

## VICINITY MAP



PROJECT INFORMATION:

PARCELS: 401-16-100 & 401-16-071

ADDRESS: 430 & 460 FOREST ROAD, SEDONA, ARIZONA 86336

ZONING: M-3 MIXED USE

## CONTEXT PLAN

scale: 1" = 80'



**NOTICE OF EXTENDED PAYMENT PROVISION**

(PER ARS 32-1128 01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



VERIFY SCALES 0 1" BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JL	27 December 2021
				Drawn by:	
				RGH	
				Checked by:	Project Code:
				JL/JP	GLA PROJECT NO. 20109

**gabor lorant architects**

3326 n. 3rd avenue suite 200  
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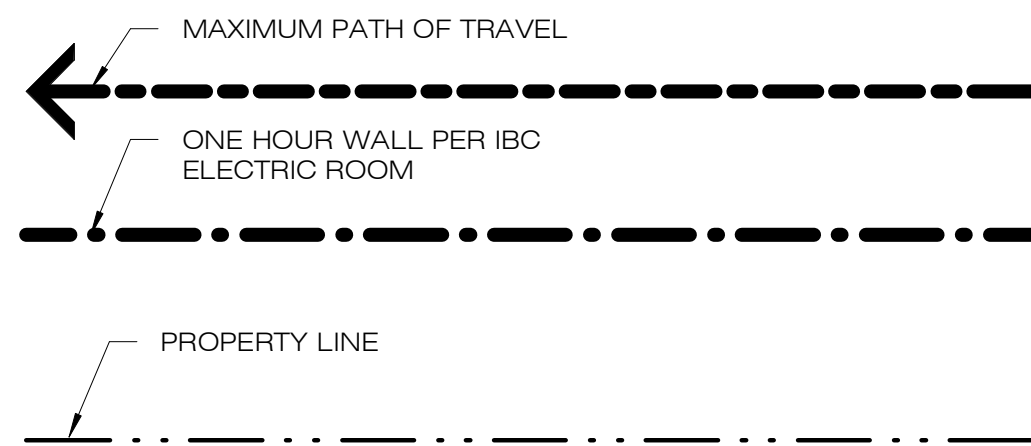
**CITY OF SEDONA**  
**PUBLIC WORKS DEPARTMENT**  
**102 ROADRUNNER DRIVE**  
**SEDONA, ARIZONA 86336**  
**928-204-7111**

Uptown Sedona Parking Facility  
Design Development  
Context Plan | Vicinity Map

**SHEET ID**  
**a000**

**SHEET NO.**  
**OF**

## SYMBOL LEGEND



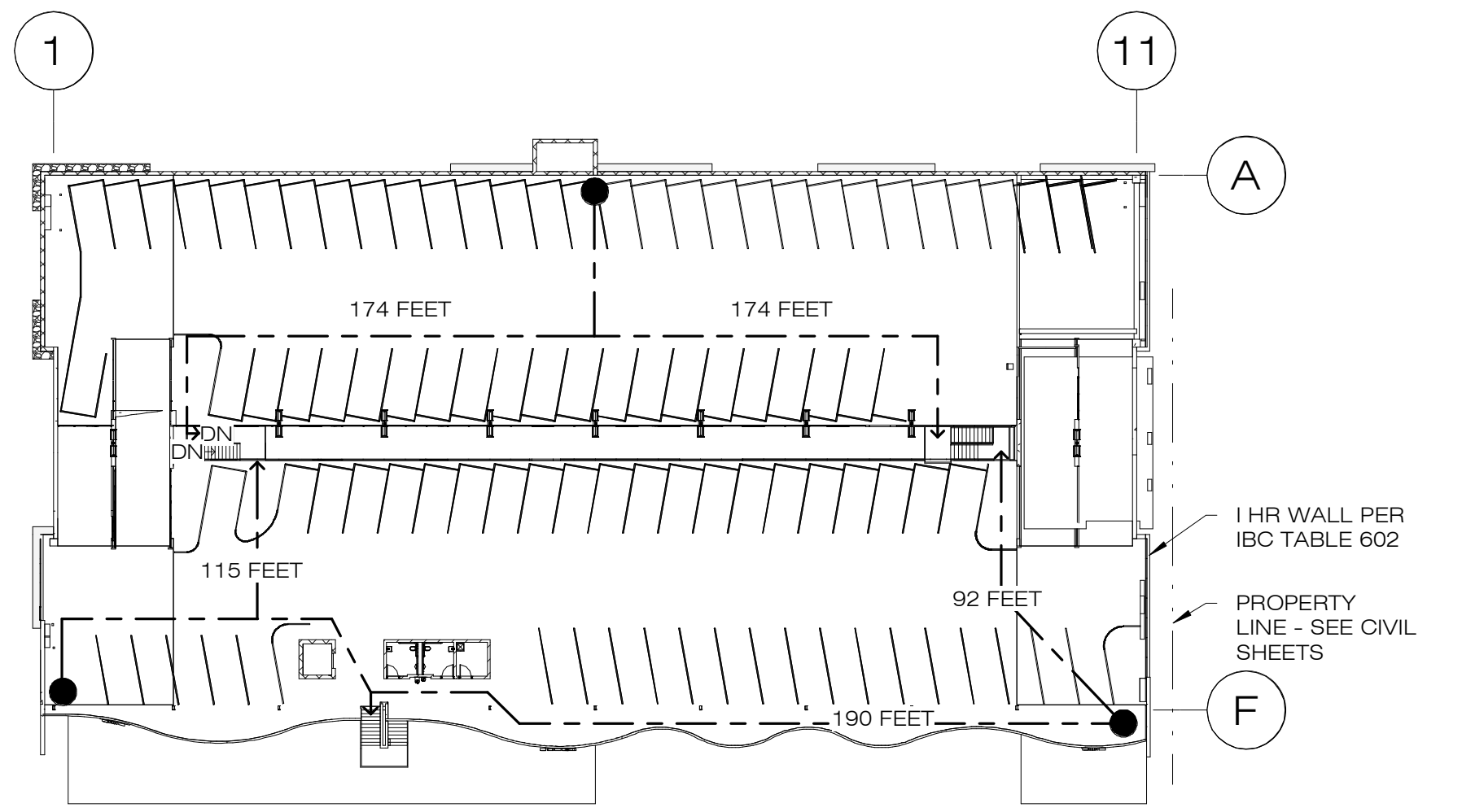
## PARKING COUNTS

<b>BASEMENT LEVEL</b>	97 SPACES
<b>GROUND LEVEL</b>	74 SPACES 7 ACC. SPACES
<b>UPPER LEVEL</b>	97 SPACES
<b>TOTAL SPACES: 275</b>	

### PARKING NOTES:

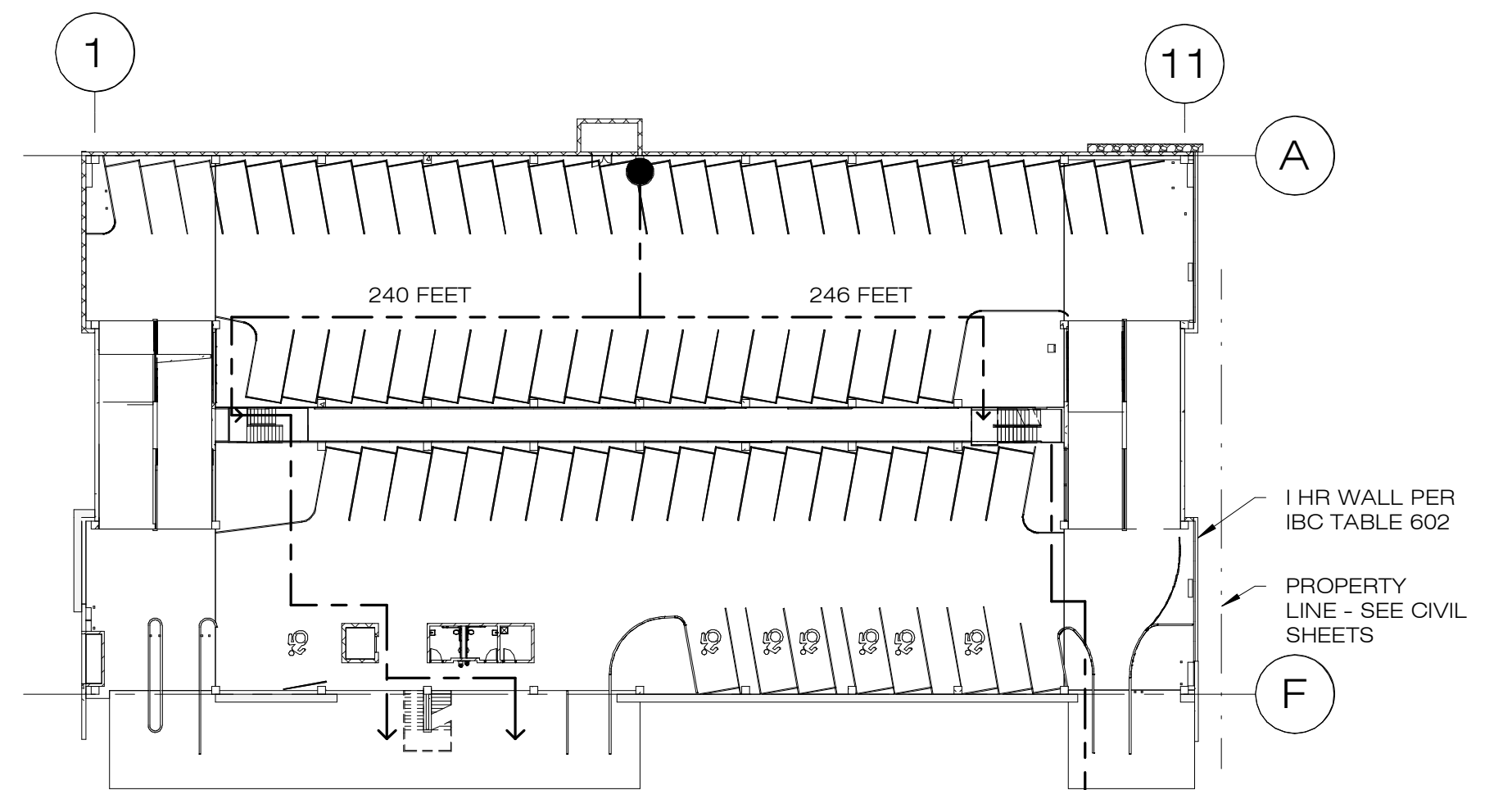
EACH ACCESSIBLE PARKING SPACE SHALL COMPRISE RECTANGULAR AREAS NOT LESS THAN 11 FEET WIDE BY 18 FEET LONG WITH A 5-FOOT MINIMUM WIDTH ACCESS AISLE ON ITS RIGHT SIDE (EXCEPT IN LAYOUTS WHEREIN 2 ACCESSIBLE PARKING SPACES SHARE A SINGLE 5-FOOT-WIDE ACCESS AISLE).

EACH ACCESS AISLE SHALL LEAD DIRECTLY TO AN ACCESSIBLE ROUTE OF TRAVEL.



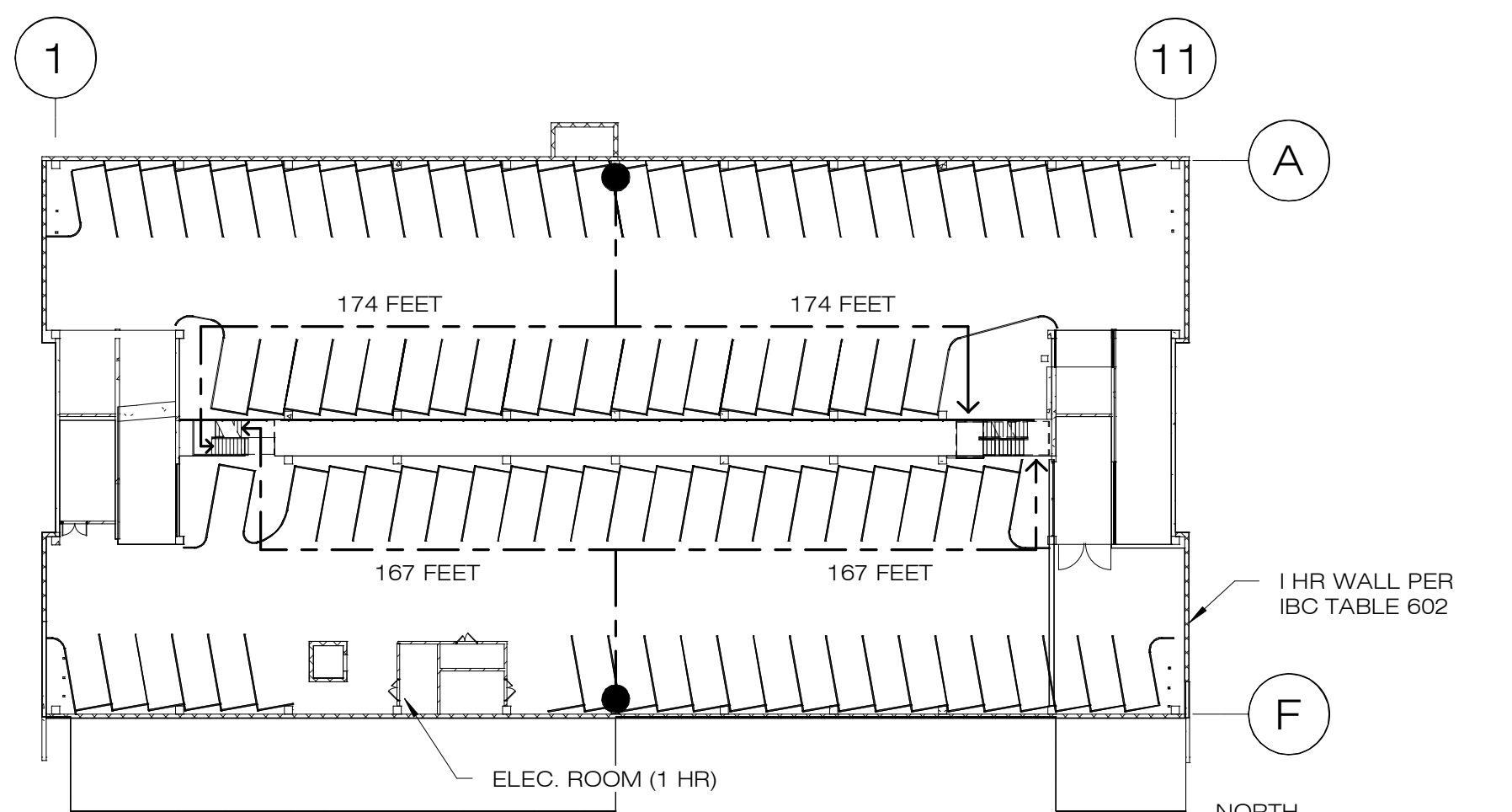
UPPER DECK LEVEL

1" = 40'



