



SUNSET LOFTS

UDS DISCIPLINE DESIGNATORS

- G GENERAL
- C CIVIL
- L LANDSCAPE
- S STRUCTURAL
- A ARCHITECTURAL
- I INTERIORS
- Q EQUIPMENT
- F FIRE PROTECTION
- P PLUMBING
- M MECHANICAL
- E ELECTRICAL
- T TELECOMMUNICATIONS

UDS SHEET DESIGNATOR GUIDELINES

- 0 GENERAL (symbols, notes, legends, etc.)
- 1 PLANS (horizontal views)
- 2 ELEVATIONS (vertical views)
- 3 SECTIONS (sectional views)
- 4 LARGE SCALE VIEWS (plans, elevations, or sections that are not details)
- 5 DETAILS
- 6 DOOR & WINDOW INFORMATION (types, elevations, schedules & details)
- 7 INTERIOR DESIGN (finish, furniture, protection plans)
- 8 PRESENTATION DRAWINGS (plans, elevations & sections)
- 9 3D REPRESENTATIONS (isometrics, perspectives & photographs)

PROJECT TEAM

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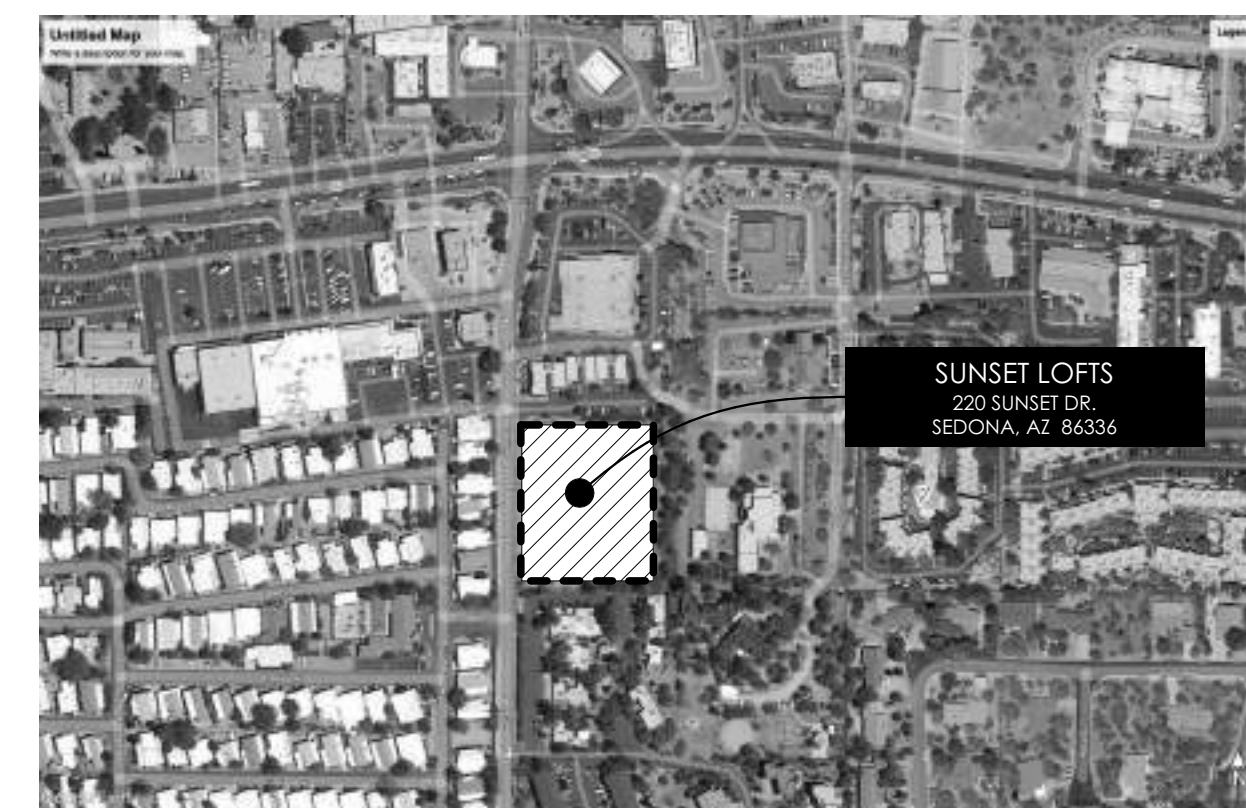
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 Kari Johns

VICINITY MAP



SHEET INDEX

G-001 title sheet

- CIVIL**
- C-1 cover sheet
 - C-2 notes - sheet 1 of 3
 - C-3 notes - sheet 2 of 3
 - C-4 notes - sheet 3 of 3
 - C-5 overall site & utility plan
 - C-6 3D model
 - C-7 horizontal control plan
 - C-8 driveway plan & profile
 - C-9 grading & drainage plan - key sheet
 - C-10 grading & drainage plan - sheet 1 of 6
 - C-11 grading & drainage plan - sheet 2 of 6
 - C-12 grading & drainage plan - sheet 3 of 6
 - C-13 grading & drainage plan - sheet 4 of 6
 - C-14 grading & drainage plan - sheet 5 of 6
 - C-15 grading & drainage plan - sheet 6 of 6
 - C-16 sanitary sewer plan & profile
 - C-17 sections
 - C-18 details - sheet 1 of 2
 - C-19 details - sheet 2 of 2
 - C-20 storm water pollution prevention plan

- LANDSCAPE**
- L-1 landscape plan

- ARCHITECTURAL**
- AS100 context plan / circulation plan
 - AS101 conceptual site plan
 - AS103 site sections
 - A-101 unit enlarged plans
 - A-102 roof plan
 - A-201 building elevations
 - A-201 building elevations (color)
 - A-202 building elevations
 - A-202 building elevations (color)
 - A-401 renderings

- ELECTRICAL**
- E-1 electrical site lighting plan
 - E-2 electrical site lighting cutsheets
 - E-3 electrical site lighting cutsheets

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 220 S. Sunset Drive | SEDONA, AZ 86336

Caroline Lobo



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 architects**

PROJECT NUMBER 21_005 DATE OF ISSUE 05.03.22

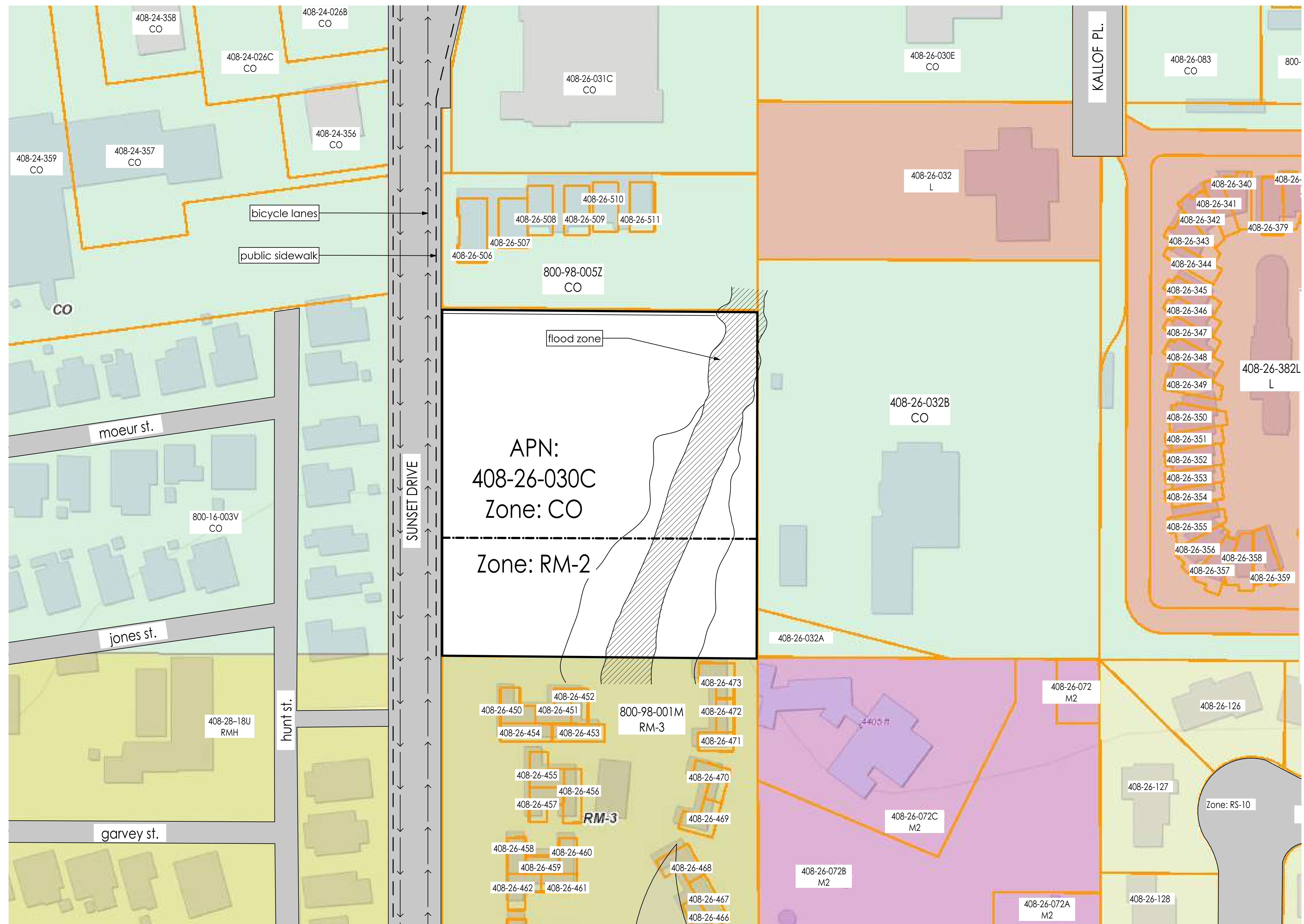
title sheet

G-001

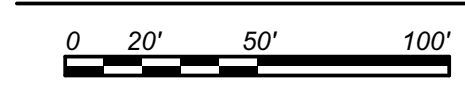
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SITE PLAN CODE DATA		SEDONA, ARIZONA	
SITE INFORMATION:			
220 S. SUNSET DRIVE SEDONA, AZ 86336 PARCEL #: 408-26-030C Existing Site Zoning: CO & RM-2		Height & setback requirements for CO zone applicable to entire site (per development agreement dated 03.02.2022)	
BUILDING/LOT REQUIREMENTS			
CO LOT AREA (sq.ft.):		78,055	
RM-2 LOT AREA (sq.ft.):		29,945	
TOTAL LOT AREA (sq.ft.):		108,900	
TOTAL LOT AREA (AC):		2.5	
Density:			
COCOMMERCIAL	Max units per Acre:	20	
	Total Max Units:	50	
	PROVIDED Total Units:	46	
BUILDING HEIGHT:			
https://sedona.municipal.codes/SJD/C/2.24.F	Maximum Overall Building Height:	22'-0" above highest point of natural grade based off height restriction	
	Allowed # of Stories:		
BUILDING SETBACKS:			
Setback Requirement (CO): https://sedona.municipal.codes/SJDC/2.10.B			
	Front:	10'-0"	
	Side:	0'-0"	
	Rear:	0'-0"	
	Any setback abutting against a residential zoning district:	20'-0"	
MAX Building Lot Coverage:			
https://sedona.municipal.codes/SJD/C/2.10.B	C-1 Commercial	Max Building Lot Coverage (%):	60%
		Max Building Lot Coverage Area (sq ft):	65,340
		Provided:	
		Building 1 (sq ft):	7,971
		Building 2 (sq ft):	8,119
		Building 3 (sq ft):	8,735
		Provided Building Coverage (%):	23%
		Provided Building Coverage Area (sq ft):	24,825
Total Lot Coverage:			
https://sedona.municipal.codes/SJDC/2.14.B	C-1 Commercial	Max Lot Coverage (%):	80%
		Max Lot Coverage Area (sq ft):	87,120
		Provided Total Impervious Lot Coverage (%):	59%
		Provided Total Impervious Lot Coverage Area (sq ft):	64,663
		Open Space Requirement (%):	20%
		Required Area (sq ft):	21,780
		Provided Total Open Space Area (%):	41%
		Provided Area (sq ft):	44,237

PARKING REQUIREMENTS:							
Min. Parking Req's:	UNIT AREA (sq. ft.)	SPACES PER UNIT	# OF UNITS	REQ'D SPACES	TOTAL REQ'D	TOTAL PROVIDED	
https://sedona.municipal.codes/SJD/C/5.5.D	UNIT A - One Bedroom	600	1.25	20	25		
	UNIT B - Two Bedroom	900	1.75	26	45.5		
	TOTAL:	35,400		46	70.5	71	58
	Req'd covered spaces =			46	23	23	23
Compact Parking Requirements:							
	spaces	8'-0" x 18'-0"		7.05	7	0	
	Motorcycle Parking	4'-0" x 6'-0"		2.115	2	3	
	Bicycle Parking (bike racks)	1 per 10 vehicle spaces		7.05	7	16	
Req'd Accessible Parking:							
(2018 IBC) Table 1106.1	51-75				3 accessible	3	
	at least 2% but not less than 1% of each type of space		2%	1.41	2	2	
	at least 2% but not less than 1% of each type of space						



