

# AGENDA

## City of Sedona Planning and Zoning Commission Meeting

4:30 PM

Tuesday, February 15, 2022

### NOTICE:

Pursuant to A.R.S. 38-431.02 notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a meeting open to the public on Tuesday, February 15, 2022, at 4:30 pm in the City Hall Council Chambers.

### NOTES:

- Meeting room is wheelchair accessible. American Disabilities Act (ADA) accommodations are available upon request. Please phone 928-282-3113 at least 24 hours in advance.
- Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: [www.SedonaAZ.gov](http://www.SedonaAZ.gov)

### GUIDELINES FOR PUBLIC COMMENT

#### PURPOSE:

- To allow the public to provide input to the Planning and Zoning Commission on a particular subject scheduled on the agenda.
- Please note that this is not a question/answer session.

#### PROCEDURES:

- It is strongly encouraged that public input on the agenda items be submitted by sending an e-mail to [kherbert@SedonaAZ.gov](mailto:kherbert@SedonaAZ.gov) in advance of the 4:30 Call to Order.
- Fill out a "Comment Card" and deliver it to the Recording Secretary.
- When recognized, use the podium/microphone.
- State your Name and City of Residence
- Limit comments to 3 MINUTES.
- Submit written comments to the Recording Secretary.

1. CALL TO ORDER, PLEDGE OF ALLEGIENCE, ROLL CALL
2. ANNOUNCEMENTS & SUMMARY OF CURRENT EVENTS BY COMMISSIONERS & STAFF
3. APPROVAL OF THE FOLLOWING MINUTES:
  - a. February 1, 2022 (R)
  - b. February 1, 2022 (SV)
4. PUBLIC FORUM: *(This is the time for the public to comment on matters not listed on the agenda. The Commission may not discuss items that are not specifically identified on the agenda. Pursuant to A.R.S. § 38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to criticism, or scheduling the matter for further consideration and decision at a later date.)*
5. Update/discussion regarding the Community Plan Update.
6. CONSIDERATION OF THE FOLLOWING ITEMS THROUGH PUBLIC HEARING PROCEDURES:
  - a. Public hearing/discussion/possible action regarding a request for a Development Review for the construction of a 60-unit townhouse development at 10 Navajo Drive. The property is zoned Commercial (CO), is approximately 4.5 acres, and is located northeast of the intersection of State Route 89A and Southwest Drive. **APN:** 408-24-536B. **Case Number:** PZ21-00007 (DEV) **Applicant:** MK Company (Keith Holben); Kontexture, LLC (Daniel Istrate)
7. FUTURE MEETING DATES AND AGENDA ITEMS
  - a. Tuesday, March 1, 2022
  - b. Tuesday, March 15, 2022
8. EXECUTIVE SESSION  
If an Executive Session is necessary, it will be held in the Vultee Conference Room at 106 Roadrunner Drive. Upon a public majority vote of the members constituting a quorum, the Planning and Zoning Commission may hold an Executive Session that is not open to the public for the following purposes:
  - a. To consult with legal counsel for advice on matters listed on this agenda per A.R.S. § 38-431.03(A)(3).
  - b. Return to open session. Discussion/possible action on executive session items.
9. ADJOURNMENT

Physical Posting: February 3, 2022 By: DJ

Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: [www.SedonaAZ.gov](http://www.SedonaAZ.gov) or in the Community Development Office, 102 Roadrunner Drive approximately one week in advance of the meeting.

Note that members of the City Council and other City Commissions and Committees may attend the Planning and Zoning Commission meeting. While this is not an official City Council meeting, because of the potential that four or more Council members may be present at one time, public notice is therefore given for this meeting and/or event.

# Staff Report

PZ21-00007 (DEV) Navajo Lofts  
Summary Sheet



City of Sedona

Community Development Department

102 Roadrunner Drive Sedona, AZ 86336

(928) 282-1154 • [www.sedonaaz.gov/cd](http://www.sedonaaz.gov/cd)

**Meeting Date:** February 15, 2022

**Hearing Body:** Planning and Zoning Commission

**Project Summary:** **Construction of a 60-unit townhome development (Navajo Lofts)**

**Action Requested:** Approval of Development Review application

**Staff Recommendation:** Approval, with conditions, of Development Review application

**Location:** 10 Navajo Drive

**Parcel Numbers:** 408-24-536B

**Owner:** MKC Holdings, LLC (Keith Holben)

**Applicant:** Kontexture, LLC (Daniel Istrate)

**Site Size:** ± 4.5 acres

**Community Plan Designation:** Commercial (C)

**Zoning:** Commercial (CO)

**Current Land Use:** Vacant

**Surrounding Properties:**

	<i>Area Zoning</i>	<i>Area Land Uses</i>
North:	CO	Commercial
East:	RS-6	Residential
South:	CO	Vacant
West:	CO	Commercial

**Report Prepared By:** Cari Meyer, Planning Manager

<b>Attachments:</b>	<b>Page</b>
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a. Application, Letter of Intent, Small Documents.....	15
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4. Public Comments.....	69

<sup>1</sup> Due to file size constraints, Engineering Reports, including the Grading and Drainage Plan and Report, Sewer Report, and Traffic Impact Analysis are not included as attachments but are available for review online at: <https://www.sedonaaz.gov/your-government/departments/community-development/projects-and-proposals/navajo-lofts>



## **PROJECT DESCRIPTION**

The applicant is seeking review of a Development Review with the expressed intent of developing a 60-unit townhome project (Navajo Lofts).

Development of this site is permitted in accordance with the Land Development Code (LDC) requirements, including [Article 2 \(Zoning Districts\)](#), [Article 3 \(Use Regulations\)](#), and [Article 5 \(Development Standards\)](#).

## **BACKGROUND AND PROPERTY INFORMATION**

### ***Site Characteristics***

- The property is located on the east side of Navajo Drive between W State Route 89A and Aria Street.
- A City-designated 100-year floodplain runs through the middle of the property.
- The project site is a single parcel totaling approximately 4.5 acres and is currently vacant.
- The property is not part of a recorded subdivision.
- The existing vegetation consists of a mixture of mature trees and shrubs.

### ***Zoning and Community Plan Designations***

The site is designated C (Commercial) in the Community Plan.

The site is zoned CO (Commercial). The purpose of the OC zone is stated as:

*... to accommodate general retail and other commercial and service uses, and incidental or accessory uses, where access requires good vehicular circulation. Land uses are characterized by frequent visits of customers and clients. The CO district is intended to provide attractive commercial development with adequate access to arterial streets and with efficient internal circulation and parking and that is compatible with surrounding residential areas.*

[LDC Section 2.14.A](#)

The CO District allows for development of multi-family residential projects, subject to the density limitations of the Community Plan. The Community Plan states that densities of greater than 12 units per acre may be considered on a case-by-case basis through consideration of strategies for achieving housing diversity, affordability, and availability to address local housing needs.

## **PUBLIC INPUT**

- The applicant completed a Citizen Participation Plan. A copy of the Citizen Participation Report is included ([Attachment 2.c](#))
- Project documents submitted by the applicant were placed on the [Projects and Proposals](#) page of the Community Development Department website.
- Property owners within 300 feet of the subject properties were notified of the Public Hearing.
- The property was posted with a Notice of Public Hearing and a notice was published in the Red Rock News on January 28, 2022.
- All notices contain contact information or a way to submit comments. Written comments received by Staff are included as [Attachment 4](#).

## REVIEW AGENCY COMMENTS AND CONCERNS

Development plans are routed to all internal and external review agencies. The comments received were provided to the applicant, and the applicant has submitted revised plans addressing these comments. Any comments not addressed by resubmitted plans were regarding future requirements and are included as recommended conditions of approval.

Comments were received from the following agencies:

- City of Sedona Community Development
- City of Sedona Public Works
- Sedona Fire District
- Yavapai County Health

## DEVELOPMENT PROPOSAL AND EVALUATION

The applicant is applying for a development review for a multi-family residential project with 60 units in 30 buildings.

A detailed description of the proposal was submitted by the applicant and is included in [Attachment 2.a](#).

### **Phasing**

- The project is proposed to be developed in single phase.

### **Land Development Code (LDC)**

A comprehensive evaluation for compliance with all applicable sections of the Land Development Code was conducted and is outlined in [Attachment 3](#) (Land Development Code Checklist).

#### **LDC Section 2.14: CO: Commercial**

- Density: The proposed density of 13.3 units per acre is permitted if the project is addressing local housing needs. The applicant has submitted a draft development agreement that would guarantee that the units be used as long term rentals. This agreement will need to be approved by City Council prior to issuance of building permits.
- The project complies with all other standards established by this section.

#### **LDC Article 3: Use Regulations**

- Multifamily developments are permitted in the CO zone.
- No additional use-specific standards apply to this development.

#### **LDC Section 5.3: Grading and Drainage**

- A preliminary grading and drainage report and plan has been submitted and reviewed by the Public Works Department. A Final Grading and Drainage report and plan will be required to be submitted with building permit applications.
- A City-designated 100-year floodplain goes through the site and has been taken into account in the design of the site.

#### **LDC Section 5.4: Access, Connectivity, and Circulation**

- A Traffic Impact Study has been submitted by the applicant and reviewed by the Public Works Department.

- The TIS recommends mitigation measures at the intersection of W State Route 89A and Southwest Drive. However, the TIS also states that the mitigation measures would be warranted based on current volumes without the addition of the project.
- The applicant will pay the established development impact fees for this project and the City will work with ADOT to determine and install the appropriate mitigation measures.
- Primary vehicular access to the site is from Navajo Drive and Aria Street, with access to W State Route 89A provided at Southwest Drive.
- Sidewalks will be installed along Navajo Drive and Aria Street and a shared use path will be installed along the southern property line.

#### [LDC Section 5.5: Off-Street Parking and Loading](#)

- 105 parking spaces are required, 125 spaces are provided.
  - Each unit contains a one-car garage, and most units have an additional parking space in a driveway. Additional parking is provided in guest parking areas.

#### [LDC Section 5.6: Landscaping, Buffering, and Screening](#)

- A landscaping plan that meets all LDC requirements has been provided as part of the project documents.
- Rooftop equipment is screened.
- All fences and walls meet LDC requirements.

#### [LDC Section 5.7: Site and Building Design](#)

- The submitted plans meet all LDC requirements for site and building design.

#### [LDC Section 5.8: Outdoor Lighting](#)

- A total lighting output of 315,000 lumens is permitted; a total of 109,500 lumens is proposed.
- All fixtures are fully shielded and meet lighting color requirements.

#### [LDC Section 5.9: Public Art](#)

- As the project includes provisions to address local housing needs, public art is not required.

#### [LDC Section Article 6: Signs](#)

- No signs are proposed.

#### *Wastewater Disposal*

- *The property will connect to the City's wastewater system.*

## REVIEW GUIDELINES

The following is requested from the Planning and Zoning Commission at this time:

- **DEVELOPMENT REVIEW** Review of Proposal – Final Action

All development applications are reviewed under [LDC Article 8 \(Administration and Procedures\)](#).

[LDC Section 8.3](#) contains procedures and rules applicable to all development applications while the following sections contain procedures and rules that apply to specific development applications. [LDC Section 8.3.E\(5\)](#) contains the approval criteria applicable to all development, subdivision, and rezoning applications. These criteria are as follows:

**A. Generally**

Unless otherwise specified in this Code, City review and decision-making bodies shall review all development, subdivision and rezoning applications submitted pursuant to this article for compliance with the general review criteria stated below.

**Staff Evaluation:** *Staff and Reviewing Agencies has evaluated the submitted application materials. As conditioned, the proposal complies with all applicable review criteria. The proposal is in compliance with this criterion.*

**B. Prior Approvals**

The proposed development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval that is in effect and not proposed to be changed. This includes an approved phasing plan for development and installation of public improvements and amenities.

**Staff Evaluation:** *No prior land use approvals impact the review of this application. The proposal is in compliance with this criterion.*

**C. Consistency with Sedona Community Plan and Other Applicable Plans**

Except for proposed subdivisions, the proposed development shall be consistent with and conform to the Sedona Community Plan, Community Focus Area plans, and any other applicable plans. The decision-making authority:

1. Shall weigh competing plan goals, policies, and strategies; and
2. May approve an application that provides a public benefit even if the development is contrary to some of the goals, policies, or strategies in the Sedona Community Plan or other applicable plans.

**Staff Evaluation:** *Staff evaluated the proposal for compliance with the Community Plan and it was found to be consistent:*

- *The property is designated Commercial in the Community Plan, which supports the CO zoning designation, which allows for multifamily projects. This use is consistent with the Commercial designation.*
- *The Community Plan supports densities of greater than 12 units per acre when strategies for achieving housing diversity, affordability, and availability to address local housing needs are included in a proposal. This project will restrict short-term rentals.*
- *Housing Diversity is one of the Six Major Outcomes of the Community Plan. This project will add 60 long-term rentals and are larger than standard apartments, adding diversity to the rental housing stock.*
- *The proposal does not contradict any of the policies within the Community Plan.*

*The proposal is in compliance with this criterion.*

**D. Compliance with This Code and Other Applicable Regulations**

The proposed development shall be consistent with the purpose statements of this Code and comply with all applicable standards in this Code and all other applicable regulations, requirements and plans, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.

**Staff Evaluation:** *As outlined in the Land Development Code Checklist, the proposal is compliant with all applicable standards of the Land Development Code, including the allowed uses for the CO*

zoning district, CO district standards, and site and building design standards. No waivers or variances are being requested. The proposal is in compliance with this criterion.

#### **E. Minimizes Impacts on Adjoining Property Owners**

The proposed development shall not cause significant adverse impacts on surrounding properties. The applicant shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the Citizen Participation Plan for the specific development project, if such a plan is required.

**Staff Evaluation:** *The applicant completed their required Citizen Participation Plan, which is included as [Attachment 2.c](#). Staff completed the required noticing and comments received are included as [Attachment 4](#). Concerns from the neighbors included design of the site and provision of adequate parking. The project has been designed in full compliance with LDC requirements, including building and site design and parking requirements. The proposal is in compliance with this criterion.*

#### **F. Consistent with Intergovernmental Agreements**

The proposed development shall be consistent with any adopted intergovernmental agreements, and comply with the terms and conditions of any intergovernmental agreements incorporated by reference into this Code.

**Staff Evaluation:** *There are no adopted intergovernmental agreements in place that are affected by the proposed development. This criterion does not apply to this request.*

#### **G. Minimizes Adverse Environmental Impacts**

The proposed development shall be designed to minimize negative environmental impacts, and shall not cause significant adverse impacts on the natural environment. Examples of the natural environment include water, air, noise, stormwater management, wildlife habitat, soils, and native vegetation.

**Staff Evaluation:** *No negative environmental impacts are anticipated because of the proposed development. The site is an infill site surrounded by existing development, is not a significant wildlife habitat and has little native vegetation. The site is served by existing streets and utilities. The drainage for the site has been designed in accordance with the City's requirements.*

#### **H. Minimizes Adverse Fiscal Impacts**

The proposed development shall not result in significant adverse fiscal impacts on the City.

**Staff Evaluation:** *No adverse fiscal impacts on the City are anticipated. The proposal is in compliance with this criterion.*

#### **I. Compliance with Utility, Service, and Improvement Standards**

As applicable, the proposed development shall comply with federal, state, county, service district, City and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards.

**Staff Evaluation:** *The application materials were provided to review agencies for an opportunity to review. As conditioned, the proposed CUP complies with all applicable regulatory authority standards included within this criterion.*

**J. Provides Adequate Road Systems**

Adequate road capacity must exist to serve the uses permitted under the proposed development, and the proposed uses shall be designed to ensure safe ingress and egress onto the site and safe road conditions around the site, including adequate access onto the site for fire, public safety, and EMS services. The proposed development shall also provide appropriate traffic improvements based on traffic impacts.