GROUND LEVEL

1" = 40'



BASEMENT LEVEL

1" = 40'

## CODE ANALYSIS

<b>GENERAL:</b>		FIRE PROTECTION SYSTEM (CHAPTER 9)
<b>LOCATION:</b>	UPTOWN SEDONA PARKING GARAGE 430 & 460 Forest Road SEDONA, AZ 86336	THE BUILDING SHALL BE EQUIPPED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM AND A FULLY ADDRESSABLE ALARM SYSTEM PER SECTION 903.
<b>OWNER:</b>	CITY OF SEDONA DEPARTMENT OF PUBLIC WORKS 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 (928) 204-7111	
<b>ZONING:</b>	M-3 Mixed Use APN 401-16-071 & 401-16-100	<b>MEANS OF EGRESS (CHAPTER 10):</b>
<b>SITE AREA:</b>	1.24 ACRES	OCCUPANT LOAD (IBC TABLE 1004.5):
<b>BUILDING SIZE:</b>	117,780 GSF (3 DECK TYPE STRUCTURE APPROXIMATELY 270 PARKING SPACES)	OCCUPANT LOAD FACTOR = 200 GROSS
<b>APPLICABLE CODES:</b>	ALL AS AMENDED BY CITY OF SEDONA 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2017 NATIONAL ELECTRIC CODE (NEC) 2018 UNIFORM PLUMBING CODE (UPC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2010 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)	BASEMENT LEVEL (38,195 SF) = 191 TOTAL OCCUPANTS GROUND LEVEL FLOOR (38,495 SF) = 193 TOTAL OCCUPANTS UPPER LEVEL (40,183 SF) = 201 TOTAL OCCUPANTS <b>GRAND TOTAL = 585 TOTAL</b>
<b>TABLE 601, FIRE RESISTANCE OF BUILDING ELEMENTS</b>	CONSTRUCTION TYPE IIB PRIMARY STRUCTURE = 0 HOURS BEARING WALLS - EXTERIOR = 0 HOURS BEARING WALLS - INTERIOR = 0 HOURS NON-BEARING WALLS - INTERIOR = 0 HOURS FLOOR CONSTRUCTION = 0 HOURS ROOF CONSTRUCTION = 0 HOURS	EXITS REQUIRED = 2 (SECTION 1006) EXITS PROVIDED = 2 REQUIRED EXIT WIDTH = 165 OCCUPANTS X 2' / OCC. 34' REQUIRED > 9' PROVIDED (IBC 1005.3.1) PER 1011.2, MIN. STAIR WIDTH = 44', 44' MIN. STAIR WIDTH PROVIDED.
<b>OCCUPANCY (IBC CHAPTER 3)</b>	Section 311.3 (IBC) parking garages enclosed S-2 OCCUPANCY - Section 404.2 - ENCLOSED PARKING GARAGES, OPEN OR ENCLOSED. ACCESSORY USES - Section 503 - ANY ACCESSORY OCCUPANCIES SHALL NOT EXCEED 10% OF THE BUILDING AREA. S-2 MAIN OCCUPANCY BASEMENT LEVEL PARKING = 38,195 SF GROUND LEVEL PARKING = 38,495 SF UPPER DECK LEVEL PARKING = 40,183 SF TOTAL = 116,873 SF ELECTRIC ROOM = 244 SF IT CLOSET = 261 SF STORAGE = 130 SF RESTROOMS = 280 SF TOTAL = 915 SF ACCESSORY USE TOTAL = 915 SF < (10%) X (116,873 SF) NO OCCUPANCY SEPARATION REQUIRED PER 510.3 CONDITION 5 OFFICE, RESTROOMS & MECH. ROOMS WITH A TOTAL AREA LESS THAN 1,000 SF, BASEMENT LEVEL SHALL BE CONSIDERED A SEPARATE & DISTINCT BUILDING.	1005.3.1 EXIT WIDTH: STAIRWAYS: 2 PROVIDED @ EACH PARKING LEVEL 88' COMBINED STAIR WIDTH PROVIDED @ BASEMENT > (0.3' x 191 OCC) = 58' REQUIRED 88' COMBINED STAIR WIDTH PROVIDED @ GROUND LEVEL > (0.3' x 193 OCC) = 58' REQUIRED 88' COMBINED STAIR WIDTH PROVIDED @ UPPER LEVEL > (0.3' x 201 OCC) = 60' REQUIRED EXIT ACCESS STAIRWAYS AREA OF REFUGE EXCEPTION 2 FOR AUTOMATIC SPRINKLER SYSTEM (IBC 1009.3.3) EXIT ACCESS TRAVEL DISTANCE, TABLE 1017.2 S-2 OCCUPANCY, SPRINKLERED = 400' > 174' ACTUAL MAX.
<b>BUILDING AREA / HEIGHT (IBC CHAPTER 5)</b>	AUTOMATIC FIRE SPRINKLER SYSTEM PROVIDED THROUGHOUT TABLE 504.3. ALLOWABLE HEIGHT, TYPE IIB CONSTRUCTION W/ SPRINKLERS = 75' 27' MAX ACTUAL HEIGHT < 75' ALLOWED TABLE 504.4 ALLOWABLE NUMBER OF STORIES = 4 1 STORY ABOVE GRADE +1 BELOW = 3 ACTUAL < 4 ALLOWED TABLE 506.2, SECTION 506.2.4 ALLOWABLE BASIC AREA, TYPE IIB CONSTRUCTION W/ SPRINKLERS (SM) = 78,000 SF/STORY > 40,183 (LARGEST FLOOR AREA) PER 506.3.2: $W = (284 \times 1) + (284 \times 2/3) + (139 \times 2/3) + (139 \times 1/6) = .70$ 846	MAX. PLUMBING FIXTURE REQUIREMENTS PUBLIC TOILET FACILITIES ARE NOT REQUIRED FOR PARKING GARAGES WITHOUT PARKING ATTENDANTS (IBC 2902.3) 4 UNISEX RESTROOMS PROVIDED: 4 TOILETS 4 URINALS 4 SINKS 4 DRINKING FOUNTAINS PROVIDED ALONG ACCESSIBLE ROUTE 2 SERVICE SINKS PROVIDED

### NOTICE OF EXTENDED PAYMENT PROVISION

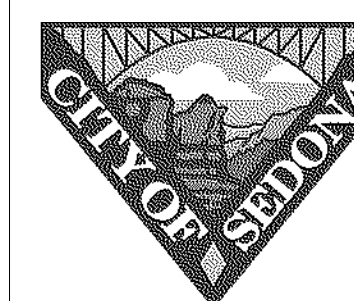
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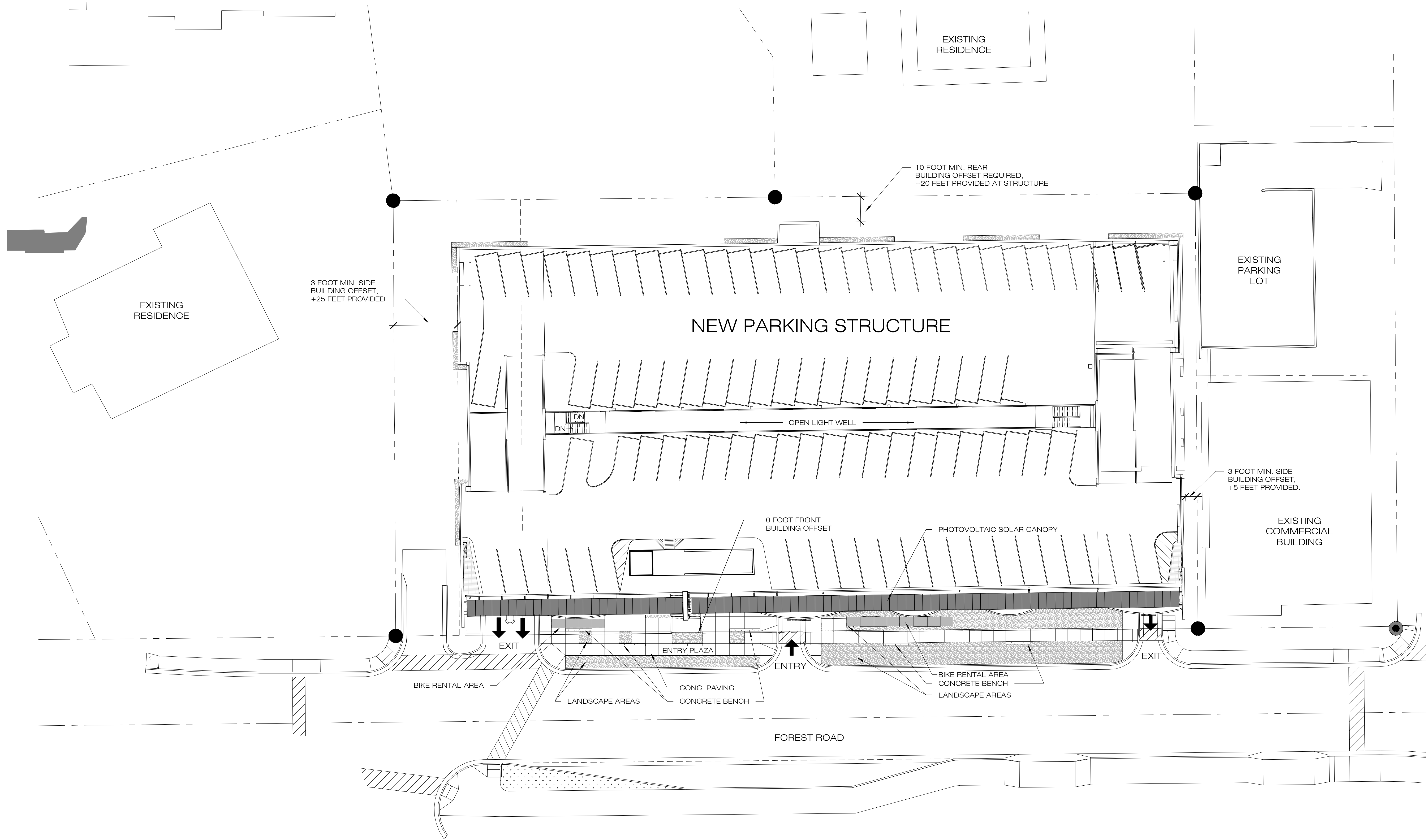


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PUBLIC WORKS DEPARTMENT  
102 ROADRUNNER DRIVE  
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928-204-7111**

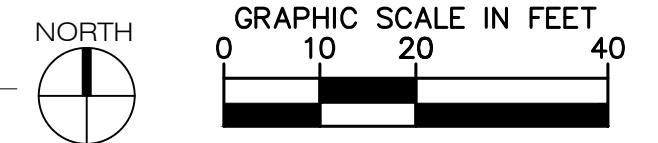
Uptown Sedona Parking Facility  
Design Development  
Occupancy & Code Analysis

SHEET ID  
a001  
SHEET NO.  
OF

VERIFY SCALES 0 1"  
BAR IS ONE INCH ON ORIGINAL DRAWING  
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1 SITE  
1" = 20'-0"



