

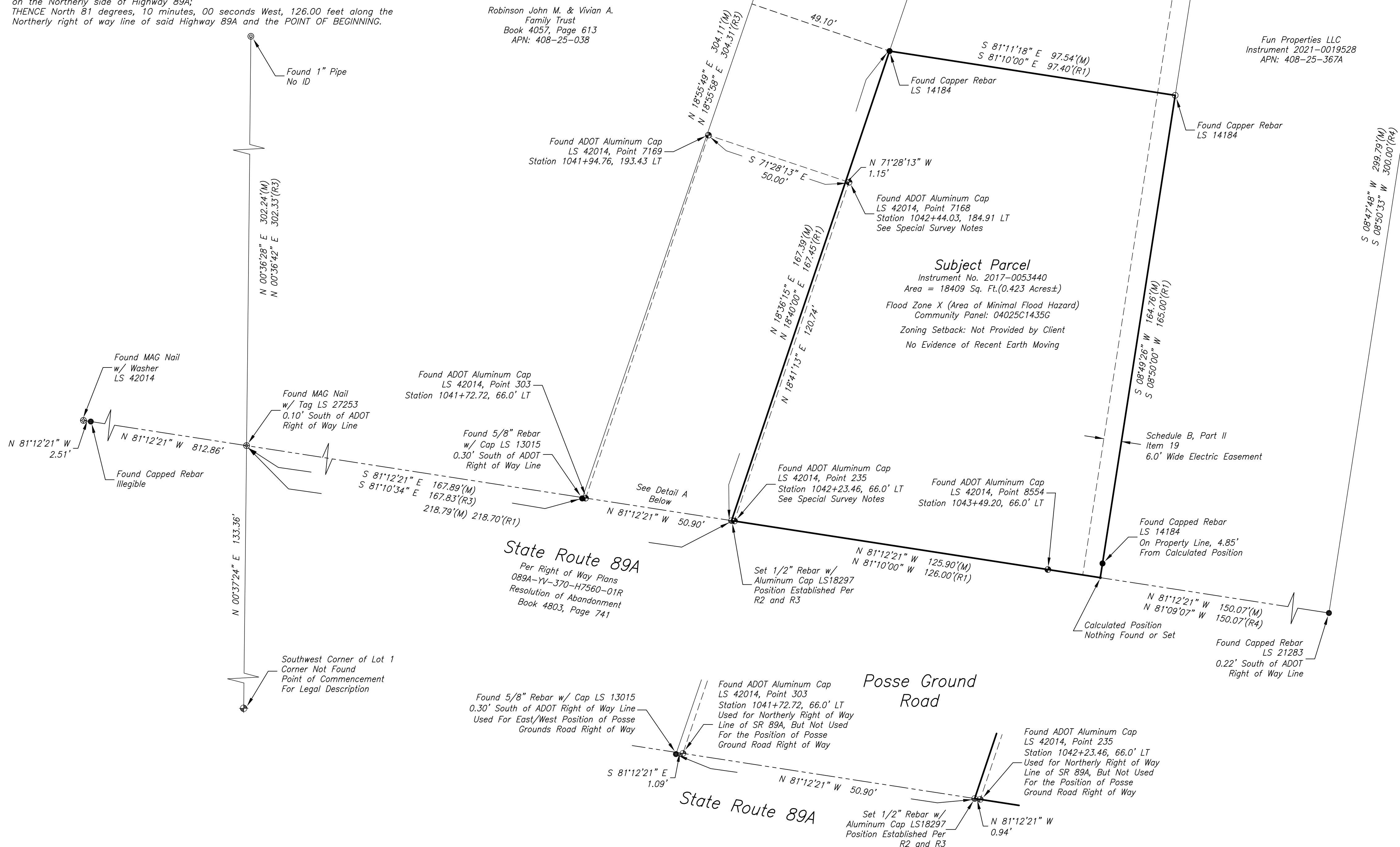
Project Location

Legal Description:

Referenced in the commitment for title insurance issued by Stewart Title Guaranty Company, File No. 154677EW, with a commitment date of June 23, 2021 at 7:30 AM.