**Staff Evaluation:** *No new roads are required to serve the site. The Sedona Fire District and Police Department have reviewed the plans and have raised no concerns from an emergency access perspective. The City's Public Works Department has reviewed the anticipated traffic generation and will use the traffic development impact fees from this project and work with ADOT to implement appropriate mitigation measures. The proposal is in compliance with this criterion.*

**K. Provides Adequate Public Services and Facilities**

Adequate public service and facility capacity must exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, roads, potable water, sewer, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.

**Staff Evaluation:** *Staff believes that adequate public service and facility capacity exists to accommodate the proposed development. All applicable review agencies have reviewed the plans and have not stated any concerns from a serviceability standpoint. The proposal is in compliance with this criterion.*

**L. Rational Phasing Plan**

If the application involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date, and shall not depend upon subsequent phases for those improvements.

**Staff Evaluation:** *The project is proposed to be developed in a single phase. The proposal is in compliance with this criterion.*

It is Staff's opinion that this request for development review approval meets the required findings listed above. As outlined in the Land Development Code checklist, this is a permitted use in the CO zone and meets all applicable criteria for development of the property. No waivers or variances from code requirements are being requested. In addition, as outlined above, Staff believes that the project as currently proposed meet all review criteria applicable to all developments. The LDC does not contain additional approval criteria for development review applications beyond the standard criteria.





***Staff Recommendation***

Based on compliance with all ordinance requirements and satisfaction of the Development Review findings of the Land Development Code, staff recommends approval of case number PZ21-00007 (DEV), Navajo Lofts as subject to all applicable ordinance requirements and the attached conditions of approval.

***Sample Motions for Commission Use***

(Please note that the below motions are offered as samples only and that the Commission may make other motions as appropriate.)

***Recommended Motion for Approval***

I move for approval of case number PZ21-00007 (DEV), Navajo Lofts, based on compliance with all ordinance requirements and satisfaction of the Development Review findings and applicable Land Development Code requirements as outlined in the staff report and the attached conditions of approval.

***Alternative Motion for Denial***

I move for denial of case number PZ21-00007 (DEV), based on the following findings (*specify findings*).

*(Please note that the above motions are offered as samples only and that the Commission may make other motions as appropriate.)*



***As proposed by Staff***




1. Development of the subject property shall be in substantial conformance with the applicant's representations of the project, including the letter of intent, site plan, building plans and elevations, landscape plan, and all other supporting documents, as reviewed, modified, and approved by the Planning & Zoning Commission. Proposed changes determined to be substantial by the Community Development Director shall require reconsideration by the Planning & Zoning Commission at a public meeting.
2. The applicant shall development agreement to address the availability of the units for long term rental for Staff review and City Council approval. At a minimum, this development agreement shall contain provisions for minimum lease terms and a prohibition on short term rentals. A development agreement shall be approved by Sedona City Council prior to the issuance of the first building permit for this project.
3. The project shall be constructed in a single phase.
4. The exterior colors and materials shall be in compliance with the submitted color and materials board. Alternate colors proposed by the applicant may be approved by the Director if the colors are darker than the approved colors and meet all other Land Development Code requirements.
5. The plans submitted for building permits shall comply with all applicable Land Development Code requirements.
6. All vents, down spouts, gutters, posts, etc. shall be painted to match the exterior wall or roof color or be in compliance with the color provisions of the Land Development Code.
7. All landscaping shall be maintained to ensure visibility triangle requirements are met at the driveway entrances and intersection.
8. All exterior mechanical equipment shall be screened and/or painted to the satisfaction of the Community Development Director.
9. The applicant shall obtain Right-of-Way Permits from the City of Sedona and/or the Arizona Department of Transportation for any work in the Right-of-Way.
10. Hours of work, for grading operations, shall be limited to 7 a.m. to 6 p.m., Monday through Friday and 9 a.m. to 5 p.m. on Saturday. No grading work shall occur on Sunday.
11. Prior to the issuance of grading and building permits, staff shall verify that all plans submitted for buildings permits are in substantial accordance with the plans as submitted, reviewed, and approved by the Planning and Zoning Commission and meet the following conditions, and the applicant shall provide written documentation of such compliance to staff:
  - a. All plans shall comply with all applicable sections of the Land Development Code and the Development Review application as reviewed and approved by the Planning and Zoning Commission.
  - b. Provide Final Grading and Drainage Plans. The Site Plan shall meet the grading and drainage requirements of the Sedona Land Development Code and the Design Review, Engineering, and Administrative Manual. A trench drain is recommended at the bottom of slopes and driveways to prevent flooding buildings and roads.

- c. Provide Final Drainage Report.
  - d. Per the geotechnical report, retaining wall or building foundations to be constructed in close proximity to retention basins (within 5.0 feet) should be embedded 1.0 feet deeper than the stated depths in the bearing capacity tables.
  - e. Accessible sidewalks and parking areas will need to meet the current US Dept. of Justice ADA requirements.
  - f. Accessible parking/signage shall meet the requirements of the City LDC and DREAM documents.
  - g. For projects involving grading of more than 5,000 cubic yards, a haul plan, a dust control plan, a topsoil reutilization plan, a stormwater pollution prevention plan, and a traffic control plan shall be required. Each must be acceptable to and approved by the City Engineer. (Manual 3.1.H.6.i).
  - h. For Projects involving grading of more than 5,000 cubic yards, an assurance bond is required per Manual Section 3.1.G.1.
  - i. Applicant shall provide a Storm Water Pollution Prevention Plan. SWPPP measures shall be in place prior to the start of construction (DREAM 3.1). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)
  - j. The plans shall delineate oil separators for all paved surfaces prior to its release into the City's storm sewer system. Manufacturer or engineer's specifications and a maintenance schedule shall be provided.
  - k. Construction details shall be provided for sewer construction/connection. Existing sewer laterals that are not utilized by the development shall be abandoned.
  - l. Provide utility construction details on plans.
  - m. A copy of the ADEQ Approval to Construct Water Facilities and Wastewater Facilities shall be provided prior to construction.
  - n. The applicant shall submit landscaping plans that comply with all applicable City codes and the approved landscaping plans.
  - o. The applicant shall submit outdoor lighting plans that comply with all applicable City codes and the approved lighting plan.
  - p. All requirements of the Sedona Fire District shall be satisfied.
  - q. All concrete within the City ROW shall be colored "Sedona Red" (Davis 160 color).
12. Prior to the issuance of a Certificate of Occupancy, staff shall verify that all construction is in substantial accordance with the plans as submitted, reviewed, and approved by the Planning and Zoning Commission, and meets the following conditions:
- a. All on-site improvements shall substantially conform to the plans on which grading and building permits were issued.
  - b. Installation of all proposed landscaping shall be complete and in accordance with the approved landscape plan.
  - c. All outside lighting shall have been installed in accordance with the approved plans. All lighting sources shall be fully shielded so that the direct illumination is confined to the subject property boundaries and so no light is directed above the horizontal plane. Staff shall conduct a night inspection and if deemed necessary, additional shielding will be required.

- d. All new utility lines shall be provided through underground installation.
  - e. All mechanical equipment and trash receptacles shall be completely screened from surrounding areas by use of a wall, fence, landscaping or shall be enclosed within a building. All electrical panels shall be located so as not to be visible from public rights-of-way.
  - f. All requirements of the Sedona Fire District shall be satisfied.
  - g. The applicant shall provide copies of all required testing to the Engineering Department.
  - h. As-built plans shall be provided to the City in digital and hard copy formats acceptable to the City Engineer.
  - i. An elevation Certificate from an Arizona Registered Land Surveyor is required for each building.
  - j. All areas of cut and fill shall be landscaped or dressed in such a manner as to reduce the potential for erosion.
  - k. The applicant shall provide a letter, sealed by the engineer of record, verifying that the work, as done, is in substantial accordance with the approved plans.
  - l. All construction shall comply with the Storm Water Regulations in Chapter 14 of the City of Sedona City Code. Storm water quantities and velocities shall not be greater than the historic values at the downstream property line.
13. Within thirty days of approval of the Development Review, the property owners of record of the subject properties shall sign and record a waiver acknowledging their waiver of any right to claim just compensation for diminution in value under A.R.S. §12-1134 related to the granting of this Development Review.

# Aerial View

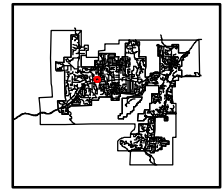
Parcel  
408-24-536B  
Navajo Lofts

-  Parcel 408-24-536B
-  Parcel Boundary
-  Street Centerline



0 35 70 Feet

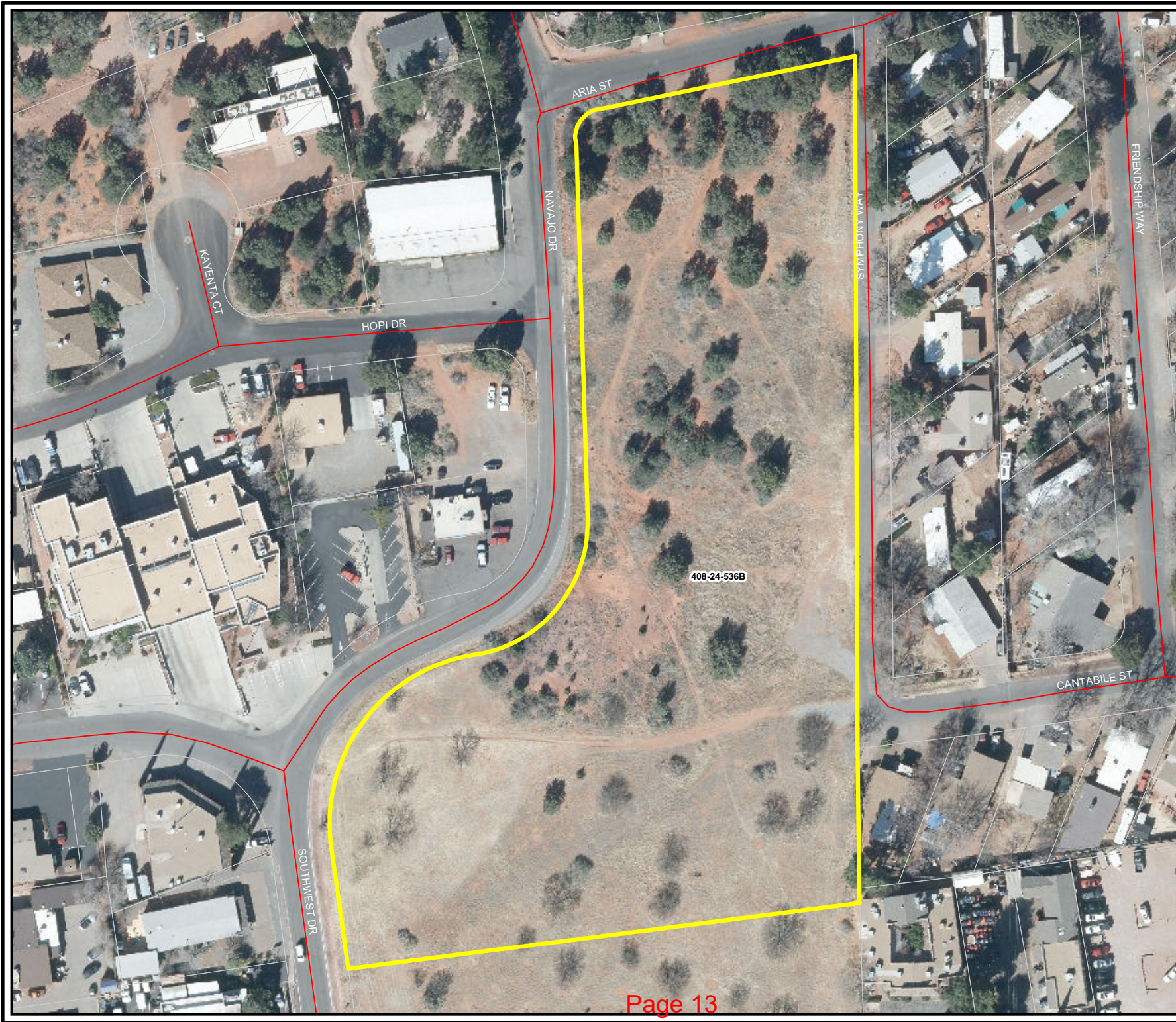
City Index



GIS, City of Sedona  
04/15/2021  
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mxds\408-24-536b.mxd









This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty of fitness is implied. The information is provided on an "as is" basis. The City of Sedona shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with or arising from the information contained on this map.



# Vicinity Map

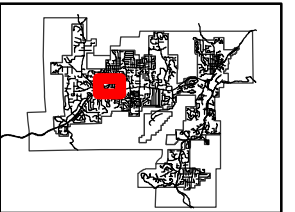
Parcel  
408-24-536B  
Navajo Lofts

-  Parcel 408-24-536B
-  Zoning Boundary
-  Building Footprint
-  Parcel Boundary
-  Trail
-  Street Centerline



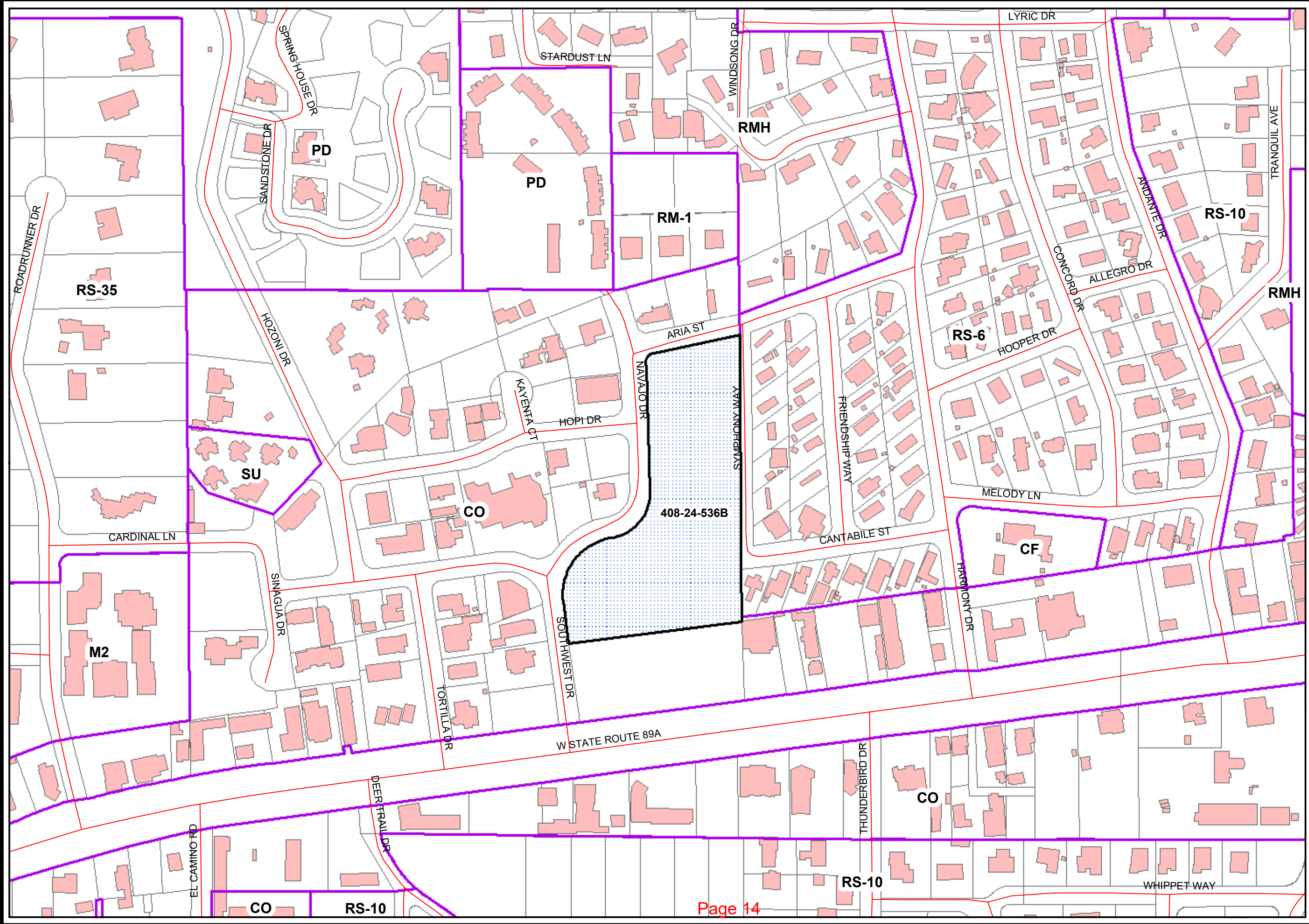
0 75 150 Feet

City Index



GIS, City of Sedona  
04/15/2021  
[g://pubreq/projects/NavajoLofts/mxds/408-24-536b\\_vicinity.mxd](https://pubreq/projects/NavajoLofts/mxds/408-24-536b_vicinity.mxd)