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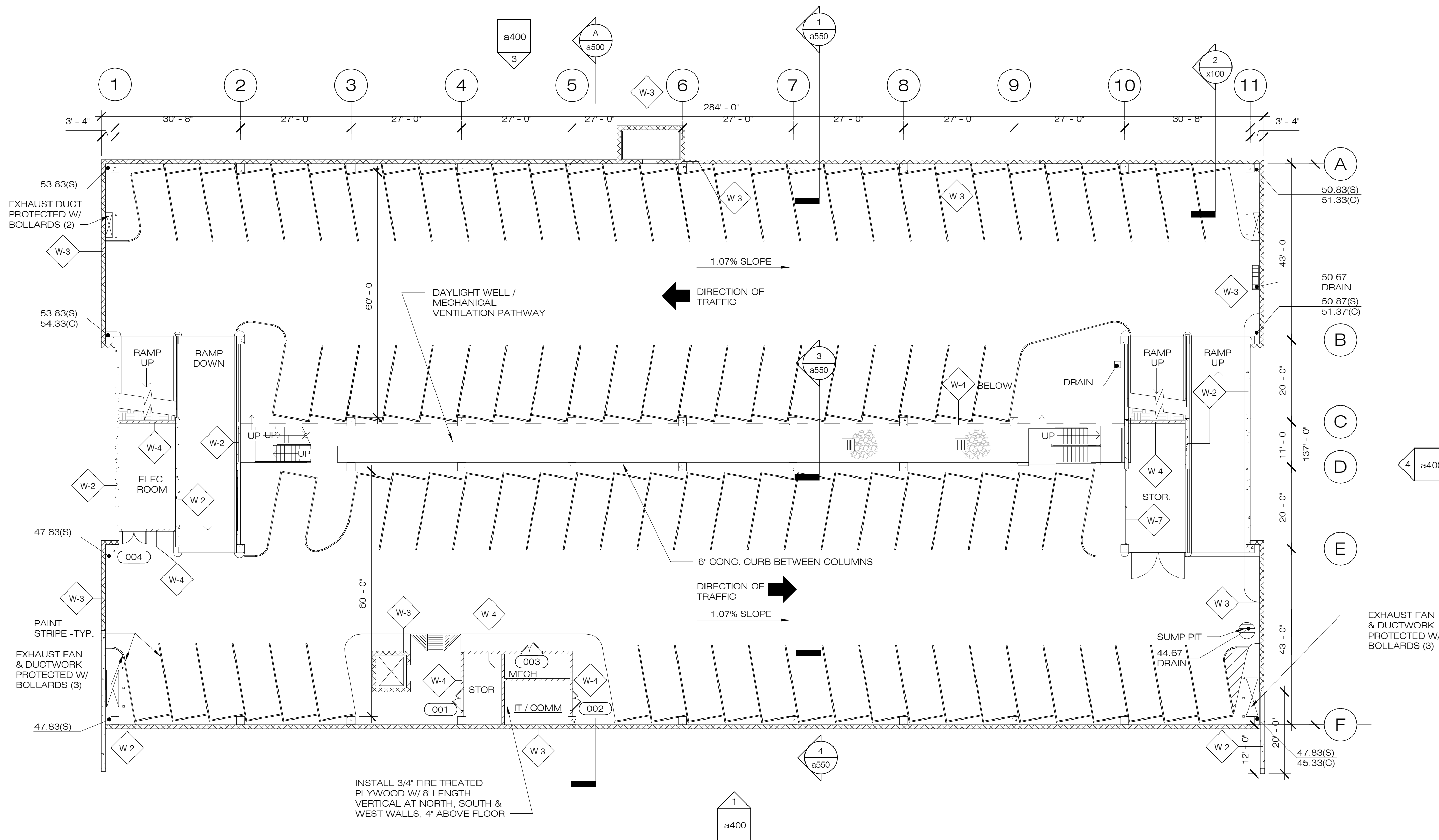
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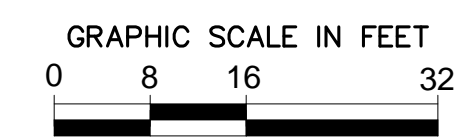
Uptown Sedona Parking Facility  
Design Development  
Architectural Site Plan

SHEET ID  
a050  
SHEET NO.  
OF



PARKING COUNTS	
BASEMENT LEVEL	94 SPACES
GROUND LEVEL	72 SPACES 7 ACC. SPACES
UPPER LEVEL	95 SPACES
<b>TOTAL SPACES:</b>	<b>268</b>

1 LOWER LEVELS PLAN  
1/16" = 1'-0"



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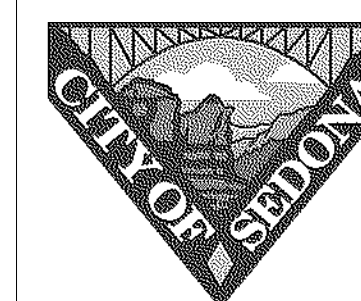


WALL TYPE	DESCRIPTION
W-1	8" CONCRETE WALL, REINFORCE PER STRUCTURAL DOCUMENTS
W-2	12" CONCRETE WALL, REINFORCE PER STRUCTURAL DOCUMENTS
W-3	12x8x16 CONCRETE MASONRY UNITS, GROUT CELLS W/ REINFORCING PER STRUCTURAL DOCUMENTS.
W-4	8x8x16 CONCRETE MASONRY UNITS, GROUT CELLS W/ REINFORCING PER STRUCTURAL DOCUMENTS.
W-5	PLUMBING WALL, 5/8" CEMENT BOARD ON 3-5/8" METAL STUDS AT 16" O.C. PROVIDE WALL TILE FINISH.
W-6	CORRUGATED CORTEN PANELS OVER STEEL TUBE FRAME.
W-7	WIRE MESH FENCING & GATES OVER STEEL TUBE FRAMING.

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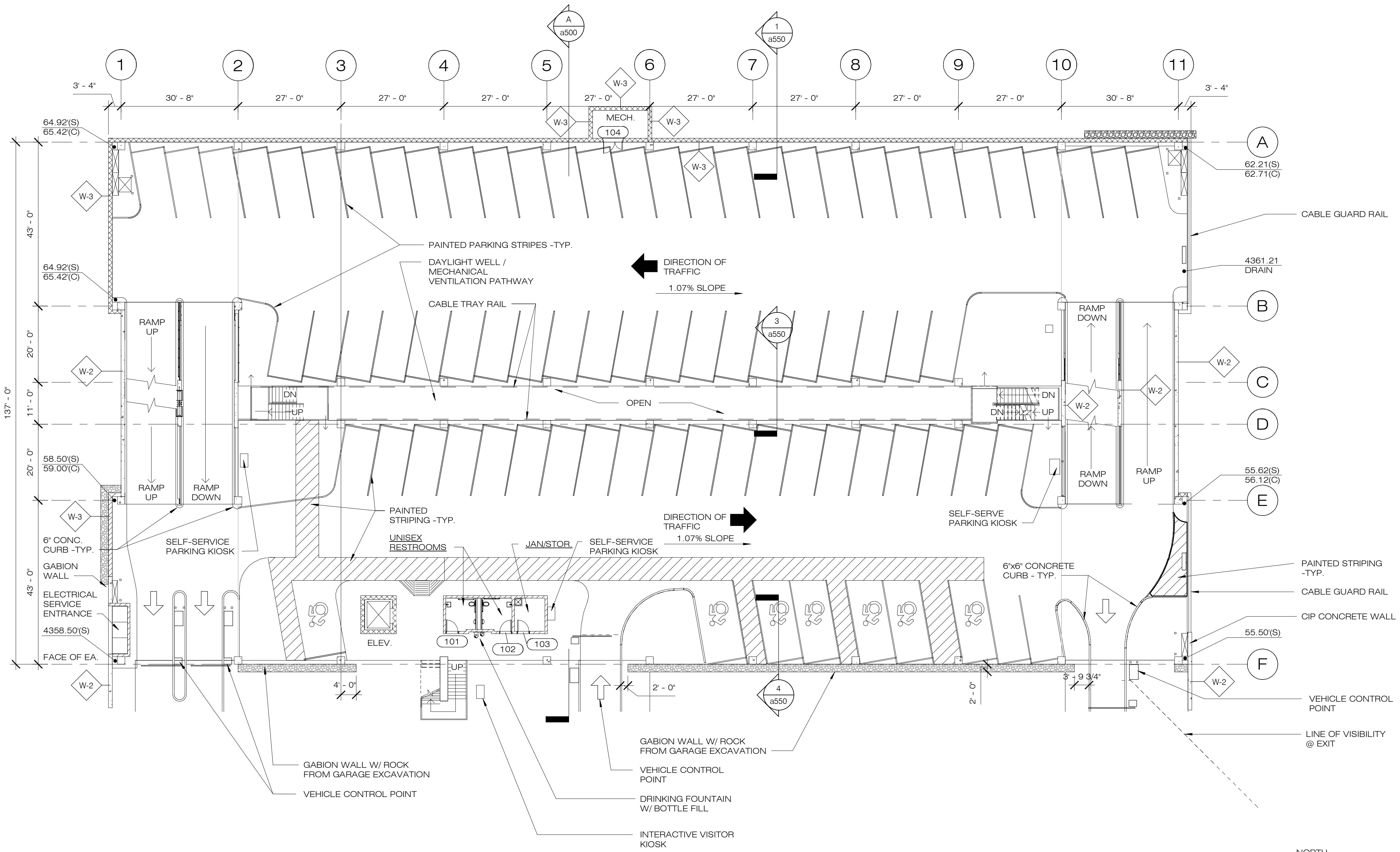
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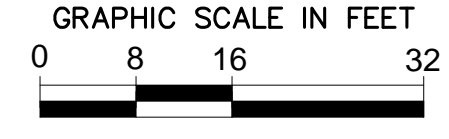
**CITY OF SEDONA  
PUBLIC WORKS DEPARTMENT  
102 ROADRUNNER DRIVE  
SEDONA, ARIZONA 86336  
928-204-7111**

Uptown Sedona Parking Facility  
Design Development  
Lower Levels Plan

SHEET ID  
a100  
SHEET NO.  
OF



1 GROUND LEVELS PLAN  
1/16" = 1'-0"



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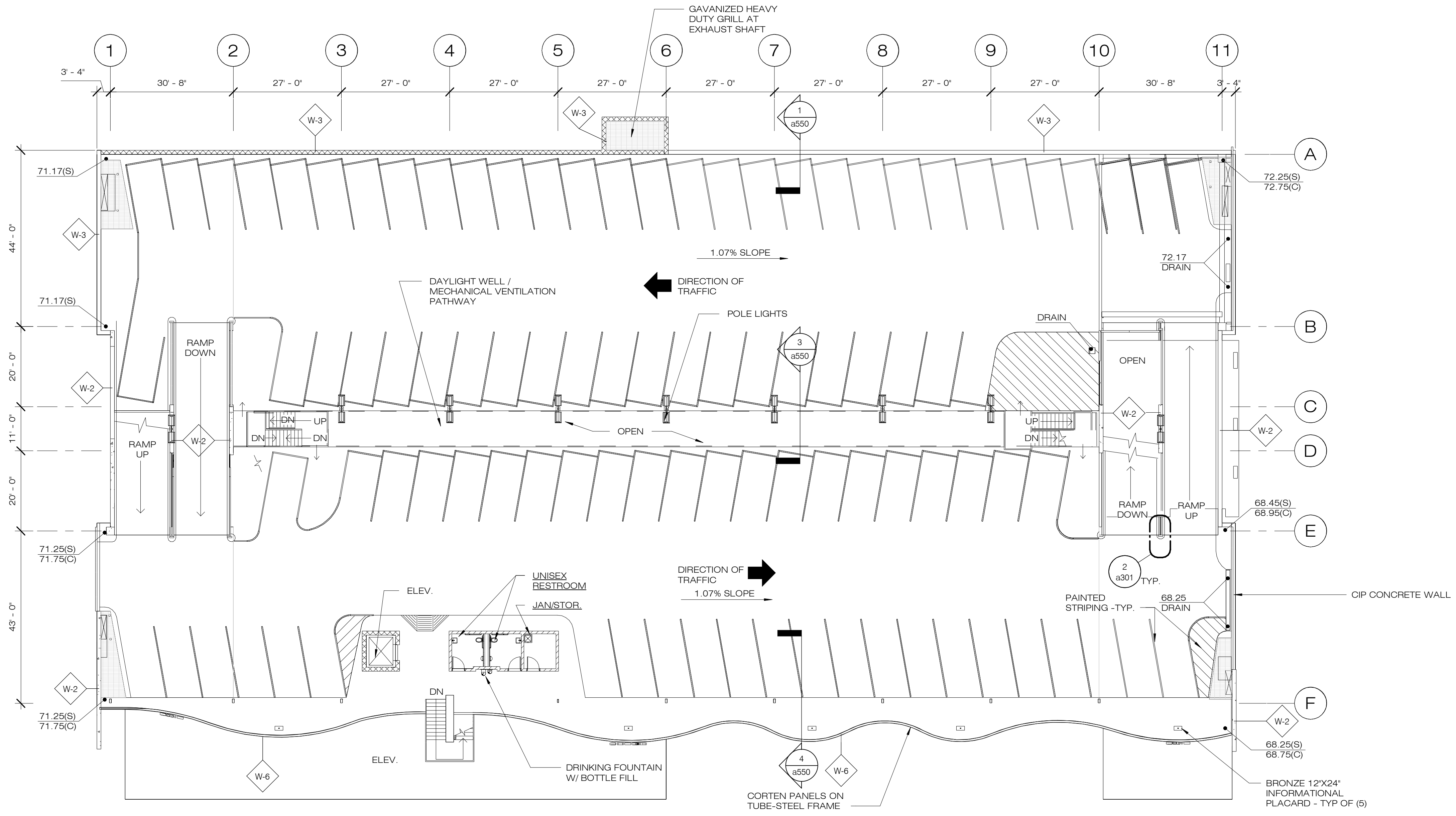
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PUBLIC WORKS DEPARTMENT  
102 ROADRUNNER DRIVE  
SEDONA, ARIZONA 86336  
928-204-7111**

Uptown Sedona Parking Facility  
Design Development  
Ground Levels Floor Plan

SHEET ID  
a101  
SHEET NO.  
OF

WALL TYPE	DESCRIPTION
W-1	8" CONCRETE WALL, REINFORCE PER STRUCTURAL DOCUMENTS
W-2	12" CONCRETE WALL, REINFORCE PER STRUCTURAL DOCUMENTS
W-3	12x8x16 CONCRETE MASONRY UNITS, GROUT CELLS W/ REINFORCING PER STRUCTURAL DOCUMENTS.
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W-7	WIRE MESH FENCING & GATES OVER STEEL TUBE FRAMING.