CONTEXT PLAN / CIRCULATION PLAN



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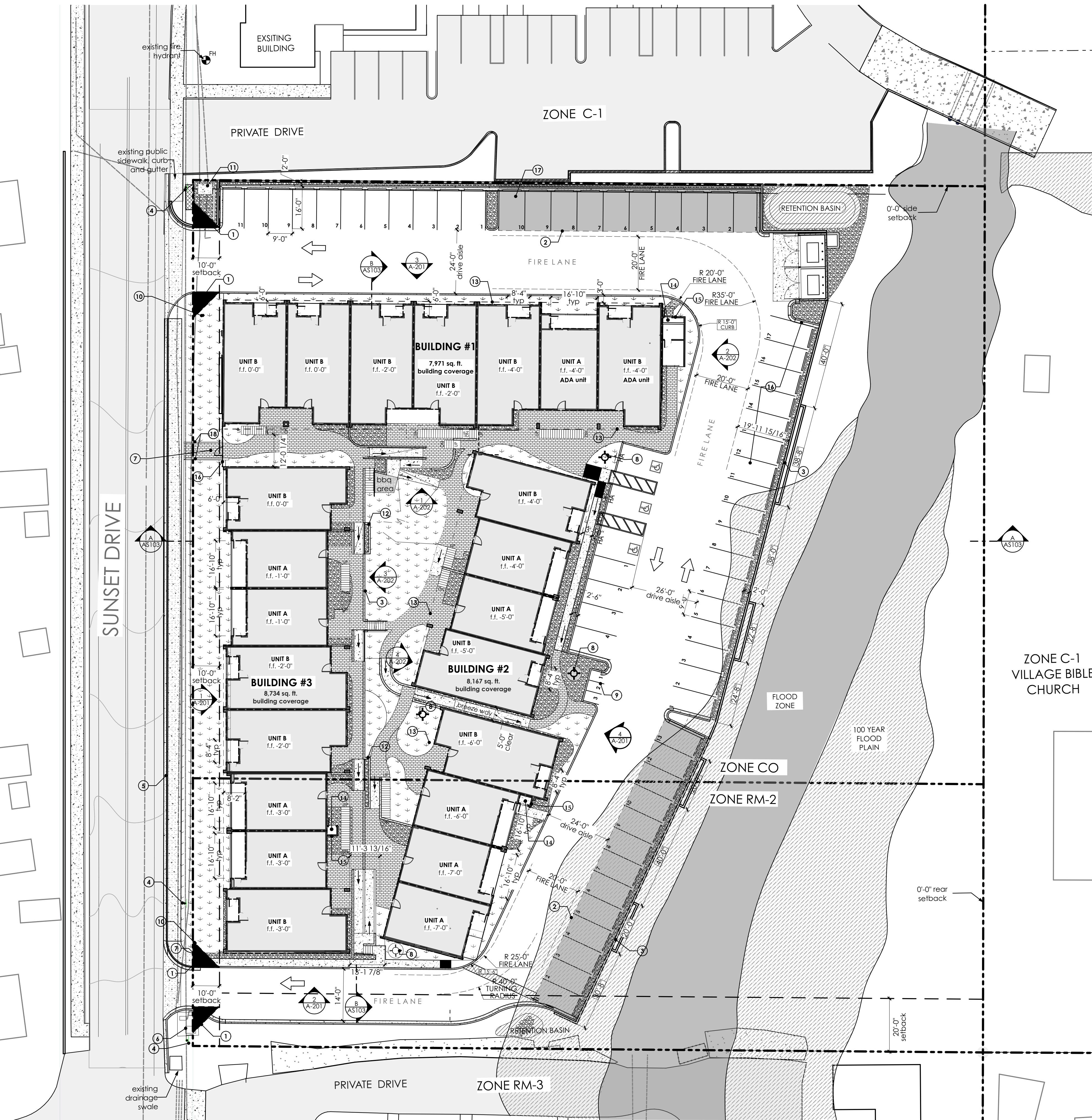


SUOLL architects
ARCHITECTS & INTERIORS

PROJECT NUMBER: 21_005
DATE OF ISSUE: 05.03.22

context plan / circulation plan

AS100



SITE PLAN CODE DATA		SEDONA, ARIZONA	
SITE INFORMATION:			
220 S. SUNSET DRIVE SEDONA, AZ 86336 PARCEL #: 408-24-030C Existing Site Zoning: CO & RM-2			
Height & setback requirements for CO zone applicable to entire site (per development agreement dated 03.02.2022)			
BUILDING/LOT REQUIREMENTS			
CO LOT AREA (sq.ft.):		78,055	
RM-2 LOT AREA (sq.ft.):		29,945	
TOTAL LOT AREA (sq.ft.):		108,900	
TOTAL LOT AREA (AC):		2.5	
Density:			
COCOMMERCIAL	Max units per Acre:	20	
	Total Max Units:	50	
	PROVIDED Total Units:	46	
BUILDING HEIGHT:			
https://sedona.municipal.codes/SLD/C/2.24.E	Maximum Overall Building Height:	22'-0"	above highest point of natural grade
	Allowed # of Stories:	based off height restriction	
BUILDING SETBACKS:			
Setback Requirement (CO):			
https://sedona.municipal.codes/SLDC/2.10.B	Front:	10'-0"	
	Side:	0'-0"	
	Rear:	0'-0"	
	Any setback abutting against a residential zoning district:	20'-0"	
MAX Building Lot Coverage:			
https://sedona.municipal.codes/SLD/C/2.10.B	C-1 Commercial	Max Building Lot Coverage (%):	60%
		Max Building Lot Coverage Area (sq. ft.):	65,340
		Provided:	
		Building 1 (sq. ft.):	7,971
		Building 2 (sq. ft.):	8,119
		Building 3 (sq. ft.):	8,735
		Provided Building Coverage (%):	23%
		Provided Building Coverage Area (sq. ft.):	24,825
Total Lot Coverage:			
https://sedona.municipal.codes/SLDC/2.14.B	C-1 Commercial	Max Lot Coverage (%):	80%
		Max Lot Coverage Area (sq. ft.):	87,120
		Provided Total Impervious Lot Coverage (%):	52%
		Provided Total Impervious Lot Coverage Area (sq. ft.):	44,663
		Open Space Requirement (%):	20%
		Required Area (sq. ft.):	21,780
		Provided Total Open Space Area (%):	41%
		Provided Area (sq. ft.):	44,237

PARKING REQUIREMENTS:							
Min. Parking Req's:							
https://sedona.municipal.codes/SLD/C/5.5.D	UNIT AREA (sq. ft.)	SPACES PER UNIT	# OF UNITS	REQ'D SPACES	TOTAL REQ'D	TOTAL PROVIDED	
	UNIT A - One Bedroom	600	1.25	20	25		
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	TOTAL:	35,400		46	70.5	71	58
	Req'd covered spaces =			0.5	23	23	23
Compact Parking Requirements:							
	spaces	8'-0" x 18'-0"		7.05	7	0	
Motorcycle Parking							
	Compact	4'-0" x 6'-0"		2.115	2	3	
Bicycle Parking (bike racks)							
	1 per 10 vehicle spaces			7.05	7	16	
Req'd Accessible Parking:							
(2018 IBC) Table 1106.1	51-75				3 accessible	3	
	at least 2% but not less than 1% of each type of space		2%	1.41	2	2	
	at least 2% but not less than 1% of each type of space						

CODE INFORMATION AND CALCULATIONS

SITE PLAN LEGEND	
	PAVERS
	LANDSCAPE
	PERMEABLE SURFACE / LANDSCAPE
	BROOM FINISH CONCRETE
	FLOOD ZONE
	100 YEAR FLOOD PLAIN
	FIRE LANE SIGN.
	ACCESSIBLE H.C. PARKING SIGN.
	FIRE HYDRANT. SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
	PAINTED DIRECTIONAL ARROW ON PAVING.
	FIRE DEPARTMENT CONNECTION.
	REMOTE FIRE DEPARTMENT CONNECTION.
	FIRE DEPARTMENT KEY BOX LOCATION.
	PAINTED CURB
	LIGHT POLE / FIXTURES.
	PROPERTY LINE
	TRASH ENCLOSURE
	TYPICAL PARKING STALL AND PRECAST BUMPER CURB.
	TYPICAL ACCESSIBLE PARKING STALL W/ SYMBOL PAINTED ON PAVING.

- SITE PLAN GENERAL NOTES:**
- Contractor shall remove all existing vegetation, site improvements, etc. Whether or not specifically indicated on the drawings to facilitate the completion of all required new work. Contractor shall visit the site and verify all quantities and items that are required to be removed prior to submittal of his proposal.
 - Slope all grades and pavement away from building(s) to provide positive drainage, unless noted otherwise.
 - Finish grade at sidewalks, buildings, etc., as required to provide smooth transition to grade.
 - Construction debris shall be removed from the site on a continuing basis for the duration of construction.
 - Concrete walks shall have expansion joints at a maximum spacing of 20'-0" o.c. And control joints at 5'-0" o.c., unless otherwise noted.
 - Perform all clearing, grubbing and earthwork in accordance with the geotechnical report, unless more restrictive requirements exist.
 - Should slopes of greater than 1'-0" in 20'-0" occur at pavement locations, notify architect immediately.
 - All proposed imported fill material shall be tested by a qualified testing agency to verify that it meets all specification requirements, prior to placing on site.
 - Dimensions are to outside face of stem walls/foundations unless noted otherwise.
 - All areas disturbed by construction, staging, etc. Shall be restored to their original condition by the general contractor. General contractor is responsible for documenting original condition.
 - All sidewalks at building entryways shall be "keyed" into building slab to prevent differential movement.

- SITE PLAN KEYNOTES:**
- Visibility triangle.
 - Covered parking.
 - Retaining wall, provide weep holes throughout wall.
 - Existing light pole to remain.
 - Provide new curb and gutter.
 - Existing pump station to remain, refer civil drawings.
 - Provide new underground drainage pipe to connect to existing swale.
 - Bicycle parking.
 - Motorcycle parking.
 - Potential fire hydrant location.
 - Proposed transformer location on concrete pad with screening.
 - Built-in planter.
 - Roof overhang line.
 - Fire Riser Room
 - Knox Box
 - fence & gate.
 - EV charging station.
 - ADA ramp connecting to sidewalk.

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52456 CAROLINE A. LOBO
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expires 06/30/23

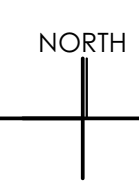
SUOLL architects

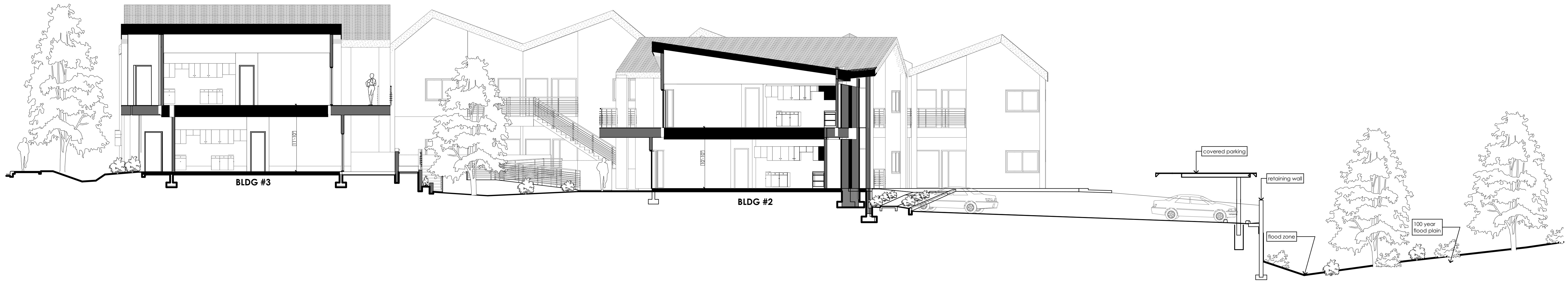
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DATE OF ISSUE: 05.03.22

conceptual site plan
AS101

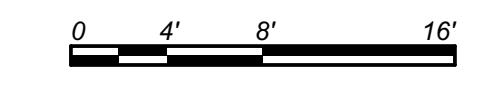
CONCEPT SITE PLAN

0 10' 20' 40'