EXHIBIT "A"

Description for a portion of Lot 1 and Lot 2 of Section 12, Township 17 North, Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona, more particularly described as follows:
 To find the TRUE POINT OF BEGINNING begin at the Southwest corner of Lot 1 of said Section 12;
 THENCE North 00 degrees, 39 minutes, 00 seconds East, 133.36 feet to a point on the Northerly right of way line of Highway 89A;
 THENCE South 81 degrees, 10 minutes, 00 seconds East, 218.70 feet along said Northerly right of way line of Highway 89A to the Southwest corner of the McFadden property and the TRUE POINT OF BEGINNING;
 THENCE North 18 degrees, 40 minutes, 00 seconds East, 167.45 feet along the East side of Posse Ground Road; THENCE South 81 degrees, 10 minutes, 00 seconds East, 97.40 feet;
 THENCE South 08 degrees, 50 minutes, 00 seconds West, 165.00 feet to a point on the Northerly side of Highway 89A;
 THENCE North 81 degrees, 10 minutes, 00 seconds West, 126.00 feet along the Northerly right of way line of said Highway 89A and the POINT OF BEGINNING.



Survey Notes:
 Field measurements used to prepare this plot were made during July, 2021.

Basis of Bearing and/or Coordinates:
 All dimensions shown on this plot are measured and based on the following projection information.
 Linear Unit: International Foot
 Geodetic Datum: North American Datum of 1983(NAD83)
 Projection: Sedona Low Distortion Projection (Transverse Mercator)
 Latitude of Grid Origin: N 34°44'00"
 Longitude of Grid Origin: W 111°48'00"
 Northing at Grid Origin: 50000,000 ft.
 Easting at Grid Origin: 0.000 ft.
 Combined Scale Factor = 1.000206
 Vertical Datum: NAVD 88
 Geoid Model = GEOID18
 The basis of bearings is true geodetic north. Grid bearings shown hereon do not equal geodetic bearings due to meridian convergence. All bearings shown are grid bearings.

This survey was conducted using GPS referenced to the National Spatial Reference System. Coordinates for GPS control points were derived using the National Geodetic Survey's, Online Positioning User Service (OPUS) REF FRAME: NAD_83(2011)(EPOCH:2010.0000).

The following documents were referred to during the course of the survey and preparation of this plot:
 R1) Warranty Deed, Instrument No. 2017-0053440
 R2) Record of Survey, Book 123 of Land Surveys, Page 12
 R3) Record of Survey, Book 74 of Land Surveys, Page 83
 R3) Record of Survey, Book 198 of Land Surveys, Page 26

Field measurements included locations of readily visible surface appurtenances of underground utilities, and evidence of utilities on or above the surface of the surveyed property as observed in the process of conducting the fieldwork, which evidence may indicate utilities located on, over or beneath the surveyed property. No record as-built utility information was provided therefore none is shown hereon. No excavations or other direct determinations of underground utility locations were made.

Documents used to prepare this survey were referenced in the Commitment for Title Insurance issued by Stewart Title Guaranty Company, File No. 154677EW, with a Commitment date of June 23, 2021 at 7:30 AM.
 The following listing of Schedule B - Section 2 exceptions are from the above stated Commitment for Title Insurance. No attempt was made to resolve discrepancies if any, in easement documents. No attempt was made to research recorded or unrecorded easements, other than those listed in Schedule B - Section 2 exceptions of the above stated commitment for title insurance.

Following are the Schedule B - Section 2 exceptions listed:
 Item No. - Instrument Type; Recording reference; Status for this survey.