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**1 UPPER LEVELS PLAN**  
 1/16" = 1'-0"  
 GRAPHIC SCALE IN FEET  
 0 8 16 32

WALL TYPE	DESCRIPTION
W-1	8" CONCRETE WALL, REINFORCE PER STRUCTURAL DOCUMENTS
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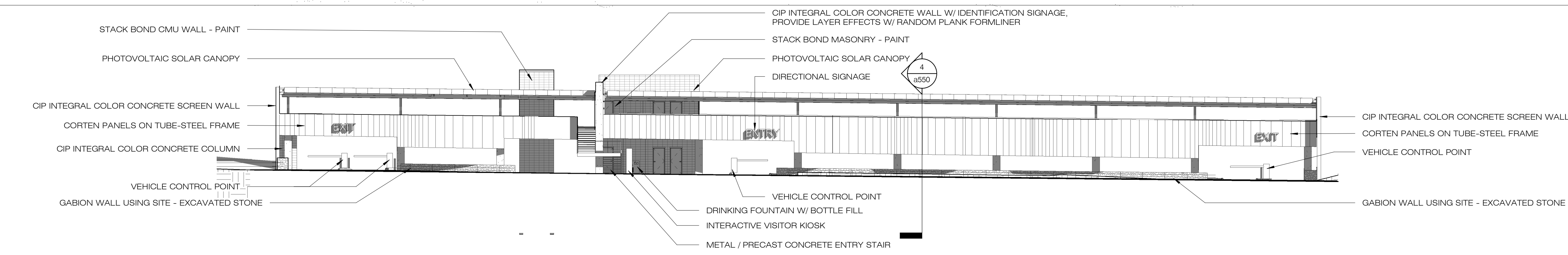


**CITY OF SEDONA**  
**PUBLIC WORKS DEPARTMENT**  
 102 ROADRUNNER DRIVE  
 SEDONA, ARIZONA 86336  
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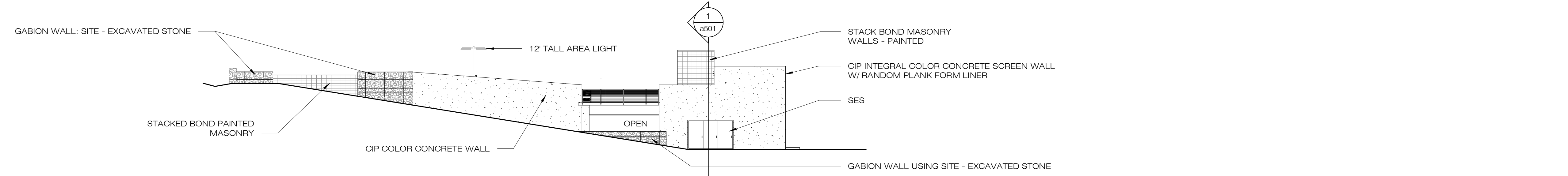
Uptown Sedona Parking Facility  
 Design Development  
 Upper Levels Floor Plan

SHEET ID  
 a102  
 SHEET NO.  
 OF

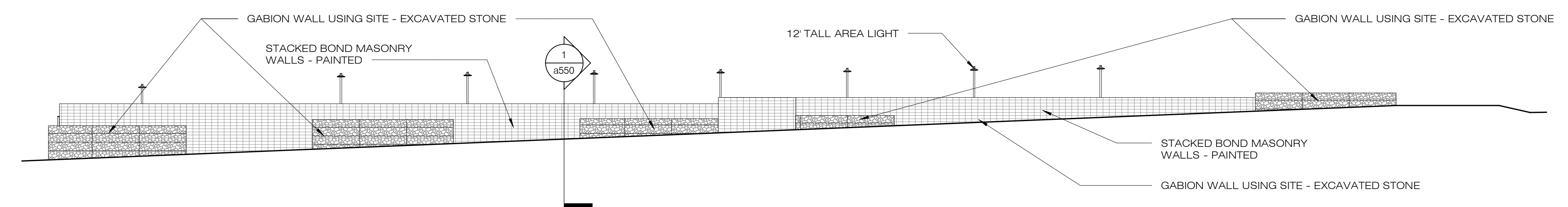
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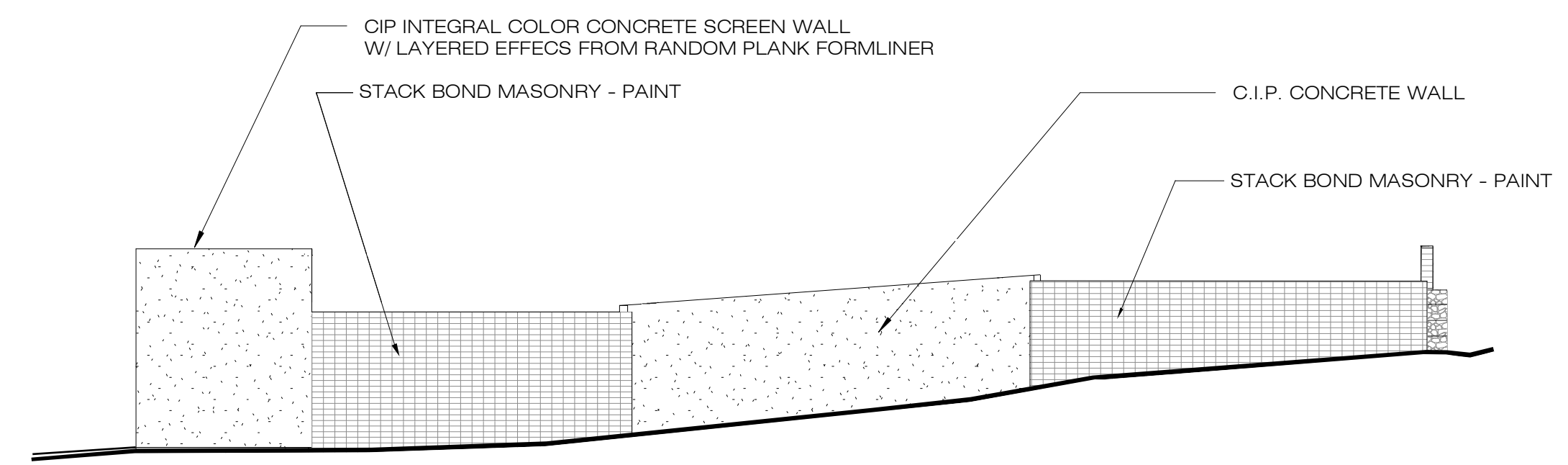
1 SOUTH - BUILDING ELEVATION  
1/16" = 1'-0"



2 WEST - BUILDING ELEVATION  
1/16" = 1'-0"



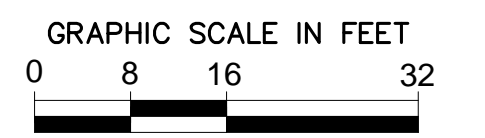
3 NORTH - BUILDING ELEVATION  
1/16" = 1'-0"



4 EAST - BUILDING ELEVATION  
1/16" = 1'-0"

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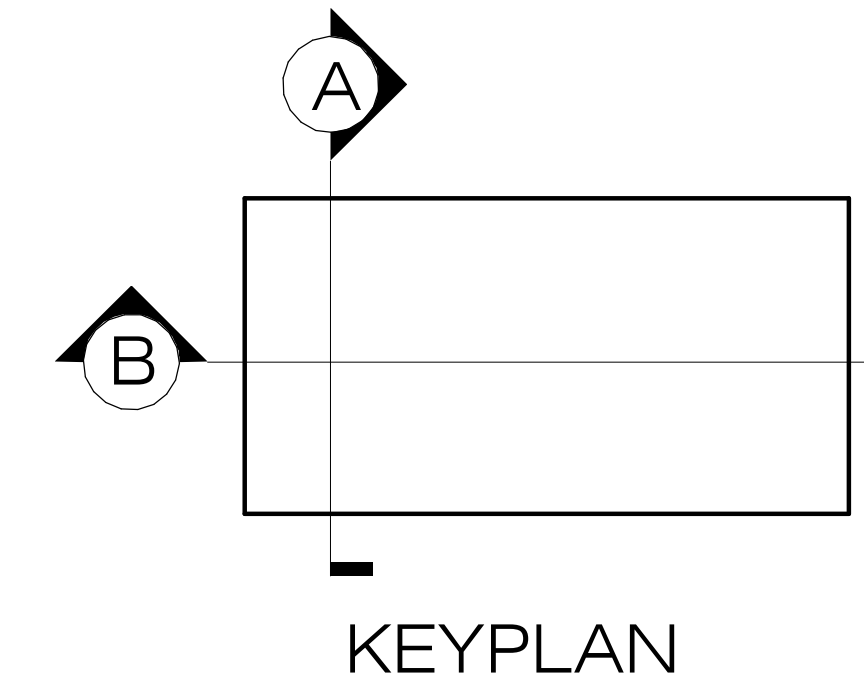
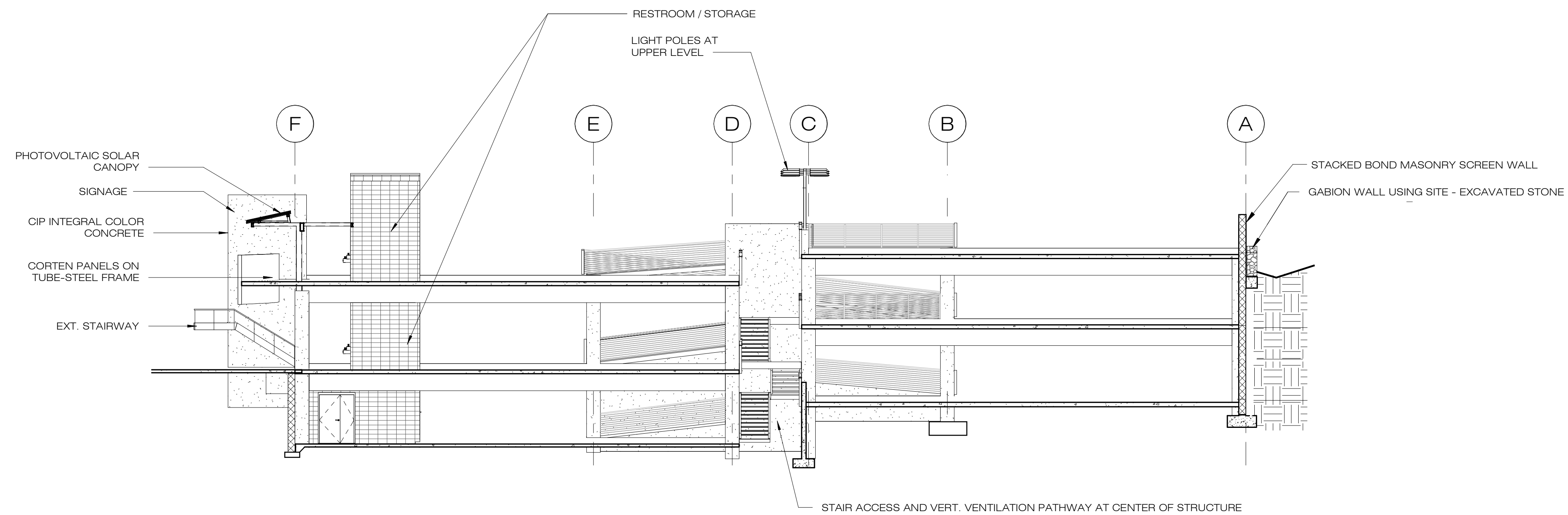
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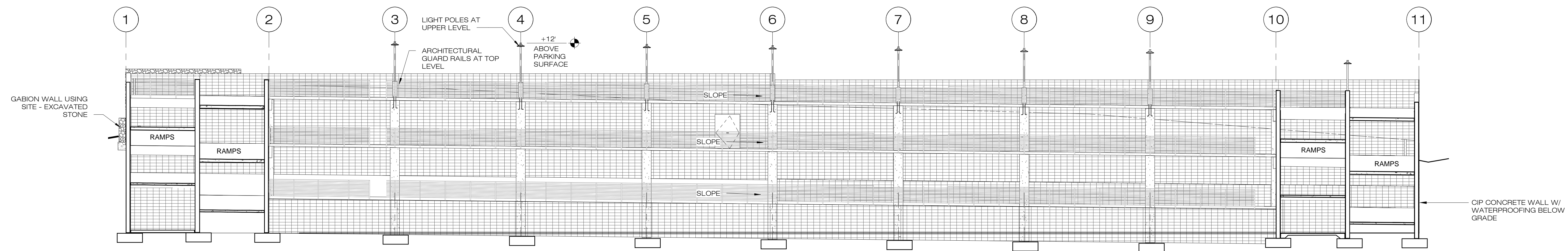
**CITY OF SEDONA  
PUBLIC WORKS DEPARTMENT  
102 ROADRUNNER DRIVE  
SEDONA, ARIZONA 86336  
928-204-7111**

Uptown Sedona Parking Facility  
Design Development  
Exterior Elevations

SHEET ID  
a400  
SHEET NO.  
OF

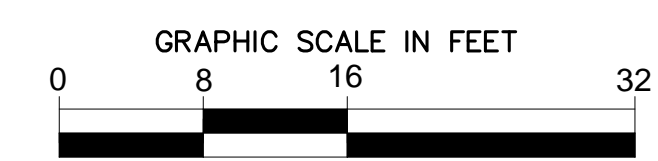


Section - A  
3/32" = 1'-0"



Section - B  
3/32" = 1'-0"