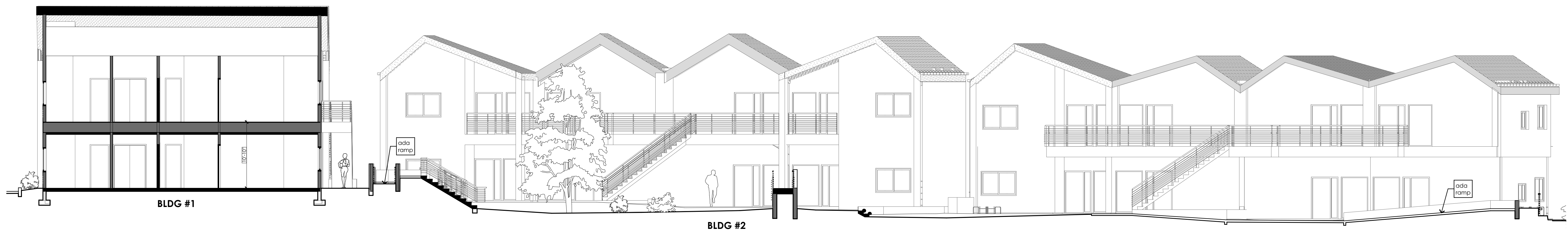




SECTION A



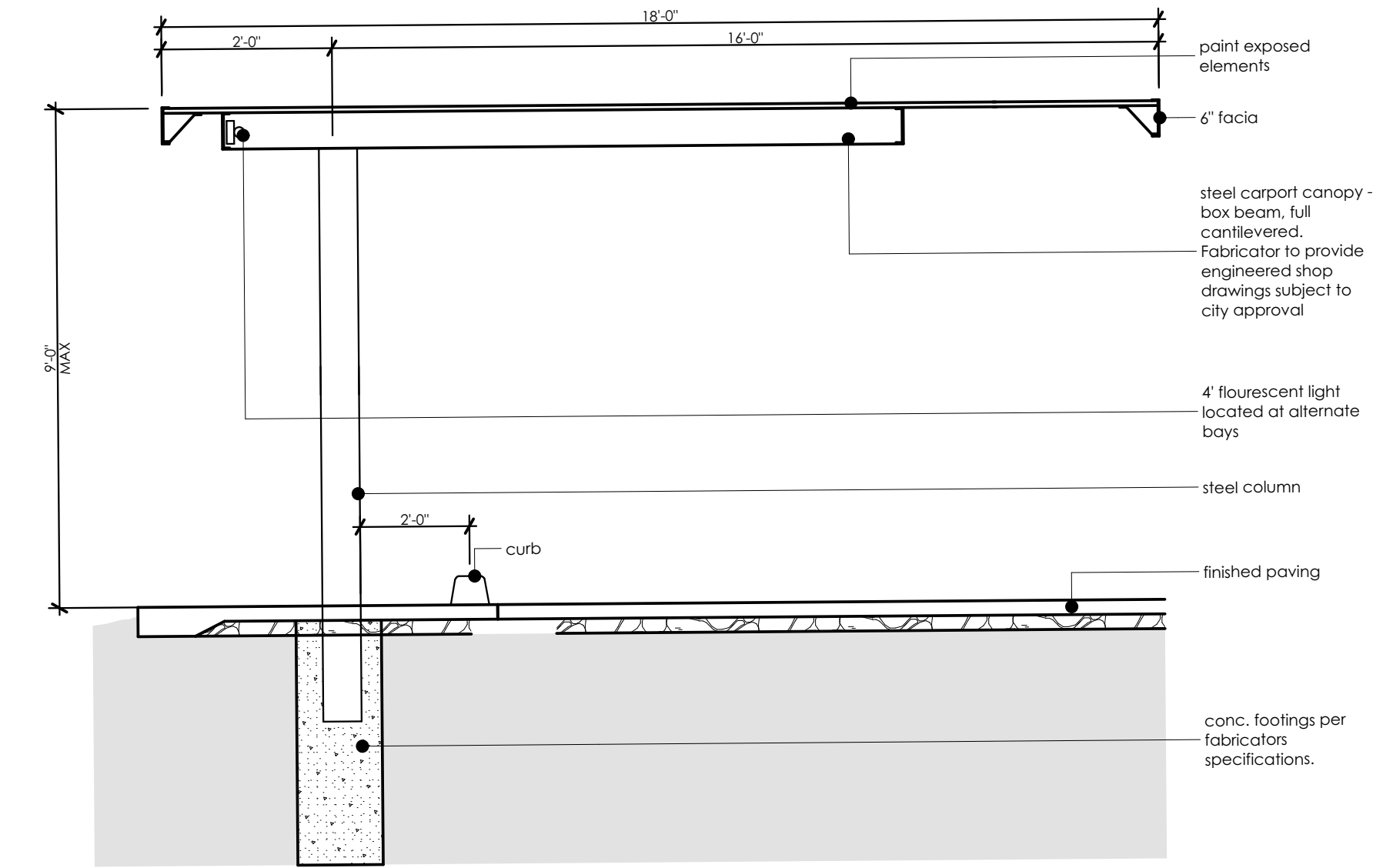
NORTH



SECTION B



NORTH



3 Carport Section (Typ.)

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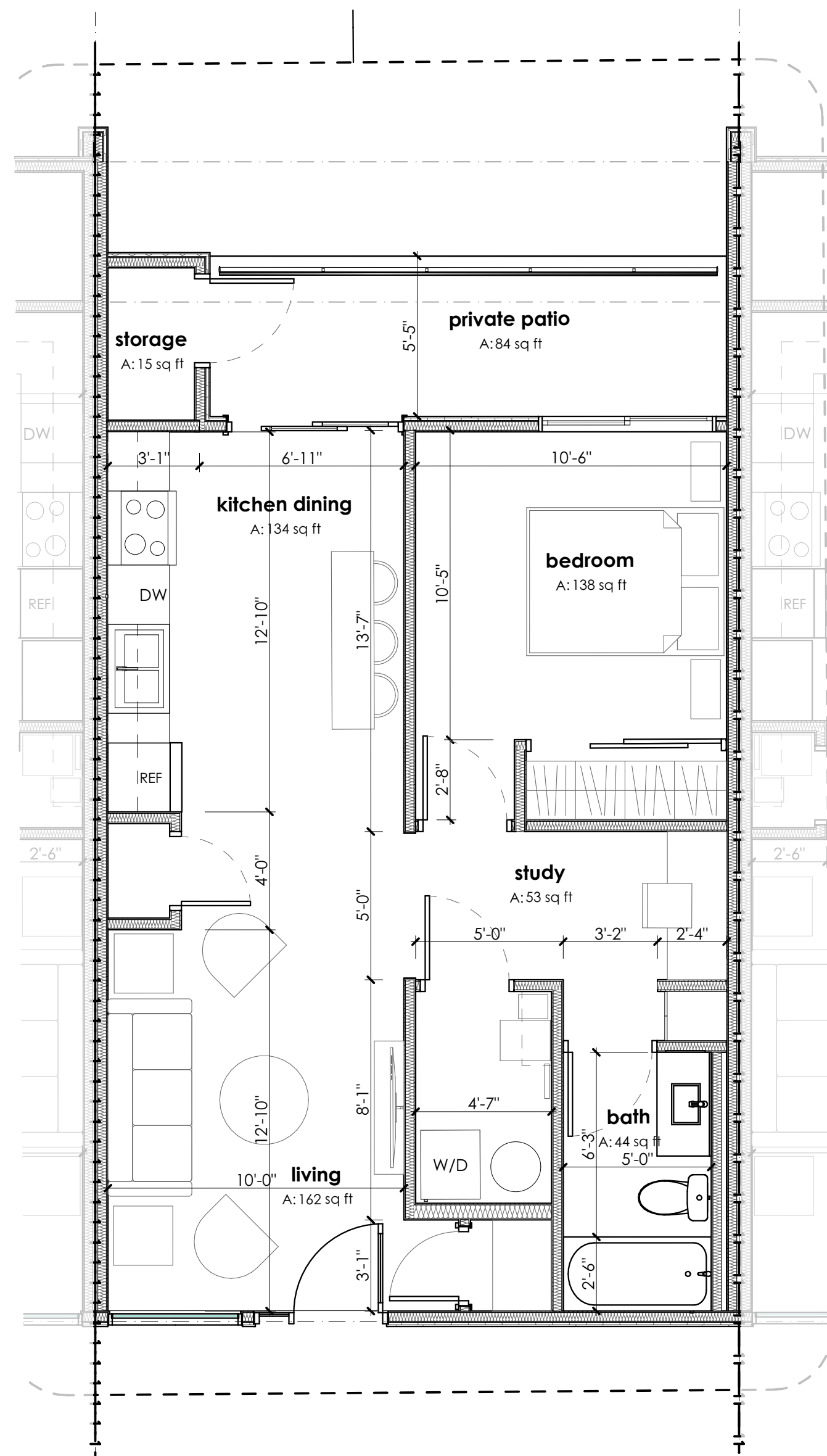
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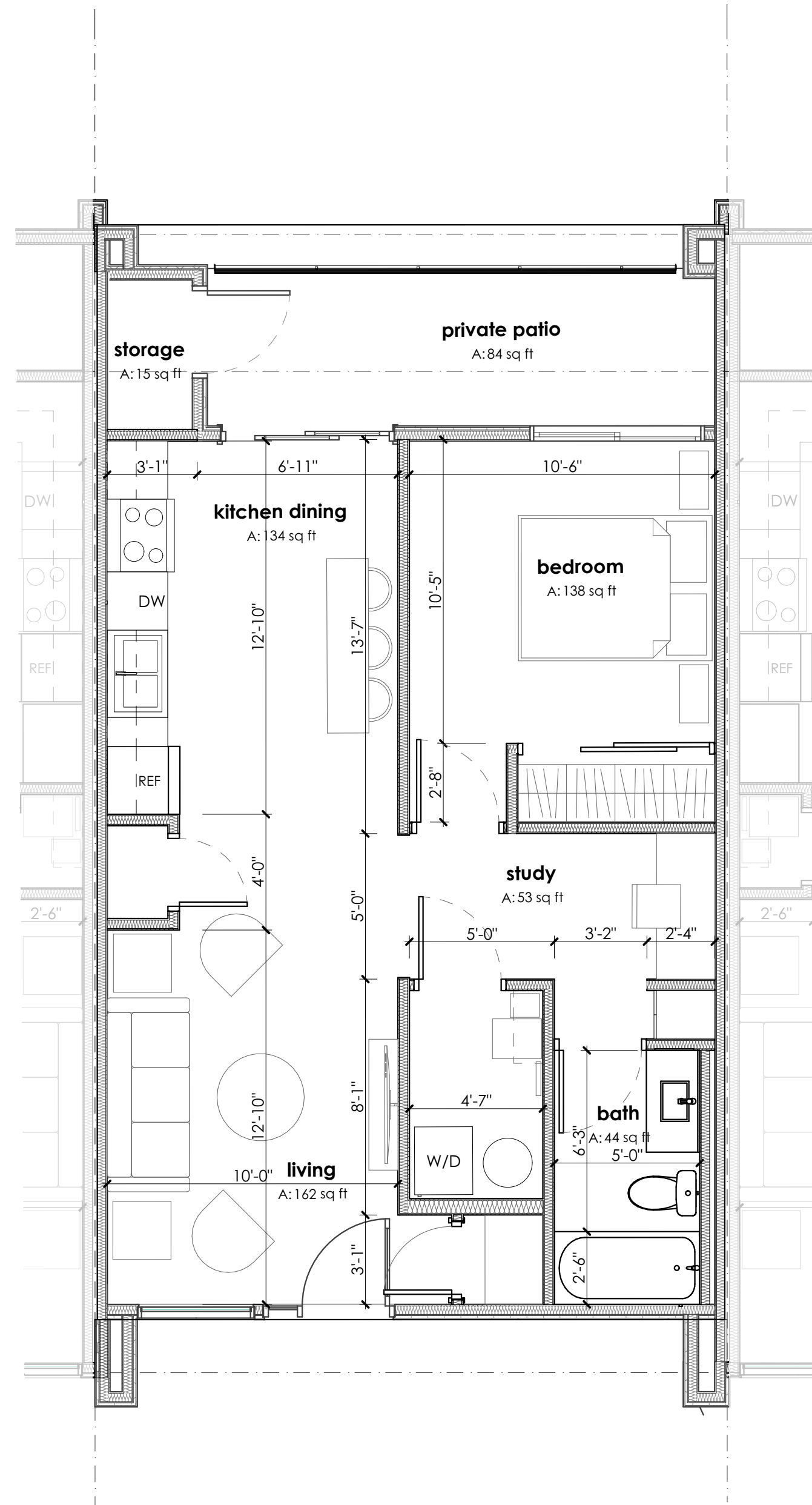
site sections