Item 1 Not Survey Related.
 Items 2 to 5 - Deleted Intentionally in the Commitment.
 Items 6 to 7 - Not Survey Related.
 Item 8 - Deleted Intentionally in the Commitment.
 Items 9 to 10 - Not Survey Related.
 Items 11 to 12 - Deleted Intentionally in the Commitment.
 Item 13 - Easement(s) for telephone lines and incidental purposes; Book 517, Page 90 of Official Records; This instrument describes an easement 40' in width centered on a telephone line which existed in the vicinity of the Subject Parcel in 1967. The location map attached is to this instrument is illegible and therefore the easement is not plottable and Not Shown Hereon.
 Item 14 - Easement(s) for road and incidental purposes; Book 519, Page 520 of Official Records. This instrument describes a right of way 66' in width for an existing roadway as shown on an attached map. The map does not specify which roadway the easement applies to therefore the easement is Not Shown Hereon.
 Item 15 - Easement(s) for road and incidental purposes; Book 521, Page 521 of Official Records. This instrument describes a right of way 24' in width for an existing roadway as shown on an attached map. The map does not specify which roadway the easement applies to, however other recorded instruments indicate that this is the original easement for Posse Ground Road. Records indicate that the 24' is the easterly portion of the current 50' wide right of way with an additional 36' taken from the parcel on the west side of the right of way. The easement is Shown Hereon.
 Item 16 - Easement for sign and incidental purposes; Book 524, Page 377 of Official Records; This instrument describes an easement for a sign that existed in the vicinity of the subject parcel in 1967; Not Shown Hereon.
 Item 17 - Easement for highway and incidental purposes; Recorded in Book 520 of Surveys, Page 585; This instrument describes an easement for SR89A in the SE1/4 of Section 12; The document is somewhat illegible and not plottable. This easement has been superseded by current SR89A right of way; Not Shown Hereon.
 Item 18 - Deleted Intentionally in the Commitment.
 Item 19 - Easement(s) for electric lines and incidental purposes; Book 811, Page 650 of Official Records; This instrument describes an easement for electric lines 6' in width along the easterly boundary of the Subject Parcel. Shown Hereon.
 Item 20 - Easement(s) for electric lines and incidental purposes; Book 1351, Page 182 of Official Records; Blanket easement, not definable; Not Shown Hereon.
 Item 21 - Easement(s) for electric lines and incidental purposes; Book 1351, Page 321 of Official Records; Blanket easement, not definable; Not Shown Hereon.
 Items 22 to 25 - Deleted Intentionally in the Commitment.

Special Survey Note: Arizona Department of Transportation through the resolution of abandonment recorded in Book 4803, Page 741 transferred the right of way for SR89A in the vicinity of the Subject Parcel to the City of Sedona. The abandonment however did not reference the most current set of right of way plans. The most current right of way plans referenced hereon shows what appears to be ADOT right of way projecting into the Posse Ground Road right of way. The ADOT right of way projecting into the Posse Ground Road right of way overlaps the Subject Parcel's westerly line per the R1 deed by ~1.0'. It is unclear as to the underlying rights of the portion of the Posse Ground Road shown on the ADOT right of way plans. It's our opinion that the deed for the Subject Parcel is senior and correct and takes precedence over the monumentation set by ADOT in this location.

Certification:
 To Durban Development and Stewart Title Guaranty Company: This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 11(a), 13, 15, and 17 of Table A thereof. The fieldwork was completed on February 17th, 2021.

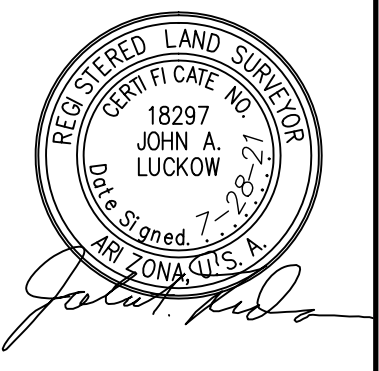
John A. Luckow
 John A. Luckow Date

ALTA/NSPS Land Title Survey
 Located in the South Half of Section 12, Township 17 North, Range 5 East, Gila & Salt River Baseline & Meridian, Yavapai County, Arizona

Client: Durban Development
 Address: 80 Posse Ground Road
 Sedona, AZ
 APN: 408-25-038R

