUIRED:				
Area (gross)	A (S.F.)			
	196,020	4.50 AC		
A = Drainage Area in square feet				
Cpre = 0.50 Undeveloped Desert Rangeland				
Cpost = 0.94 Multiple Family Residential				
$\Delta C = Cpost - Cpre$ Runoff Coefficient				
P = Precipitation Depth (100-yr, 2-hr) 2.64 inches				
Vr = Retention Volume Required, cubic feet				
$Vr = C \times P / 12 \times A$				
			Pre vs. Post	First Flush
	Area (S.F.)	$\Delta C$	Volume (C.F.)	Volume (C.F.)
DA1	196,020	0.44	16,975	8,168
Total Required	196,020		16,975	8,168
RETENTION VOLUME PROVIDED:				
Basin No.	Top Area (S.F.)	Bot. Area (S.F.)	Depth (FT)	Volume Provided (C.F.)
1	6,760	3,617	3.0	15,566
2	1,908	757	3.0	3,998
TOTAL =				19,563



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

53735  
JOEL D.  
MILLER  
Professional Engineer  
No. 19797  
Arizona U.S.A.



6859 E. Rembrandt Ave. #124  
Mesa, AZ 85212  
Ph: (480) 223-8573  
landcorconsulting.com

**LANDCOR  
CONSULTING**

**NAVAJO LOFTS  
PRELIMINARY GRADING & DRAINAGE PLAN**

10 NAVAJO DRIVE  
SEDONA, ARIZONA

DATE: \_\_\_\_\_

REVISIONS:


PRELIMINARY GRADING & DRAINAGE PLAN

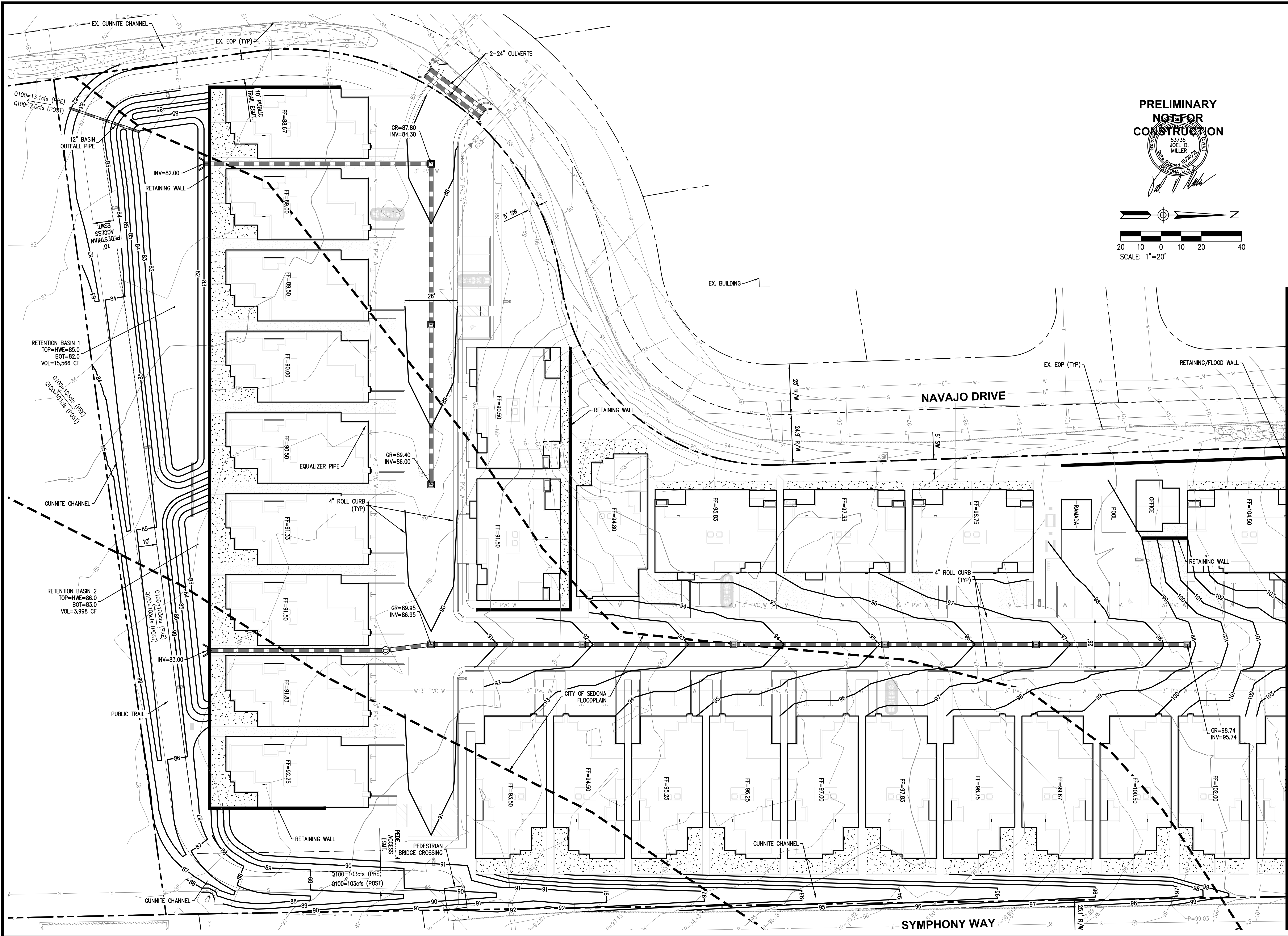
DATE: 10/20/21

PROJ. #: 1763

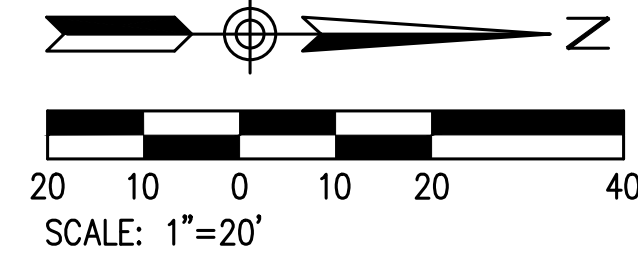
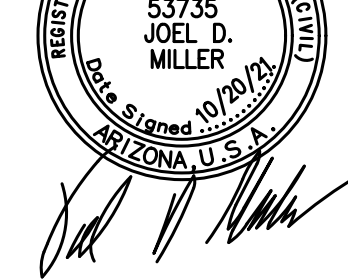
**C1.1**

1 OF 3





**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



**NAVAJO LOFTS  
PRELIMINARY GRADING & DRAINAGE PLAN**

10 NAVAJO DRIVE  
SEDONA, ARIZONA

MATCH LINE - SEE SHEET C1.3

DATE:

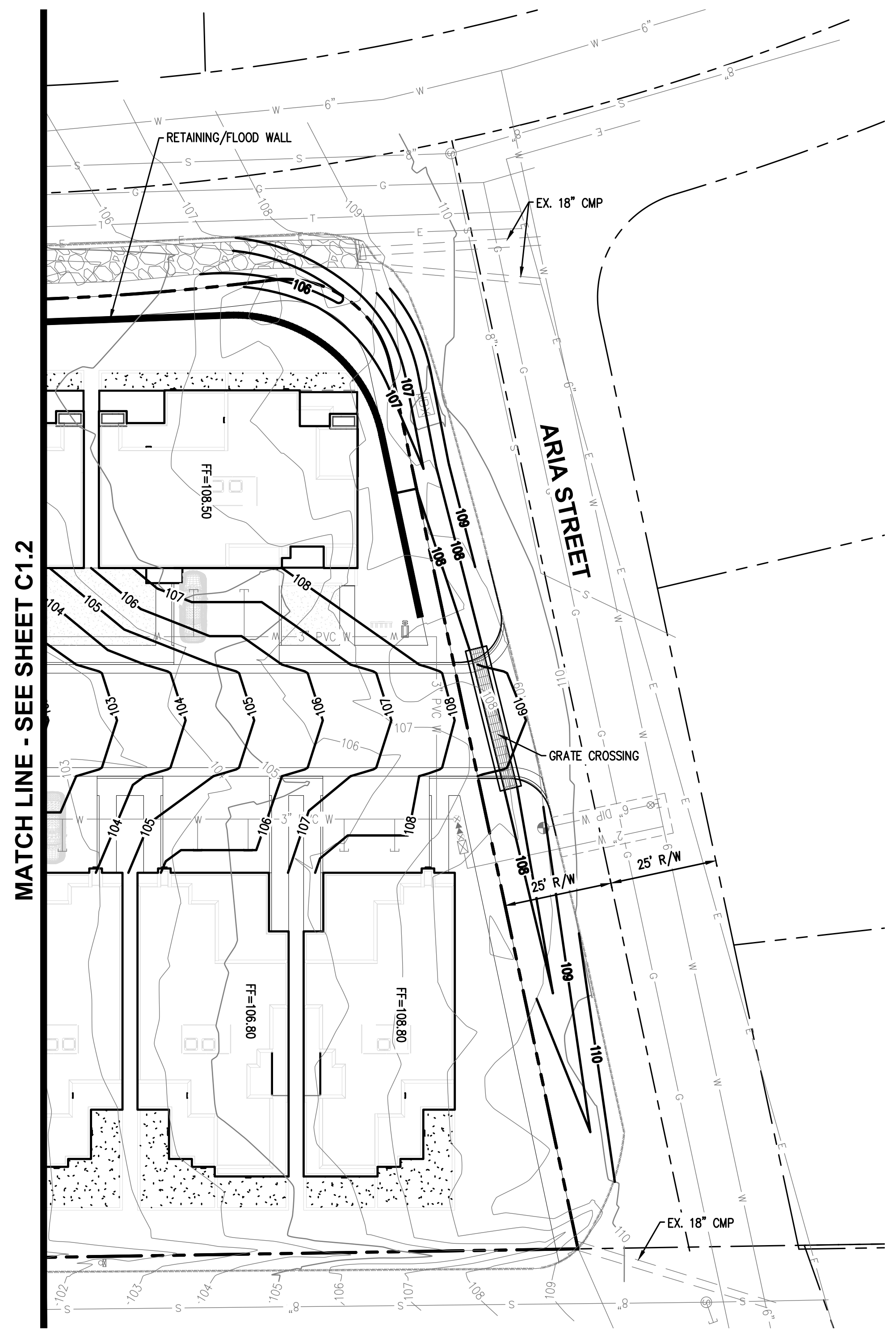
REVISIONS:

PRELIMINARY  
GRADING &  
DRAINAGE PLAN

DATE: 10/20/21

PROJ. #: 1763

**C1.2**  
2 OF 3



MATCH LINE - SEE SHEET C1.2

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

53735  
JOEL D.  
MILLER  
Professional Engineer  
No. 197872  
SEDONA, U.S.A.

*Joel D. Miller*

20 10 0 10 20 40  
SCALE: 1"=20'

N

**NAVAJO LOFTS**  
**PRELIMINARY GRADING & DRAINAGE PLAN**  
10 NAVAJO DRIVE  
SEDONA, ARIZONA

REVISIONS:	DATE:

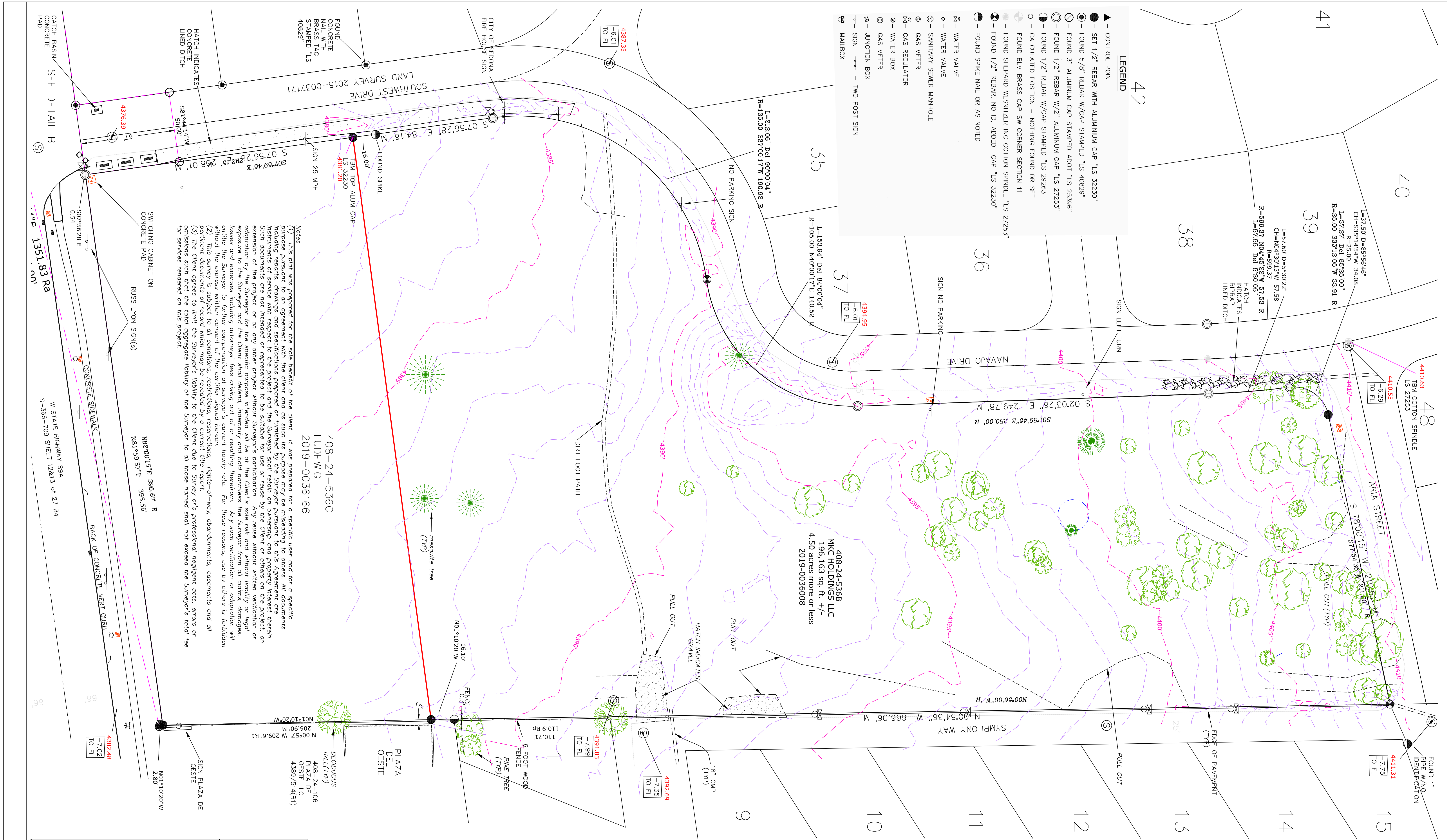
PRELIMINARY  
GRADING &  
DRAINAGE PLAN

DATE: 10/20/21

PROJ. #: 1763

**C1.3**  
3 OF 3





- LEGEND**
- ▲ - CONTROL POINT
  - - SET 1/2" REBAR WITH ALUMINUM CAP "LS 32230"
  - - FOUND 5/8" REBAR W/CAP STAMPED "LS 40829"
  - - FOUND 3" ALUMINUM CAP STAMPED ADOIT "LS 25396"
  - - FOUND 1/2" REBAR W/2" ALUMINUM CAP "LS 27253"
  - - FOUND 1/2" REBAR W/CAP STAMPED "LS 29263"
  - - CALCULATED POSITION - NOTHING FOUND OR SET
  - - FOUND BLM BRASS CAP SW CORNER SECTION 11
  - - FOUND SHEPARD WESITZER INC COTTON SPINDLE "LS 27253"
  - - FOUND 1/2" REBAR, NO ID, ADDED CAP "LS 32230"
  - - FOUND SPIKE NAIL OR AS NOTED
  - ⊕ - WATER VALVE
  - ⊖ - WATER VALVE
  - ⊙ - SANITARY SEWER MANHOLE
  - ⊕ - GAS METER
  - ⊖ - GAS REGULATOR
  - ⊕ - WATER BOX
  - ⊖ - GAS METER
  - ⊕ - JUNCTION BOX
  - ⊖ - SIGN
  - ⊕ - TWO POST SIGN
  - ⊖ - MAILBOX

**Notes**

(1) This plot was prepared for the sole benefit of the client. It was prepared for a specific user and for a specific purpose pursuant to an agreement with the client and as such its purpose may be misleading to others. All documents including reports, drawings and specifications prepared or furnished by the Surveyor pursuant to this Agreement are instruments of service with respect to the project and the Surveyor shall retain an ownership and property interest therein. Such documents are not intended or represented to be suitable for use or reuse by the Client or others on the project, or extension of the project, or on any other project without the Surveyor's participation. Any reuse without written verification or adaptation by the Surveyor for the specific purpose intended will be at the Client's sole risk and without liability or legal exposure to the Surveyor and the Client shall defend, indemnify and hold harmless the Surveyor from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will without the express written consent of the certifier signed hereon.

(2) This survey is subject to all conditions, restrictions, reservations, rights-of-way, abndomments, easements and all pertinent documents of record which may be revealed by a current title report.