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# Project Application

fillable PDF available online at:  
[www.sedonaaz.gov/projects](http://www.sedonaaz.gov/projects)



**City Of Sedona**

**Community Development Department**

102 Roadrunner Drive Sedona, AZ 86336  
 (928) 282-1154 • [www.sedonaaz.gov/cd](http://www.sedonaaz.gov/cd)

Application for (check all that apply):

- Conceptual Review     
  Comprehensive Review     
  Appeal     
  Time Extension  
 Community Plan Amendment     
  Development Review     
  Subdivision     
  Minor Modification  
 Zone Change     
  Conditional Use Permit     
  Variance

Project Information	Project Name	NAVAJO LOFTS		
	Project Address	10 NAVAJO DR. SEDONA, AZ. 86336	Parcel No. (APN)	408-24-536B
	Primary Contact	Sergio Valencia	Primary Phone	602-875-6221
	Email	sergio.valencia@kontexture.com	Alt. Phone	
	Address	3334 N. 20th St.	City/State/ZIP	Phoenix, AZ. 85016
Office Use Only	Application No		Date Received	
	Received by		Fee Paid	

Project Description	THE NAVAJO LOFTS PROJECT WILL CONSIST OF THIRTY (30) NEW DUPLEX BUILDINGS PLACED ON THE PROPERTY LOCATED AT 10 NAVAJO DR. SEDONA, ARIZONA 86336. TWO (2) BUILDING TYPES. BLDG. OPT. 1 WILL CONSIST OF 2,259 SQ. FT. BUILDING OPT. 2 WILL CONSIST OF 2,285 SQ. FT. EACH UNIT WILL HAVE AN ENCLOSED TWO (2) AND ONE (1) CAR GARAGE AND STORAGE.
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Additional Contact Information: Please complete the following for all companies/people authorized to discuss the project with the City. Please attach additional sheets if necessary.

Contact #1	Company	Kontexture, LLC.	Contact Name	Daniel Istrate
	Project Role	Principal	Primary Phone	602.875.6221
	Email	daniel.istrate@kontexture.com	Alt. Phone	
	Address	3334 N. 20th St.	City/State/ZIP	Phoenix, AZ. 85016
Contact #2	Company	MK Company, Inc.	Contact Name	Keith Holben
	Project Role	CEO	Primary Phone	480.998.2803
	Email	kh@mkcompany.com	Alt. Phone	
	Address	15010 N 78th Way. Ste 109	City/State/ZIP	Scottsdale, AZ. 85260
Contact #3	Company	MTH Morgan Taylor Homes	Contact Name	Morgan Fisher
	Project Role	Architectural Manager	Primary Phone	602.622.4664
	Email	morgan@morgantaylorhomes.com	Alt. Phone	
	Address	10045 E. Dynamite Blvd. Ste F200	City/State/ZIP	Scottsdale, AZ. 85262

**Letter of Intent for Proposed Development****10 Navajo Drive****Project Name: Navajo Lofts****Applicant/Project Owner: Kontexture, LLC. / MKC Holdings, LLC.**

November 15th, 2021.

Cari Meyer, Planning Manager  
Community Development.  
102 Roadrunner Drive.  
Sedona, Arizona. 86336-3710

**Dear Ms. Meyer:**

The purpose of this letter of intent to pursue land use and related approvals for the development of the 4.50 acre (196,020 square feet) property in the City of Sedona, Arizona at 10 Navajo Drive (APN: 408-24-536B), currently owned and operated by MKC Holdings, LLC.

**INTRODUCTION.**

On behalf of property owners, Applicant, **MKC Holdings, LLC.** proposes the Navajo Lofts project, a residential home community, comprised of two types of buildings and 4 types of rental Units/Homes, Recreational and ADA Vehicle spaces, and other community amenities servicing the development's residents and visitors.

The property includes approximately 4.50 acres and is in an incorporated area of Yavapai County on the north side of State Route 89A, less than 1 mile from Sedona City Hall. Navajo Lofts is one of the largest plots of undeveloped, privately owned land in the Sedona area. Surrounded by Commercial and Residential lots. It is accessed through a private road.

The property owners are MKC Holdings, LLC. MKC Holdings, LLC has occupied the property since 2019. Applicant proposes the development of a residential community that will offer much needed moderately priced housing. A wide array of high end amenities will be offered on site including offices, BBQ grills and picnic tables, Dog Park, Gazebo, and bicycle racks all over the lot for convenience of the residents and their visitors.

**PURPOSE OF REQUEST.**

The purpose of this request is to seek an Overall approval of the Development at the subject site, in order to provide for the uses, development standards, and other criteria proposed at Navajo Lofts through this Letter of Intent.

**PROJECT DESCRIPTION.**



The Parcel includes 4.50 acres of mostly of raw land. We are proposing to construct two (2) types of building, each building will be a two-story mixed-use building serving the residents, with a total of 30 buildings (60 rental units), approximately 68,400 square feet of ground-floor residential space.

Significant open space will be preserved and maintained for the benefit of residents and visitors, approximately 48,441 S.F. of Open Space, including a Dog Park area in the South of the property. A View corridor, walking paths, dedicated public trail / bikeway, and park areas will allow residents and visitors to enjoy the natural beauty of the site and the surrounding area. No age limitations will be imposed. Buildings will be dictated by the natural landscape and existing topography. Open space will be expansive and provide a natural, open feel within the community. The property and amenities will be owned and maintained by Owner.

Residential units will vary from 35 to 60 feet wide and 46 to 80 feet deep. Aesthetic design of models will be carefully selected to maintain a look and feel compatible with the natural beauty of the site and surrounding area. Careful standards related to condition/type/design of homes will be imposed to establish and uphold the community’s value and appearance.

**PROJECT LAYOUT**

The North drive frontage of the Project will be for residential purposes only. The East Navajo drive side of the Project will be entirely residential (two stories at the street level), including private garage entries for every single residential unit. The offices, gazebo, architecture and façade are designed to integrate and blend with the residential component.

Our design will be integrated with the surroundings by having landscaping around the residences that are harmonious with the native fauna, along Navajo Drive.

The residents will enjoy private courtyards and amenities such as outdoor seating, grilling areas and gathering spaces that are easily accessible, while maintaining privacy and security.

**PROJECT OBJECTIVES AND BENEFITS**

The Project will benefit the City of Sedona in the following ways:

- Add 68,400 sq. ft. of new residential space.
- Provide additional employment opportunities to the area.
- Offer a unique housing alternative to this part of Sedona.
- Include desirable lifestyle and community amenities.
- Allow for a live-work relationship with the surrounding area.
- Provide the community with new residents who will work and shop in the area.

The Project will invigorate the Yavapai County Neighborhood, provide additional housing diversity that complements the eclectic make-up of the neighborhood, create both construction employment opportunities, encourage use of multi-modal transportation options, and activate the streetscape.

**PROJECT SPECIFICS**

<b># of Units:</b>	60 Units & 68,400 sq. ft. of residential/housing space.
<b>Location:</b>	10 Navajo Drive
<b>Rental Sq. Ft.:</b>	68,400
<b>Sq. Ft. per Unit:</b>	2,009 SF – Unit A
	2,187 SF – Unit B
	1,866 SF – Unit C
	2,115 SF – Unit D
<b>Offices:</b>	482 SF.
<b>Gazebo:</b>	225 SF

<b>Roadways &amp; Driveways:</b>	37,345 SF
<b>Patios:</b>	10,580 SF
<b>Walkways:</b>	17,552 SF
<b>Start Construction:</b>	Approximately June 2022
<b>Type of Building:</b>	Two-story framed buildings.
<b>Land Area:</b>	4.50 Acres (169,163 square feet)
<b>Vehicle Parking:</b>	131 vehicle total parking spaces proposed and 3 ADA parking spaces.
<b>Bicycle Parking:</b>	20 bicycle spaces around the property.
<b>Site Access:</b>	Two (2) access thru Navajo Dr. and Aria St. and bikeway connection thru the property from Cantabile St. to Navajo Dr.
<b>Open Space:</b>	48,441 sf (28.64%)
<b>Lot Coverage:</b>	69,077 sf (40.83%)
<b>Total Coverage:</b>	134,552 sf (79.54%)

The Project will be accessed from both West of Navajo Drive and North of Aria Street. Lot is close to state route 89A and is considered a “Highly Walkable” area.

**RESIDENTIAL SPECIFICS**

The Project anticipates attracting a mix of residents including urban families, professionals, empty nesters, and active seniors. The units will include high-quality features and amenities.

Unit Mix:	53 two-bedroom	–	88.33%
	7 three-bedroom	–	11.67%

**APARTMENT FEATURES:**

- Professionally designed interiors
- Distinctive floors plans
- 8’-6” foot ceilings
- Parking Garage
- Quartz or granite countertops
- Upgraded appliances
- In-unit washers and dryers
- Private patio/balcony

**COMMUNITY AMENITIES:**

- On-site leasing office
- Pool and Gazebo.
- Bicycle Racks
- 10’ Public trail/Bikeway that connects Cantabile St. with Navajo Dr.

**COMPLIANCE WITH EXISTING PLANS:**

The Project complies with Sedona Land Development Code (LDC) Requirements pertaining to building height, location, orientation, setbacks, massing, articulation, and materials; parking and circulation; and the aesthetics of landscaping, open space, lighting, colors, windows, entrances.

**SITE CONDITIONS:**

Currently zoned commercial. The site is bordered by Southwest Drive and Navajo Drive to the West of the property, Aria Street to the north of the property, Symphony way to East and to the South there is a zoned commercial property (APN: 408-24-536C). Commercial properties lots are located across west of Southwest Drive. Commercial properties lots are located across west of Navajo Drive. Commercial properties are located crossing to the North of Aria Street, and residential properties lots are located crossing East of Symphony way. beautiful Red Rock views can be seen at the North of property. The terrain

is populated with lush vegetation which will form the basis of the landscape plan; existing trees to be repurposed where appropriate.

#### **ACCESS AND CIRCULATION:**

Navajo Lofts is conveniently located almost adjacent to SR 89A, North of SR89 A, south of Aria Street, and is accessed through Navajo drive or Aria Street [[LDC section 2.24.D\(9\)](#)]. Primary access will be provided through Navajo drive. An emergency/secondary access entrance will be located along the north property border adjacent to Aria Street. There will be two (2) interior streets constructed as provided in the preliminary site plan; these will remain private and shall be maintained by property owner(s). Also, there will be a 10-foot public trail / Bikeway, that we are going to dedicate a public easement, that connects Cantabile Street with Navajo drive.

#### **RELATIONSHIP TO SURROUNDING PROPERTIES**

Navajo Log is surrounded by, on its majority, commercial properties lots to the South, West and North of the site, residential zoned lots are located to the East of the property lot. As illustrated on the Preliminary Site the buildings bordering neighboring residential property will have varied building setbacks, all of which are significantly greater than the minimum setback requirements. These setbacks improved with careful landscaping will maximize privacy for neighbors. The target market for these apartments will be residents seeking long term rental housing. Short term vacation rentals will be prohibited, thereby reducing turnover and noise that can sometimes accompany short term occupancy.

#### **UTILITIES AND SERVICES**

The property is located in an area where all necessary utilities for the project exist. Water is available from Arizona Water Company on three sides of the property. Sewer is available from the City of Sedona and is located along Navajo Drive and Aria Street. Power is available from APS and exist within the site. All utilities will be placed underground as part of this proposal. Trash/Recycling will be available from Waste Management.

## **SITE PLAN**

A Preliminary Site Plan is included with this Application which outlines the prospective locations of the residence units, Pool, Gazebo, Office, internal parking spaces, internal walking paths, internal roads and property access, major amenities, open space, and related uses. A Final Site Plan, generally consistent with the Conceptual Land Use Plan, will be provided at the time of submittal for development permits.

## **DEVELOPMENT STANDARDS**

#### **BUILDING HEIGHT (LDC section 2.24.E)**

- The proposed building height of 2 stories, with a max. building height of 24'-0", complies with the district requirements via the use of the paint LRV restriction of alternate height standards [[LDC table 2.9](#)], allowing an increase in height of 5'-0" max. [[section 2.24.E\(4\)b.2](#)]
- We comply with the Light Reflectance Value (LRV) requirement specified in the LDC. The maximum LRV of the proposed colors is 19% of reflectance.

#### **SETBACKS (LDC section 2.24.D)**

- Proposed setbacks of 10 feet along the property, also proposing a 5' Landscape setback around the lot. [[LDC Section 2.14.B and Section 5.6.C\(2\)a.2.i](#)].
- Patio fences comply with the setback requirements [[LDC Section 2.24.D\(4\)a](#)].

**SITE DESIGN - BUILDING LOCATION AND ORIENTATION [LDC section 5.7.D]**

- The primary residential entrances for the Project address both West of Navajo drive and North of Aria Street.
- Project walkways connect to public sidewalks, paths, and public trail.
- There are 30 duplex buildings located on site which border the perimeter of the property and enclose the vehicle and pedestrian access corridor. [section 5.7.E(2)c].

**PARKING AND SERVICE AREAS; CIRCULATION**

- The off-street parking and service areas adequately address the city requirements for visual screening, lighting.
- Plentiful bicycle parking is located throughout the Project for resident use, and for temporary visitor bicycle parking.

**BUILDING DESIGN / BUILDING MASSING AND ARTICULATION [LDC section 5.7.F]**

- The building mass respects, and compliments views identified as the Views of City of Sedona.
- The residential units have floor elevations that properly respond to the existing grades of the Project's Site
- Visual termination at the top of the building is a cornice element applied to the parapet walls.
- Rooftop equipment is screened by walls.

**MATERIALS AND COLORS**

- Light Reflectance Value (LRV) percentages meet the Land Development requirements for residential uses.
- High quality, durable, low maintenance exterior building materials are being used.
- Colors and building textures are consistent with surrounding properties and are typical for urban projects.
- Trim LRV values exceed the LRV of the primary structure by no more than 10 percent. [section 5.7.F(5).b.2.iv].