ARIZONA SURVEYING

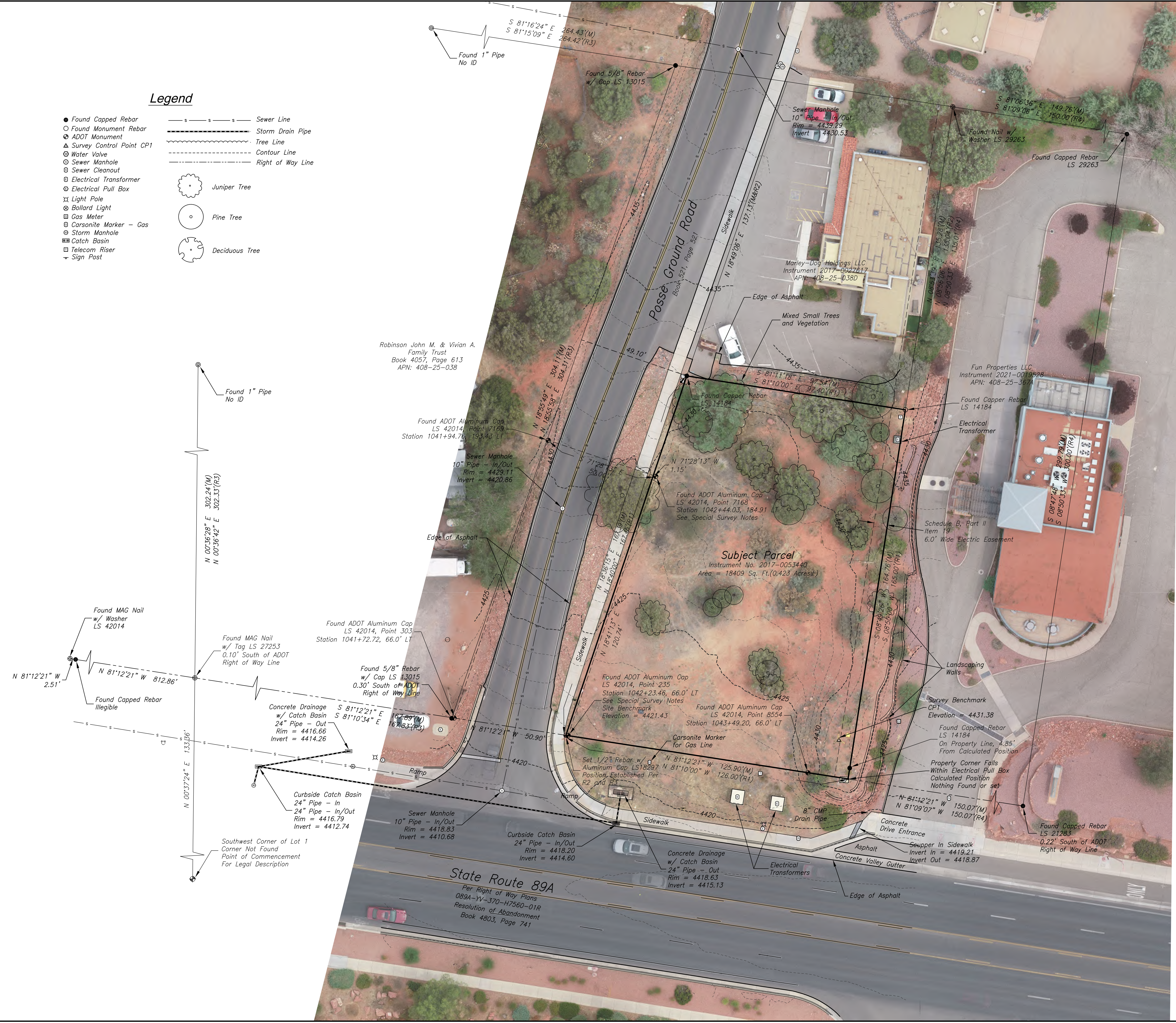
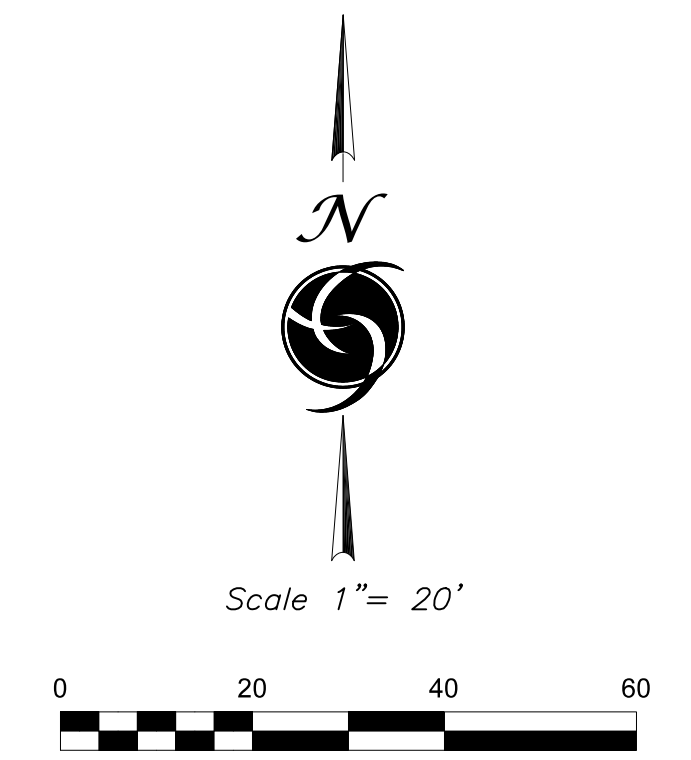
Arizona Surveying, Inc
 1843 W. Heavenly Ct
 Flagstaff, AZ 86001
 John Luckow, RLS
 Tel: (928) 607-7092