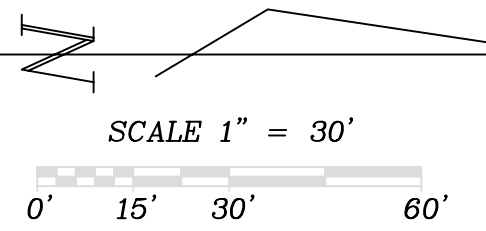
(3) The client agrees to hold the surveyor's liability to the client due to survey or a professional negligent acts, errors or omissions rendered on this project.

408-24-536C  
LUDEWIG  
2019-0036166

408-24-536B  
MKC HOLDINGS LLC  
196,163 sq. ft. +/-  
4.50 acres more or less  
2019-0036008

**TOPOGRAPHIC SURVEY**

of Document No. 2019-0036008 Yavapai County Records,  
APN 408-24-536B, 10 Navajo Drive  
located in the Southwest Quarter of the Southwest Quarter of Section 11, Township 17 North,  
Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona



DATE OF SURVEY: 9/3/2019  
IVO W. BUDDKE III  
LS 32230  
EXPIRES: 03/31/2022

DESIGN	NAME	DATE
DRAWN		
CHECKED	IVO	9/22/2019

DWG. NAME: 190808KH-SWCENTER.DWG

**RIMROCK**  
LAND SURVEYS, LLC  
Ivo W. Buddeke III, R.L.S.

5280 Bentley Dr., Rimrock, Arizona 86335  
Phone (928) 567-1414

Job No. 190808KH  
Owner  
MKC HOLDINGS, LLC

Result of Survey  
SOUTHWEST OF  
SOUTHWEST CENTER

APN: 408-25-536B

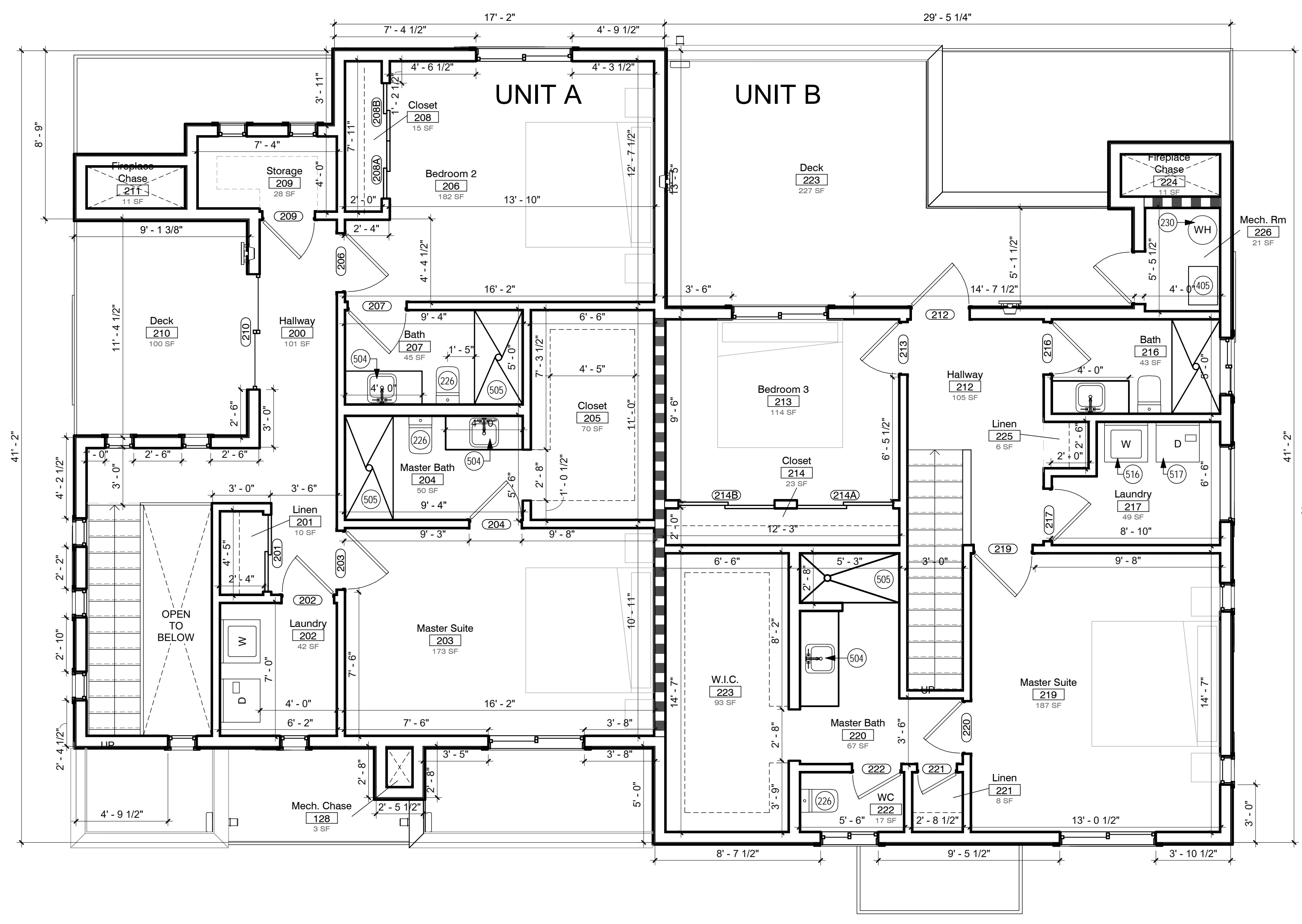
Qtr	Sec	Tsp	Rng
SW	11	17N	5E

G. & S. R. B. & M.









**1 SECOND LEVEL FLOOR PLAN OVERALL**  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. REFER TO SHEET A0.1 FOR GENERAL NOTES. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- B. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- C. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- D. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMIGLOSS LATEX REFER ALSO TO GENERAL NOTES FOR ADDITIONAL NOTES.
- E. PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- F. USE MOISTURE RESISTANT GYPSUM BOARD AT WET WALLS AND BEHIND PLUMBING FIXTURES. DIMENSIONS ARE TO FACE OF STUD. UNO.
- G. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- H. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED MIN 8" ABOVE FINISH CEILING.
- I. ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMP, OR WALKS WILL BE .2%.
- J. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- K. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.

**KEYNOTES:**

- 226 WATER CLOSET.
- 230 50 GAL. ELECTRIC WATER HEATER VENTED THRU WALL WITH A 2" SCHEDULE 40 PVC PIPE. PROVIDE A GALVANIZED STEEL DRAIN PAN NOT LESS THAN .0236". SHALL BE NOT LESS THAN 1 1/2" IN DEPTH, WITH DRAIN LINE AT EACH WATER HEATER.
- 405 AIR HANDLING UNIT.
- 504 LAVATORY IN BASE CABINET.
- 505 SHOWER.
- 516 WASHER. SHALL BE PROTECTED AGAINST BACKFLOW BY AN AIR GAP THAT IS INTEGRAL WITH THE MACHINE OR A BACKFLOW PREVENTER SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 608, PER 2018 IPC 406.
- 517 DRYER.