**FINDINGS / DEVELOPMENT REVIEW APPLICATIONS [LDC section 8.4.A]**

- Care has been taken to ensure an aesthetically pleasing design that considers neighboring buildings and the surrounding area. The design and color scheme compliment the scenic views. [section 8.4.A(1)].
- This project falls under the category of Major Development Review with 30 dwelling units [section 8.4.A(2)b, table 8.2].
- Elements such as site fencing/walls, exterior porches and balconies, and exterior paint colors have been carefully designed and integrated for a cohesive design.
- A Citizen Participation Plan will be provided [section 8.4.A(4)c].

**FINDINGS / CONDITIONAL USE PERMITS [LDC section 8.4.B]**

- The development will target residents seeking long term rental housing. Short-term vacation rentals will be prohibited, thereby reducing turnover and noise that can sometimes accompany short term occupancy [section 8.4.B].
- The majority of vehicular traffic will be kept out of the existing neighborhood and kept mainly to the primary entrance which will be located off Navajo drive with an emergency/secondary access entrance along the north property border off Aria Street [section 8.4.B].
- The site is currently zoned as CO under which multi-family dwellings are permitted [section 8.4.B(2)].
- A Citizen Participation Plan will be provided [section 8.4.B(3)c].

**FINDINGS / SUBDIVISIONS** [\[LDC section 8.5\]](#)

- Not Applicable – there will be no division of land into separate parcels.

**FINDINGS / ZONE CHANGE APPLICATIONS** [\[LDC section 8.6\]](#)

- The proposed development fills a community need for additional multi-family housing which is currently limited with predominately single-family detached housing, as the city continues to grow [\[per Community Plan Chapter 3 – Land Use, Housing, Growth\]](#).
- The site will incorporate a new public bike path to connect with existing routes for continuity of walkable/bikeable circulation paths throughout the community [\[per Community Plan Chapter 4 - Circulation\]](#).
- The development has been laid out with great consideration of the existing site’s natural grade as building heights also vary accordingly. Building colors complement the unique scenic views of the area for a unique experience of the place evoking a sense of space [\[per Community Plan Chapter 2 - Vision\]](#).

**PROJECT TEAM:**

This is a joint effort between MKC Holdings, LLC. And Morgan Taylor Homes.

<b>Architect:</b>	Kontexture, LLC.
<b>Civil Engineering:</b>	Landcor Consulting.
<b>Landscape Design:</b>	Killip Land and Planning, LLC.
<b>Structural Engineering:</b>	Arizona Structural Engineering Group.
<b>Mechanical Engineering:</b>	Ardebili Engineering, LLC.

Sincerely,



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Daniel Istrate, AIA.  
Principal



6859 E Rembrandt Ave #124  
Mesa, Arizona 85212

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October 20, 2021  
City of Sedona  
Public Works Department  
102 Roadrunner Drive  
Sedona, AZ 86336

**Project: Navajo Lofts, PZ21-00007**

**Re: Plan Review Comment Responses – 2<sup>nd</sup> Review**

**Engineering Comments**

1. See response by Kontecture
2. Driveway has been revised to improve approach angle.
3. Sewer Report
  - a. Fixed erroneous reference to Town of Queen Creek
  - b. Revised sewer taps to 6". The existing taps are not in locations that will work with our design.
  - c. Due to the significant grade change on the site, one sewer tap is not possible
  - d. Revised description of main size on Aria to 8"
4. See response by Kontecture
5. See response by Kontecture
6. A pedestrian access easement is shown on the plan.
7. Drainage:
  - a. Channel has been revised to provide 1' of freeboard.
  - b. Added equalizer pipe.
  - c. We will be proposing a pedestrian bridge over the channel. Specific design to be determined during final design.

**Subject:** Navajo Lofts  
10 Navajo Drive  
**Plan Review APN #** 408-24-536B     **Zoning:** CO  
**Response Date:** 11-15-2021

The following are responses to the planning comments received in September 2021 (PZ21-00007).

**ENGINEERING COMMENTS:**

1. Acknowledged
2. Please see enclosed response by Landcor Consulting
3. Please see enclosed response by Landcor Consulting
4. The required number of accessible parking spaces has been met by providing three (3) ADA spaces throughout the site.
5. Parking space has been removed to allow for a minimum 12' vehicle turnaround.
6. Please see enclosed response by Landcor Consulting
7. Please see enclosed response by Landcor Consulting

**PLANNING COMMENTS:**

- 3b. The LOI has been updated with specific references address under the Development Standards section (pages 4-6).
4. A citizen Participation Plan will be provided per previous conversation between the city and the owner.
5. Sidewalks have been relabeled.
- 6a.ii. Paint color restrictions have been addressed under the Building Height heading in the LOI (page 4). Buildings are noted to be under a height of 24'-0". The elevations (sheets A4.0-A4.4) have been updated with the revised colors and LRV.
- 6b. Contour lines have been darkened on building heights exhibits (sheets A0.5-A0.9).
- 7a. A compliant trim color is provided with an LRV that does not exceed 10 percent more than the primary structure. The elevations (sheets A4.0-A4.4) have been updated with the revised trim color and LRV.
- 8a. The lighting application has been updated.
9. Plants have been labeled adaptive on the plant list (sheet L-1).  
The site data table has been updated per the city's requirements of 1 tree and 3 shrubs per 400 SF of landscape area. Existing to remain in place plants have been accounted for per the breakdown shown (on sheet L-1) per table 5.5.  
The landscape area is shown as a diagonal hatched area for visual reference (sheets L-1 – L-2). The landscape area has been calculated at 38,125 SF.

Please contact me with any questions.

Sincerely,

**Jody Hansen**  
Project Manager  
**KONTEXTURE, LLC**  
3334 N. 20th Street  
Phoenix, AZ 85016  
P. [602.875.6221](tel:602.875.6221)  
D. [602.875.6229](tel:602.875.6229)  
F. [602.875.6239](tel:602.875.6239)  
[www.kontexture.com](http://www.kontexture.com)



**Exterior Lighting Application**  
 Commercial and Multi-Family  
 See LDC Section 5.8: Exterior Lighting



**City Of Sedona**  
**Community Development Department**  
 102 Roadrunner Drive Sedona, AZ 86336  
 (928) 282-1154 • [www.sedonaaz.gov/cd](http://www.sedonaaz.gov/cd)

**Applicant and Permit Information**

Applicant Name:	SERGIO VALENCIA	Permit #:	
Phone:	602-875-6221	Date Rec'd:	
Email Address:	sergio.valencia@kontexture.com	Initials:	
Action/Staff Initials:	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	Date:	

**Site Identification**

Property Address/Location:	10 NAVAJO DR.
Parcel Number	408-24-536B
Business Name (If applicable):	

**Lumen Information**

Gross acres of entire site:	5.12 AC	Acres for Public Right-of-Way:	0.62 AC
Net Acreage of Site:	4.50 AC	x 70,000 = Total initial lumens permitted*	315,000

*\*Total outdoor light output shall not exceed 70,000 initial lumens per net acre for all development except single-family residential uses. This cap is not intended to be achieved in all cases or as a design goal. Design goals should be the lowest level of lumens necessary to meet the lighting requirements of the site. Partially shielded light fixtures are limited to a maximum of 3,850 initial lumens per net acre and are counted towards the 70,000 initial lumens per net acre cap.*

**Type of Shielding and Lumens Proposed (See Lumen Calculation Table – page 2)**

Lumens: Fully Shielded Fixtures:	109,500 LUMENS
Lumens: Partially Shielded Fixtures:	N/A
Total Lumens Proposed:	109,500 LUMENS

**Applicant Signature**

Signature:		Date:	09/16/2021
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**Exterior Lighting Application**  
 Commercial and Multi-Family  
 See LDC Section 5.8: Exterior Lighting

**Lighting Inventory and Lumen Calculation Table**

- Include a Site Plan identifying all lighting fixtures, keyed to the inventory table.
- Include all new/proposed lighting and all existing lighting.
- Include any lighting proposed for external illumination of signs.
- Attach cut sheets or manufacturer’s product description for all lights. If not available for existing fixtures, include photographs of the fixtures and any additional information to demonstrate compliance with code requirements.
- Attach additional sheets if necessary

*Lighting Classes (See LDC Section 5.8.D(1) for a complete explanation):*

- Class 1: High Activity Areas
- Class 2: Security and Public Safety
- Class 3: Decorative and Accent

*Correlated Color Temperature(CCT)/Kelvin Rating:* A maximum of 4,000K is permitted for all lighting; Class 2 Lighting is limited to a maximum of 2,700K

*Shielding:*

- F: Fully Shielded: Required for most lighting
- P: Partially Shielded: Limited to 3,850 lumens per acre
- U: Unshielded: Only permitted for existing, legal nonconforming lighting

**Site Plan:**  Attached  Provided with plans (Sheet \_\_\_\_\_)

Plan Key (ID)*	New or Existing (N or E)	Lighting Class (1, 2, or 3)	CCT/Kelvin Rating	Shielding (F, P, or U)	Initial Lumens	No. of Units	Total Lumens
A	N	2	2,700	F	450	3	1,350
A	N	3	1,900	F	600	54	32,400
B	N	2	2,700	F	450	2	900
B	N	3	1,900	F	600	77	46,200
C	N	2	2,700	F	450	2	900
C	N	3	1,900	F	600	42	25,200
D	N	2	2,700	F	450	3	1,350
D	N	3	1,900	F	600	2	1,200
<b>Total Lumens Proposed:</b>							<b>109,500</b>

\*Plan key identification in first column must correspond to labeling on site plan

C

ARIA STREET

NAVAJO DRIVE

B

D

TYP. PARKING LIGHT AT 12' HEIGHT. SEE CUT SHEET ATTACHED.

TYP. OUTDOOR LIGHT AT 8' HEIGHT. SEE CUT SHEET ATTACHED.

26'-0" DRIVEWAY

12'-0" SETBACK

OFFICES

POOL

RETAINING WALL

5' HIGH ALUMINUM FENCE TYP.  
5' HEIGHT. CMU WALL FENCE FOR POOL EQUIPMENT, GRILL AND PICNIC TABLE. TYP.

TYP. PARKING LIGHT AT 12' HEIGHT. SEE CUT SHEET ATTACHED.

408-24-338

408-24-339

5' HEIGHT. ALUMINUM FENCE GATE. TYP.

TYP. OUTDOOR LIGHT AT 8' HEIGHT. SEE CUT SHEET ATTACHED.

TYP. PARKING LIGHT AT 12' HEIGHT. SEE CUT SHEET ATTACHED.

TYP. OUTDOOR LIGHT AT 8' HEIGHT. SEE CUT SHEET ATTACHED.

TYP. PARKING LIGHT AT 12' HEIGHT. SEE CUT SHEET ATTACHED.

TYP. PARKING LIGHT AT 12' HEIGHT. SEE CUT SHEET ATTACHED.

TYP. PARKING LIGHT AT 12' HEIGHT. SEE CUT SHEET ATTACHED.

120'-0"





























# PRELIMINARY GRADING & DRAINAGE PLAN FOR NAVAJO LOFTS

### OWNER

MKC HOLDINGS LLC  
15010 N 78TH WAY SUITE 109  
SCOTTSDALE, AZ 85260  
PHONE: (602) 390-9401  
CONTACT: KEITH HOLBEN  
EMAIL: kh@mkcompany.com

### ENGINEER

LANDCOR CONSULTING  
6859 E. REMBRANDT AVE. #124  
MESA, AZ 85212  
PHONE: (480) 734-9157  
CONTACT: JOEL D. MILLER, P.E.  
EMAIL: joel@landcorconsulting.com

### PROJECT DATA

ADDRESS: 10 NAVAJO DR  
CITY OF SEDONA  
408-24-5368  
CO  
TAX ASSESSORS PARCEL NUMBER: 196,020 SQFT. (4.5 ACRES)  
ZONING: R5E  
PARCEL AREA:

### LEGAL DESCRIPTION

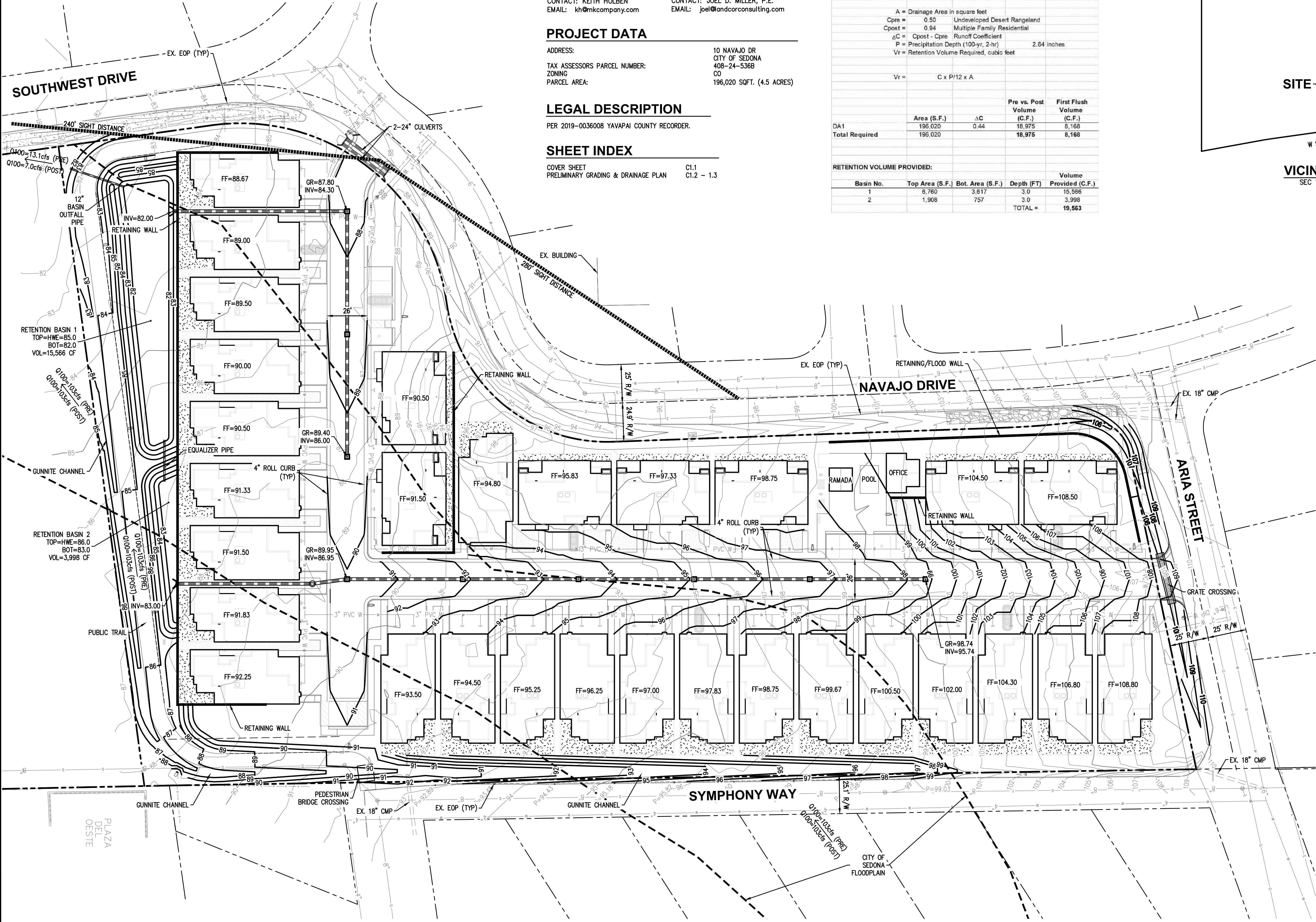
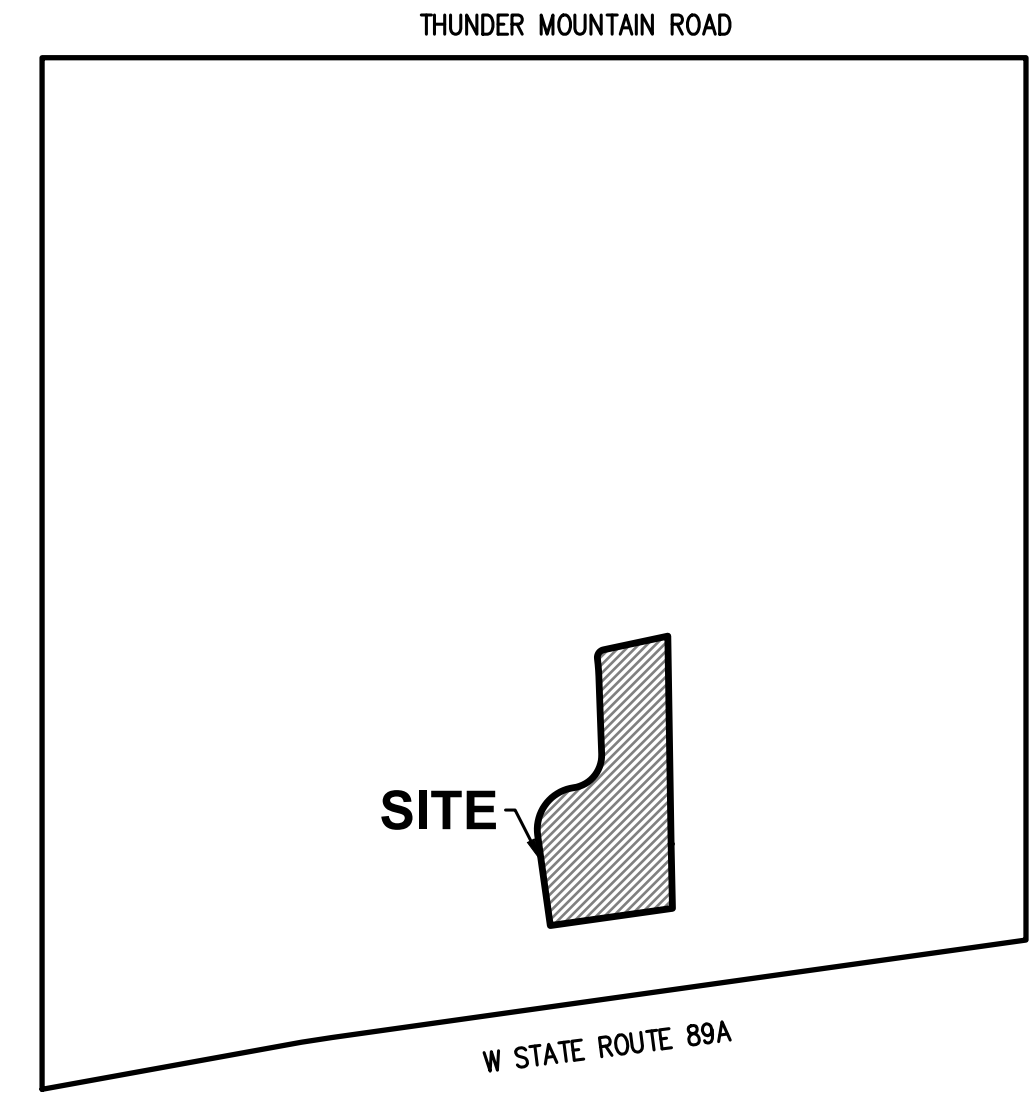
PER 2019-0036008 YAVAPAI COUNTY RECORDER.