AS103



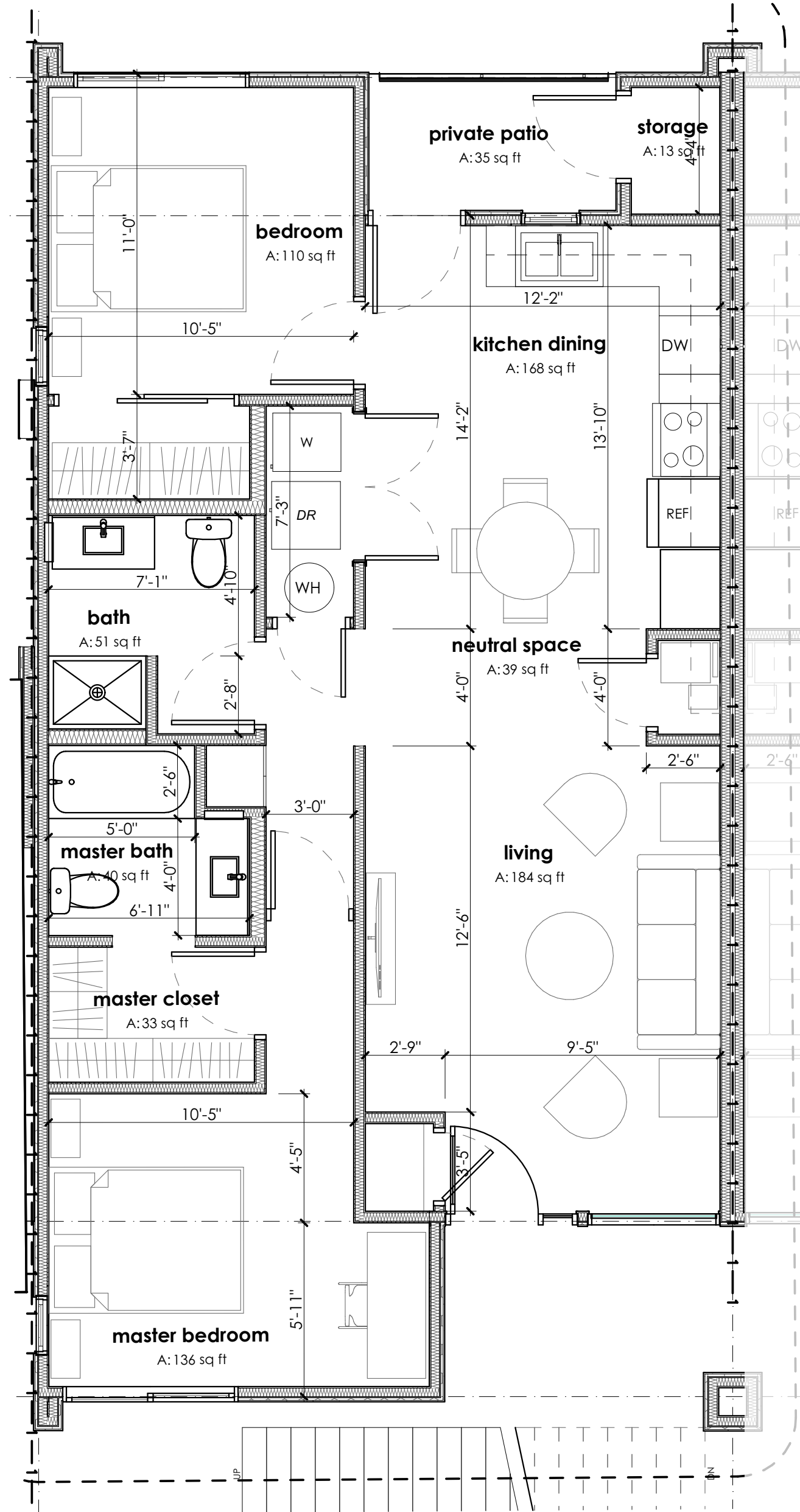
UNIT A - LEVEL 1

NORTH



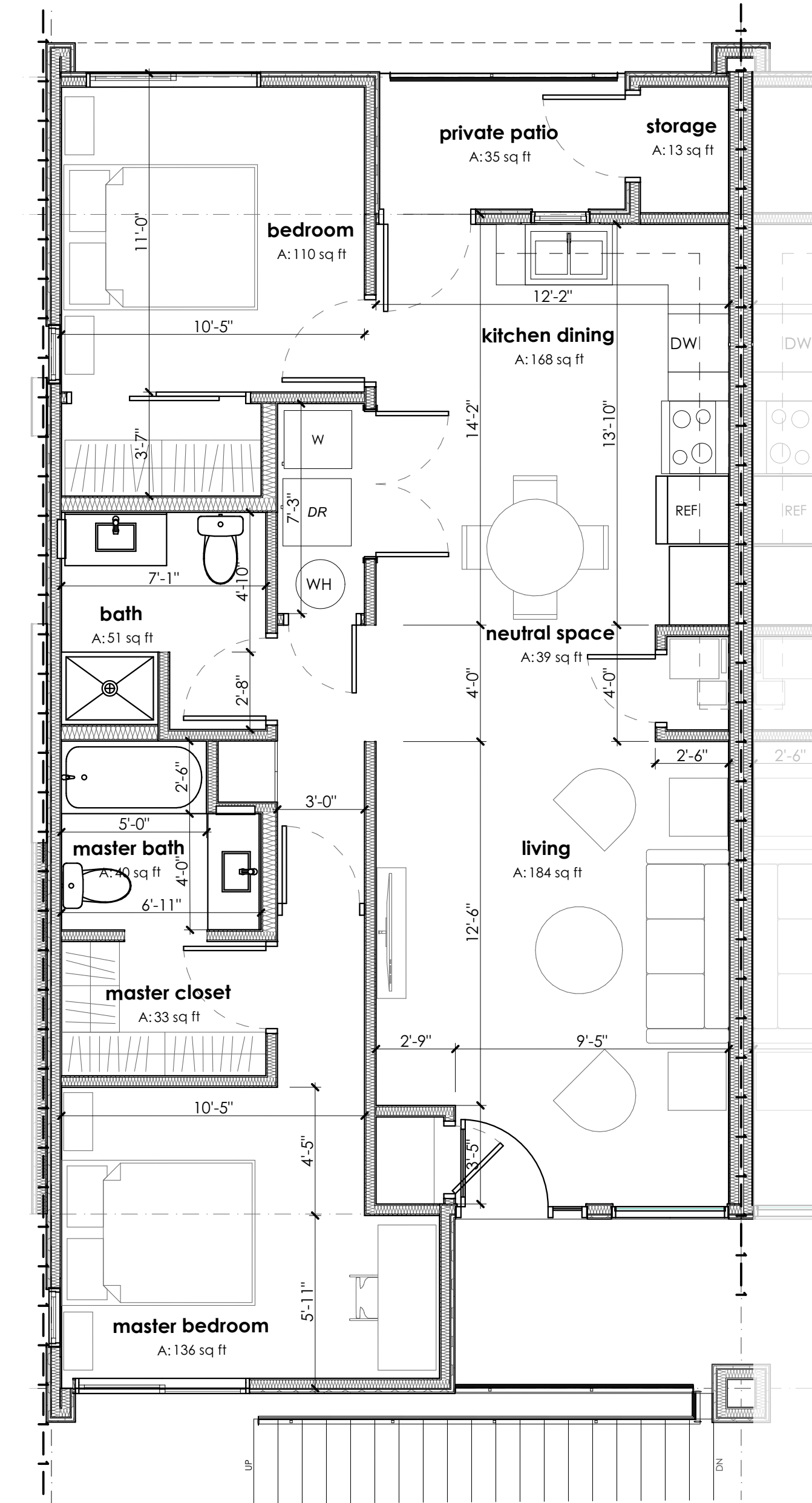
UNIT A - LEVEL 2

NORTH



UNIT B - LEVEL 1

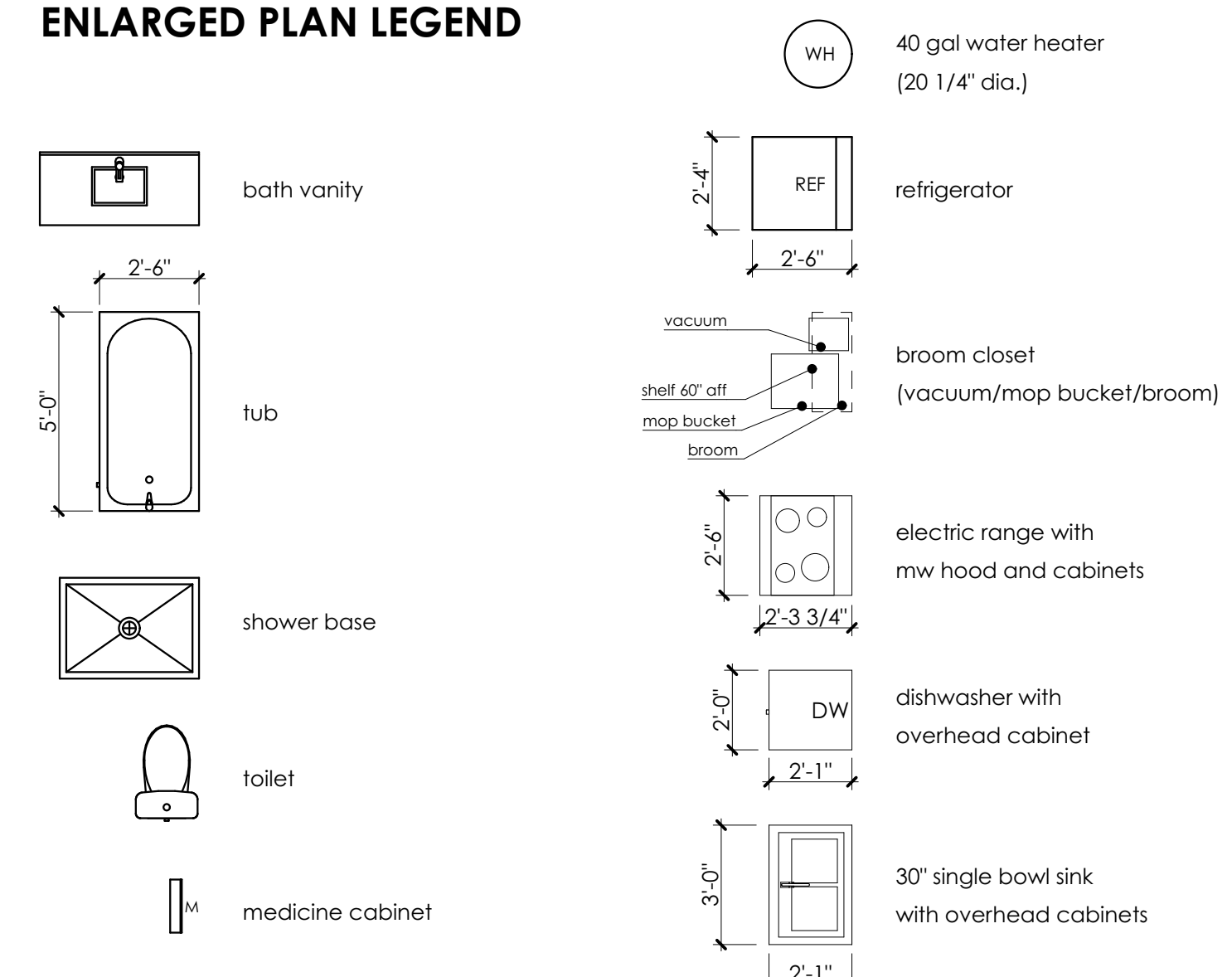
NORTH



UNIT B - LEVEL 2

NORTH

ENLARGED PLAN LEGEND



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unit enlarged plans

A-101



ROOF PLAN GENERAL NOTES:

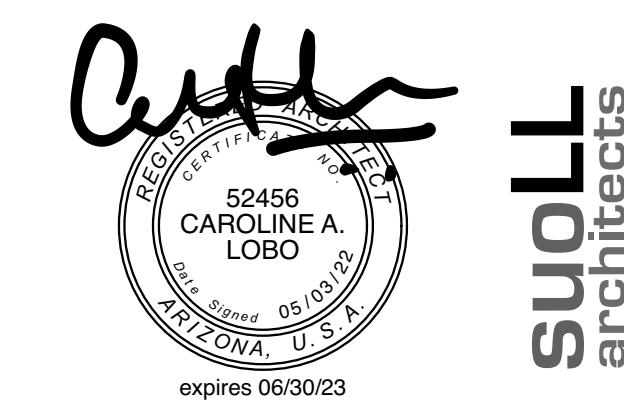
- A. Do not begin work without holding a pre roofing conference. Notify architect, roofing, manufacturer, installer, sheet metal subcontractor and other related subcontractors a minimum of 7 days before commencing roofing work.
- B. Roofing supplier, manufacturer and installer shall review all roofing details and advise architect on any recommended changes. Unless notified otherwise, details will be assumed to have been reviewed and approved by all parties.
- C. Provide crickets behind all mechanical equip, curbs, roof hatch curbs, etc.
- D. Minimum slope at all cricket valleys shall be 1/4" per foot. Do not scale plan for cricket dimensions.
- E. All cricket slopes shall be achieved in a manner acceptable to Architect and in accordance with roofing manufacturers requirements.
- F. Provide curbs and flashing at any equipment not provided with premanufactured curbs.
- G. Separate all dissimilar metals with bituminous coatings or other methods acceptable to the Architect.
- H. Flashing details shall be in strict compliance with approved roofing manufacturers standards for application and shall be fabricated in accordance with the latest edition of "Sheet Metal and Air Conditioning Contractors National Association" (SMACNA) technical manual.
- I. All sheet metal scuppers, sleeves, etc., penetrating roofing or parapets to which roofing must attach shall be a minimum of 20 gauge, all soldered construction, with minimum 3" wide flanges.
- J. All scuppers shall be constructed with four full sides, with flanges through the thickness of the wall, forming a complete "sleeve" through the wall.
- K. Provide flashing per roof manufacturer's standard details at all electrical conduit, HVAC lines, etc.
- L. Flashing shall be factory finished where indicated. Galvanized unfinished flashing exposed to view shall be washed, primed, and finished with paint per the specifications.
- M. Provide concrete splash blocks below all scuppers and at all drain leaders that daylight above grade or onto other roof surfaces.
- N. Contractor and all sub-trades shall exercise the necessary care to limit traffic and prevent damage to the roof membrane.