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SEALS AND SIGNATURES



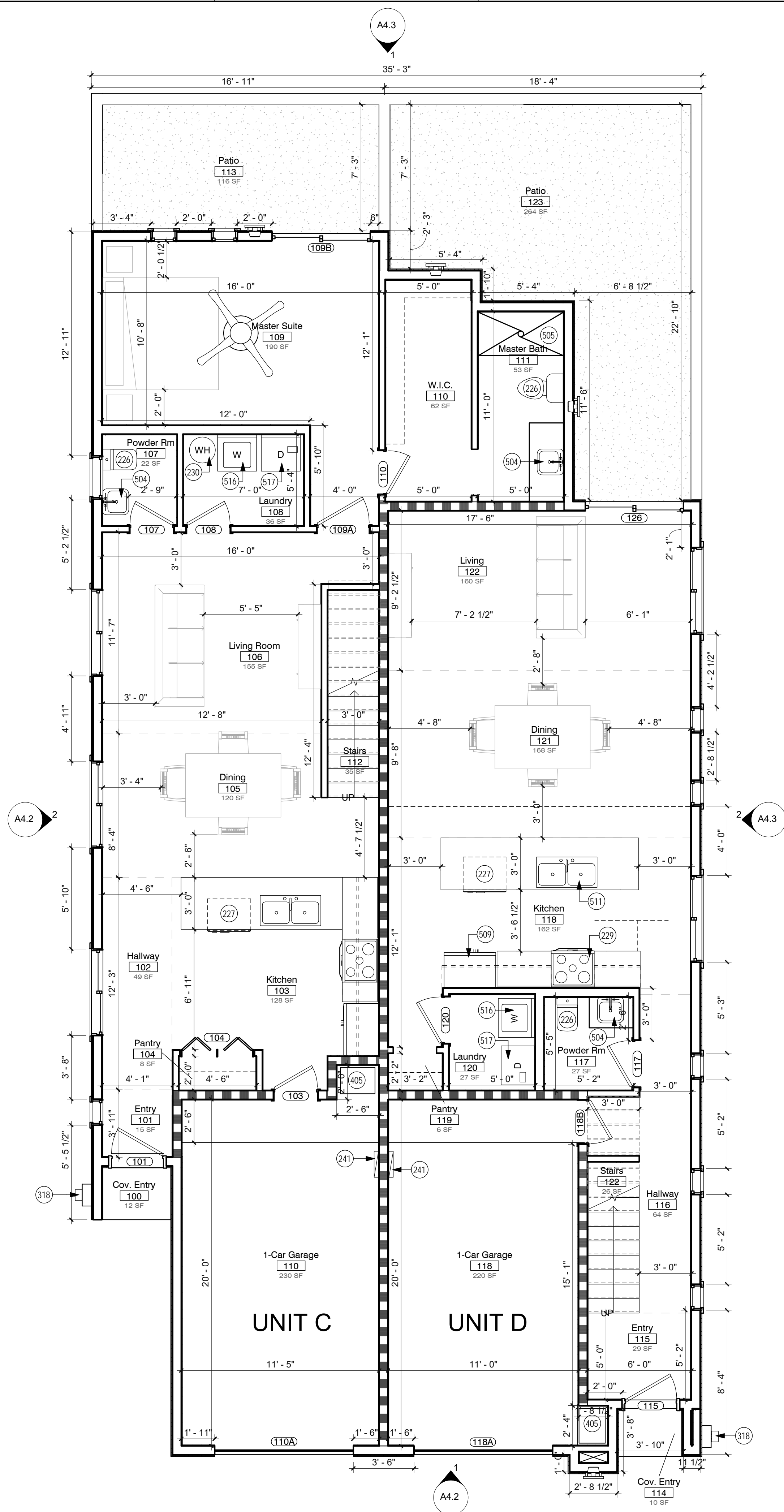
KEYPLAN

DRAWING TITLE  
**SECOND FLOOR PLAN - UNIT A & B**

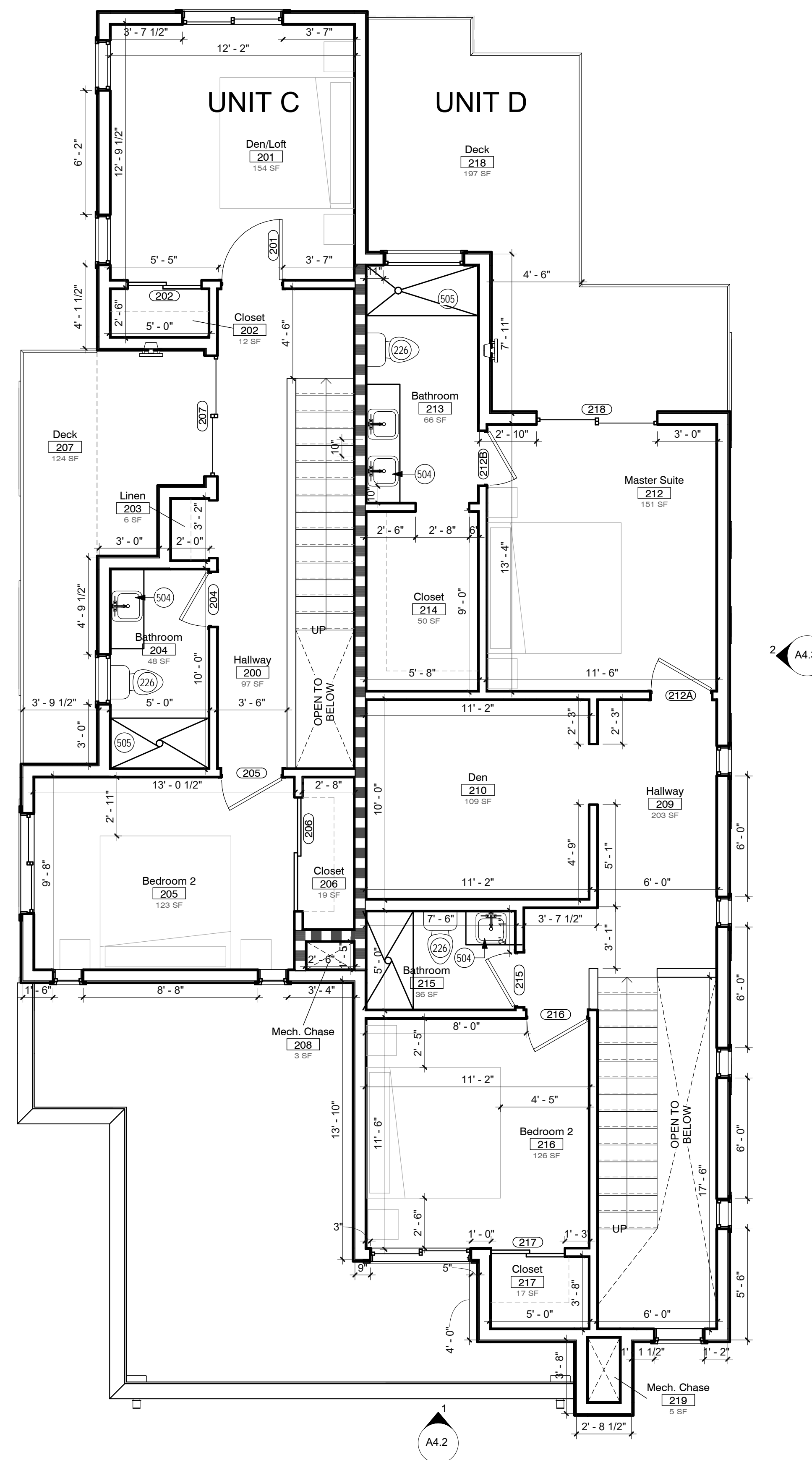
SCALE  
1/4" = 1'-0"

PROJECT NUMBER  
18-047

DRAWING NUMBER  
**A1.1**



**1** FIRST LEVEL FLOOR PLAN OVERALL  
1/4" = 1'-0"



**2** SECOND LEVEL FLOOR PLAN OVERALL  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. REFER TO SHEET A0.1 FOR GENERAL NOTES.
- B. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMI-GLOSS LATEX REFER ALSO TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- G. USE MOISTURE RESISTANT GYPSUM BOARD AT WET WALLS AND BEHIND PLUMBING FIXTURES. DIMENSIONS ARE TO FACE OF STUD. UNO.
- H. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- J. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED MIN 8" ABOVE FINISH CEILING.
- K. ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- L. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- M. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.

**KEYNOTES:**

- 226 WATER CLOSET.
- 227 DISHWASHER UNDER COUNTERTOP.
- 229 NEW RANGE WITH HOOD.
- 230 50 GAL. ELECTRIC WATER HEATER VENTED THRU WALL WITH A 2" SCHEDULE 40 PVC PIPE. PROVIDE A GALVANIZED STEEL DRAIN PAN NOT LESS THAN .0236", SHALL BE NOT LESS THAN 1 1/2" IN DEPTH, WITH DRAIN LINE AT EACH WATER HEATER.
- 241 ELECTRICAL SERVICE PANEL.
- 318 ELECTRIC METER BOX.
- 405 AIR HANDLING UNIT.
- 504 LAVATORY IN BASE CABINET.
- 505 SHOWER.
- 509 REFRIGERATOR WITH ICE AND WATER DISPENSER.
- 511 KITCHEN SINK WITH GARBAGE DISPOSAL.
- 516 WASHER SHALL BE PROTECTED AGAINST BACKFLOW BY AN AIR GAP THAT IS INTEGRAL WITH THE MACHINE OR A BACKFLOW PREVENTER SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 608. PER 2018 IPC 406.
- 517 DRYER.

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SEALS AND SIGNATURES



KEYPLAN

DRAWING TITLE  
**FIRST & SECOND LEVEL FLOOR PLAN - UNIT C & D**

SCALE  
1/4" = 1'-0"  
PROJECT NUMBER  
20-043

DRAWING NUMBER

**A1.2**

### GENERAL NOTES:

- A. REFER TO SHEET A01 FOR GENERAL NOTES.
- B. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMIGLOSS LATEX. REFER ALSO TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- G. USE MOISTURE RESISTANT GYPSUM BOARD AT WET WALLS AND BEHIND PLUMBING FIXTURES.
- H. DIMENSIONS ARE TO FACE OF STUD, UNO.
- I. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- J. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED MIN 6" ABOVE FINISH CEILING.
- K. ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- L. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- M. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.

### KEYNOTES:

- 212 MASONRY: SUPERLIGHT, STANDARD CONCRETE MASONRY UNIT (CMU) 'PAPAGO RED'.
- 226 WATER CLOSET.
- 287 4" CONCRETE SLAB ON GRADE.
- 530 INSTANT HOT WATER DISPENSER AT ADA SINK. TYP.