JOB NO:	21-38
DRAWN BY:	JS/BL
DATE:	7-27-2021
SCALE:	1" = 20'
REVISIONS:	
SHEET	1 OF 3

Legend

- Found Capped Rebar
 - Found Monument Rebar
 - ⊙ ADOT Monument
 - ▲ Survey Control Point CPI
 - ⊙ Water Valve
 - ⊙ Sewer Manhole
 - ⊙ Sewer Cleanout
 - ⊙ Electrical Transformer
 - ⊙ Electrical Pull Box
 - ⊙ Light Pole
 - ⊙ Bollard Light
 - ⊙ Gas Meter
 - ⊙ Carstone Marker - Gas
 - ⊙ Storm Manhole
 - ⊙ Catch Basin
 - ⊙ Telecom Riser
 - ⊙ Sign Post
-
- Sewer Line
 - Storm Drain Pipe
 - Tree Line
 - Contour Line
 - Right of Way Line
-
- ⊙ Juniper Tree
 - ⊙ Pine Tree
 - ⊙ Deciduous Tree

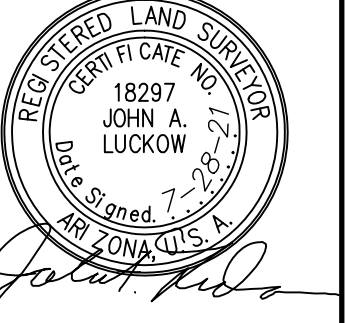


ALTA/NSPS Land Title Survey
 Located in The South Half of Section 12, Township 17 North, Range 5 East,
 Gila & Salt River Baseline & Meridian, Yavapai County, Arizona

Client: Durban Development
 Address: 80 Posse Ground Road
 Sedona, AZ
 APN: 408-25-038R