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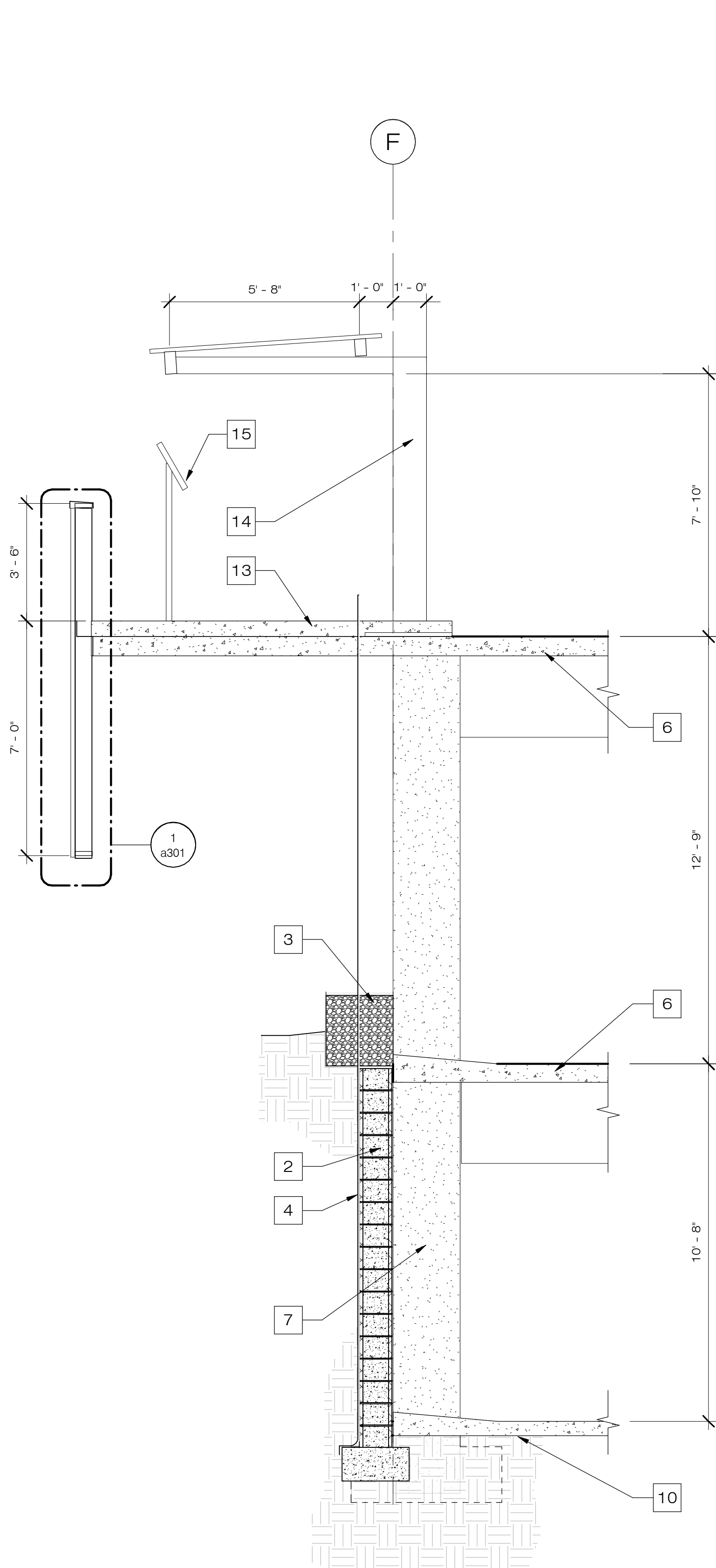
Uptown Sedona Parking Facility  
Design Development  
Sections

SHEET ID  
a500  
SHEET NO.  
OF

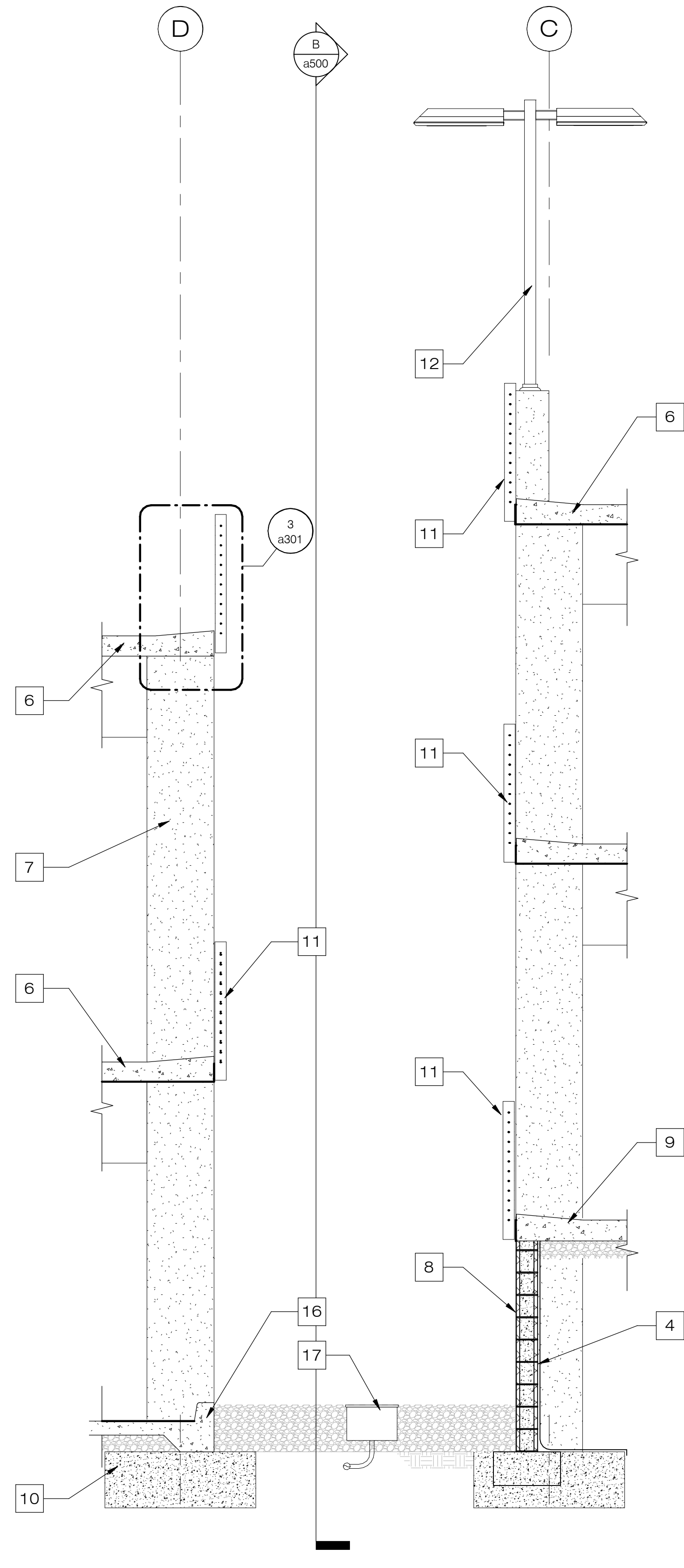


KEYNOTES

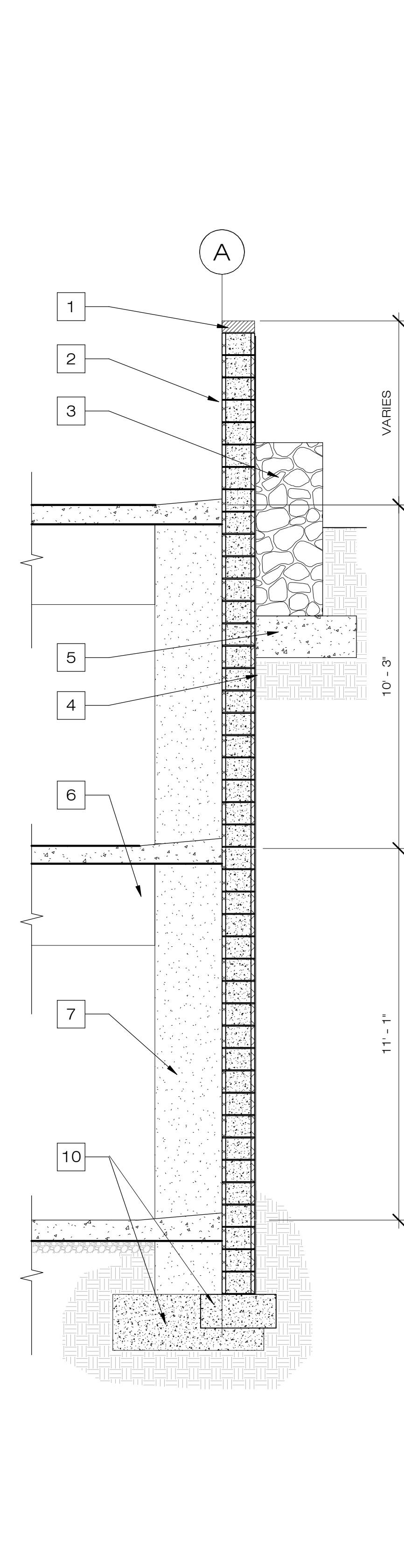
1	4" SOLID CMU WALL CAP
2	12" CMU WALL, SOLID GROUTED, SEE STRUCTURAL SHEETS
3	24" WIDE GABION WALL
4	WATERPROOFING & PROTECTION BOARD
5	12" THICK X 3' WIDE CONCRETE FOOTING
6	ELEVATED CONCRETE SLAB & BEAMS - SEE STRUCTURAL SHEETS
7	CONCRETE COLUMN - SEE STRUCTURAL SHEETS
8	8" CMU WALL, SOLID GROUTED, SEE STRUCTURAL SHEETS
9	CONCRETE SLAB ON GRADE - SEE STRUCTURAL SHEETS
10	CONCRETE FOOTING - SEE STRUCTURAL SHEETS
11	CABLE GUARD RAIL
12	LIGHT FIXTURE - SEEL ELECTRICAL SHEETS
13	CONCRETE TOPPING SLAB, MIN 3-1/2" THICK, SLOPE TO DRAIN
14	SOLAR CANOPY & SUPPORT
15	BRONZE INFORMATIONAL PLACARD
16	5" TALL CONCRETE CURB
17	AREA DRAIN IN ROCK BED



4 WALL SECTION  
3/8" = 1'-0"



3 WALL SECTION  
3/8" = 1'-0"



1 WALL SECTION  
3/8" = 1'-0"

NOTICE OF EXTENDED PAYMENT PROVISION  
(PER ARS 32-1128 01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



VERIFY SCALES 0 1" BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JL	27 December 2021
				Drawn by:	
				RGH	
				Checked by:	Project Code:
					GLA PROJECT NO. 20109

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**CITY OF SEDONA  
PUBLIC WORKS DEPARTMENT  
102 ROADRUNNER DRIVE  
SEDONA, ARIZONA 86336  
928-204-7111**

Uptown Sedona Parking Facility  
Design Development  
Wall Sections

SHEET ID  
a550

SHEET NO.  
OF



## Uptown Sedona Parking Garage



NOTICE OF EXTENDED PAYMENT PROVISION  
 (PER ARS 32-1128 01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.




VERIFY SCALES 0 1"   
 BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JL	21 December 2021
				Drawn by:	
				RGH	
				Checked by:	Project Code:
				JL/JP	GLA PROJECT NO. 20109

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**CITY OF SEDONA PUBLIC WORKS DEPARTMENT**  
 102 ROADRUNNER DRIVE  
 SEDONA, ARIZONA 86336  
 928-204-7111



Uptown Sedona Parking Facility  
 Design Development  
 Rendering

SHEET ID  
 a001  
 SHEET NO.  
 OF

# GENERAL LANDSCAPE NOTES

- ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
- SITE GRADING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
- CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT, MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED STANDARDS, AND FREE OF ANY BRUISES, CUTS OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AT NO ADDITIONAL COST TO THE CLIENT.
- INSTALL ALL CANOPY TREES WITH A MINIMUM OF 5 FT. SEPARATION FROM ALL UTILITIES, UNLESS A ROOT BARRIER IS UTILIZED.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE ROOT BALLS WHICH SETTLE BELOW GRADE, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, FERTILIZING, WEEDING, MOVING, EDGING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. MAINTENANCE PERIOD SHALL BE TWO (2) YEARS BEGINNING FROM DATE OF ACCEPTED FINAL COMPLETION.
- ROCK MULCH: ALL AREAS LABELED ROCK MULCH ON THE PLANS ARE TO BE APPROVED BY OWNER. 2" MINIMUM DEPTH THROUGHOUT ENTIRE PROJECT. FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1" BELOW TOP OF CURB OR SIDEWALK.

# MAINTENANCE REQUIREMENTS

- THE LANDSCAPE MAINTENANCE AND WARRANTY PERIOD SHALL BE SEVEN HUNDRED AND THIRTY (730) CONSECUTIVE CALENDAR DAYS. THE TIME PERIOD SHALL BEGIN AFTER WRITTEN NOTICE FROM THE PROJECT ENGINEER OF SUBSTANTIAL COMPLETION OF THE LANDSCAPE PORTION OF THE PROJECT AND WHEN THE ENGINEER IS ASSURED THAT THE WORK CAN BE PERFORMED IN A CONTINUOUS AND CONSISTENT MANNER WITHOUT RESTRICTING THE USE OF ANY FACILITIES BY THE TRAVELING PUBLIC.
- THE CONTRACTOR SHALL SUBMIT A WORK SCHEDULE OF OPERATIONS FOR APPROVAL BY THE ENGINEER AND CITY OF SEDONA STAFF. THE WORK SCHEDULE SHALL INCLUDE CONTACT INFORMATION FOR THOSE RESPONSIBLE FOR MAINTENANCE.
- PLANT MATERIALS NOT SURVIVING SHALL BE REPLACED WITHIN 30 DAYS OF ITS DEMISE.