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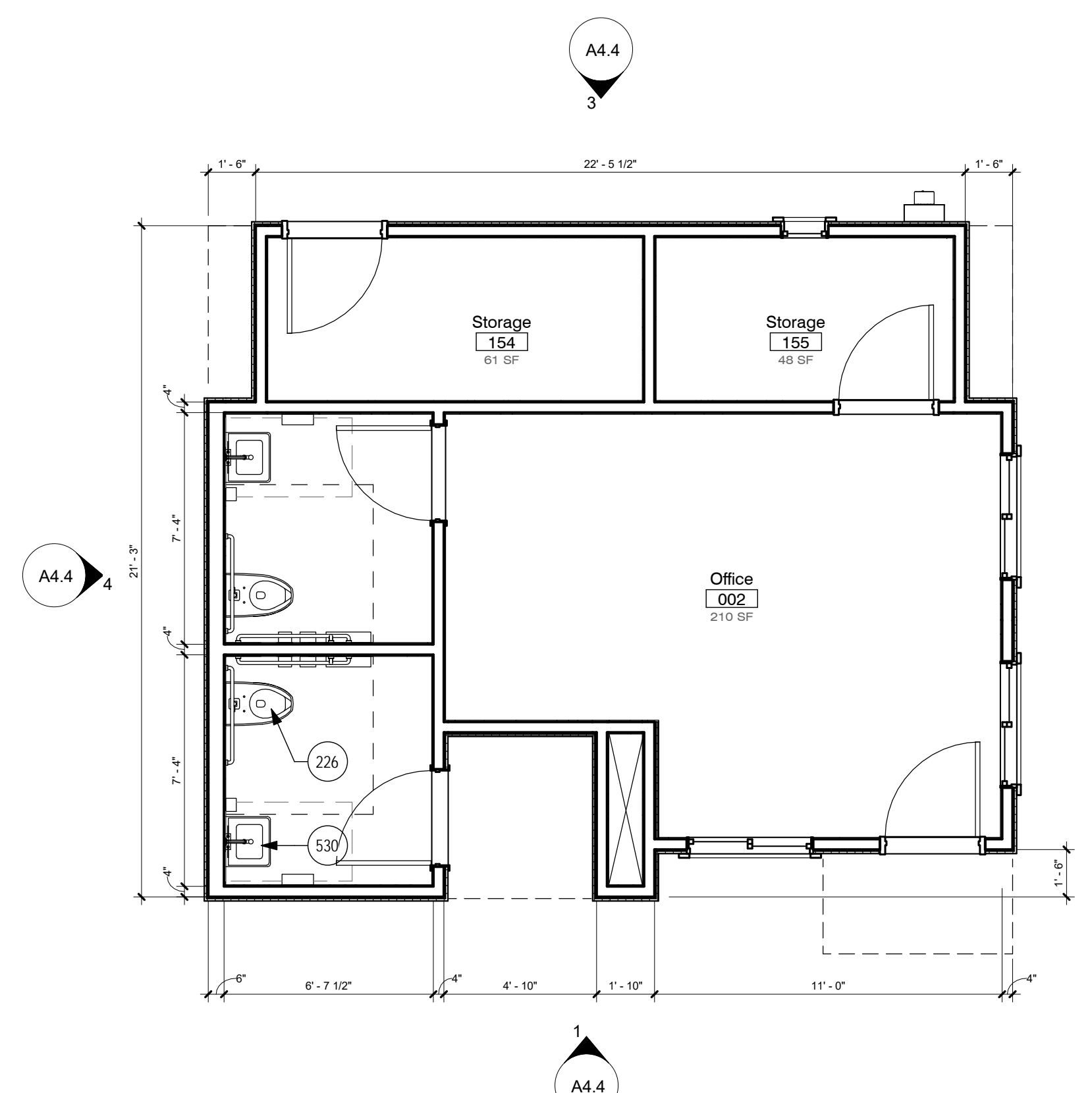
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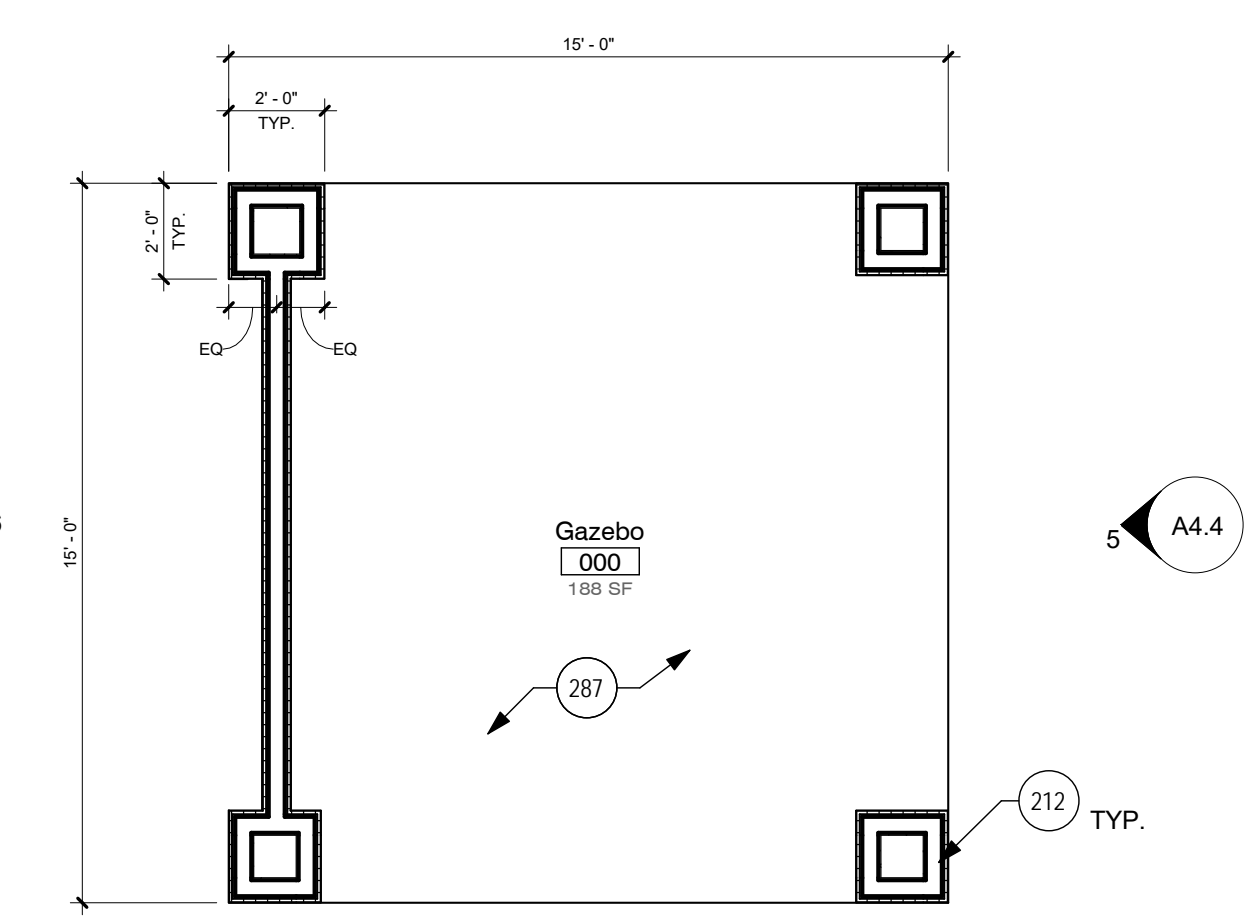
#### SEALS AND SIGNATURES



#### KEYPLAN



**1 OFFICE FLOOR PLAN**  
1/4" = 1'-0"



**2 GAZEBO**  
1/4" = 1'-0"

DRAWING TITLE  
**GAZEBO AND OFFICE FLOOR PLANS**

SCALE  
1/4" = 1'-0"