ROOF PLAN KEYNOTES:

- 1. Roof Cricket at slope 1/4"=1'-0"
- 2. Roof Gutter
- 3. Downspout
- 4. Top of Roof Ridge

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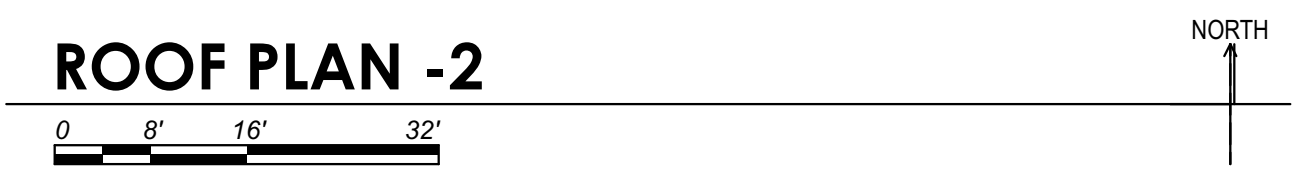
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roof plan

A-102

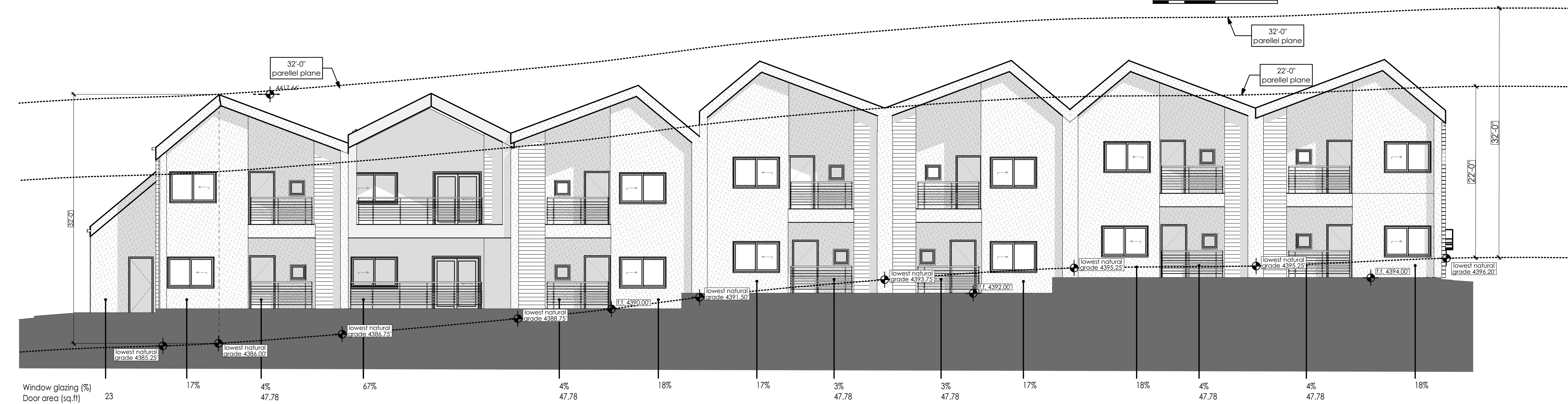




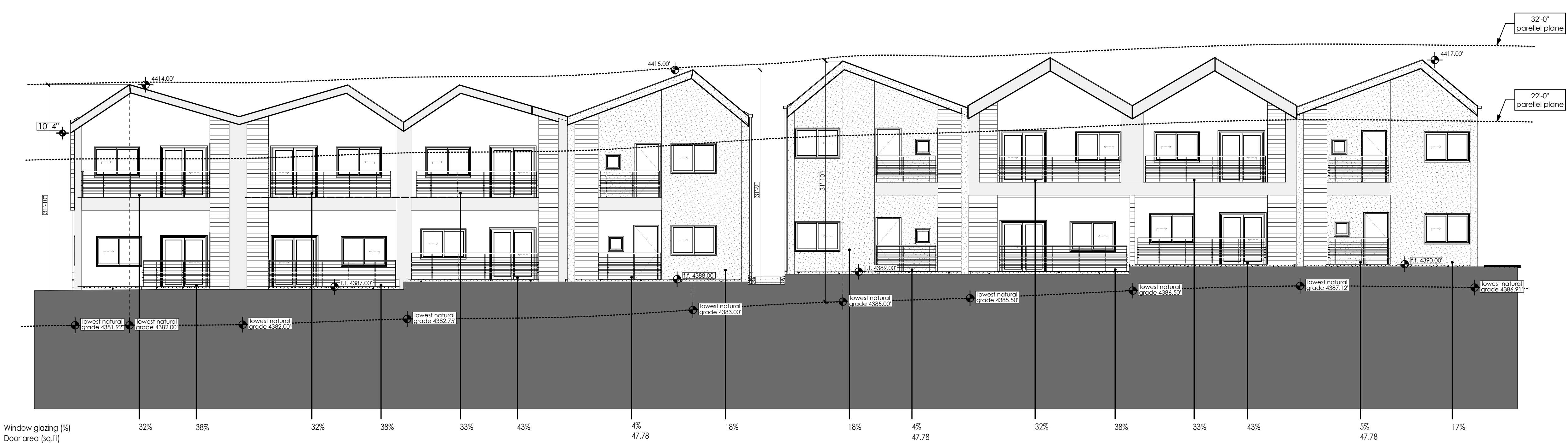
1 WEST ELEVATION BLDG 1 & 3



2 SOUTH & NORTH ELEVATION BLDG 3



3 NORTH ELEVATION BLDG 1



4 EAST ELEVATION BLDG 2

SECTION / ELEVATION LEGEND

- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
NORTHERN TERRITORY-DEA15
LRV 7
- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
SANDPIT-DE6118
LRV 21
- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
DARK ENGINE - DE6350
LRV 5
- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
RHINOCEROS - DE6327
LRV 18
- GAF - TIMBERLINE® HDZ™
RS SHINGLES
COLOR- HICKORY
- GAF - TIMBERLINE® HDZ™
RS SHINGLES
COLOR- CHARCOAL
- CERTAINEED - VINYL SIDING
MODEL- MONOGRAM
COLOR- ESPRESSO
- CERTAINEED - VINYL SIDING
MODEL- MONOGRAM
COLOR- SLATE
- 42" HIGH GUARD RAIL

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architects

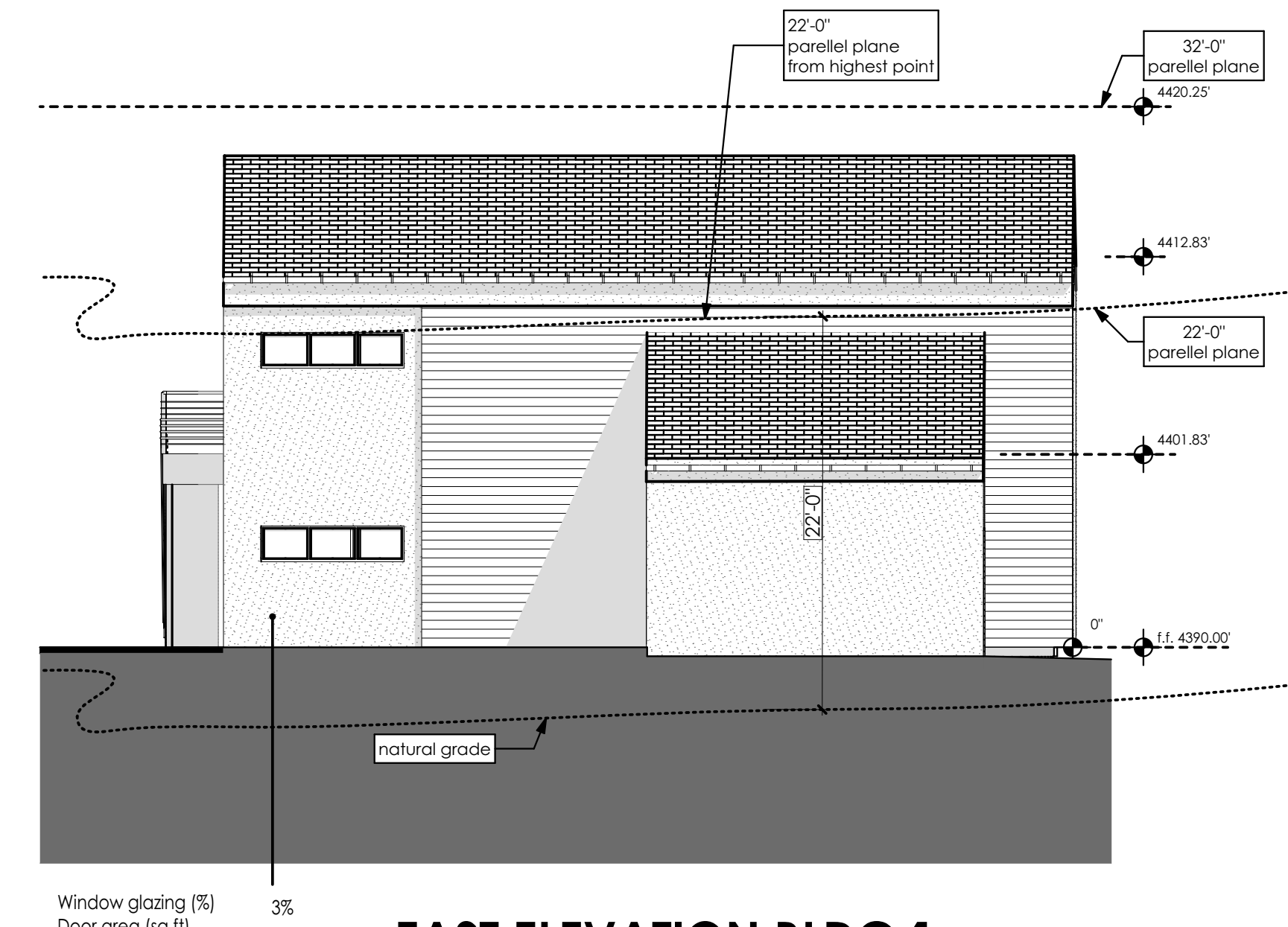
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building elevations