# PLANT LEGEND

DECIDUOUS TREES			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	CHILOPSIS LINEARIS DESERT WILLOW	5	15 GAL.
EVERGREEN TREES			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	JUNIPERUS ARIZONICA REDBERRY JUNIPER	15	15 GAL.
	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	13	15 GAL.
SHRUBS/GROUNDCOVERS			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	ASCLEPIAS TUBEROSA BUTTERFLY MILKWEED	55	1 GAL.
	BOUTELOUA GRACILIS 'BLONDE AMBITION' 'BLONDE AMBITION' BLUE GRAMA	81	1 GAL.
	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' FERNBUSH	17	5 GAL.
	ERICAMERICA LARICIFOLIA TURPENTINE BUSH	31	1 GAL.
	MELAMPodium LEUCANTHUM BLACKFOOT DAISY	62	1 GAL.
	NOLIA MICROCARPA BEAR GRASS	24	5 GAL.
SITE			
SYMBOL	NAME	QUANTITY	
	1"–3" ROCK MULCH, COLOR TBD	15,998 SQ FT	

# IRRIGATION NOTES

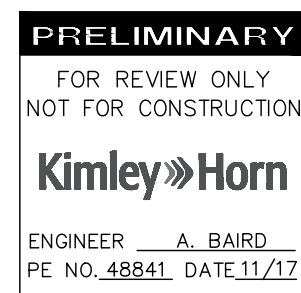
- CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALL IRRIGATION SYSTEM COMPONENTS AND HAVE THE LAYOUT AND COMPONENTS APPROVED BY CITY OF SEDONA STAFF PRIOR TO STARTING INSTALLATION.
- ALL PIPING AND WIRING PLACED UNDER PAVED AREAS SHALL BE SLEEVED PER PLAN DETAILS. SLEEVE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE START OF ANY PAVING OPERATIONS (SEE ENGINEERING PLANS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, TESTING, MAINTAINING, REPAIRING, AND OPERATING A COMPLETE AND FULLY FUNCTIONAL IRRIGATION SYSTEM INCLUDING ALL LATERAL PIPING AND FITTINGS AS SPECIFIED AND AS DETAILED, WHETHER OR NOT PIPING IS SHOWN ON THE PLANS.
- ANY SUBSTITUTIONS OR OMISSIONS OF IRRIGATION COMPONENTS AND EQUIPMENT MUST BE APPROVED IN WRITING BY CITY OF SEDONA STAFF PRIOR TO STARTING INSTALLATION.
- CONTRACTOR TO FIELD VERIFY ALL WATER PRESSURE AND FLOWS PRIOR TO INSTALLATION OF SYSTEM. IF INSUFFICIENT PRESSURE IS ENCOUNTERED, NOTIFY OWNER IMMEDIATELY.
- ALL EXISTING IRRIGATION COMPONENTS SHALL BE MAINTAINED IN CURRENT WORKING CONDITION. ALL EXISTING PLANTS SHALL CONTINUE RECEIVING IRRIGATION DURING CONSTRUCTION ACTIVITIES.

# IRRIGATION LEGEND

SYMBOL	EQUIPMENT	SIZE	PRODUCT
	WATER METER – POTABLE	–	–
	CONTROLLER	TBD	CALSENSE
	BACKFLOW PREVENTER	1"	FEBCO 825Y
	PRESSURE REGULATOR	1"	SENNINGER PMR–35MF
	GATE VALVE	1"	NIBCO T–113–IR
	REMOTE CONTROL VALVE ASSEMBLY – DRIP ZONES	–	RAINBIRD–100–PESB
	MAINLINE	1"	PVC SCH 40
	TREE LATERAL LINE	3/4"	PVC SCH 40
	SHRUB LATERAL LINE	3/4"	PVC SCH 40
	SLEEVE UNDER STREET & PATHWAY	4"	PVC SCH 40
	END CAP AUTOMATIC FLUSHING COMPRESSION END PLUG		
NOT SHOWN	EMITTER ASSEMBLY MULTI–PORT; (1 GPH & 2 GPH)		RAINBIRD XBT–10–6, XBT–20–6; 1 PER TREE; SHRUBS WITH SAME FLOW RATE TO SHARE

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Symbol	Revisions	Date	Appr.	Designed by: DLP	Date: 27 December 2021
				Drawn by: ALD	Scale: N/A
				Checked by: JRW	Project Code: 091885001



**Kimley-Horn**

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201 NORTH MONTEZUMA SUITE 206 PRESCOTT ARIZONA, 86301  
PHONE: 928-458-7121  
WWW.KIMLEY-HORN.COM



**CITY OF SEDONA  
PUBLIC WORKS DEPARTMENT  
102 ROADRUNNER DRIVE  
SEDONA, ARIZONA 86336  
928-204-7111**

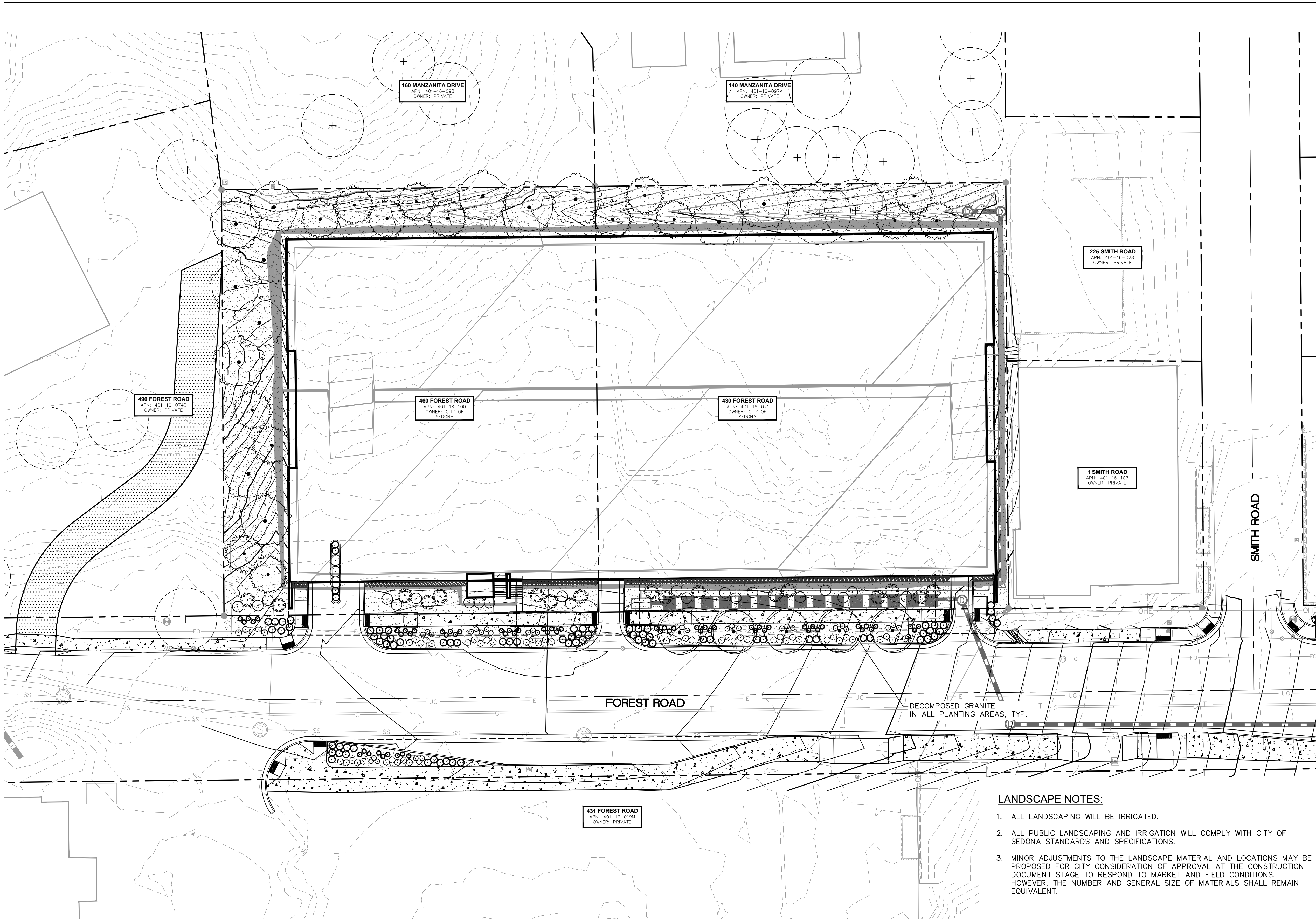
**UPTOWN SEDONA  
PARKING GARAGE  
LANDSCAPE NOTES**

<b>SHEET ID</b> LS01
<b>SHEET NO.</b> 13 OF 19



NOTICE OF EXTENDED PAYMENT PROVISION  
(PER ARS 32–1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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**PLANTING LEGEND**

DECIDUOUS TREES	
SYMBOL	BOTANICAL NAME COMMON NAME
	CHILOPSIS LINEARIS DESERT WILLOW
EVERGREEN TREES	
SYMBOL	BOTANICAL NAME COMMON NAME
	JUNIPERUS ARIZONICA REDBERRY JUNIPER
	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER
SHRUBS/GROUNDCOVERS	
SYMBOL	BOTANICAL NAME COMMON NAME
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	BOUTELOUA GRACILIS 'BLONDE AMBITION' 'BLONDE AMBITION' BLUE GRAMA
	CHAMAEBATIARIA MILLEFOLIUM 'FERNBUSH' FERNBUSH
	ERICAMERICA LARICIFOLIA TURPENTINE BUSH
	MELAMPodium LEUCANTHUM BLACKFOOT DAISY
	NOLIA MICROCARPA BEAR GRASS
SITE	
SYMBOL	NAME
	1"-3" ROCK MULCH, COLOR TBD

**LEGEND**

	PROPERTY LINE
	PROPOSED FLOW LINE
	ROADWAY CENTERLINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

- LANDSCAPE NOTES:**
- ALL LANDSCAPING WILL BE IRRIGATED.
  - ALL PUBLIC LANDSCAPING AND IRRIGATION WILL COMPLY WITH CITY OF SEDONA STANDARDS AND SPECIFICATIONS.
  - MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION OF APPROVAL AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THE NUMBER AND GENERAL SIZE OF MATERIALS SHALL REMAIN EQUIVALENT.

GRAPHIC SCALE IN FEET  
0 10 20 40

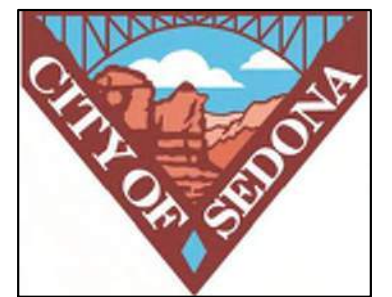
Call at least two full working days before you begin excavation.  
**ARIZONA 811**  
Arizona Blue Stakes, Inc.  
Dial 8-1-1 or 1-800-STAKE-IT (782-8348)  
In Maricopa County: (602) 283-1100

**NOTICE OF EXTENDED PAYMENT PROVISION**  
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				DLP	27 December 2021
				Drawn by:	Scale:
				ALD	1"=20'
				Checked by:	Project Code:
				JRW	091885001

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION  
**Kimley»Horn**  
ENGINEER A. BAIRD  
PE NO. 48841 DATE 11/21