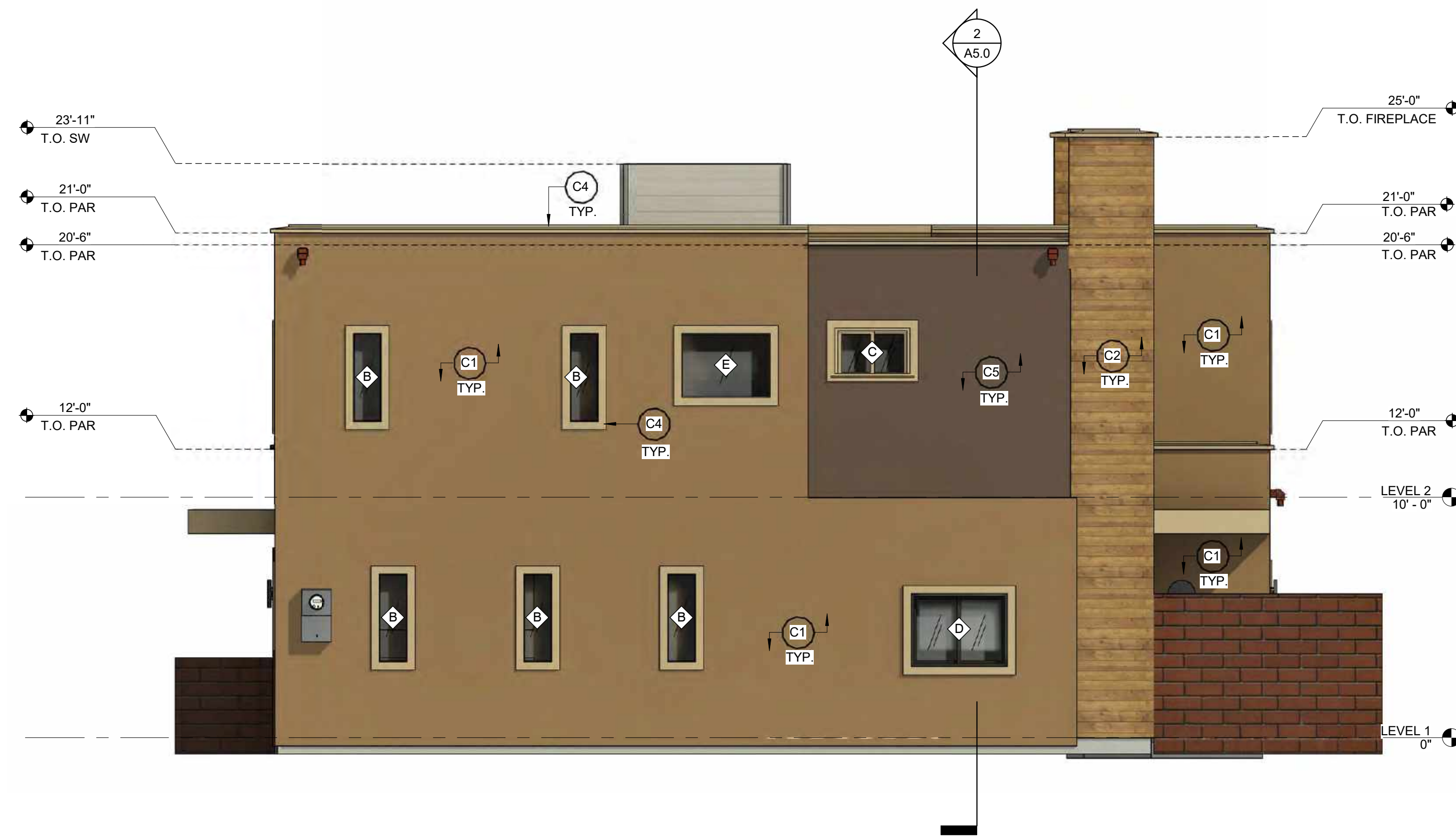
PROJECT NUMBER  
20-043

DRAWING NUMBER  
**A1.5**





**1 NORTH ELEVATION**  
1/4" = 1'-0"



**2 EAST ELEVATION**  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. ALL FINISHES/FIXTURES/APPLIANCES TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- B. PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND GARAGE.
- C. PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- D. SHOWER DOORS SHALL HAVE SAFTEYGLAZING AND SWING OUTWARD (R308.4)
- E. PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN, DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 1506.3) UNLESS WINDOW IS PROVIDED PROVIDE STAIRWAY ILLUMINATION PER (R303.6)
- F. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS. PER R703.8.
- G. ALL INTERIOR WALLS, CLGS AND SOFFITS TO HAVE SQUARE CORNER BEAD.
- H. ALL DRYWALL TO BE FINISHED LEVEL & SMOOTH.
- I. ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT (0'-0" F.F.)
- J. PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMANDATIONS. VERIFY LOCATIONS WITH OWNER.
- K. ALL OUTSIDE STUCCO CORNERS TO BE SQUARE WITH REINFORCEMENTS.
- L. COLORS, STAINS, ETC. TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- M. FOR DOOR SCHEDULE SEE A8.0.
- N. FOR SMOKE DETECTORS SEE RCP SHEETS A2.0.
- O. EACH WATER CLOSET SHOULD HAVE A MIN. OF 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE
- P. INSTALL ALL LISTED APPLIANCES PER MANUFACTURER'S LISTING & INSTALLATION REQUIREMENTS.

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**KEYNOTES:**

SEALS AND SIGNATURES

**COLOR LEGEND:**

ID	DESCRIPTION	EXAMPLE
C1	Smooth Stucco, Dunn Edwards Paints. Color: Summerville Brown (DE6139) LRV: 19	
C2	Vinyl Wood siding, CertainTeed, Model: Monogram. Color: Rustic Blend	
C4	Vinyl Windows Trims, Dunn Edwards Paints. Color: Maple Brown Sugar (DET639) LRV: 28	
C5	Smooth Stucco, Dunn Edwards Paints. Color: Chocolate Chunk (DE6070) LRV: 10	

KEYPLAN

DRAWING TITLE  
**ELEVATIONS - UNIT A & B**

SCALE 1/4" = 1'-0"

PROJECT NUMBER 20-043

DRAWING NUMBER **A4.0**





1 SOUTH ELEVATION  
1/4" = 1'-0"



2 WEST ELEVATION  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. ALL FINISHES/FIXTURES/APPLIANCES TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- B. PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND GARAGE.
- C. PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- D. SHOWER DOORS SHALL HAVE SAFETYGLAZING AND SWING OUTWARD (R308.4).
- E. PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN. DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 1506.3) UNLESS WINDOW IS PROVIDED PROVIDE STAIRWAY ILLUMINATION PER (R303.6).
- F. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS. PER R703.8.
- G. ALL INTERIOR WALLS, CLGS AND SOFFITS TO HAVE SQUARE CORNER BEAD.
- H. ALL DRYWALL TO BE FINISHED LEVEL & SMOOTH.
- I. ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- J. PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMMENDATIONS. VERIFY LOCATIONS WITH OWNER.
- K. ALL OUTSIDE STUCCO CORNERS TO BE SQUARE WITH REINFORCEMENTS.
- L. COLORS, STAINS, ETC. TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- M. FOR DOOR SCHEDULE SEE A8.0.
- N. FOR SMOKE DETECTORS SEE RCP SHEETS A2.0.
- O. EACH WATER CLOSET SHOULD HAVE A MIN. OF 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE.
- P. INSTALL ALL LISTED APPLIANCES PER MANUFACTURER'S LISTING & INSTALLATION REQUIREMENTS.

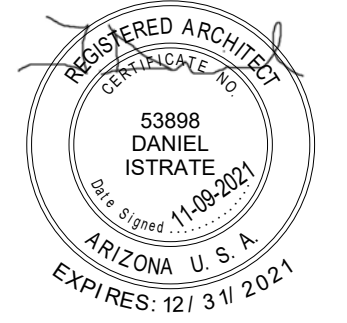
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SEALS AND SIGNATURES



KEYPLAN

**KEYNOTES:**

**COLOR LEGEND:**

ID	DESCRIPTION	EXAMPLE
C1	Smooth Stucco, Dunn Edwards Paints. Color: Summerville Brown (DE6139) LRV: 19	
C2	Vinyl Wood siding, CertainTeed, Model: Monogram. Color: Rustic Blend	
C4	Vinyl Windows Trims, Dunn Edwards Paints. Color: Maple Brown Sugar (DET639) LRV: 28	
C5	Smooth Stucco, Dunn Edwards Paints. Color: Chocolate Chunk (DE6070) LRV: 10	

DRAWING TITLE  
**ELEVATIONS - UNIT A & B**

SCALE 1/4" = 1'-0"  
PROJECT NUMBER  
**A4.1**  
DRAWING NUMBER





**1 NORTH ELEVATION**  
1/4" = 1'-0"

**GENERAL NOTES:**

- A. ALL FINISHES/FIXTURES/APPLIANCES TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- B. PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND GARAGE.
- C. PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- D. SHOWER DOORS SHALL HAVE SAFTEYGLAZING AND SWING OUTWARD (R308.4).
- E. PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN, DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 1506.3) UNLESS WINDOW IS PROVIDED PROVIDE STAIRWAY ILLUMINATION PER (R303.8).
- F. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS., PER R703.8.
- G. ALL INTERIOR WALLS, CLGS AND SOFFITS TO HAVE SQUARE CORNER BEAD.
- H. ALL DRYWALL TO BE FINISHED LEVEL & SMOOTH.
- I. ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- J. PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMANDATIONS. VERIFY LOCATIONS WITH OWNER.
- K. ALL OUTSIDE STUCCO CORNERS TO BE SQUARE WITH REINFORCEMENTS.
- L. COLORS, STAINS, ETC. TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- M. FOR DOOR SCHEDULE SEE A8.0.
- N. FOR SMOKE DETECTORS SEE RCP SHEETS A2.0.
- O. EACH WATER CLOSET SHOULD HAVE A MIN. OF 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE.
- P. INSTALL ALL LISTED APPLIANCES PER MANUFACTURER'S LISTING & INSTALLATION REQUIREMENTS.