A-201



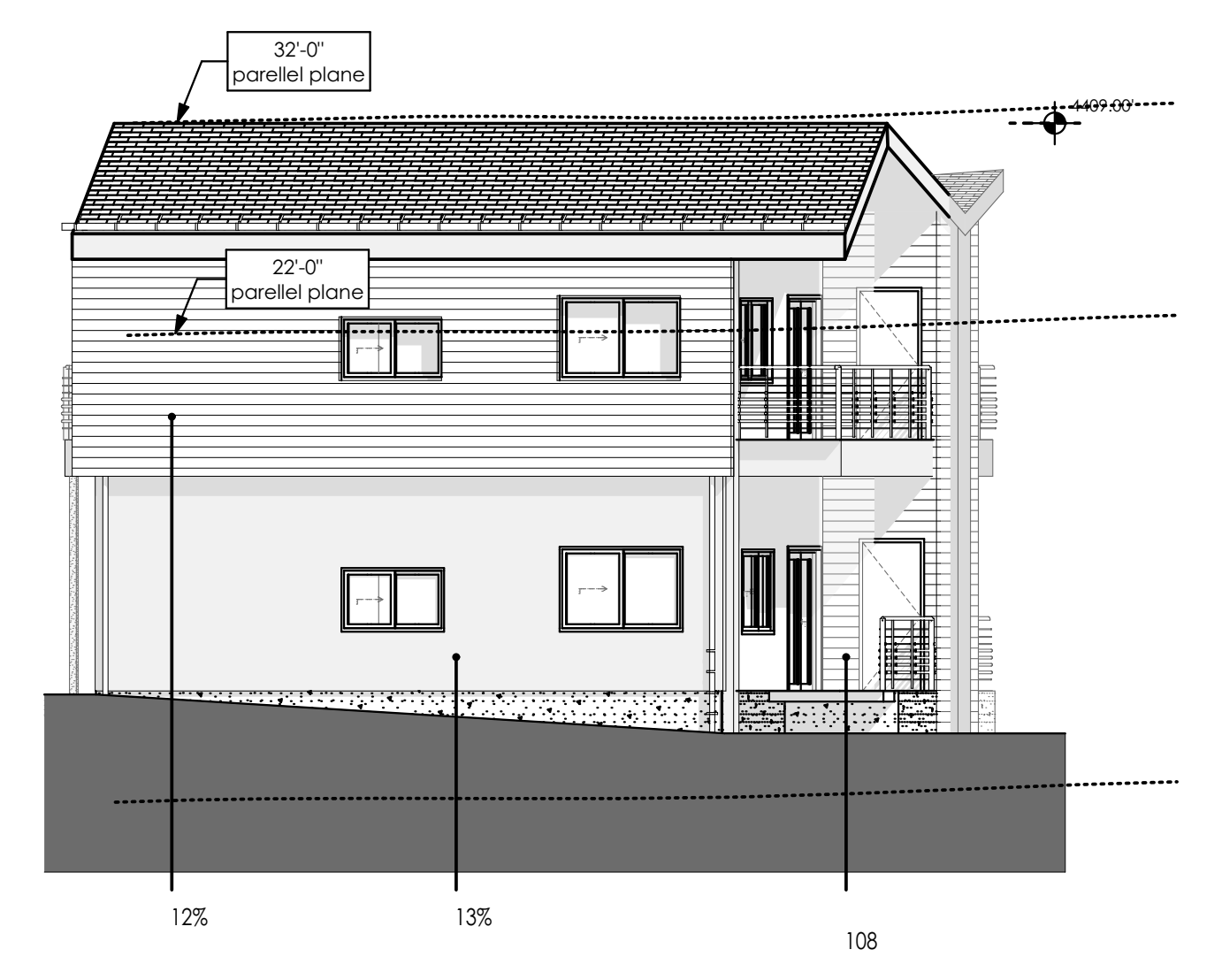
1 COURTYARD SOUTH ELEVATION BLDG 1



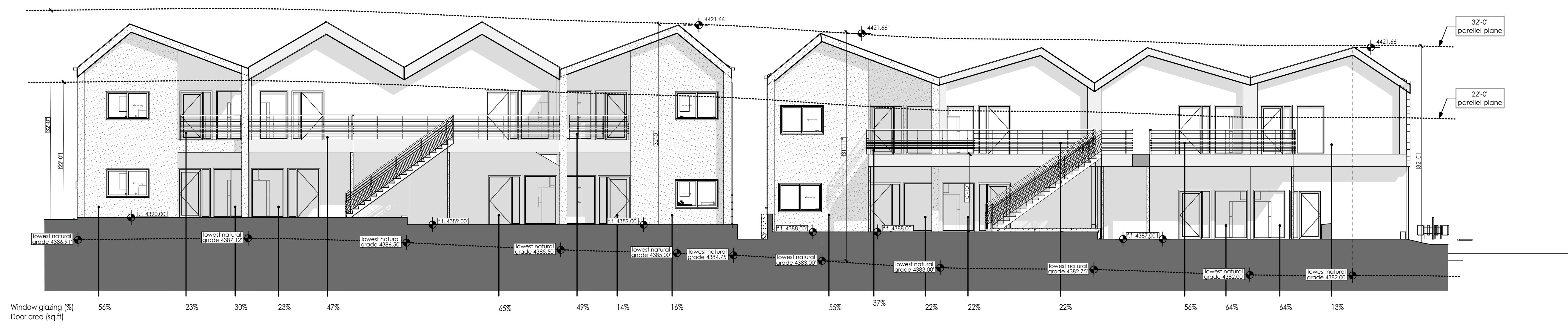
2 EAST ELEVATION BLDG 1



3 COURTYARD EAST ELEVATION BLDG 3



2 SOUTH & NORTH ELEVATION BLDG 2



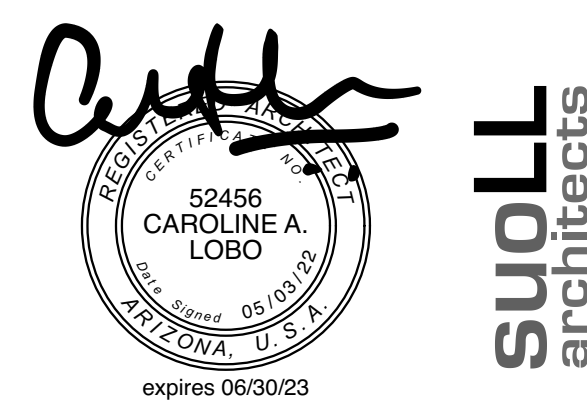
4 COURTYARD WEST ELEVATION BLDG 2

SECTION / ELEVATION LEGEND

- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
NORTHERN TERRITORY-DEA15
LRV 7
- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
SANDPIT- DE6118
LRV 21
- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
DARK ENGINE - DE6350
LRV 5
- PAINTED STUCCO
DUNN EDWARD - PAINT COLOR
RHINOCEROS - DE6327
LRV 18
- GAF - TIMBERLINE® HDZ™
RS SHINGLES
COLOR- HICKORY
- GAF - TIMBERLINE® HDZ™
RS SHINGLES
COLOR- CHARCOAL
- CERTAINTED - VINYL SIDING
MODEL- MONOGRAM
COLOR- ESPRESSO
- CERTAINTED - VINYL SIDING
MODEL- MONOGRAM
COLOR- SLATE
- 42" HIGH GUARD RAIL

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building elevations

A-202



1 AERIAL VIEW



3 ENTRY VIEW



4 VIEW FROM SUNSET DRIVE



2 AERIAL VIEW



5 AERIAL VIEW EAST SIDE

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 SUNSET**
 220 S. Sunset Drive | SEDONA, AZ 86336

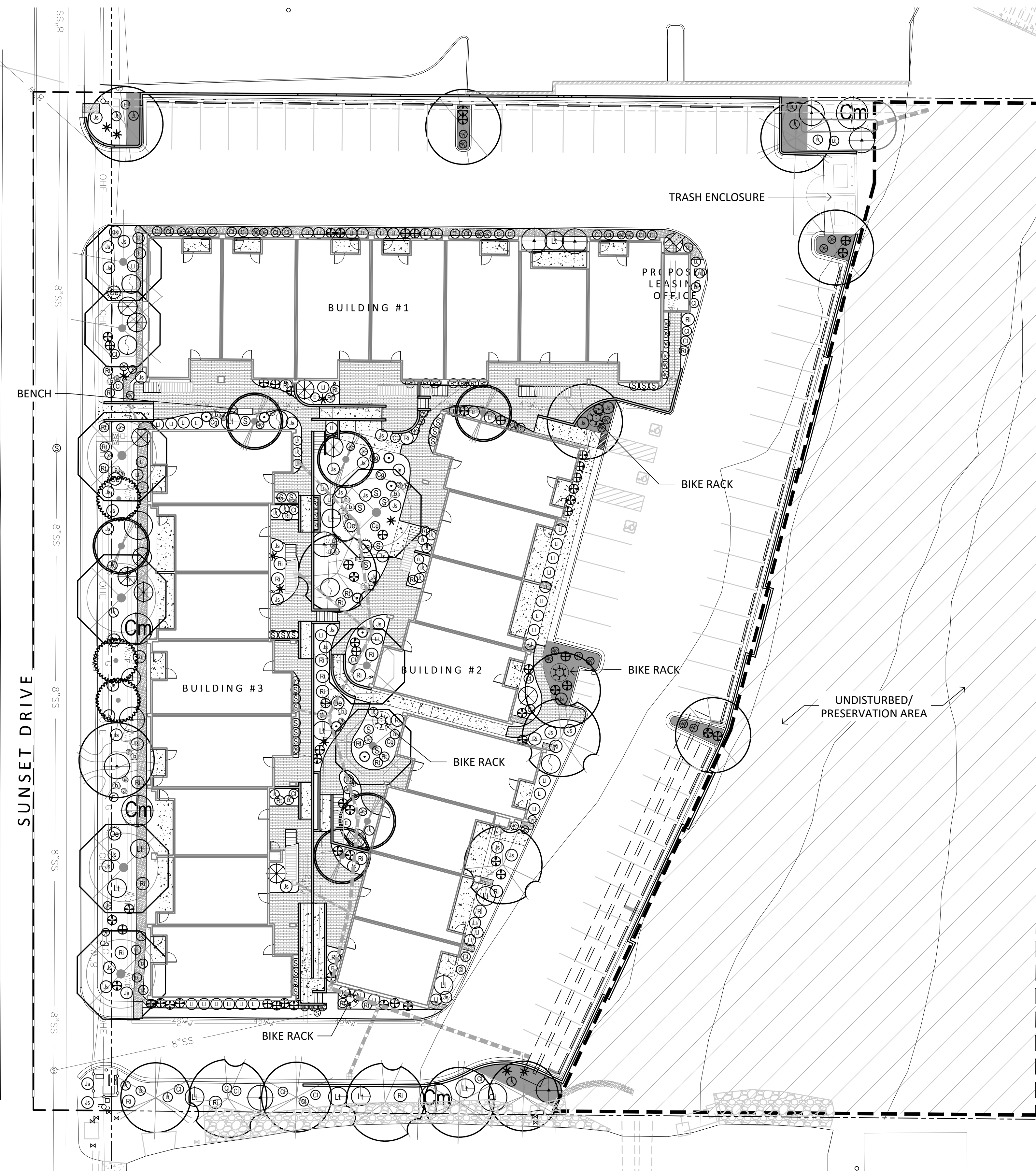
Caroline A. Lobo
 52456
 CAROLINE A.
 LOBO
 ARCHITECT
 AZ 05/09/22
 AZ 05/09/22
 expires 06/30/23

SUOLL
 architects

PROJECT NUMBER 21_005 DATE OF ISSUE 05.03.22

renderings

A-401



PLANT MATERIALS LEGEND

Trees	Size	Quantity
Acer glabrum Rocky Mountain Maple	24" box	6
Chilopsis linearis Desert Willow	24" Box	6
Cupressus arizonica var. arizonica Arizona Cypress	24" box	5
Juniperus depeyana Alligator Juniper	24" box	5
Juniperus monosperma One Seed Juniper	24" Box	3
Platanus chinensis 'Sarah's Radiance' Chinese Platanus	24" box	1
Quercus gambelli Gambel Oak	24" Box	5
Quercus virginiana 'Cathedral' Oak	24" box	4

Extra Large Shrubs	Size	Quantity
Arcostaphylos pungens Pointleaf Manzanita	5 Gal.	5
Cercocarpus montanus Mountain Mahogany	5 gal	4
Purshia subintegrifolia Arizona Cliff Rose	5 Gal.	9
Quercus turbinella Shrub Live Oak	5 gal	2
Vauquelinia californica Arizona Rosewood	5 gal.	12

Large Shrubs	Size	Quantity
Larrea tridentata Creosote	5 gal.	13
Leucophyllum langmaniae 'Lynn's Legacy' Lynn's Legacy Sage	5 gal.	52

Medium Shrubs	Size	Quantity
Ephedra viridis Mormon Tea	5 gal	5
Leucophyllum fuscocens 'compacta' Compact Texas Sage	5 gal.	37
Ribes aureum Golden Currant	5 gal.	25

Small Shrubs	Size	Quantity
Ceratoides lanata Winterfat	5 gal.	38
Cotoneaster glaucophyllus Bright Bead Cotoneaster	5 gal.	5
Salvia greggii Red Salvia	5 gal.	29

Groundcovers	Size	Quantity
Juniperus sabina 'Buffalo' Buffalo Juniper	1 gal.	44
Rosmarinus officinalis 'Prostratus' Trailing Rosemary	1 gal.	32

Cacti/ Accents	Size	Quantity
Agave parryi 'truncata' Parry's Agave	5 gal.	9
Dasylirotia wheeleri Desert Spoon	5 gal.	10
Hesperaloe parviflora Brakeights' Red Yucca	3 gal.	50
Nolina microcarpa Beargrass	5 gal.	59
Opuntia engelmannii Engelmann's Prickly Pear	5 gal.	7

No Symbol	Size	Quantity
Decomposed Granite 1/2" Screened Apache Red		12,977 s.f.
Rip Rap - Size Per Civil, Color: Apache Red		1,350 s.f.

Boulder Legend	Size	Quantity
1/2 Ton Boulder Sandstone Flatop	2x2x2'	13
1 Ton Boulder Sandstone Flatop	3x3x2'	21

* Native tree and shrub species

■ Landscape area counting towards landscape island calculations

SITE DATA:

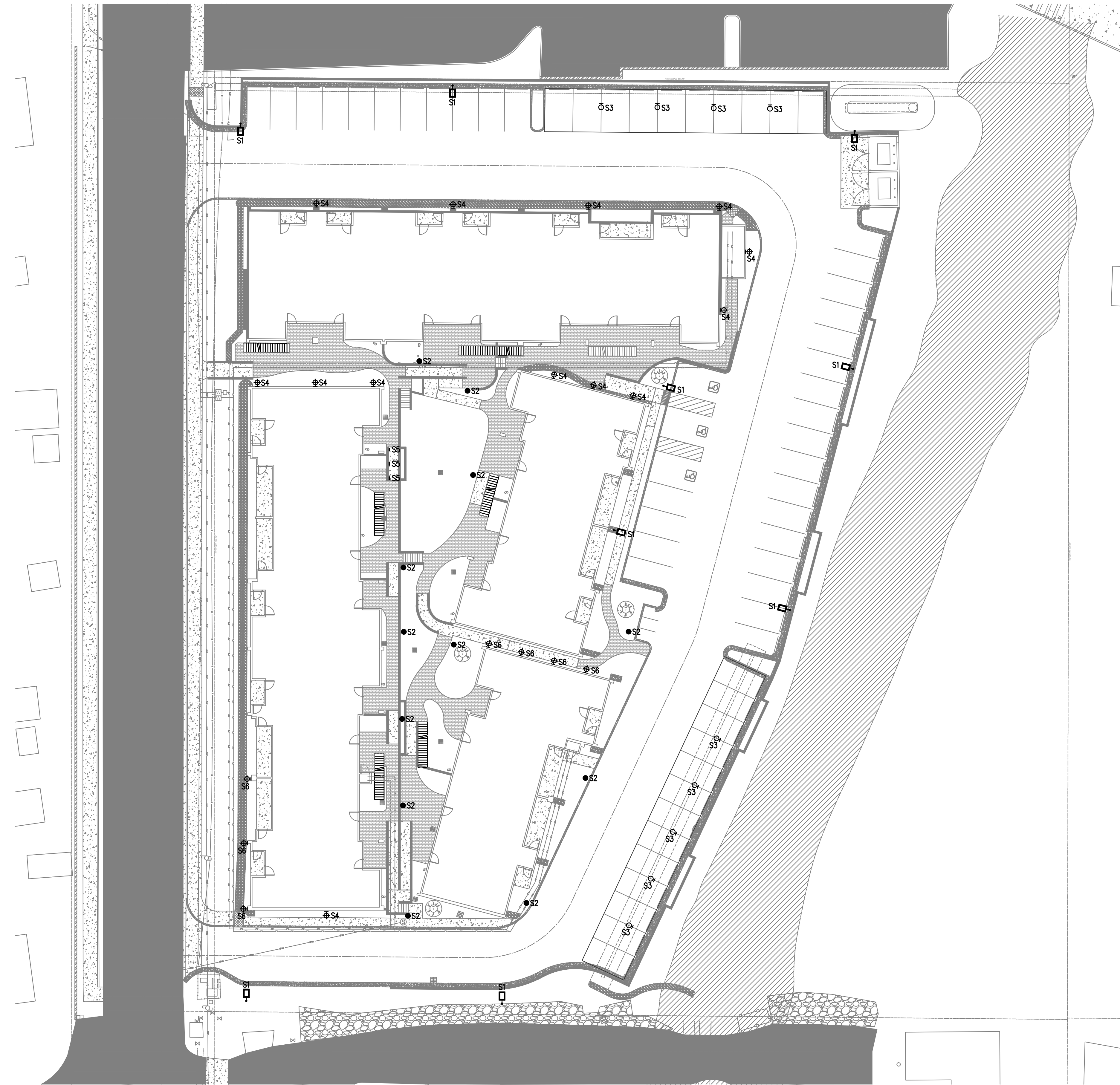
Shown for submittal purposes only.