### SHEET INDEX

COVER SHEET C1.1  
PRELIMINARY GRADING & DRAINAGE PLAN C1.2 - 1.3

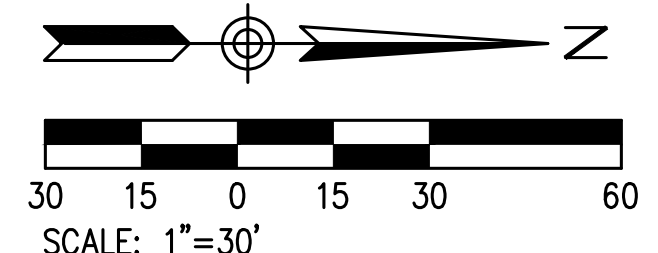
### RETENTION CALCULATIONS

RETENTION VOLUME REQUIRED:				
	A (S.F.)			
Area (gross)	196,020	4.50 AC		
A = Drainage Area in square feet				
Cpre =	0.50	Undeveloped Desert Rangeland		
Cpost =	0.94	Multiple Family Residential		
ΔC =	Cpost - Cpre	Runoff Coefficient		
P =		Precipitation Depth (100-yr, 2-hr)	2.64 inches	
Vr =		Retention Volume Required, cubic feet		
		$Vr = C \times P / 12 \times A$		
RETENTION VOLUME PROVIDED:				
Basin No.	Top Area (S.F.)	Bot. Area (S.F.)	Depth (FT)	Volume Provided (C.F.)
1	6,760	3,617	3.0	15,566
2	1,908	757	3.0	3,998
			TOTAL =	19,563



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

53735  
JOEL D. MILLER  
Professional Engineer  
No. 197972  
Arizona U.S.A.



6859 E. Rembrandt Ave. #124  
Mesa, AZ 85212  
Ph: (480) 223-8573  
landcorconsulting.com

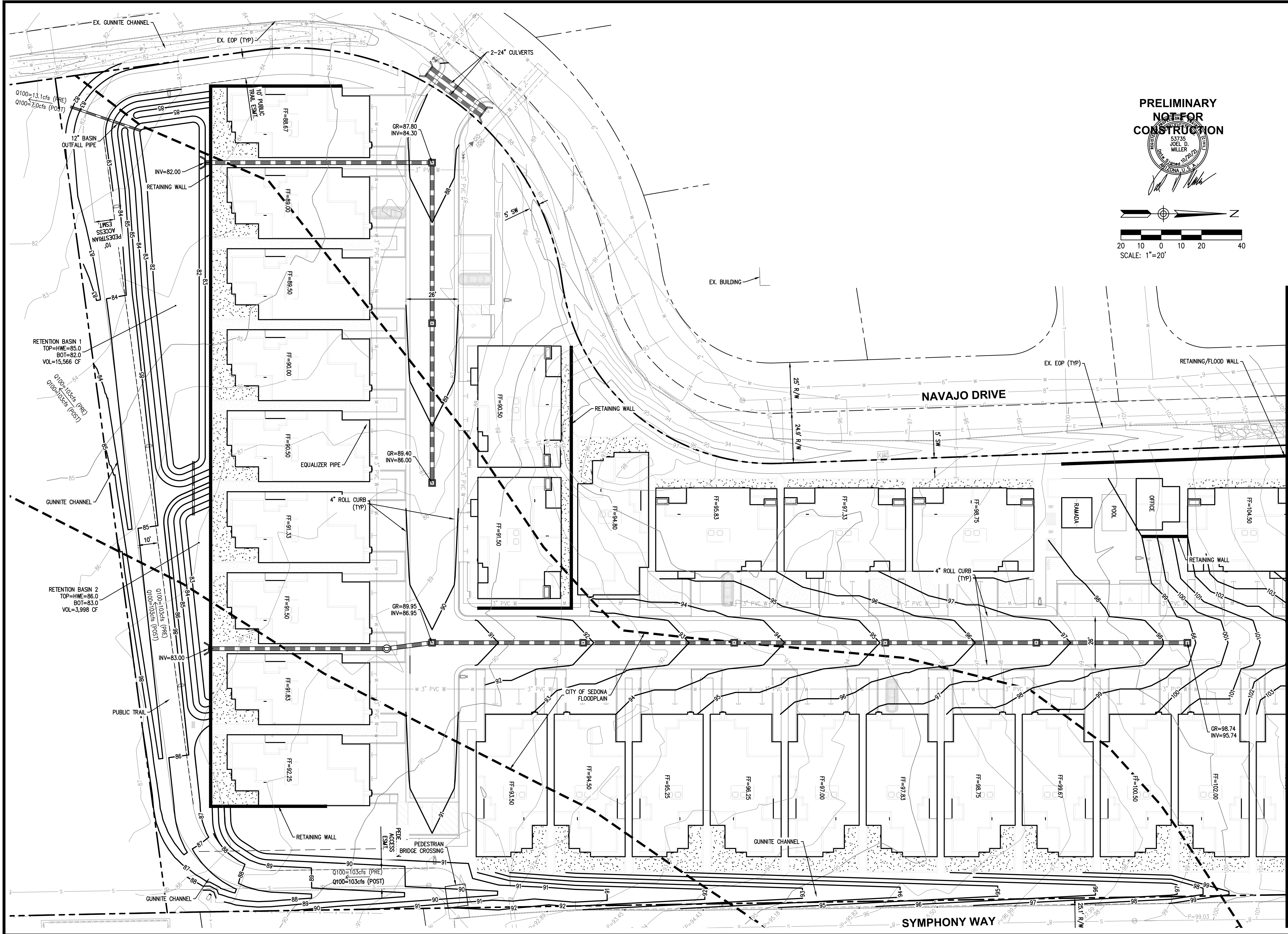
**LANDCOR  
CONSULTING**

**NAVAJO LOFTS  
PRELIMINARY GRADING & DRAINAGE PLAN**

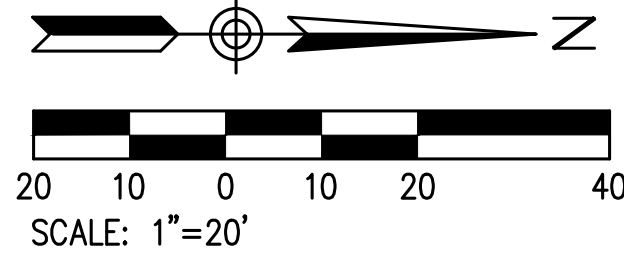
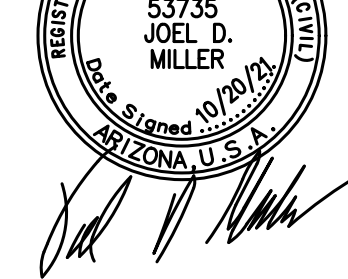
10 NAVAJO DRIVE  
SEDONA, ARIZONA

DATE:	
REVISIONS:	
PRELIMINARY GRADING & DRAINAGE PLAN	
DATE: 10/20/21	
PROJ. #: 1763	
<b>C1.1</b>	
1 OF 3	





**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



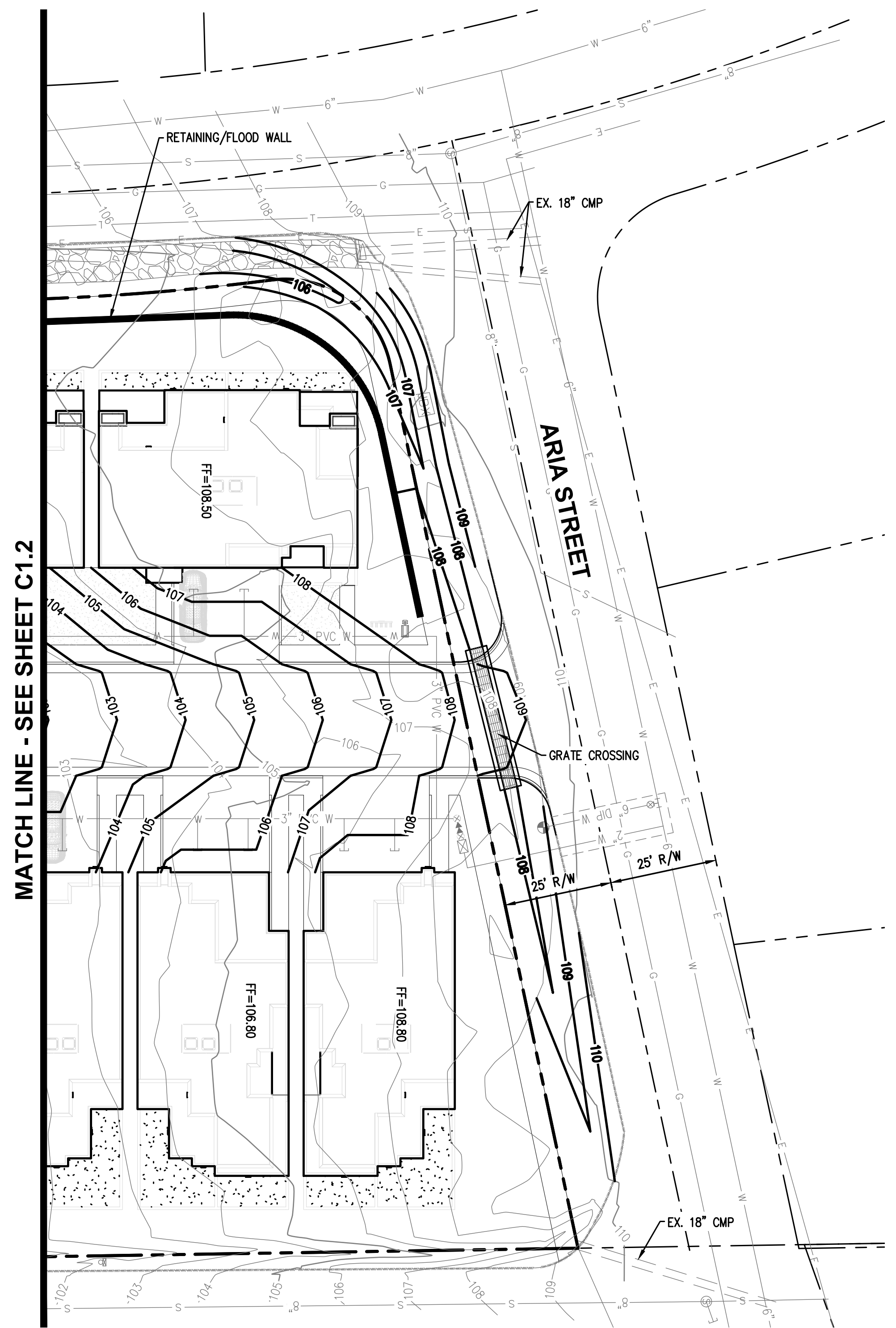
**NAVAJO LOFTS**  
**PRELIMINARY GRADING & DRAINAGE PLAN**  
10 NAVAJO DRIVE  
SEDONA, ARIZONA

MATCH LINE - SEE SHEET C1.3

REVISIONS:	DATE:
PRELIMINARY GRADING & DRAINAGE PLAN	DATE: 10/20/21
	PROJ. #: 1763
	<b>C1.2</b>
	2 OF 3

6859 E. Rembrandt Ave., #124  
Mesa, AZ 85212  
Ph: (480) 223-8573  
landcorconsulting.com



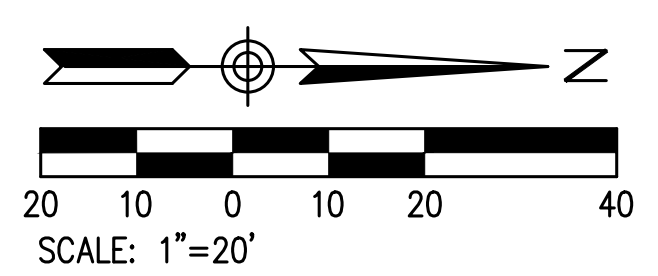


MATCH LINE - SEE SHEET C1.2

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

53735  
JOEL D.  
MILLER  
Professional Engineer  
No. 197872  
Arizona, U.S.A.

*Joel D. Miller*



**NAVAJO LOFTS**  
**PRELIMINARY GRADING & DRAINAGE PLAN**

**LANDCOR**  
CONSULTING

6859 E. Rembrandt Ave., #124  
Mesa, AZ 85212  
Ph: (480) 223-8573  
landcorconsulting.com

10 NAVAJO DRIVE  
SEDONA, ARIZONA

REVISIONS:

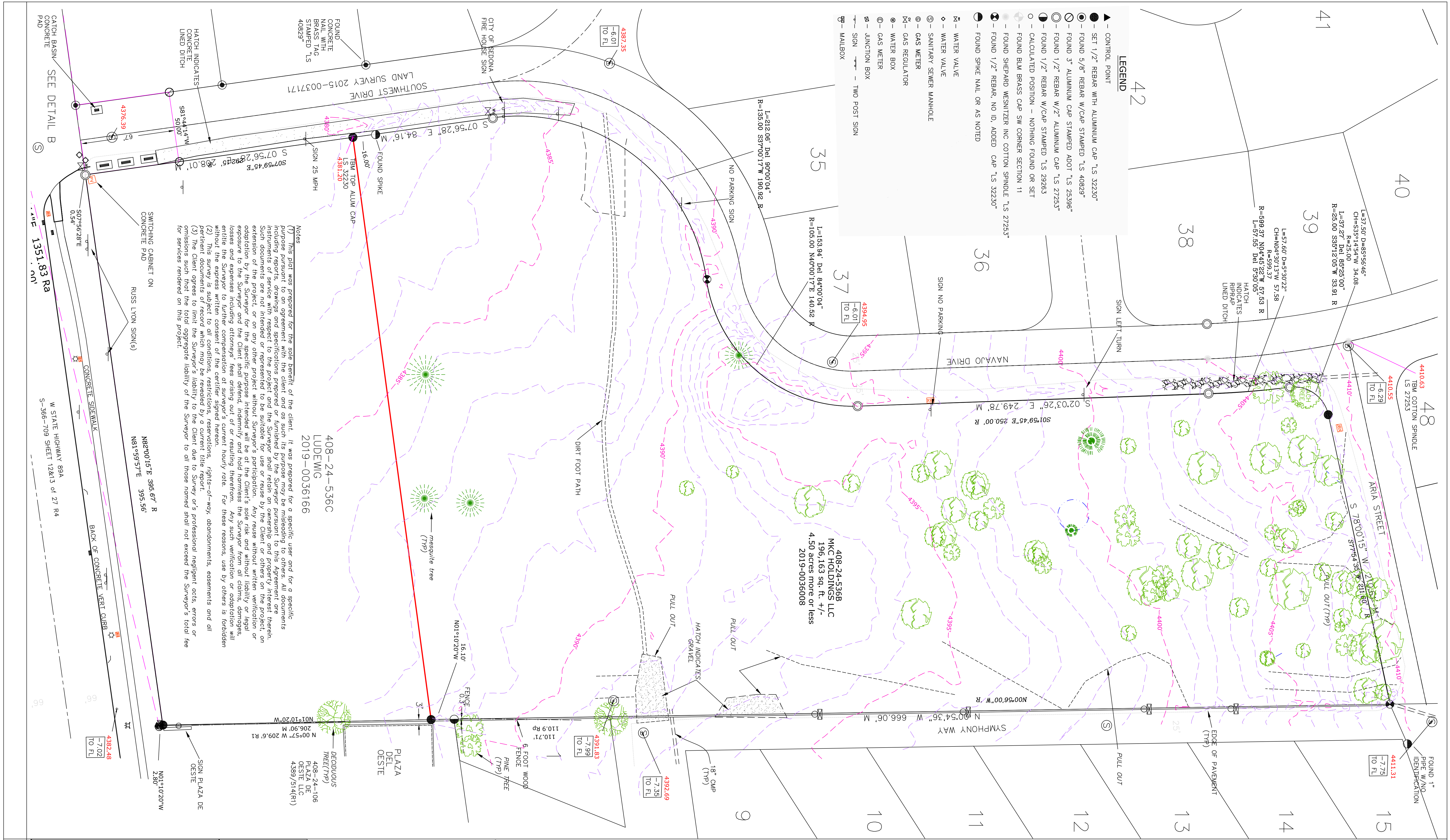
DATE:	
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PRELIMINARY  
GRADING &  
DRAINAGE PLAN

DATE: 10/20/21

PROJ. #: 1763

**C1.3**  
3 OF 3



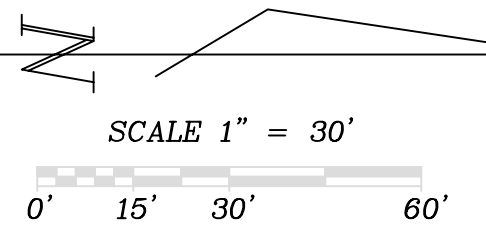
**Notes:**  
 (1) This plot was prepared for the sole benefit of the client. It was prepared for a specific use and for a specific purpose pursuant to an agreement with the client and on such its purpose may be misleading to others. All documents including reports, drawings and specifications prepared or furnished by the Surveyor pursuant to this Agreement are instruments of service with respect to the project and the Surveyor shall retain an ownership and property interest therein. Such documents are not intended or represented to be suitable for use or reuse by the Client or others on the project, on extension of the project, or on any other project without the Surveyor's participation. Any reuse without written verification or adaptation by the Surveyor for the specific purpose intended will be at the Client's sole risk and without liability or legal exposure to the Surveyor and the Client shall defend, indemnify and hold harmless the Surveyor from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom. Any such verification or adaptation will without the express written consent of the certifier signed hereon.  
 (2) This survey is subject to all conditions, restrictions, reservations, rights-of-way, abutments, easements and all pertinent documents of record which may be revealed by a current title report.  
 (3) The Client agrees to hold the Surveyor's liability to the Client due to Surveyor's professional negligent acts, errors or omissions rendered on this project. The Client shall not exceed the Surveyor's total fee for services rendered on this project.

408-24-536C  
 LUDWIG  
 2019-0036166

408-24-536B  
 MKC HOLDINGS LLC  
 196,163 sq. ft. +/-  
 4.50 acres more or less  
 2019-0036008

**TOPOGRAPHIC SURVEY**

of Document No. 2019-0036008 Yavapai County Records,  
 APN 408-24-536B, 10 Navajo Drive  
 located in the Southwest Quarter of the Southwest Quarter of Section 11, Township 17 North,  
 Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona



**RIMROCK**  
 LAND SURVEYS, LLC  
 Ivo W. Buddeke III, R.L.S.  
 5280 Bentley Dr., Rimrock, Arizona 86335  
 Phone (928) 567-1414

Job No. 190808KH  
 Owner  
**MKC HOLDINGS, LLC**  
 Result of Survey  
**SOUTHWEST OF**  
**SOUTHWEST CENTER**  
 APN: 408-25-536B  
 Qtr Sec Tsp Rng  
 SW 11 17N 5E  
 G. & S. R. B. & M.

DESIGN	NAME	DATE
DRAWN		
CHECKED	IVO	9/22/2019

DWG. NAME: 190808KH-SWCENTER.DWG



DATE OF SURVEY: 9/3/2019  
 IVO W. BUDDKE III  
 LS 32230  
 EXPIRES: 03/31/2022













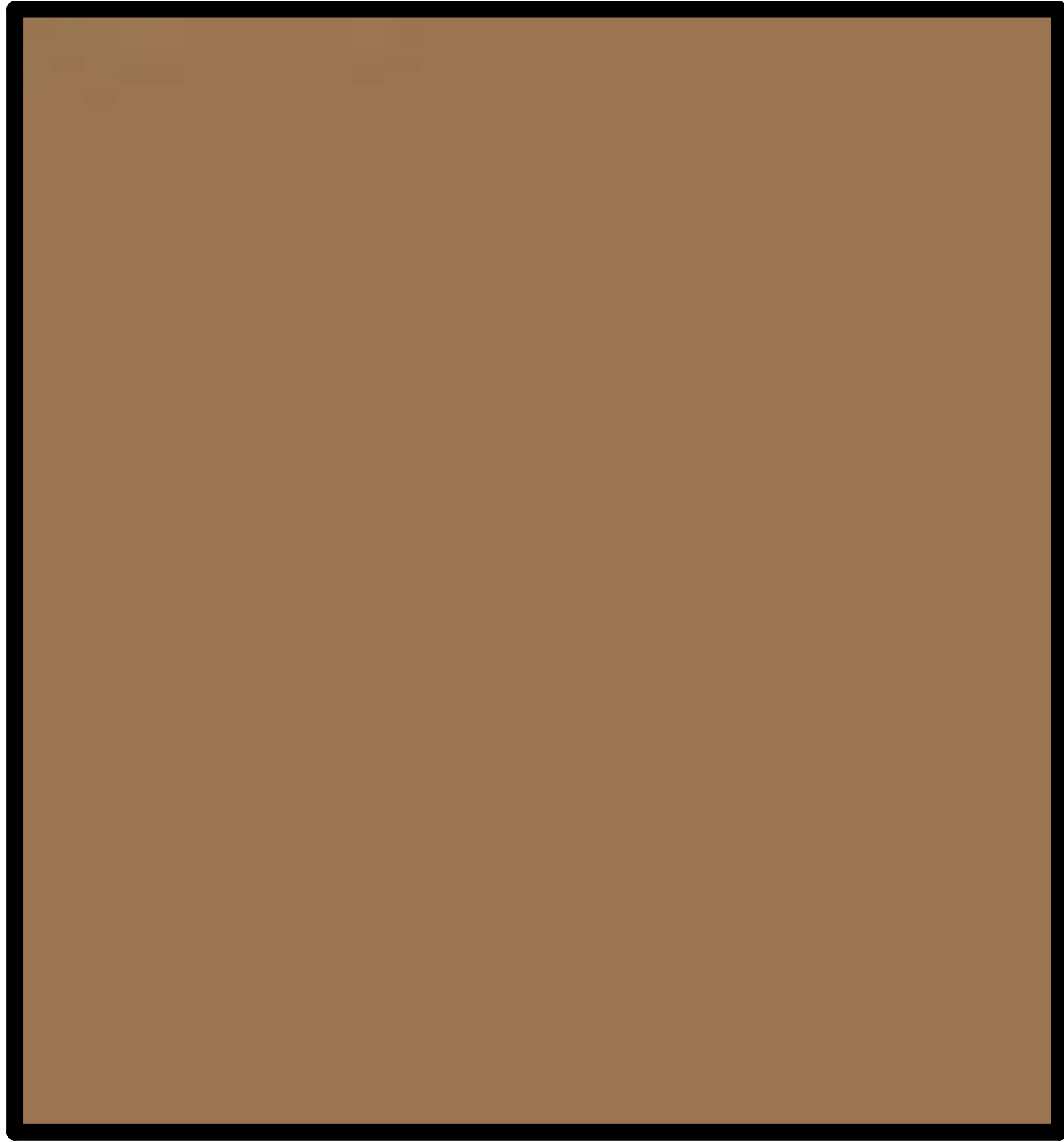












EXTERIOR WALL COLOR
MATERIAL INFORMATION
MATERIAL: SMOOTH STUCCO FINISH
PAINT: DUNN-EDWARDS PAINT COLOR - DE6139      SUMMERVILLE BROWN
LRV: 19
EXAMPLE.

**SEDONA LOFTS**

**KONTEXTURE**  
architecture | interiors | urban planning  
3334 N. 20TH ST. PHOENIX, AZ. 85016

**MATERIAL BOARD**

**AM0.1**



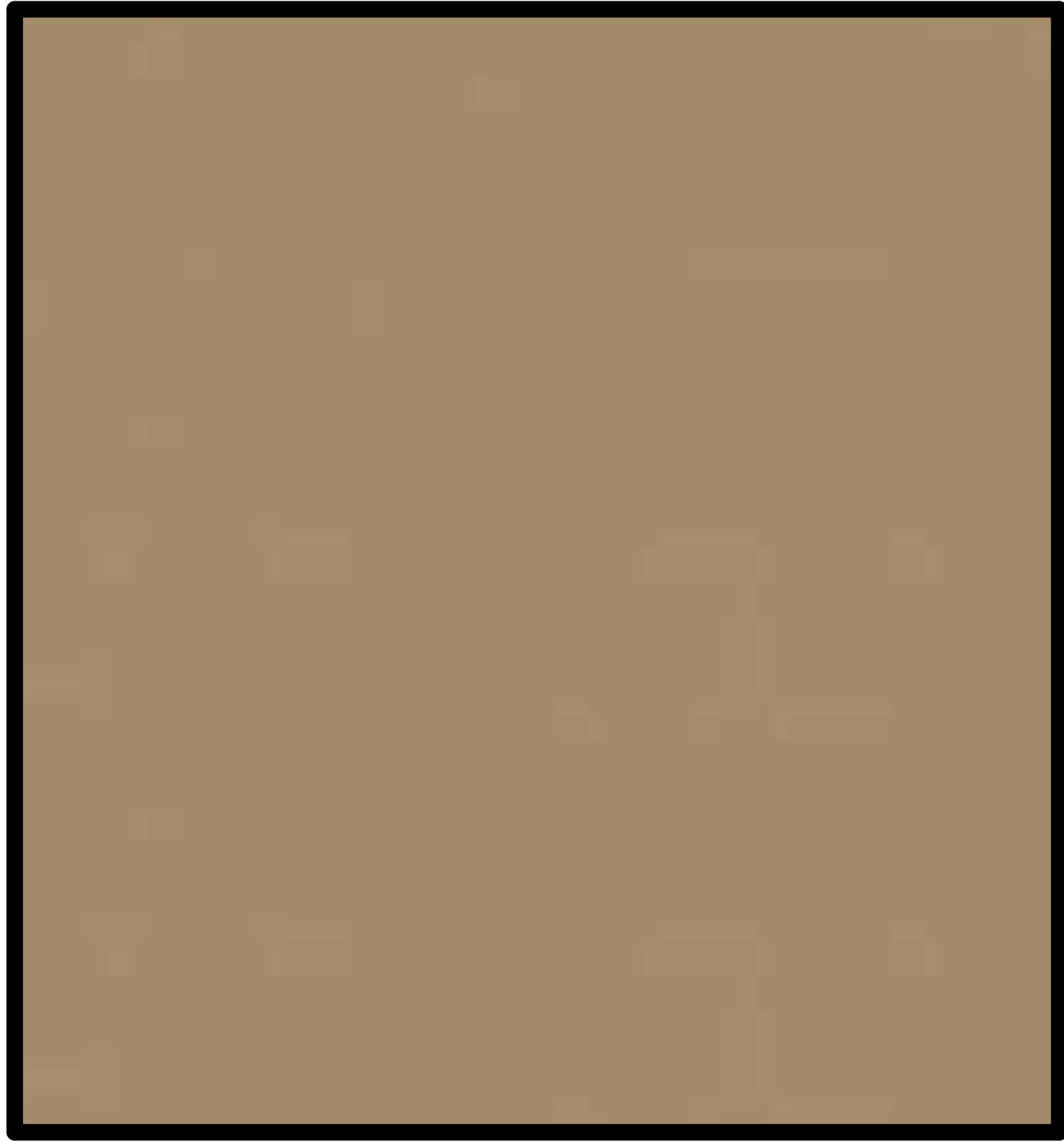
EXTERIOR WALL FINISH
MATERIAL INFORMATION
MATERIAL: VINYL WOOD SIDING.
MANUFACTURER: CERTAIN TEED.
MODEL: MONOGRAM
COLOR: RUSTIC BLEND

**NAVAJO LOFTS**  
10 NAVAJO DRIVE  
SEDONA, ARIZONA 86336

**KONTEXTURE**  
architecture | interiors | urban planning  
3334 N. 20TH ST. PHOENIX, AZ. 85016

**MATERIAL BOARD**

**AM0.2**



WINDOWS AND DOORS TRIM

MATERIAL INFORMATION

MATERIAL:  
VINYL WINDOW TRIM.