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**KEYNOTES:**

SEALS AND SIGNATURES

**COLOR LEGEND:**

ID	DESCRIPTION	EXAMPLE
C1	Smooth Stucco, Dunn Edwards Paints. Color: Summerville Brown (DE6139) LRV: 19	
C2	Vinyl Wood siding, CertainTeed, Model: Monogram. Color: Rustic Blend	
C4	Vinyl Windows Trims, Dunn Edwards Paints. Color: Maple Brown Sugar (DET639) LRV: 28	
C5	Smooth Stucco, Dunn Edwards Paints. Color: Chocolate Chunk (DE6070) LRV: 10	

KEYPLAN

DRAWING TITLE  
**ELEVATIONS - UNIT C & D**

SCALE 1/4" = 1'-0"

PROJECT NUMBER 20-043

DRAWING NUMBER **A4.2**



**2 WEST ELEVATION**  
1/4" = 1'-0"





**1 SOUTH ELEVATION**  
1/4" = 1'-0"



**2 EAST ELEVATION**  
1/4" = 1'-0"

**GENERAL NOTES:**

- ALL FINISHES/FIXTURES/APPLIANCES TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- PROVIDE A SOLID, SELF-CLOSING, SELF-LATCHING DOOR BETWEEN RESIDENCE AND GARAGE.
- PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- SHOWER DOORS SHALL HAVE SAFETYGLAZING AND SWING OUTWARD (R308.4).
- PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN. DUCT DIRECTLY TO OUTSIDE. (R303.2 AMENDED, M1506, TABLE 1506.3) UNLESS WINDOW IS PROVIDED PROVIDE STAIRWAY ILLUMINATION PER (R303.8).
- PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS. PER R703.8.
- ALL INTERIOR WALLS, CLGS AND SOFFITS TO HAVE SQUARE CORNER BEAD.
- ALL DRYWALL TO BE FINISHED LEVEL & SMOOTH.
- ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMANDATIONS. VERIFY LOCATIONS WITH OWNER.
- ALL OUTSIDE STUCCO CORNERS TO BE SQUARE WITH REINFORCEMENTS.
- COLORS, STAINS, ETC. TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- FOR DOOR SCHEDULE SEE A8.0.
- FOR SMOKE DETECTORS SEE RCP SHEETS A2.0.
- EACH WATER CLOSET SHOULD HAVE A MIN. OF 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE.
- INSTALL ALL LISTED APPLIANCES PER MANUFACTURER'S LISTING & INSTALLATION REQUIREMENTS.

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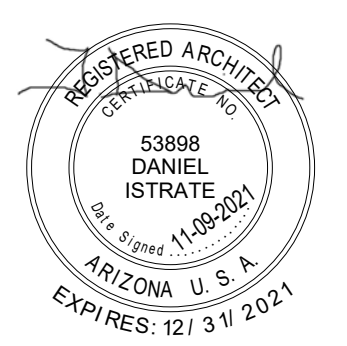
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**KEYNOTES:**

SEALS AND SIGNATURES



KEYPLAN

**COLOR LEGEND:**

ID	DESCRIPTION	EXAMPLE
C1	Smooth Stucco, Dunn Edwards Paints. Color: Summerville Brown (DE6139) LRV: 19	
C2	Vinyl Wood siding, CertainTeed, Model: Monogram. Color: Rustic Blend	
C4	Vinyl Windows Trims, Dunn Edwards Paints. Color: Maple Brown Sugar (DET639) LRV: 28	
C5	Smooth Stucco, Dunn Edwards Paints. Color: Chocolate Chunk (DE6070) LRV: 10	

DRAWING TITLE  
**ELEVATIONS - UNIT C & D**

SCALE 1/4" = 1'-0"  
PROJECT NUMBER 20-043  
DRAWING NUMBER **A4.3**



**GENERAL NOTES**

- A. PROVIDE LANDING ON OUTSIDE OF EXTERIOR DOORS.
- B. PROVIDE MECHANICAL EXHAUST VENTILATION FOR BATHROOMS, WATER CLOSETS, LAUNDRY ROOM, AND KITCHEN. DUCT DIRECTLY TO OUTSIDE UNLESS WINDOW IS PROVIDED.
- C. PROVIDE WEATHER FLASHING/PROOFING AT EXTERIOR WALL PENETRATIONS, INCLUDING WINDOWS, DOORS AND VENTS.
- D. ALL INTERIOR WALLS, CLCS AND SOFFITS TO HAVE SQUARE CORNER BEAD.
- E. ALL DRYWALL TO BE FINISHED LEVEL & SMOOTH.
- F. ALL HEIGHTS SHOWN ARE BASED FROM A REFERENCE POINT 0'-0" F.F.
- G. PROVIDE STUCCO CONTROL JOINTS PER MANUFACTURER'S RECOMANDATIONS. VERIFY LOCATIONS WITH OWNER.
- H. ALL OUTSIDE STUCCO CORNERS TO BE SQUARE WITH REINFORCEMENTS.
- I. COLORS, STAINS, ETC. TO BE SELECTED BY OWNER AND APPROVED BY CITY OF SEDONA.
- J. FOR DOOR SCHEDULE SEE A8.0.
- K. FOR SMOKE DETECTORS SEE RCP SHEETS A2.0.
- L. EACH WATER CLOSET SHOULD HAVE A MIN. OF 15" FROM CENTERLINE TO EACH SIDE TO FINISH SURFACE

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**KEYNOTES**

SEALS AND SIGNATURES



KEYPLAN

**COLOR LEGEND:**

ID	DESCRIPTION	EXAMPLE
C1	Smooth Stucco. Dunn Edwards Paints. Color: Summerville Brown (DE6139) LRV: 19	
C2	Vinyl Wood siding. CertainTeed, Model: Monogram. Color: Rustic Blend	
C4	Vinyl Windows Trims. Dunn Edwards Paints. Color: Maple Brown Sugar (DET639) LRV: 28	
C5	Smooth Stucco. Dunn Edwards Paints. Color: Chocolate Chunk (DE6070) LRV: 10	

DRAWING TITLE

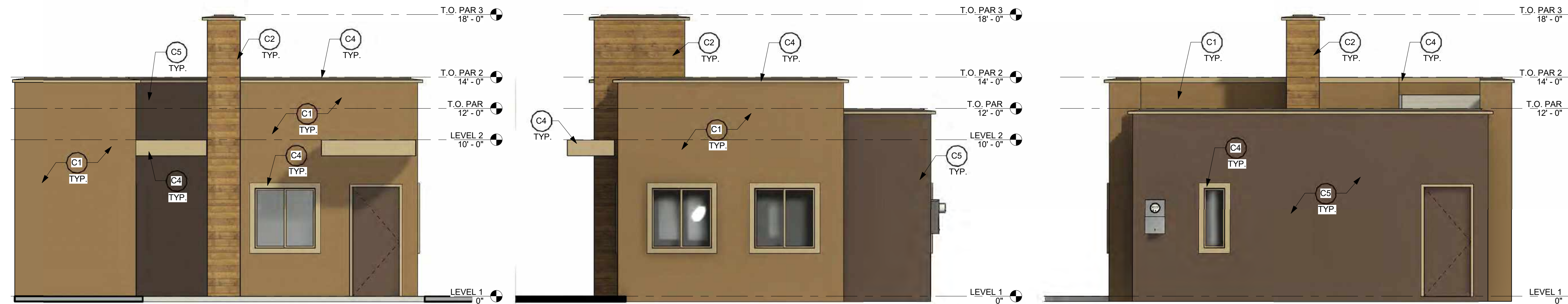
**ELEVATIONS - GAZEBO AND OFFICE**

SCALE 1/4" = 1'-0"