All quantities shown are for the landscape architect's estimating purposes only and therefore are not guaranteed. The contractor shall calculate quantities based on this drawing set.

On-Site Landscape Area.....	12,977 s.f.
Off-Site Landscape Area.....	(n/a)
Total Landscape Area.....	12,977 s.f.

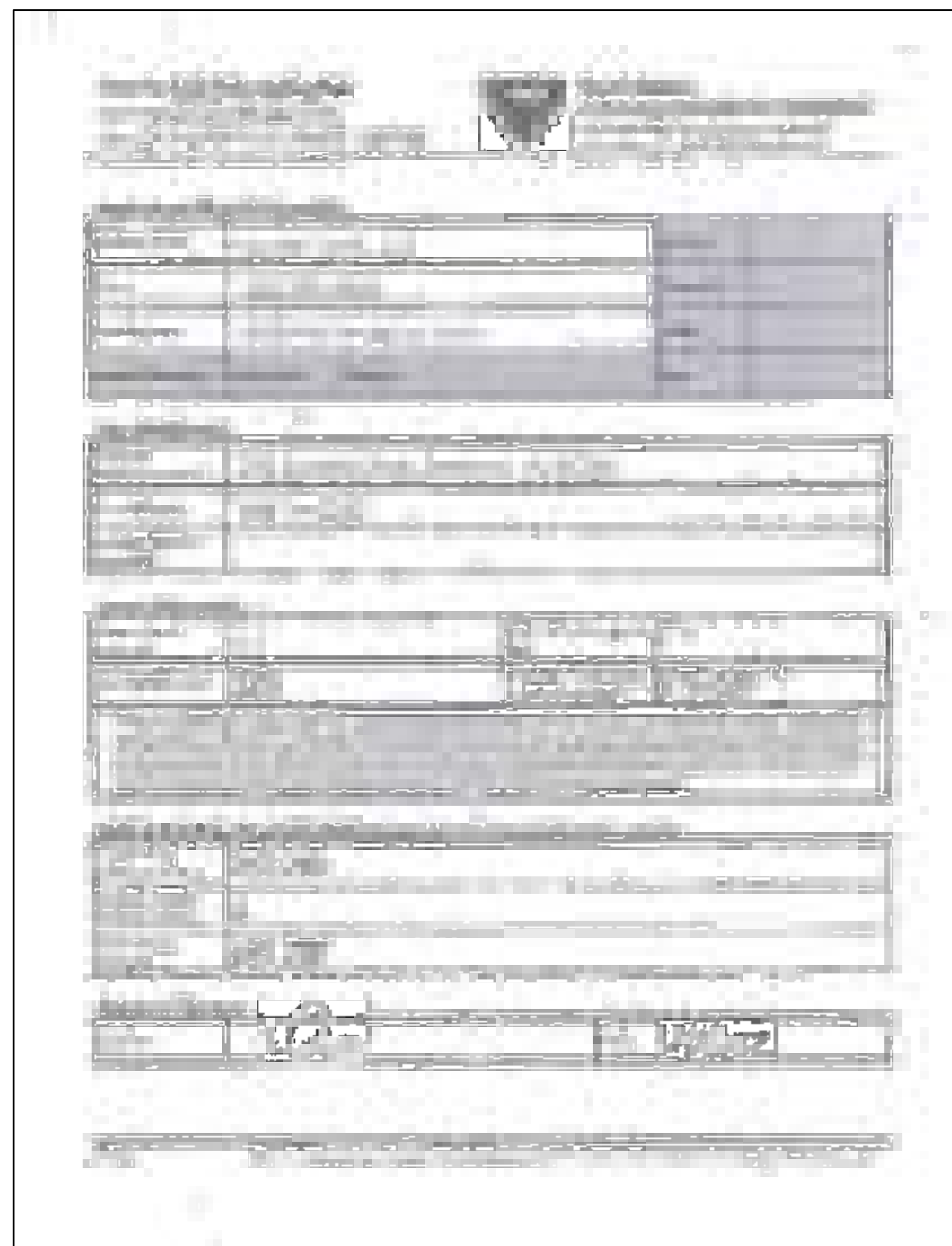
Landscape planting requirements:	Required	Provided
1 tree per 400 s.f.	32	35
3 shrubs per 400 s.f.	97	447

Landscape island requirements:	Required	Provided
10% of parking shall consist of landscape islands		
Total s.f. of parking area: 8,468 s.f.		
Total s.f. of landscape island	846	851



ELECTRICAL SITE LIGHTING PLAN

1" = 20'-0"



Exterior Lighting Application
 Commercial and Multi-Family
 See LDC Section 5.8: Exterior Lighting

Lighting Inventory and Lumen Calculation Table

- Include a Site Plan identifying all lighting fixtures, keyed to the inventory table.
- Include all new/proposed lighting and all existing lighting.
- Include any lighting proposed for external illumination of signs.
- Attach cut sheets or manufacturer's product description for all lights. If not available for existing fixtures, include photographs of the fixtures and any additional information to demonstrate compliance with code requirements.
- Attach additional sheets if necessary.

Lighting Classes (See LDC Section 5.8.D(1) for a complete explanation):

- Class 1: High Activity Areas
- Class 2: Security and Public Safety
- Class 3: Decorative and Accent

Correlated Color Temperature (CCT)/Kelvin Rating: A maximum of 4,000K is permitted for all lighting; Class 2 Lighting is limited to a maximum of 2,700K

Shielding:

- F: Fully Shielded: Required for most lighting
- P: Partially Shielded: Limited to 3,850 lumens per acre
- U: Unshielded: Only permitted for existing, legal nonconforming lighting

Fixture ID	Class	Quantity	Wattage	Beam Spread	Height	Area	Total Lumens
S1	N	2	2,700K	F	8597	9	77,373
S2	N	2	2,700K	F	3,000	11	33,000
S3	N	2	2,700K	F	4,724	9	42,516
S4	N	2	2,700K	F	4,724	11	51,964
S5	N	2	2,700K	F	85	3	255
S6	N	2	2,700K	F	2,000	7	14,000

*Plan key identification in first column must correspond to labeling on site plan

2 of 2 https://sedonaaz.shsreport.com/s/tes/01/documents/form/building_permit_packet/outdoor_lighting_app/0271.doc

Rev. Date: Description:

- △ -
- △ -
- △ -
- △ -
- △ -

SEDONA SUNSET
 220 S. Sunset Drive
 SEDONA, AZ. 86336

ELECTRICAL SITE LIGHTING PLAN



NP ENGINEERING INC.
 4115 N. 15TH AVE.
 PHOENIX, AZ 85015
 PH: (602) 265-1559 FAX: (602) 265-1605

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NP Proj. No: _____
 Project Manager: RP
 Drawn by: NPE
 Date: Sept. 2021

E1

Sheet of

TYPE: S1

Project	Catalog #	Type	
Prepared by	Notes	Date	

Product Certifications

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

Dimensional Details

Horizontal Diameter	Height	Mounting Arm Length	Finish	Depth	Weight
14	15-1/2"	7"	10'	0-5/8"	16-9/16"
56	21-5/8"	7"	10'	0-5/8"	16-9/16"
78	27-5/8"	7"	10'	10-5/8"	
910	33-3/4"	7"	10'		

756030261 page 1
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McGraw-Edison GLEON Galleon

TYPE: S1

Ordering Information
SAMPLE NUMBER: GLEON-S44C-740-W-34FT-GM

Product Name	Part Number	Quantity	Unit Price	Total Price	Notes
GLEON S44C-740-W-34FT-GM	756030261	1	756030261	756030261	

Product Description

GLEON S44C-740-W-34FT-GM is a high-performance, energy-efficient LED luminaire designed for outdoor use. It features a sleek, modern design and is available in various lumen packages and finishes.

Technical Specifications

Power: 34W
Voltage: 120V
Frequency: 60Hz
Efficacy: 156 lm/w
CRI: 80

Product Certifications

Dimensions

Horizontal Diameter: 14, 56, 78, 910
Height: 15-1/2", 21-5/8", 27-5/8", 33-3/4"

756030261 page 2
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TYPE: S1

IESNA: LM-63-2002
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[MORE]TEST IS SCALED FROM IESNA LM-79-08 TEST DATA (G2-1903-205-14)
[TESTLAB]INNOVATION CENTER
[ISSUDEDATE]3/3/2020
[MANUFAC] COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)
[LUMCAT] GLEON AREA AND ROADWAY LUMINAIRE
[MORE]2) 80 CRI, 2700K, 615MA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE III OPTICS
[DRIVER]ELECTRONIC DRIVER
[SEARCH_SOURCETYPE] LED
[SEARCH_CRI] 80
[SEARCH_COLORTEMP] 2700
[SEARCH_APPLICATION] Outdoor, Architectural, Area, Automotive, Commercial, Educational, Facade, Government, Healthcare, Hospitality, Hotel, Industrial, Landscape, Library, Office, Parking, Parks, [MORE] Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location
[SEARCH_MOUNTING] Arm, Pole
[MORE]ABSOLUTE PHOTOMETRY IS ABSOLUTE FOR THE SAMPLE PROVIDED
[MORE]ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS
[MORE]CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER
[MORE]WITH TEST DISTANCE OF 29.75 FEET
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25 27.5 30 32.5 35 37.5 40 42.5 45 47.5
50 52.5 55 57.5 60 62.5 65 67.5 69 70
72.5 75 77.5 80 82.5 85 87.5 90
0 5 15 25 35 45 55 65 75
85 90 95 105 115 125 135 145 155 165
175 180
916.6 922.4 936.9 959.6 986.6 1026 1078.6 1139.3 1198.7 1263.4
1347.2 1421.4 1507.6 1593.3 1688.4 1745 1823.7 1896.9 2008.8 2114.1
2218.4 2301.7 2362.8 2377.1 2310.2 2174.4 1952.7 1556.1 1229.4 980.1
417.1 182.1 133.3 103.1 82.1 76.3 34.5 0
916.6 923.3 938.8 961.7 989.5 1029.6 1082.5 1140.5 1200.9 1268.5
1342.6 1422.3 1508.1 1595.7 1671.8 1748.1 1828.6 1903.2 2010 2126.6
2232.2 2319.1 2381.7 2381.7 2328.5 2207.3 1966.7 1582.5 1256.6 1011.7
442.7 190.1 135.7 105.5 83.8 78.3 40.8 0
916.6 922.6 937.6 960.8 988.6 1027 1077 1135.5 1197 1262.7
1339 1417.5 1501.3 1588.3 1660.4 1745.5 1825.4 1915.8 2012.2 2165
2295.2 2397.8 2467.4 2506.1 2474.2 2355.1 2122 1714.3 1382.2 1098
504.1 217.9 151.9 117.4 92 81.2 89.4 0
916.6 924.6 939.5 962.7 991.5 1026.7 1076.5 1127.9 1188.3 1251.6
1323.3 1400.8 1486.3 1570.1 1657.3 1735.3 1811.4 1907.6 2024.9 2166.2
2324.9 2489.6 2634.5 2732.1 2766.4 2714.2 2534.3 2158.3 1777.9 1497.4
771.9 314.7 184.8 135.7 100 72.9 56.8 0

Rev. Date: Description:

SEDONA SUNSET
220 S. Sunset Drive
SEDONA, AZ. 86336

ELECTRICAL SITE LIGHTING CUTSHEETS

TYPE: S2

Radean Post Top LED Area Luminaire

Specifications

EPA: 1100 ft
15' x 15' x 4'

Length: 15' x 15'

Width: 15' x 15'

Height: 4'

Weight: 26lbs
17.24kg

Introduction

The architectural yin-yang shape of the RADEAN™ post top area luminaire embodies the grace and strength of the RADEAN family. The twin copper core cast aluminum arms support the slender, super-structure, creating a beautiful sculpture by day transforming into a beacon of comfort by night. Triangular arms redirect reflection maintaining its usually quiet appearance. With sleek lines and a triple silk-outlet, these LED luminaires use specialized lighting and visual comfort to transform common areas like courtyards, outdoor retail locations, universities and corporate campuses into pedestrian friendly nighttime environments.

Product Certifications

Ordering Information

Order Number	Part Number	Quantity	Unit Price	Total Price	Notes
EXAMPLE: RADPT LED P3 30K SYM MVOLT PT4 PIR DNAXD					

756030261 page 1
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Model: WL-LED101

LEDme® Step Light

TYPE: S5

Product Description

Horizontal rectangle LEDme® Step Light with Anti-microbial powder coat paint proven to resist a wide range of bacteria, mold, fungus, algae, and yeast. Designed for safety and features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, warm, impression at night.

Specifications

Construction: Die-cast aluminum
Power: Direct wiring, no remote driver needed.
Input: 120V 50/60Hz (2.7V special order) 300K, Amber (AM)
Light Source: 1W AC High Power LED, CRI: 90
Output: 100 lumens
Mounting: Fits into 2" x 4" x 1/2" hole with minimum inside dimensions of 1 1/2" x 2 1/4" x 2 1/4"

Product Certifications

Ordering Information

Order Number	Part Number	Quantity	Unit Price	Total Price	Notes
EXAMPLE: WL-LED101 22-WT					

756030261 page 2
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TYPE: S6

TUBE ARCHITECTURAL DS-WS05

LED Wall Mounts

Product Description

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall lighting. Comes in various light distribution and beam angle options.