PAINT:  
DUNN-EDWARDS PAINT COLOR  
- DET639      MAPLE SUGAR BROWN

LRV: 28

EXAMPLE.

**NAVAJO LOFTS**

10 NAVAJO DRIVE  
SEDONA, ARIZONA 86336

**KONTEXTURE**

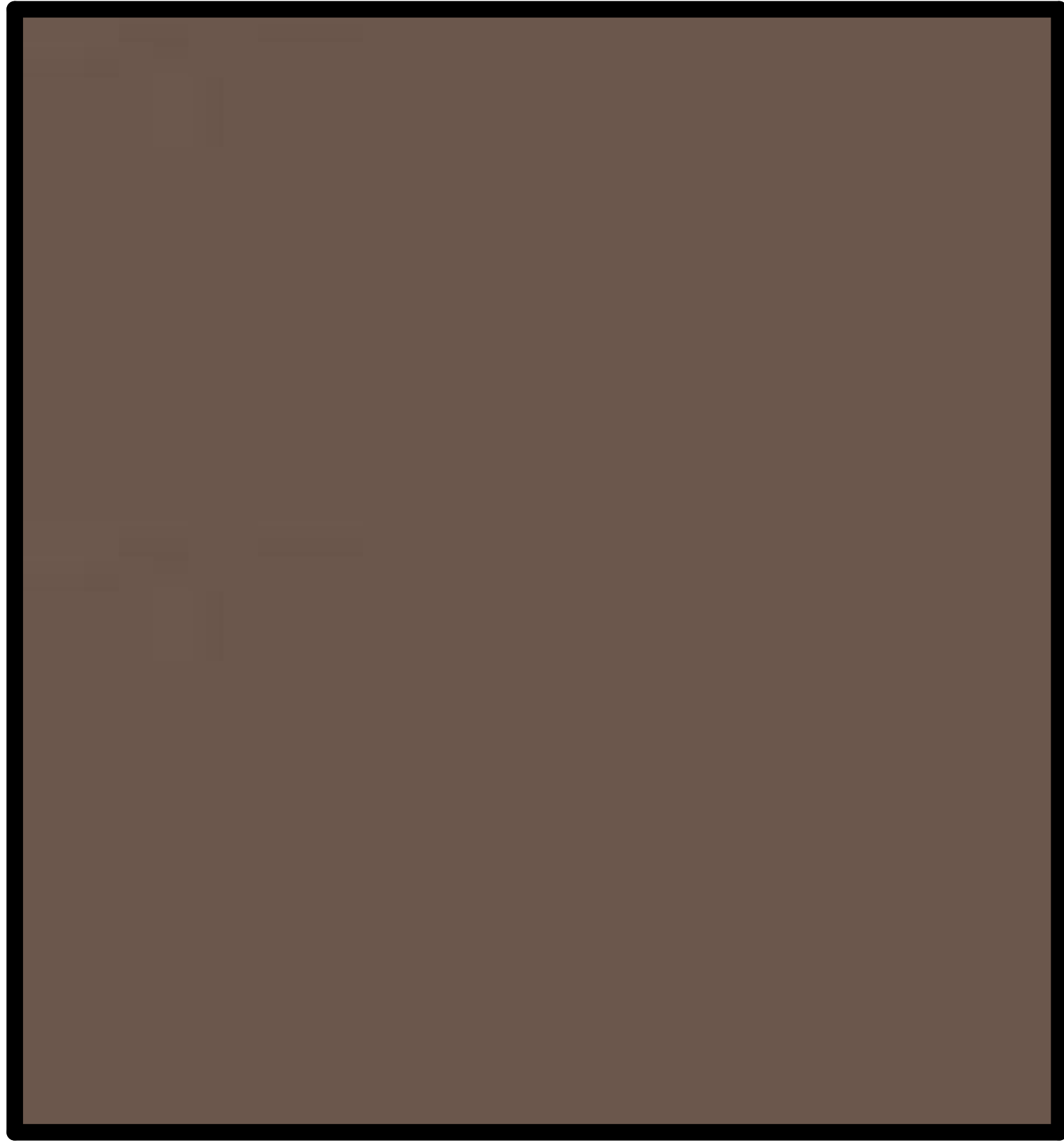
architecture | interiors | urban planning

3334 N. 20TH ST. PHOENIX, AZ. 85016

**MATERIAL  
BOARD**

**AM0.4**





EXTERIOR WALL COLOR
MATERIAL INFORMATION
MATERIAL: SMOOTH STUCCO FINISH
PAINT: DUNN-EDWARDS PAINT COLOR - DE6070 CHOCOLATE CHUNK
LRV: 10
EXAMPLE.

**SEDONA LOFTS**

**KONTEXTURE**  
architecture | interiors | urban planning  
3334 N. 20TH ST. PHOENIX, AZ. 85016

**MATERIAL BOARD**

**AM0.5**

## **Navajo Lofts**

### **Citizen Participation Plan**

**Prepared by Keith Holben**

**January 18, 2022**

Letters were mailed to all residents within 300 feet of the property on January 5<sup>th</sup>, 2022, introducing the project, this letter is attached. Residents were provided a site plan, location map, a single concept rendering, a description of the project and contact information requesting their comments with an invitation to either email or discuss via telephone for COVID protocol. As of January 18, 2022, four residents responded to the project letter with comments and/or questions including one telephone call. We have maintained a log of all correspondence with interested neighbors who have responded. We will continue to respond and talk with neighbors who have an interest in the project. The format below provides the questions we received with the answers we have provided. Additionally, there a few comments we have included which don't relate to any specific question or concern.

Question #1 relates to on-site parking. Does the project have sufficient parking for residents and guests? What happens if residents don't park in their garages and use it for storage, does this create a situation where residents will need to park on surrounding streets? (This question was raised by three residents in slightly different ways).

Answer #1. The project is required to meet the City of Sedona parking requirements which is 120 parking spaces, including garages and our site plan shows 131 spaces. We will stipulate in the project CC&R's that if a resident has two or more cars, one must be parked in the garage.

Question #2. Can you install speed bumps in the community? (This question was raised by one resident).

Answer #2. We are happy to include that on our project plans, subject to approval by the City of Sedona plan review.

Question #3. Are short term rentals going to be allowed, as we are opposed. (All responding residents raised this question.)

Answer #3. We are voluntarily agreeing to not allow short term rentals (less than 30 days in length) as we don't feel short term rentals meet community needs.

Question #4. The project appears to be dense with buildings packed in tightly. (One resident raised this question)

Answer #4. We are proposing just over 13 units to the acre or 60 units. Each building has 5' between them which we believe keeps with the character of the neighborhood by spreading out the massing better than long, expansive buildings which could be approximately 150 feet in length and two stories.

This provides a more residential character with 2 family buildings. We also know that massing and character can be a matter of opinion and respect the difference of perspective.

Question #5. Is there landscaping proposed along Aria and Navajo Streets? (This question was raised by one resident).

Answer #5. Yes. An unapproved landscape plan was provided via email.

Question #6. How does this project meet the needs of the community for affordable housing? (One resident raised this question).

Answer #6. This project is not designed to provide affordable housing. Rather, it is designed to provide housing diversity to the community with rental product which would be more suited to slightly larger households with enclosed garages, private yard areas which live more like a single-family home.

Question #7. How is water provided to the community as developers have a poor record in addressing long-term water availability? (One resident raised this question).

Answer #7. This project will be served by Arizona Water Company and is required to demonstrate a 100-year assured water supply by state regulation.

Question #8. What has been the experience of recently completed Pinon Lofts (Pinon Drive and West AZ 89A) in meeting affordable housing needs? (One resident raised this question)

Answer #8. We did not answer this question as it does not pertain to this application.

Question #9. Concerns raised about construction traffic and parking. (Raised by two residents)

Answer #9. All construction traffic will be required to park on-site in designated areas and are not permitted to park offsite.

Comments in addition to those above.

Comment #1. I am supportive of your project and happy there are no short-term rentals allowed.

Comment #2. The buildings and colors look nice.

MKC Holdings, LLC  
15010 North 78<sup>th</sup> Way, Suite 109  
Scottsdale, AZ 85260  
480-998-2803

January 5, 2022

Dear Neighbor,

We are the owners of 4.5 acres located near you, just south of Aria Street between Navajo Drive and Symphony Way and north of the Cantabile Street Alignment. (Please see the attached map for reference.) The property is zoned CO which allows for a broad range of commercial and residential land uses. We are proposing a residential use of the property consisting of 60 townhome units in 30 buildings with a community pool, sidewalks and providing a multi-use trail on the southside of our property connecting from the Cantabile Street alignment. Each townhome has a garage, yard area and has two living levels with a maximum height of 21 feet measured from existing grade to the roof line, with chimney structures not exceeding 25 feet at the tallest point. The townhomes range in size from approximately 1,300 to 1,450 square feet and are all two bedroom-two baths with a den. Attached is a site plan that shows the proposed community layout.

We are interested in receiving comments and input as a part of our citizen participation plan. As a result of COVID, we are not scheduling any in person meetings. If you have input or would like to discuss, please feel free to email me at [kh@mkcompany.com](mailto:kh@mkcompany.com), and I will be happy to respond. Alternatively, I will be available to discuss via telephone. If you prefer to discuss on the telephone, please email me and we can schedule a convenient time. We are requesting your input prior to January 20, 2022.

We are excited about this project and providing additional housing rental units for the City of Sedona and welcome your response.

Sincerely,



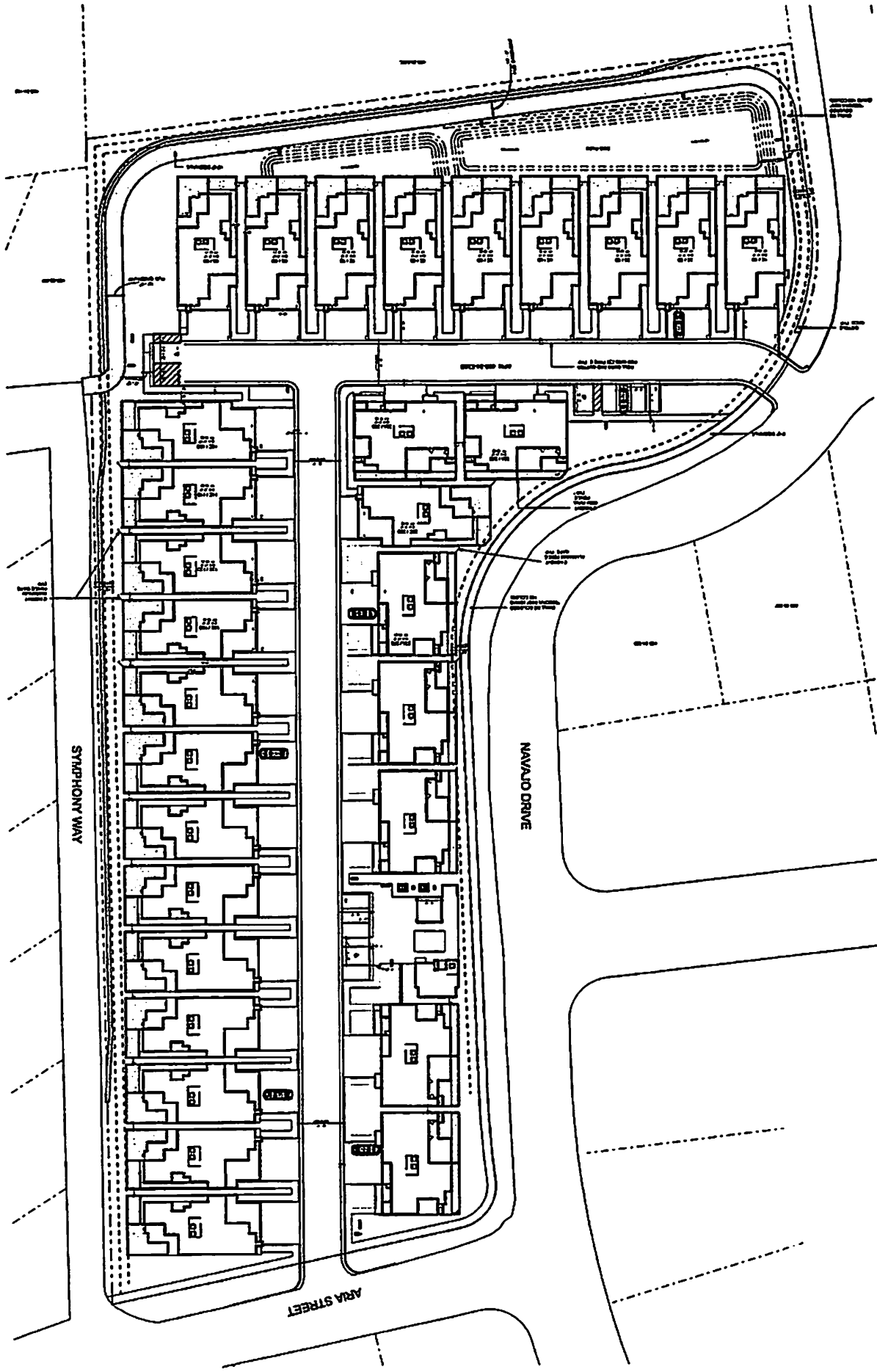
M. Keith Holben

Enclosures: location map and site plan



Site Map - 10 Navajo Drive, Sedona, AZ 86336

SITE PLAN



# NAVAJO LOFTS

10 Navajo Dr.  
Sedona, Arizona 86336



# Land Development Code Checklist

Project Number/Name



City Of Sedona Community Development Department

102 Roadrunner Drive Sedona, AZ 86336  
(928) 282-1154 · [www.sedonaaz.gov/cd](http://www.sedonaaz.gov/cd)

The Sedona Land Development Code sets the minimum criteria for review and approval of all new construction and renovation proposals by the City’s Community Development Department and Planning & Zoning Commission. Applicants of proposed development projects must demonstrate compliance with these development standards.