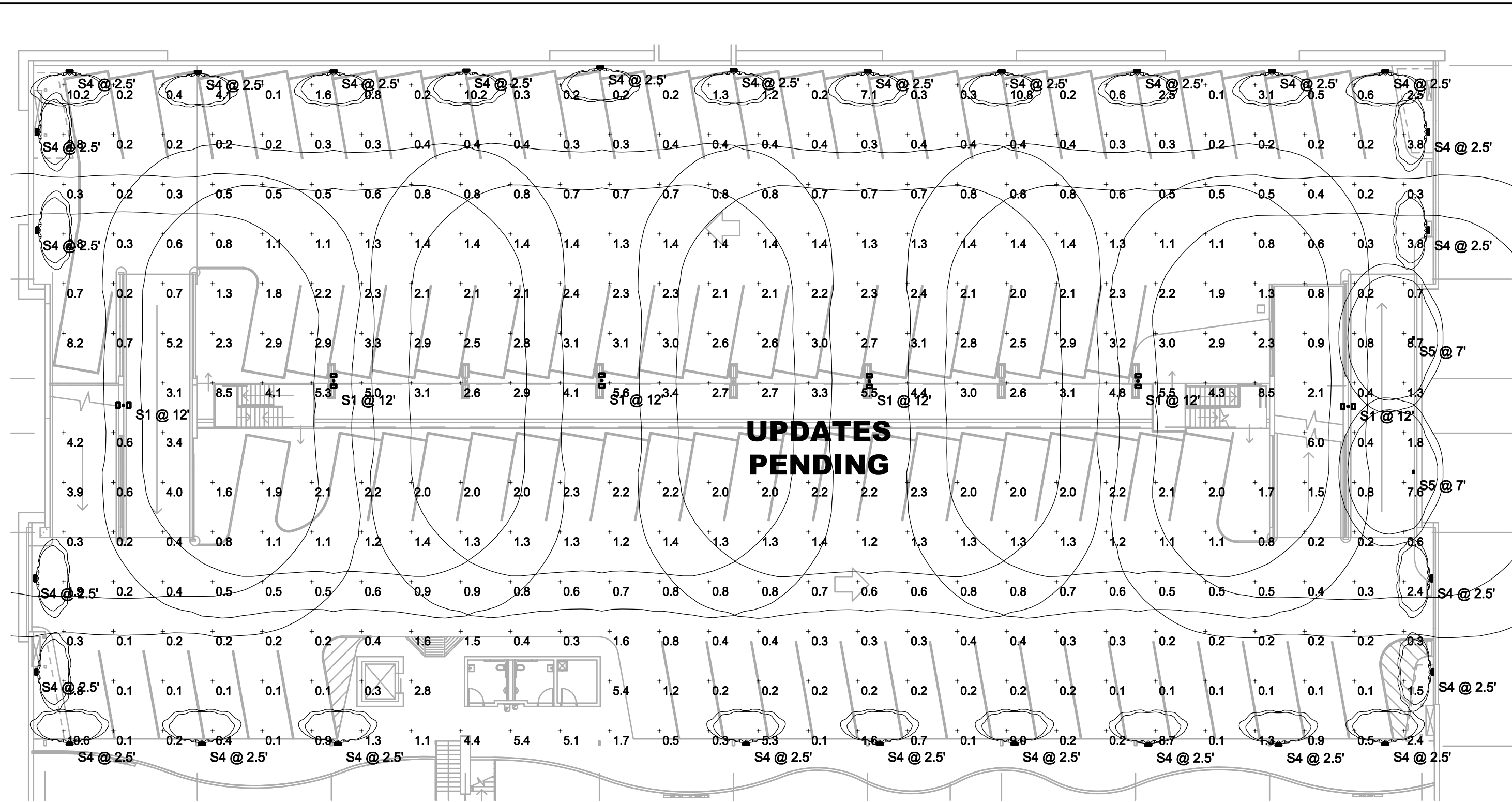
**Kimley»Horn**  
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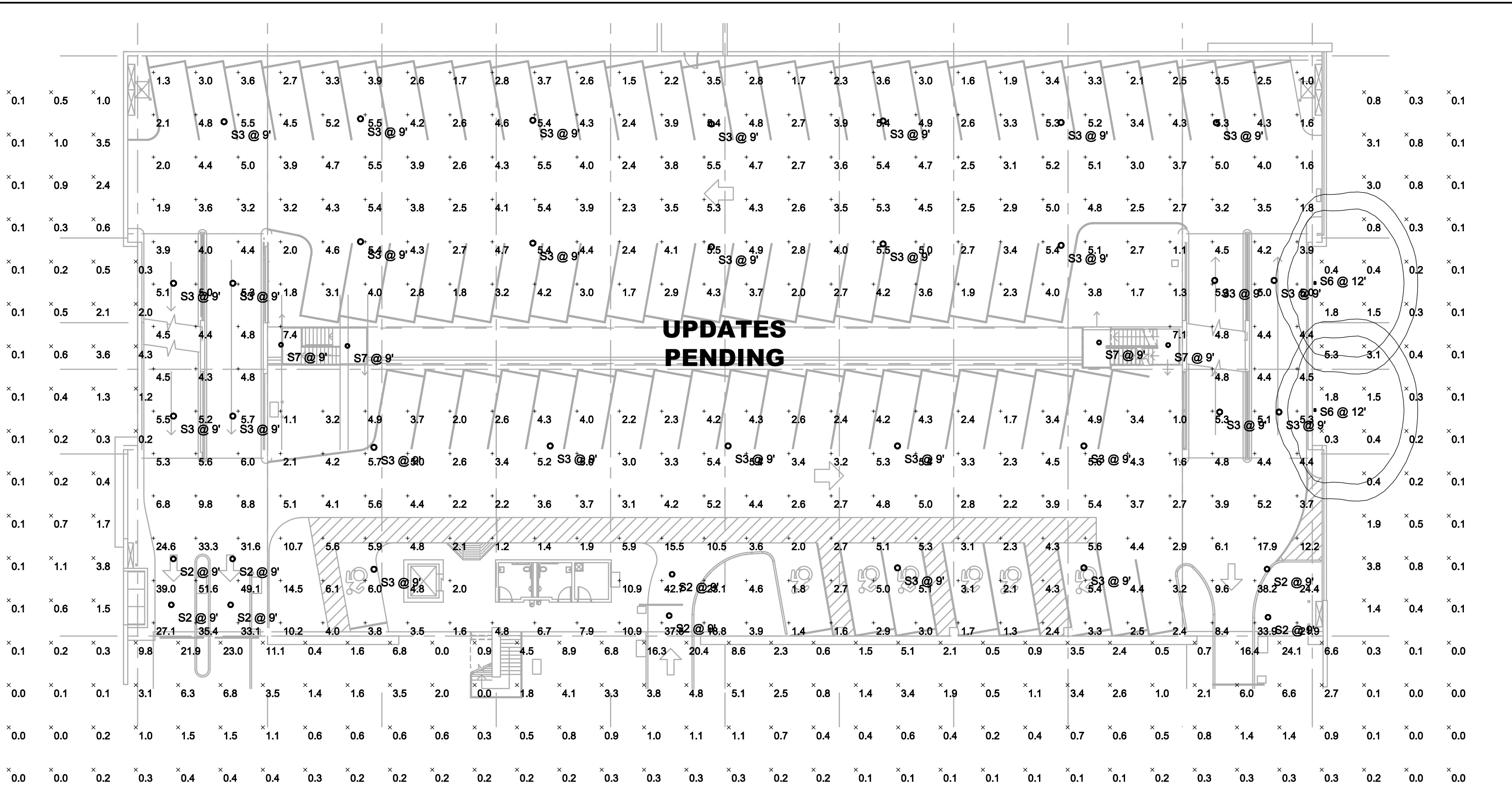
**CITY OF SEDONA**  
**PUBLIC WORKS DEPARTMENT**  
102 ROADRUNNER DRIVE  
SEDONA, ARIZONA 86336  
928-204-7111

UPTOWN SEDONA  
PARKING GARAGE  
LANDSCAPE PLAN

SHEET ID	LS02
SHEET NO.	14 OF 19



UPPER DECK  
**3** PHOTOMETRIC SITE PLAN  
 SCALE: 1"=20'-0"



GROUND LEVEL  
**2** PHOTOMETRIC SITE PLAN  
 SCALE: 1"=20'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
□	S1	4	LITHONIA	TWIN HEAD DSXO LED P2 30K T5W VOLTAGE SPA NLTAR2 FINISH / SSS 10'	DSXO LED P2 30K T5W MVOLT MOUNTED AT 12" AFG	3000K LED	5751	0.91	98
○	S2	8	LITHONIA	VCPG LED P6 30K 70CRI T5E VOLTAGE PM SPD10KV LDS36 NLTAR2 FINISH	VCPG LED WITH P6 - PERFORMANCE PACKAGE, 3000K, T5E OPTIC TYPE	3000K LED	13197	0.91	107.69
○	S3	59	LITHONIA	VCPG LED P3 30K 70CRI T5W VOLTAGE PM SPD10KV LDS36 NLTAR2 FINISH	VCPG LED WITH P3 - PERFORMANCE PACKAGE, 3000K, T5W OPTIC TYPE	3000K LED	5825	0.91	43.37
▭	S4	28	C.W.COLE	SL612W-AL-HO-157-3K	3-3/4"L X 14"W X 4"H LED STEPLIGHT 1 MODULE WITH 24-3000K LEDS WITH CLEAR TEMPERED GLASS LENS	3000K LED	300	0.91	19.54
▭	S5	16	LITHONIA	WDGE2 LED P1 30K 80CRI VW VOLTAGE SRM NLTAR2 PIR FINISH	WDGE LED WALLPACK VISUAL COMFORT OPTIC WIDE	3000K LED	1163	0.91	10.0002
▭	S6	13	LITHONIA	WDGE2 LED P2 30K 80CRI VW VOLTAGE SRM NLTAR2 PIR FINISH	WDGE LED WALLPACK VISUAL COMFORT OPTIC WIDE	3000K LED	1872	0.91	15.0178
○	S7	10	LUMINAIRE LED	APX13 NODIM 25W 30K VOLTAGE FCL FINISH SHCAB	13" ROUND SURFACE MOUNT LUMINAIRE WITH FLAT FULL CUTOFF VANDAL RESISTANCE LENSE.	3000K LED	2523	0.91	25.3

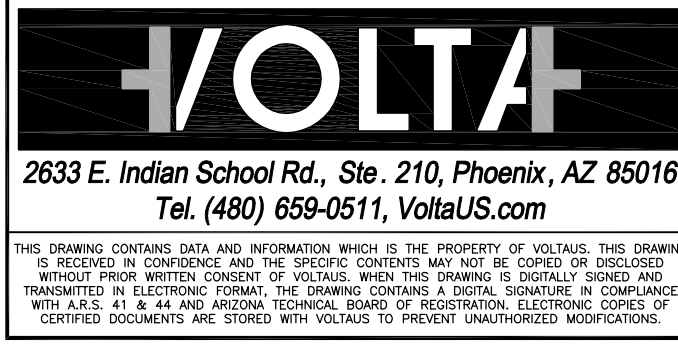
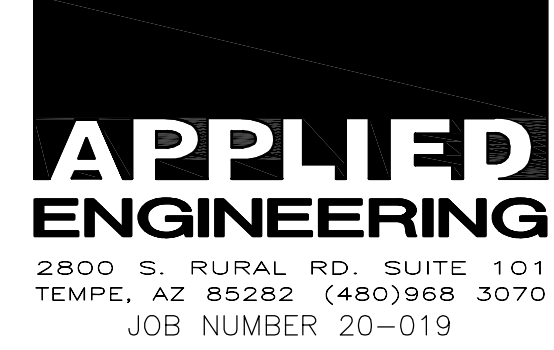
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BASEMENT	+	3.7 fc	9.5 fc	0.9 fc	10.6:1	4.1:1
GROUND FLR	+	5.5 fc	51.6 fc	1.0 fc	51.6:1	5.5:1
GROUND FLR SITE FC AFG	×	1.8 fc	24.1 fc	0.0 fc	N/A	N/A
TOP DECK	+	1.6 fc	10.8 fc	0.1 fc	108.0:1	16.0:1

**PHOTOMETRIC NOTES**

A. THE PHOTOMETRIC DATA ON THIS SHEET HAS BEEN REVIEWED BY THE ENGINEER FOR COMPLIANCE WITH APPLICABLE LIGHTING CODES. THE CALCULATIONS ARE PERFORMED BY LIGHTING SUPPLIER AND THE ENGINEER'S REVIEW IS NOT A GUARANTEE OF PERFORMANCE. SUBSTITUTIONS TO ANY FIXTURE WILL REQUIRE UPDATED PHOTOMETRICS WHICH WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE FIXTURE SCHEDULE SHOWN ON THIS SHEET IS FOR CALCULATION PURPOSES ONLY. DO NOT USE AS A BILL-OF-MATERIAL. REFER TO THE PROJECT FIXTURE SCHEDULE.

**NOTICE OF EXTENDED PAYMENT PROVISION**

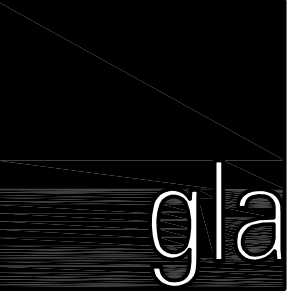
(PER ARS 32-1129 01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



PRELIMINARY  
 NOT FOR CONSTRUCTION  
 OR RECORDING

**gabor lorant architects**

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**CITY OF SEDONA  
 PUBLIC WORKS DEPARTMENT  
 102 ROADRUNNER DRIVE  
 SEDONA, ARIZONA 86336  
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Uptown Sedona  
 Parking Facility  
 Detailed Design  
 Photometric Site Plan

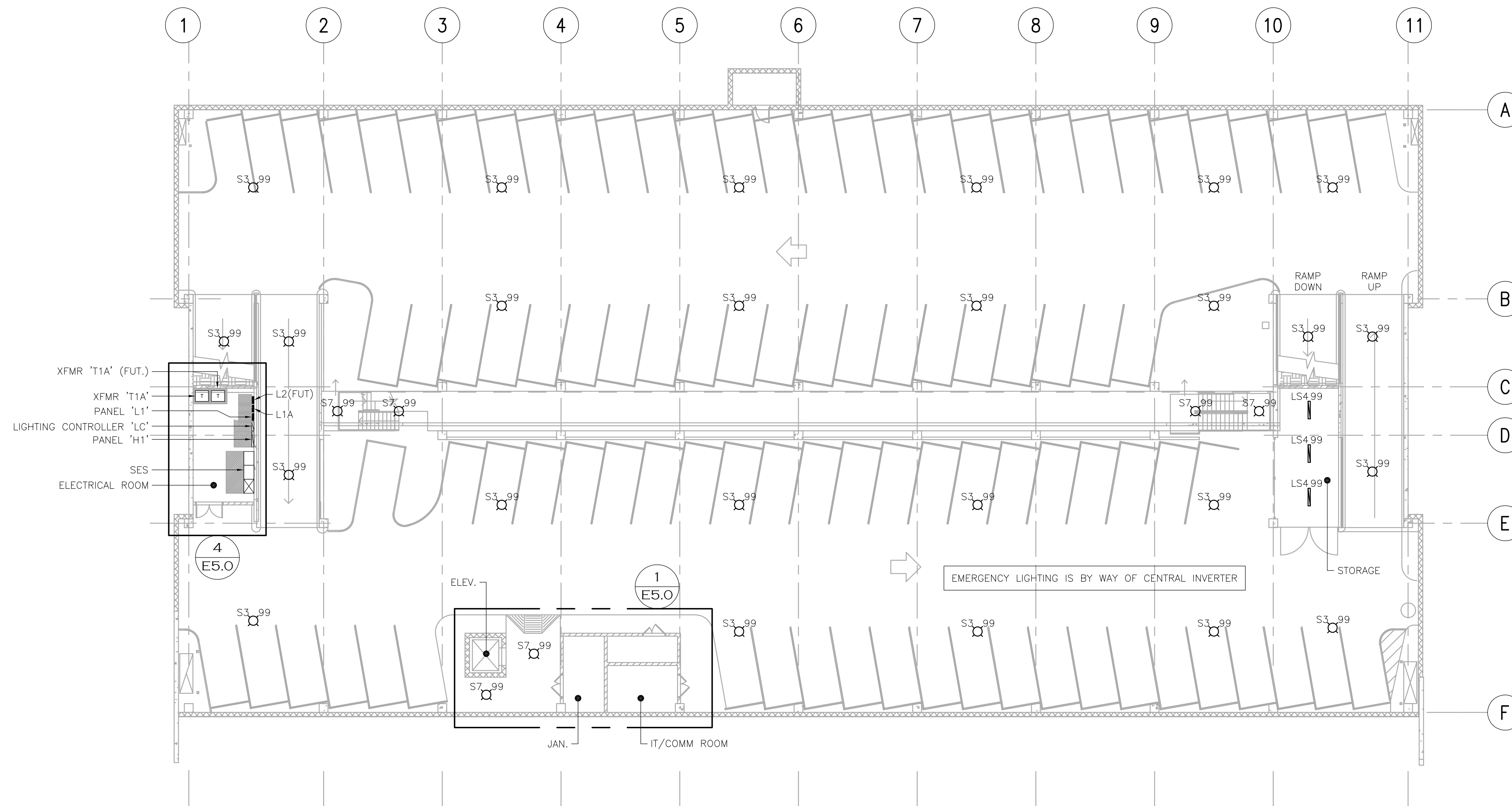
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 e1.1  
 SHEET NO.  
 - of #