Specifications

Input: Universal voltage 120V - 277VAC, 50/60Hz
Dimming: Electronic low voltage ELV: 100% - 5%
Light Source: High output 3 Step Max, Adam Ellipse COB
Finish: Electrostatically powder coated, white, black, bronze and graphite
Standards: IP65 rated, ETL & CEUL wall location listed
Operating Temp: -13°F to 122°F (22°F to 50°C)

Product Certifications

Ordering Information

Order Number	Part Number	Quantity	Unit Price	Total Price	Notes
EXAMPLE: DS-WS05-9904-WT					

756030261 page 3
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NP Proj. No: _____
Project Manager: _____
Drawn by: NPE
Date: Sept. 2021

E2

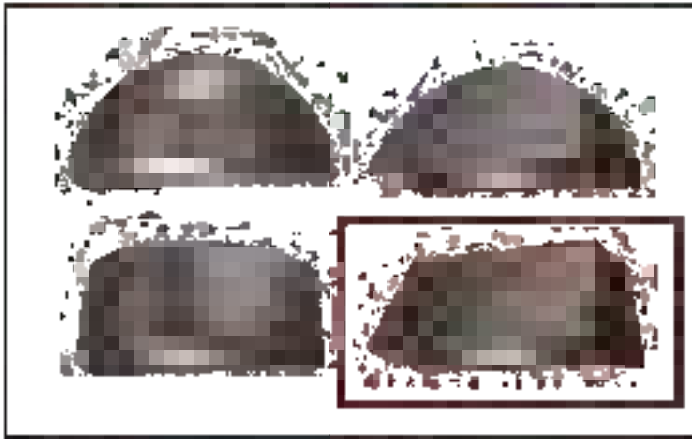
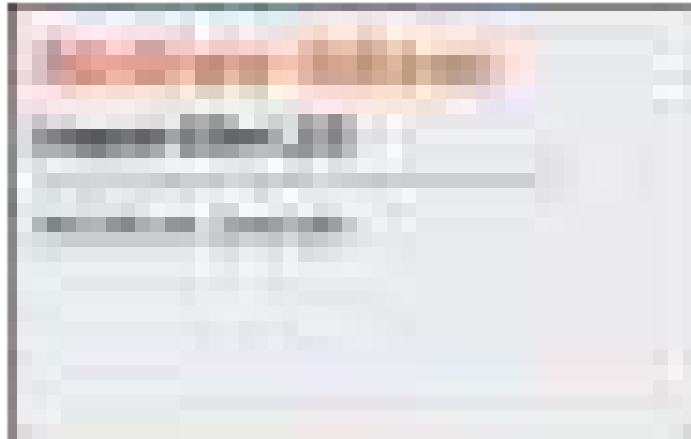
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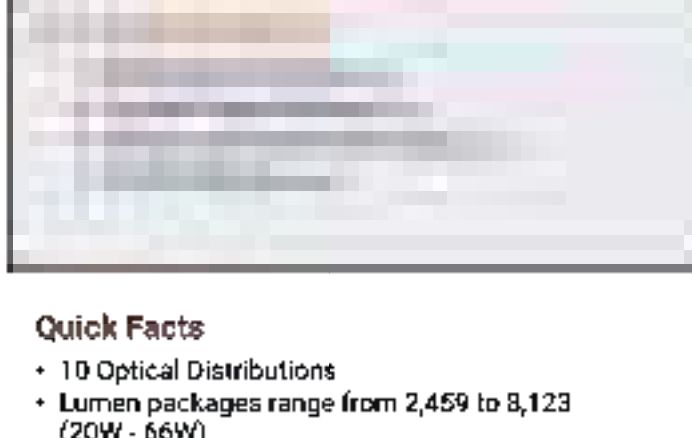
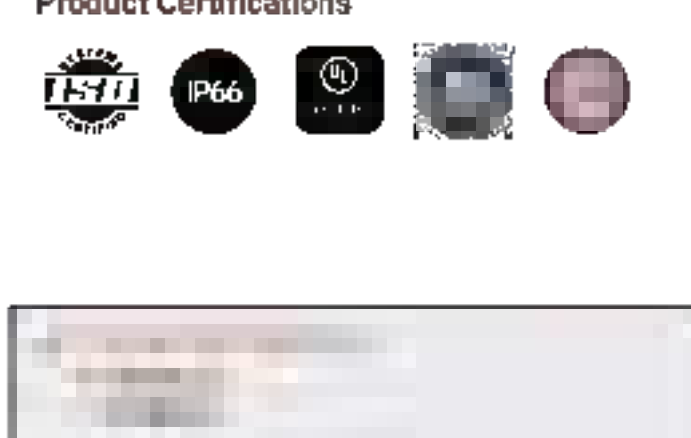


SEDONA SUNSET
220 S. Sunset Drive
SEDONA, AZ. 86336
ELECTRICAL SITE LIGHTING CUTSHEETS


TYPE: S3, S4

Project	Catalog #	Type
Prepared by	Notes	Date

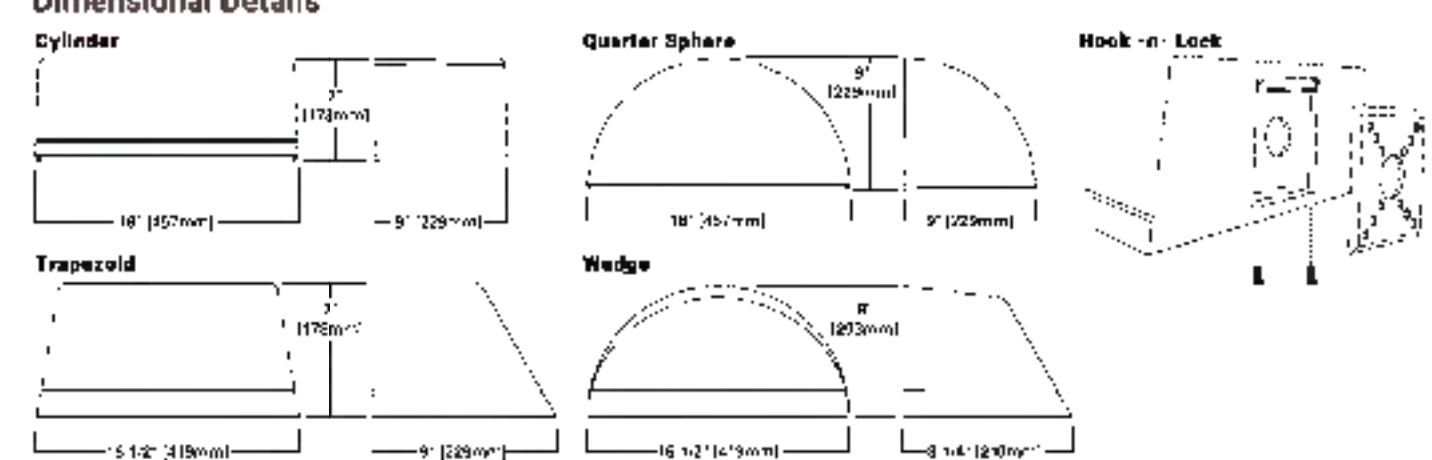
Product Certifications




Quick Facts

- 10 Optical Distributions
- Lumen packages range from 2,459 to 8,123 (20W - 66W)
- Efficacy up to 143 lumens per watt

Dimensional Details

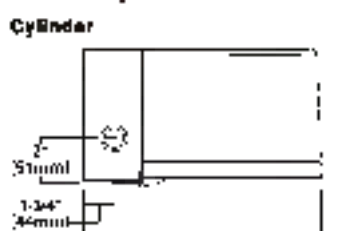
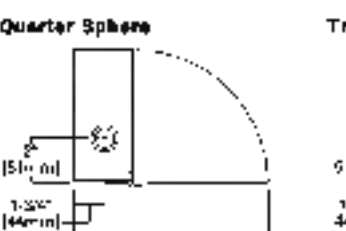
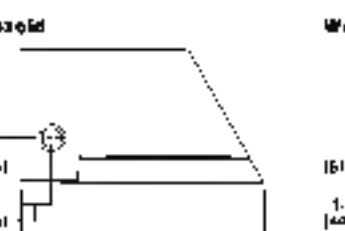





McGraw-Edison Impact Elite LED TYPE: S3, S4


Ordering Information
SAMPLE NUMBER, ISC-SANF-740-U-T3-BZ

Part #	Part Name	Power	Temp	Mount	Finish	Notes
103	Impact Elite LED Trapezoid	20W	3000K	Wall	Black	
104	Impact Elite LED Quarter Sphere	20W	3000K	Wall	Black	

Product Specifications

- Construction:**
 - Heavy-duty, die-cast aluminum housing and removable bezel size frame
 - Optional tamper resistant fasteners after vandal resistance access
- Optics:**
 - High efficiency injection molded Aculeo LED optics technology
 - 10 optical distributions
 - IBA Core-rod (3000K CCT and warmer only)
- Mounting:**
 - Standard with 0-10V dimming
 - Standard with Cooper Lighting 30kV ops
 - Operating at 120VAC maximum line voltage with 100V of surge @ line surge
- Warranty:**
 - 5-year limited warranty, consult us for details: www.cooperlighting.com/warranty



TYPE: S3

IESNA: LM-63-2002
[TEST]P438268
[MORE]TEST IS SCALED FROM IESNA LM-79-08 TEST DATA (G3-2011-074-8)
[TEST]LAB INNOVATION CENTER
[ISSUE DATE] 12/10/2020
[MANUFACT] COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)
[LUMIN] [REDACTED]
[LUMINAIRE] IMPACT ELITE LED TRAPEZOID LUMINAIRE
[DRIVER] ELECTRONIC DRIVER
[SEARCH_SOURCE] LED
[SEARCH_CRI] 80
[SEARCH_COLORTEMP] [REDACTED]
[SEARCH_APPLICATION] Outdoor, Architectural, Area, Automotive, Commercial, Educational, Facade, Government, Healthcare, Hospitality, Hotel, Industrial, Landscape, Library, Office, Parking, Parks,
[MORE] Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location
[SEARCH_MOUNTING] Wall
[ABSOLUTE] DATA SHOWN IS ABSOLUTE FOR THE SAMPLE PROVIDED
[MORE] ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS
[MORE] CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER
[MORE] WITH TEST DISTANCE OF 28.75 FEET
[ABSOLUTE] LUMENS [REDACTED]
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1 1 25.4
0 2.5 5 7.5 10 12.5 15 17.5 20 22.5
25 27.5 30 32.5 35 37.5 40 42.5 45 47.5
50 52.5 55 57.5 60 62.5 65 67.5 70 72.5
75 77.5 80 82.5 85 87.5 90
0 5 15 25 35 45 55 65 75
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175 180
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524.5 550.8 578.9 602.5 624.2 648.7 654.1 665 692.1 722
757.4 798.1 826.2 836.2 819 796.3 716.6 548.1 316.2 109.6
57.1 41.7 28.1 20.8 4.5 0 0
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523.6 549.9 575.3 603.4 626 644.1 665 680.4 707.5 750.1
790.9 825.3 861.6 879.7 882.4 860.7 771.9 598.8 352.4 145.9
67 48 34.4 21.7 9.1 0 0
351.5 361.5 370.5 381.4 393.2 411.3 430.3 450.3 472 492.8
516.4 546.3 574.4 599.7 624.2 642.3 657.7 677.7 708.5 747.4
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TYPE: S4

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[ISSUE DATE] 12/10/2020
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[LUMINAIRE] IMPACT ELITE LED TRAPEZOID LUMINAIRE
[DRIVER] ELECTRONIC DRIVER
[SEARCH_SOURCE] LED
[SEARCH_CRI] 80
[SEARCH_COLORTEMP] [REDACTED]
[SEARCH_APPLICATION] Outdoor, Architectural, Area, Automotive, Commercial, Educational, Facade, Government, Healthcare, Hospitality, Hotel, Industrial, Landscape, Library, Office, Parking, Parks,
[MORE] Retail, Roadway, Sidewalk, Site, Street, Substation, Security, Corrosion Resistant, Vandal Resistant, Wet Location
[SEARCH_MOUNTING] Wall
[ABSOLUTE] DATA SHOWN IS ABSOLUTE FOR THE SAMPLE PROVIDED
[MORE] ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS
[MORE] CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER
[MORE] WITH TEST DISTANCE OF 28.75 FEET
[ABSOLUTE] LUMENS [REDACTED]
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25 27.5 30 32.5 35 37.5 40 42.5 45 47.5
50 52.5 55 57.5 60 62.5 65 67.5 70 72.5
75 77.5 80 82.5 85 87.5 90
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85 90 95 105 115 125 135 145 155 165
175 180
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370.4 393.1 431.3 481.2 542.9 597.4 643.7 690.9 737.2 778.1
828.9 904.3 947.9 976 1021.4 1049.5 999.6 868 621.9 385
118.9 59 33.6 16.3 4.5 0 0
256.9 269.6 287.8 311.4 330.5 345 356.8 362.3 361.3 361.3
369.5 389.5 429.4 479.4 539.3 593.8 644.6 693.6 742.7 779.9
831.6 907.9 942.4 973.3 1026.8 1061.3 1018.7 882.5 641.9 385.9
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362.3 379.5 414 455.8 515.7 571.1 628.3 682.7 733.6 779
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204.3 73.5 45.4 22.7 6.4 0 0
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793.5 852.5 925.1 1008.7 1101.3 1210.2 1261.1 1238.4 1060.4 755.4
395.8 145.3 64.5 32.7 10.9 0 0



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NP Proj. No: _____
Project Manager: RP
Drawn by: NPE
Date: Sept. 2021

E3