**Public Hearing Date:** February 15, 2022

**Reviewer:** Cari Meyer, Planning Manager

Color Coding	Full Compliance	Partial Compliance	Non-Compliance	Not Applicable
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LDC Article 2: Zoning Districts	
2.14: CO: Commercial	
2.14.B: CO Lot and Building Standards	<p><i>Evaluation:</i> The project provides 10 foot setbacks along all property lines. Building heights comply with LDC Section 2.24.E (See separate evaluation). The project has a building coverage of 40.83% and a total coverage of 71.4%.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
2.14.C: Other Standards	<p><i>Evaluation:</i> The project complies with all applicable sections of the LDC. The proposed density of 13.3 units per acre is permitted if the project is addressing local housing needs. The applicant has submitted a draft development agreement that would guarantee that the units be used as long term rentals. This agreement will need to be approved by City Council prior to issuance of building permits.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
2.24: Measurements and Exceptions	
2.24.B: Density	<p><i>Evaluation:</i> All units are over 1,001 square feet and count for a full unit in the density calculation. Though the units will be restricted for long-term rentals, none will be deed restricted for affordability.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
2.24.C: Lot and Space Requirements	<p><i>Evaluation:</i> The lot meets minimum dimension requirements. All buildings meet the same setback and height requirements.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
2.24.D: Setbacks	<p><i>Evaluation:</i> The project provides a minimum of 10 foot setbacks from all property lines. There is an area in the southeast corner of the site where the site abuts a residential property. A 20 foot setback from this residential property is provided. No other increased setbacks are required. Some units along the Navajo Drive frontage have patios that project into the setback. Table 2.6 permits these projections as a minimum 5 foot setback is maintained.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
2.24.E: Building Height	<p><i>Evaluation:</i> As a multi-family project in a commercial zone, commercial height standards were used in review of this project. Of the 30 proposed buildings, 25 are under 22 feet from natural grade and alternate standards are not needed. Building 18 has a maximum height of 24 feet above natural grade and requires 4 points under alternate standards. Buildings 6, 17, 27, and 30 all require one point under alternate standards. The lightest paint color provided has a Light Reflectance Value of 19%, for 5 points under</p>



	<p>alternate standards, which is sufficient to account for the heights of all buildings. The screens for the rooftop mechanical equipment are located more than 6 feet from the edge of each roof and comply with height requirements for mechanical equipment screening.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
<b>LDC Article 3: Use Regulations</b>	
3.2.E: Table of Allowed Uses	
	<p><i>Evaluation:</i> Multifamily developments are a permitted use in the CO zone.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
3.3: Use Specific Standards	
	<p><i>Evaluation:</i> None of the use specific standards for multifamily in LDC Section 3.3.A(3) apply to this project.</p> <p><i>Compliance:</i>    <input type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input checked="" type="checkbox"/> Not Applicable</p>
<b>LDC Article 5: Development Standards</b>	
5.3: Grading and Drainage	
5.3.D: General Standards	
	<p><i>Evaluation:</i> The separate buildings allow the development of the site to follow the natural contours of the land. All work, except for driveways to connect to existing streets, is contained within the property boundaries. The City's Public Works staff has reviewed the Preliminary Grading and Drainage Report and Plan and found them to be consistent with City requirements. A Final Grading and Drainage Report and Plan will be required to be submitted, reviewed, and approved prior to building permit issuance.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
5.4: Access, Connectivity, and Circulation	
5.4.D: Street Connectivity	
	<p><i>Evaluation:</i> The project connects to existing city streets at two different points (Navajo Drive &amp; Aria Street). Police and Fire and reviewed the plans and have not expressed any concerns with the site layout. No streets are being extended for this development. No waivers are being requested, no cul-de-sacs or dead end streets are proposed, and no gates are proposed.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
5.4.E: Driveways and Access	
	<p><i>Evaluation:</i> Driveways are located to provide safe access to and from the site. Cars will be able to enter and exist the site in forward drive. All parking is located directly off the main drive aisle through the site. Police and Fire have reviewed the plans and have not expressed any concerns. Driveways and drive aisles will meet materials requirements and culverts will be provided where necessary. The property does not front a state highway and access is not provided directly to an arterial street. Two access points are provided, and drive aisles meet size requirements.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
5.4.F: Visibility Triangles	
	<p><i>Evaluation:</i> No buildings are in visibility triangles. Landscaping in visibility triangles will be maintained to meet sight distance requirements.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
5.4.G: Cross-Access between Adjacent Uses	
	<p><i>Evaluation:</i> Due to the site's orientation to the surrounding roads, no cross access is needed to other parcels. The development does provide public bicycle and pedestrian access through the property.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
5.4.H: Pedestrian and Bicycle Circulation	
	<p><i>Evaluation:</i> Sidewalks are proposed to be installed along Navajo Drive and Aria Street. In addition, a pedestrian/bicycle connection through the property from Symphony/Cantabile to Southwest Drive is provided.</p> <p><i>Compliance:</i>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
5.5: Off-Street Parking and Loading	

	<p><b>5.5.D: Minimum Off-Street Parking Spaces Required</b></p> <p><i>Evaluation:</i> 1.75 spaces per unit are required, for a total requirement of 105 parking spaces. All units have a one-car garage and 54 of the units have space in the driveway for one additional car. 11 additional guest parking spaces are provided, for a total of 125 parking spaces in the development. A total of 30 covered parking spaces are required. As each unit has a garage, 60 covered parking spaces are provided.</p> <p><b>Compliance:</b>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
	<p><b>5.5.E: Parking Alternatives, Credits, and Adjustments</b></p> <p><i>Evaluation:</i> No parking alternatives, credits, or adjustments are requested.</p> <p><b>Compliance:</b>    <input type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input checked="" type="checkbox"/> Not Applicable</p>
	<p><b>5.5.F: Off-Street Parking Layout and Design</b></p> <p><i>Evaluation:</i> Parking spaces will be required to be available for parking. No parking is in a fire lane. Parking is located on the interior of the site and not between building facades and the public right-of-way. Parking areas and drive aisles comply with all dimensional standards of the LDC and Administrative Manual. Landscaping and lighting are provided in compliance with LDC requirements.</p> <p><b>Compliance:</b>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
	<p><b>5.5.G: Loading and Stacking Areas</b></p> <p><i>Evaluation:</i> No loading or stacking areas are required.</p> <p><b>Compliance:</b>    <input type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input checked="" type="checkbox"/> Not Applicable</p>
<p><b>5.6: Landscaping, Buffering, and Screening</b></p>	
	<p><b>5.6.C: Landscaping and Buffering</b></p> <p><i>Evaluation:</i></p> <ol style="list-style-type: none"> <li>(1) General Landscape Standards: 52% of the plants on the landscape plan are native species. The balance of the plants are adaptive/suitable for the Sedona area. No inappropriate species are proposed. 25 different species are proposed and no one species makes up more than 50% of the required landscape materials. Visibility triangles will be maintained. The applicant expects to be able to save 13 trees (protect in place) and transplant another 15 trees. These trees were not factored into the native/adaptive percentages. When added in, the percentage of native plant is higher than 52%. Compliance with the other requirements of this section will be reviewed for when plans are submitted for permits.</li> <li>(2) The areas between the buildings are streets are landscaped. Parking areas, where adjacent to streets, are screened with landscaped areas a minimum of 20 feet in depth. Landscaped areas are located appropriately throughout the site and where required for screening and buffering purposes.</li> <li>(3) Where the property abuts a single family residential zone in the southeast corner of the site, the plans show sufficient landscaping as well as a shared use path.</li> <li>(4) Landscape areas will be required to be maintained after installation.</li> <li>(5) A tree preservation and protection plan has been submitted. It is anticipated that 13 trees will be preserved and potentially another 15 will be transplanted.</li> </ol> <p><b>Compliance:</b>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>
	<p><b>5.6.D: Screening</b></p> <p><i>Evaluation:</i></p> <ol style="list-style-type: none"> <li>(1) Roof mounted equipment is screened with screen walls on all sides.</li> <li>(2) Any additional ground mounted will be screened by patio walls.</li> <li>(3) There are no loading or service areas, and common refuse (garbage) areas are not proposed.</li> <li>(4) No outdoor storage areas are proposed.</li> </ol> <p><b>Compliance:</b>    <input checked="" type="checkbox"/> Yes            <input type="checkbox"/> Partial            <input type="checkbox"/> No            <input type="checkbox"/> Not Applicable</p>

	<p><b>5.6.E: Fences and Walls</b></p> <p><i>Evaluation:</i> Most fences are located outside of the setbacks. Fences and walls located within front and exterior side setbacks will be required to comply with height requirements. Fences and walls will maintain visibility triangle requirements. Fences and walls will meet color and material requirements. Materials listed as prohibited are not proposed. Where walls are proposed adjacent to a public street, landscaping is provided between the street and wall. No retaining wall exceeds 8 feet in height, and all are designed to meet design and color requirements.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
<b>5.7: Site and Building Design</b>	
	<p><b>5.7.D: Site Design</b></p> <p><i>Evaluation:</i> The site slopes gradually from north to south. The finish floors of the units step down with the grade of the site. Drainages have been considered while designing the site and the plans show preservation of trees where possible. The development will provide sidewalks along street frontages, connections from sidewalks to the interior of the site, and a shared used pathway along the southern border of the site. All utilities will be underground.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p><b>5.7.E: Building Placement and Orientation</b></p> <p><i>Evaluation:</i> The site has been designed to have driveways/garages accessed from the interior of the site, shielding most of the parking from the public right-of-way.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p><b>5.7.F: Building Design</b></p> <p><i>Evaluation:</i></p> <p>(2) <b>Building Massing:</b> Each individual building contains a minimum of 3 masses in both plan and elevation views. Further, as the buildings are 5 feet apart, they can all be considered one building for massing purposes, increasing the number of masses provided. Massing is visible from the public rights-of-way. Structures for screening rooftop mechanical equipment were not considered when massing was evaluated.</p> <p><b>Building Proportions and Scale:</b> The buildings are all similar in height, there are no “taller” portions of the buildings that would need to be oriented towards the center of the property. While a couple of the buildings will need to apply alternate standards, these buildings are not in an area adjacent to an existing residence.</p> <p><b>Building Length:</b> No building exceeds 150 feet in length.</p> <p>(3) There is not a predominant architectural style or character in the immediate vicinity of the project. The project has been designed in compliance with the general standards of the LDC. The building is not being designed as signage and all buildings within the development use the same design.</p> <p>(4) No mirrored or reflective surfaces are proposed. No exterior finishes on the prohibited list are proposed.</p> <p>(5) The maximum light reflectance value proposed is 19%, in compliance with general color requirements and the more restrictive color requirements based on building height.</p> <p><i>Compliance:</i> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
<b>5.8: Exterior Lighting</b>	
	<p><b>5.7.E: General Lighting Standards</b></p> <p><i>Evaluation:</i></p> <p>(1) Parking lot lighting is proposed at 2700K, all other lighting will be limited to 4000K.</p> <p>(2) No prohibited lighting types are proposed.</p> <p>(3) All proposed light fixtures are fully shielded.</p>

	<p>(4) The site is approximately 4.5 acres, allowing for a total lighting output of 315,000 lumens. 109,500 lumens are proposed.</p> <p>(5) No motion sensor lights are proposed. Parking lot lights are permitted to be left on overnight and all other lighting is residential lighting that would not be subject to time limitations.</p>
	<p>Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>5.7.F: Supplemental Class 3 Lighting Standards</p>
	<p>Evaluation: No Class 3 lighting is proposed.</p>
	<p>Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>5.7.G: Parking Area Lighting</p>
	<p>Evaluation: Lighting along the drive aisle is considered parking lot lighting, is 2700K, fully shielded, and the lighting poles are 12 feet in height. No structured parking is proposed.</p>
	<p>Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>5.7.H: Pedestrian Walkway Lighting</p>
	<p>Evaluation: No pedestrian walkway lighting is proposed.</p>
	<p>Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>5.7.I: Exterior Building Lighting</p>
	<p>Evaluation: Each unit is proposed to have 3 exterior lights. Proposed fixtures are fully shielded.</p>
	<p>Compliance: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input type="checkbox"/> Not Applicable</p>
	<p>5.7.J: Sign Illumination</p>
	<p>Evaluation: No signs are proposed.</p>
	<p>Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>5.7.K: Supplemental Lighting Standards for Specific Uses</p>
	<p>Evaluation: None of these standards apply to this project.</p>
	<p>Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>5.9: Public Art</p>
	<p>5.9.B: Applicability</p>
	<p>Evaluation: Public art is not required for this project.</p>
	<p>Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p>5.9.C: Public Art Requirement</p>
	<p>Evaluation: Public art is not required for this project.</p>
	<p>Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p><b>Article 6: Signs</b></p>
	<p>6.9: Permanent Signs (Commercial Districts)</p>
	<p>Evaluation: Signs are not proposed for this project.</p>
	<p>Compliance: <input type="checkbox"/> Yes <input type="checkbox"/> Partial <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable</p>
	<p><b>Other Considerations</b></p>
	<p></p>
	<p></p>

## Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Fri 1/14/2022 11:24 AM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Katherine Herbert <KHerbert@sedonaaz.gov>

A new entry to a form/survey has been submitted.

**Form Name:** Comments on Development Proposals  
**Date & Time:** 01/14/2022 11:24 a.m.  
**Response #:** 360  
**Submitter ID:** 3635  
**IP address:** 24.121.25.145  
**Time to complete:** 2 min. , 58 sec.

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### Survey Details

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#### Page 1

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We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.

**1. Project Name:**

Navajo Lofts

**2.**

**What are your comments, concerns, ideas, and suggestions about this project?**

Concerned about the amount of guest parking, appears to be only ten spaces for 60 residences. Would like to see landscape rendering from Navajo and Aria perspectives, Very little space (five feet) between the building and the sidewalks.

**3. Your contact information**

**Name:** Roy Daniels DDS  
**Mailing Address:** PO Box 3670 West Sedona, AZ 86340  
**E-mail:** roysedona@gmail.com

**4.**

## Comment on Development Proposal

donotreply@sedonaaz.gov <donotreply@sedonaaz.gov>

Fri 1/14/2022 2:53 PM

To: Cari Meyer <CMeyer@sedonaaz.gov>; Katherine Herbert <KHerbert@sedonaaz.gov>

A new entry to a form/survey has been submitted.

**Form Name:** Comments on Development Proposals  
**Date & Time:** 01/14/2022 2:53 p.m.  
**Response #:** 361  
**Submitter ID:** 3637  
**IP address:** 24.156.93.162  
**Time to complete:** 2 min. , 21 sec.

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### Survey Details

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#### Page 1

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**We want to hear what you think. Please share your thoughts below. If you have questions about the project, please enter your contact information so that we can respond. Please note that all information submitted (including name and addresses) will become part of the public record and will be available for public inspection.**

**1. Project Name:**

Navajo Lofts--10 Navajo Drive

**2.**

**What are your comments, concerns, ideas, and suggestions about this project?**

2022 01 14 Navajo Lofts

To:

Mr. Keith Holden, MKC Holdings LLC

City of Sedona, Community Development

Re: Proposed Navajo Lofts Development

Date: June 14, 2022

Dear Mr. Holden and City of Sedona Community Development

We received on January 12, 2022 a letter and attachments from MKC Holdinga Inx. for the property cited in a letter dated January 5, 2022 about the proposed Navajo Lofts project, which is south of our commercial building at 50 Aria St.

Our biggest concern about the residential development is the limited vehicle parking for the 60 new units. Our neighborhood already overflows with multiple cars and trucks that are parked on the roads, in the driveways, and in yards. A trailer has been parked for over a year at the northeast end of your property (southwest corner of Aria St and Symphony Way.) Also at least 5 cars have been usually parked on the west side of Symphony Way, on your lot. What strikes us on the attachment labeled "Site Plan" is the lack of overflow parking for extended guests and visitors. We have also found cars parked on our lot, which we have had to request the vehicle owners to move. We believe that the current proposal will worsen parking congestion in our neighborhood.

For example, will there be restrictions on how many vehicles each townhouse is permitted? There appears to be no extra parking for neither temporary visitors nor extended visitors.

Where will construction equipment and workers park during construction?

The last sentence in your letter of January 5 cites the addition of rental units, but your letter does not mention rental prices. How does this project help alleviate the dire shortage of affordable housing units?

What is the term of the rental leases? Will renters be able to sublet units to short-term vacationers?

What has been the experience of recently completed Pinon Lofts (Pinon Drive and West AZ 89A) in meeting affordable housing needs?

Arizona Developers have a poor record in addressing long-term water availability for new residential development. Have you presented plans that show water will be available for these units?

The January 5th letter mentions a swimming pool, but we can't see that detail on the "Site Plan."

We are also concerned about the safety of children in the neighborhood. Are there plans to install speed bumps to slow traffic?

We are also sending our concerns to the City of Sedona Community Development.

You may reply to our questions at the email moodyss@pipeline.com.

Susan and Steve Moody  
Owners of Property at 50 Aria Street, Sedona

**3. Your contact information**

**Name:** Susan and Steve Moody  
**Mailing Address:** 100 Camino Del Caballo Sedona, AZ 86336  
**E-mail:** moodyss@pipeline.com

**4.**

**Would you like to receive notices about this project, such as public meeting dates?**

(o) Yes