PROJECT NUMBER 20-043

DRAWING NUMBER

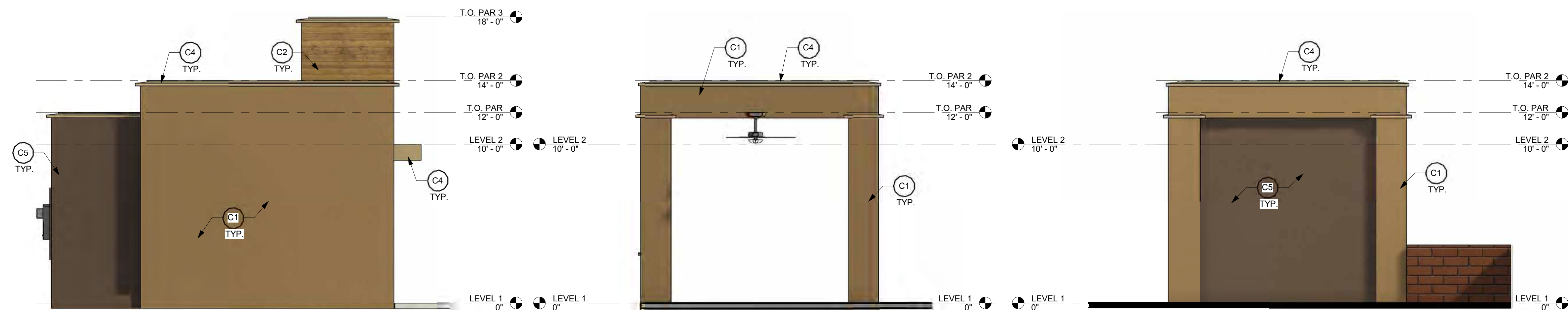
**A4.4**



**1 SOUTH ELEVATION**  
1/4" = 1'-0"

**2 EAST ELEVATION**  
1/4" = 1'-0"

**3 NORTH ELEVATION**  
1/4" = 1'-0"



**4 WEST ELEVATION**  
1/4" = 1'-0"

**5 GAZEBO EAST ELEVATION**  
1/4" = 1'-0"  
NORTH AND SOUTH ELEVATIONS TYPICAL

**6 GAZEBO WEST ELEVATION**  
1/4" = 1'-0"



**1 LIGHTING SITE PLAN**  
 1" = 40'-0"



**LIGHTING FIXTURE CUT SHEETS**

**LIGHT FIXTURE TYPE 2**

thegreatoutdoors®  
by MINKA-LAVERY™

Job Name: \_\_\_\_\_  
 Job Type: \_\_\_\_\_  
 Quantity: \_\_\_\_\_

Family: Strikem™  
 Product Category: Post Mount Lantern  
 Base: 1/2" x 1/2" x 1/2"  
 Finish: Copper Bronze™  
 Configuration: 600/60/6

Property	Value	Property	Value
Light Type	5-Adjustable	Mount	6.0
Stock Type	6.0	Length	11.0
Min. Height	8.0	Finish	NA
LED Included	NA	Min. Overall Height	NA
Dimmer	NA	Max. Overall Height	NA
CEC	19	Height Adjustment	NA
Cover Type	11.75	CEC	11.75
Solar Lumens	100,000	Ball Length	1.50
Downward Lumens	210,000	Black Plate/Canopy Width	NA
Rated Life Hours	50,000	Black Plate/Canopy Height	NA
Flux Cap Included	NA	Canopy Length	NA
Ballast	NA	Canopy to Top of Fixture	NA
Shipping	NA	Canopy to Bottom of Fixture	NA
Canopy Height	13.12	Canopy to Bottom of Fixture	NA
Canopy Width	13.62	Canopy	NA
Canopy Length	14	Chain Length	NA
Canopy Color	NA	Mount Length	7
Canopy Cable Feet	11.50	Shade Description	NA
Shade Type	Shade	Shade Material	Glass
Mount Pack Weight	NA	Shade Country	1
Mount Pack Width	NA	Shade Number	G4011-CUR
Mount Pack Height	NA	Shade Width	NA
Mount Pack Length	NA	Shade Height	NA
Mount Cable Feet	NA	Shade Length	NA
Multi-Pack	NA	Mounting	Adjustable
Shelf Protection Straps	2	Shade Cable Included	NA

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 \*Product availability for this item is dependent upon the availability of the components used in its construction.

**LIGHT FIXTURE TYPE 1**

Outdoor Wall Science™ 1LI AZ  
 8056AZ (Architectural Bronze)

Product ID: 8056AZ  
 Finish: Architectural Bronze

Ordering Information

Property	Value
Product ID	8056AZ
Finish	Architectural Bronze
Dimensions	5.50"
Height from center of wall	6.00"
Mount Backplate	12.00" X 7.00"
Weight	2.00 LBS

Specifications

Property	Value
Material	Aluminum
Mounting	Standard/Adjustable
Electrical	100 V
Dimmer	Yes
Qualifications	www.kichler.com/technical
Primary Lamping	LED
Lamp Included	Not Included
Max. In-House Price	1000
Socket Voltage	120
Socket Type	Medium
Lamp Type	A15

Dimensions: 5.50" height, 12.00" width

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**BULB FOR LIGHT FIXTURE TYPE 1**

Verbatim True Candle 1900K LED - Now with Flicker Effect

Charlotte, NC - January 30, 2015 - Verbatim America, LLC, a member of Mitsubishi Chemical Holdings Corporation (MCHC) group invites you to experience the warmth and ambience of candlelight with the Verbatim True Candle LED Lamp with Flicker Effect. Utilizing Mitsubishi Chemical's proprietary VVRIB technology to produce a 1900K color temperature, the light spectrum emitted by this lamp closely matches that of a real candle flame. The Verbatim True Candle LED lamp emits a soft, candle-like glow, which gently and randomly flickers, further restoring the feeling of an actual candle.

"We've taken the evolution of our 1900K True Candle LED Lamp one step further by introducing the Flicker Effect," said Tim Calderback, Verbatim's Director of Technical Sales. "This lamp mimics the appearance of an actual candle, not only in color, but in motion, with a gentle, dancing, flickering effect - just like a real flame!"

Perfect for use in decorative lighting fixtures such as chandeliers, wall sconces and table settings, these energy efficient LED lamps are ideal for environments where real candles are not safe or practical. The clear, flame tip globe and gold metallic base coordinate nicely with both modern and antique light fixtures.

To see the Verbatim True Candle LED Lamp with Flicker Effect in action visit: [bit.ly/verbatmLED](http://bit.ly/verbatmLED)

To see our complete line of LED Lamps, including our True Candle Lamps, please visit: [www.verbatmlighting.com](http://www.verbatmlighting.com)

**About Verbatim**  
 For more than 40 years, Verbatim has been a leader and trusted brand in the data storage marketplace, offering a diverse product portfolio, which includes Blu-ray, DVDs, CDs, USB drives, memory cards, external hard drives, mice, keyboards and more. As a proud subsidiary of Mitsubishi Kagaku Iida, a member of Mitsubishi Chemical Holdings Corporation (MCHC) group, Verbatim has coupled its innovation and sustainability with the vision of its parent company to enter the LED and OLED markets. Their commitment to future technologies

**LIGHTING FIXTURE INVENTORY**

FIXTURE TYPE	FIXTURE QTY.	LUMENS	BULB TYPE	LOCATION
1	6	600	LED	BLDG #1
1	6	600	LED	BLDG #2
1	6	600	LED	BLDG #3
1	6	600	LED	BLDG #4
1	6	600	LED	BLDG #5
1	6	600	LED	BLDG #6
1	6	600	LED	BLDG #7
1	6	600	LED	BLDG #8
1	6	600	LED	BLDG #9
1	6	600	LED	BLDG #10
1	6	600	LED	BLDG #11
1	6	600	LED	BLDG #12
1	6	600	LED	BLDG #13
1	6	600	LED	BLDG #14
1	6	600	LED	BLDG #15
1	6	600	LED	BLDG #16
1	6	600	LED	BLDG #17
1	6	600	LED	BLDG #18
1	6	600	LED	BLDG #19
1	6	600	LED	BLDG #20
1	6	600	LED	BLDG #21
1	6	600	LED	BLDG #22
1	6	600	LED	BLDG #23
1	6	600	LED	BLDG #24
1	6	600	LED	BLDG #25
1	6	600	LED	BLDG #26
1	6	600	LED	BLDG #27
1	6	600	LED	BLDG #28
1	6	600	LED	BLDG #29
1	6	600	LED	BLDG #30
2	1	450	LED	SITE #1
2	1	450	LED	SITE #2
2	1	450	LED	SITE #3
2	1	450	LED	SITE #4
2	1	450	LED	SITE #5
2	1	450	LED	SITE #6
2	1	450	LED	SITE #7
2	1	450	LED	SITE #8
2	1	450	LED	SITE #9
		109,500	TOTAL	

**NAVAJO LOFTS**  
 10 NAVAJO DR.  
 SEDONA, ARIZONA 86336

**KONTEXTURE**  
 architecture | interiors | urban planning

KONTEXTURE, LLC  
 ARCHITECT  
 3334 E. 20TH STREET  
 PHOENIX, AZ, 85016  
 602.875.6221

ISSUED FOR: \_\_\_\_\_ REV: \_\_\_\_\_ DATE: \_\_\_\_\_

SEALS AND SIGNATURES

KEYPLAN

DRAWING TITLE  
**LIGHTING SITE PLAN**

As indicated

SCALE: \_\_\_\_\_ PROJECT NUMBER: \_\_\_\_\_ DRAWING NUMBER: **E0.7**