VERIFY SCALES  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 0 1"
   
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY



**GENERAL NOTES**

- A. EMERGENCY AND EXIT SIGNS SHALL BE CONNECTED TO A NON-SWITCHED LEG OF THE NEAREST BRANCH LIGHTING CIRCUIT, 2#12, 1#12G UNLESS NOTED OTHERWISE. REFER TO LEGEND FOR EMERGENCY LIGHT FIXTURE SYMBOLS.
  - B. FIXTURES DESIGNATED AS NIGHT LIGHTS SHALL BE SUPPLIED FROM A NON-SWITCHED LEG OF THE BRANCH LIGHTING CIRCUIT FOR ONE BALLAST OF EACH NIGHT LIGHT FIXTURE. IN MANY CASES, EMERGENCY FIXTURES WILL BE DESIGNATED AS NIGHT LIGHTS FOR CONVENIENCE.
  - C. IN GENERAL, NON-SWITCHED LEGS FOR NIGHT LIGHTS AND EMERGENCY LIGHTS AND TRAVELER CONDUCTORS FOR 3-WAY SWITCHING ARE NOT SHOWN ON THE PLANS. INSTALL THESE CONDUCTORS AS REQUIRED FOR PROPER OPERATION OF THE LIGHT FIXTURES.
  - D. INSTALL FLEXIBLE CONDUIT CONNECTIONS TO FIXTURES (NOT TO EXCEED 6' IN LENGTH) WHEN NECESSARY.
  - E. WHEN LIGHTING CONTROL DEVICES ARE INDICATED ON PLANS AND DETAILS, THE CONTRACTOR SHALL INSTALL ANY ASSOCIATED CONTROL WIRING REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM.
  - F. CONCEAL CONDUITS IN ALL FINISHED AREAS INCLUDING CONCEALMENT WITHIN MASONRY WALLS WHEN PRESENT. (EXCEPTION: ELECTRICAL, MECHANICAL, AND JANITOR ROOMS).
- WHEN OVERHEAD ELECTRICAL WORK IS EXPOSED: MOUNTING OF ALL ELECTRICAL WORK/CONDUIT SHALL RUN TIGHT WITH DECK IN A CLEAN AND WORKMAN LIKE MANNER. CONTRACTOR MAY RUN CONDUIT UNDER FLOOR AS NECESSARY TO FACILITATE CONCEALMENT OF CONDUITS.



**1 LOWER LEVEL - LIGHTING PLAN**  
SCALE: 1/16"=1'-0"

**NOTICE OF EXTENDED PAYMENT PROVISION**  
(PER ARS 32-1129 01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



**APPLIED ENGINEERING**  
2800 S. RURAL RD. SUITE 101  
TEMPE, AZ 85282 (480)968 3070  
JOB NUMBER 20-019

**VOLTA**  
2633 E. Indian School Rd., Ste. 210, Phoenix, AZ 85016  
Tel. (480) 659-0511, VoltaUS.com

11/22/21

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				WB	27 December 2021
				Drawn by:	Scale:
				ETS/PB/DT	AS NOTED
				Checked by:	Project Code:
				WB	GLA PROJECT NO. 20109

**PRELIMINARY NOT FOR CONSTRUCTION OR RECORDING**

**gabor lorant architects**  
3326 n. 3rd avenue suite 200  
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tel: 602.667.9090  
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**CITY OF SEDONA PUBLIC WORKS DEPARTMENT**  
102 ROADRUNNER DRIVE  
SEDONA, ARIZONA 86336  
928-204-7111

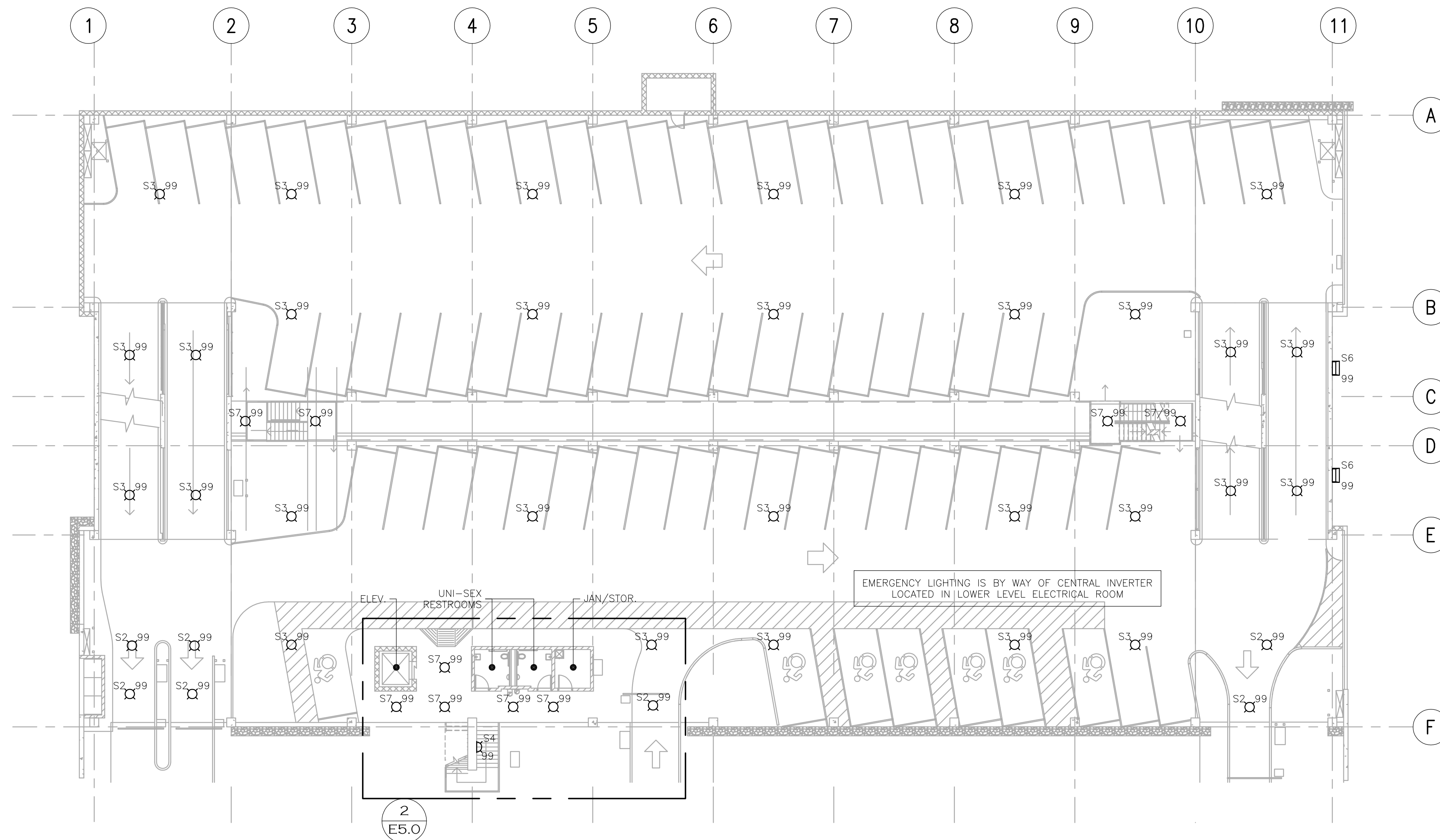
Uptown Sedona  
Parking Facility  
Detailed Design  
Lower Level -  
Lighting Plan

SHEET ID	e3.0
SHEET NO.	- of #

**VERIFY SCALES**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
0 1"  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**GENERAL NOTES**

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  - F. CONCEAL CONDUITS IN ALL FINISHED AREAS INCLUDING CONCEALMENT WITHIN MASONRY WALLS WHEN PRESENT. (EXCEPTION: ELECTRICAL, MECHANICAL, AND JANITOR ROOMS).
- WHEN OVERHEAD ELECTRICAL WORK IS EXPOSED: MOUNTING OF ALL ELECTRICAL WORK/CONDUIT SHALL RUN TIGHT WITH DECK IN A CLEAN AND WORKMAN LIKE MANNER. CONTRACTOR MAY RUN CONDUIT UNDER FLOOR AS NECESSARY TO FACILITATE CONCEALMENT OF CONDUITS.



**1 GROUND LEVEL - LIGHTING PLAN**  
SCALE: 1/16"=1'-0"

**NOTICE OF EXTENDED PAYMENT PROVISION**

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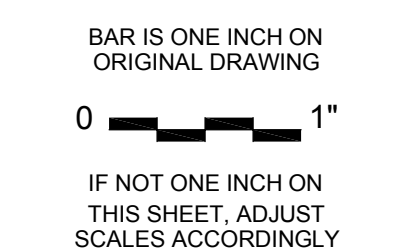
**gabor lorant architects**  
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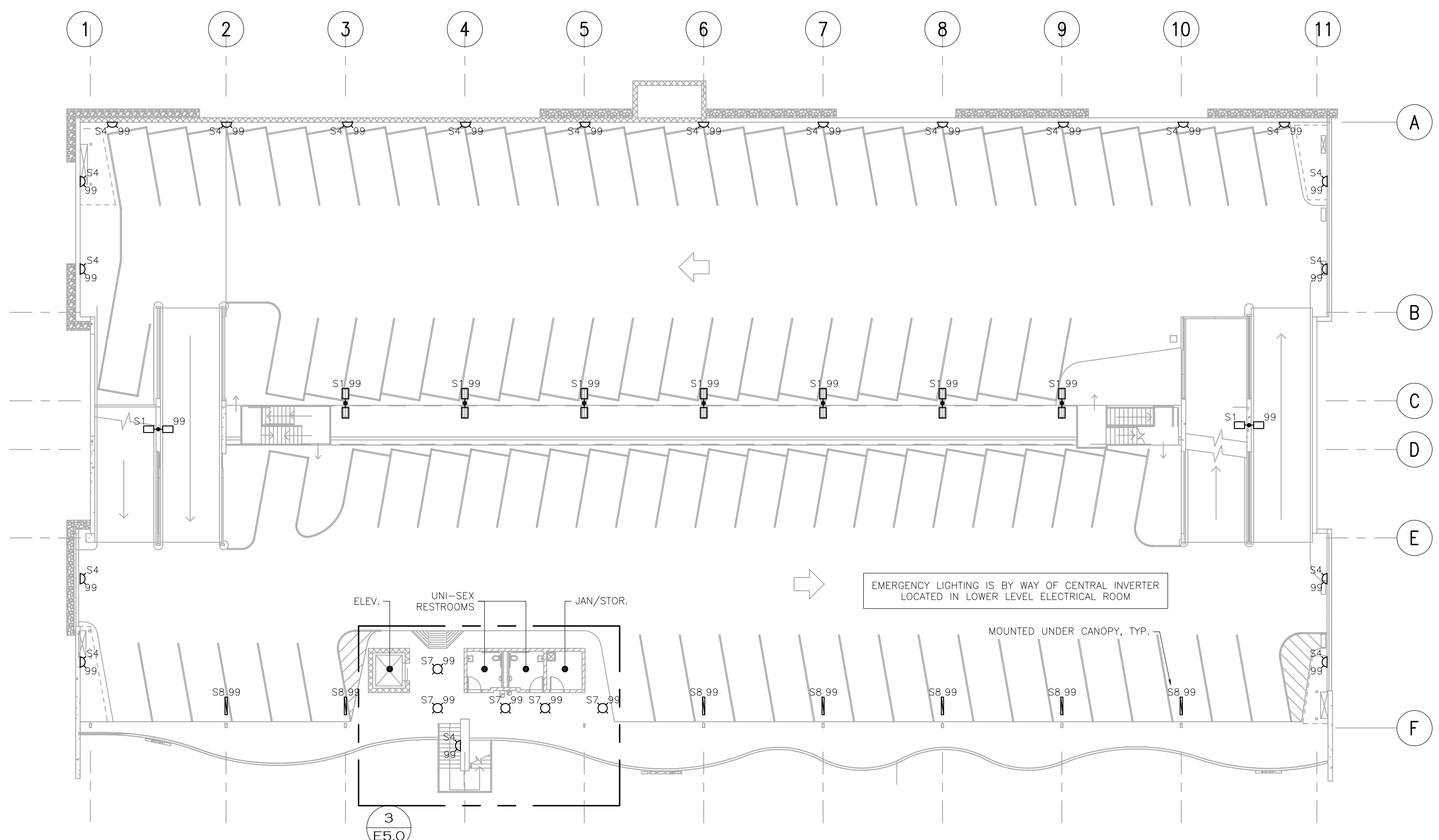
Uptown Sedona  
Parking Facility  
Detailed Design  
Ground Level -  
Lighting Plan

SHEET ID	e3.1
SHEET NO.	- of #

**VERIFY SCALES**







**1 UPPER DECK - LIGHTING PLAN**  
SCALE: 1/16"=1'-0"

**GENERAL NOTES**

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**Uptown Sedona  
Parking Facility  
Detailed Design  
Upper Deck -  
Lighting Plan**

<b>SHEET ID</b>	e3.2
<b>SHEET NO.</b>	- of #

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