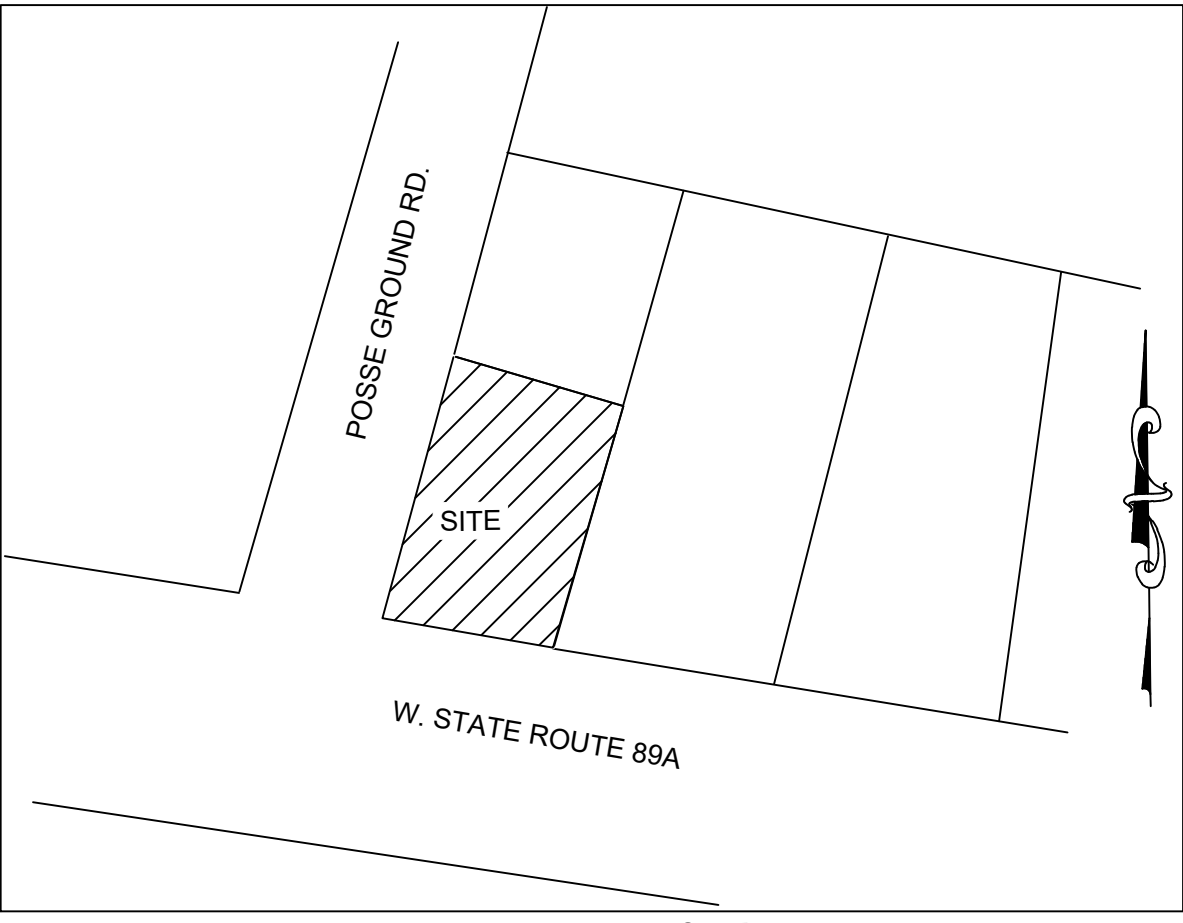
ARIZONA SURVEYING

Arizona Surveying, Inc
 1843 W. Heavenly Ct
 Flagstaff, AZ 86001
 John Luckow, RLS
 Tel: (928) 607-7092



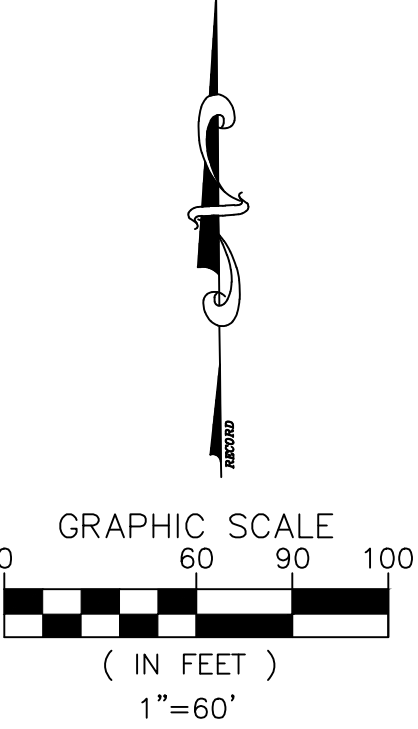
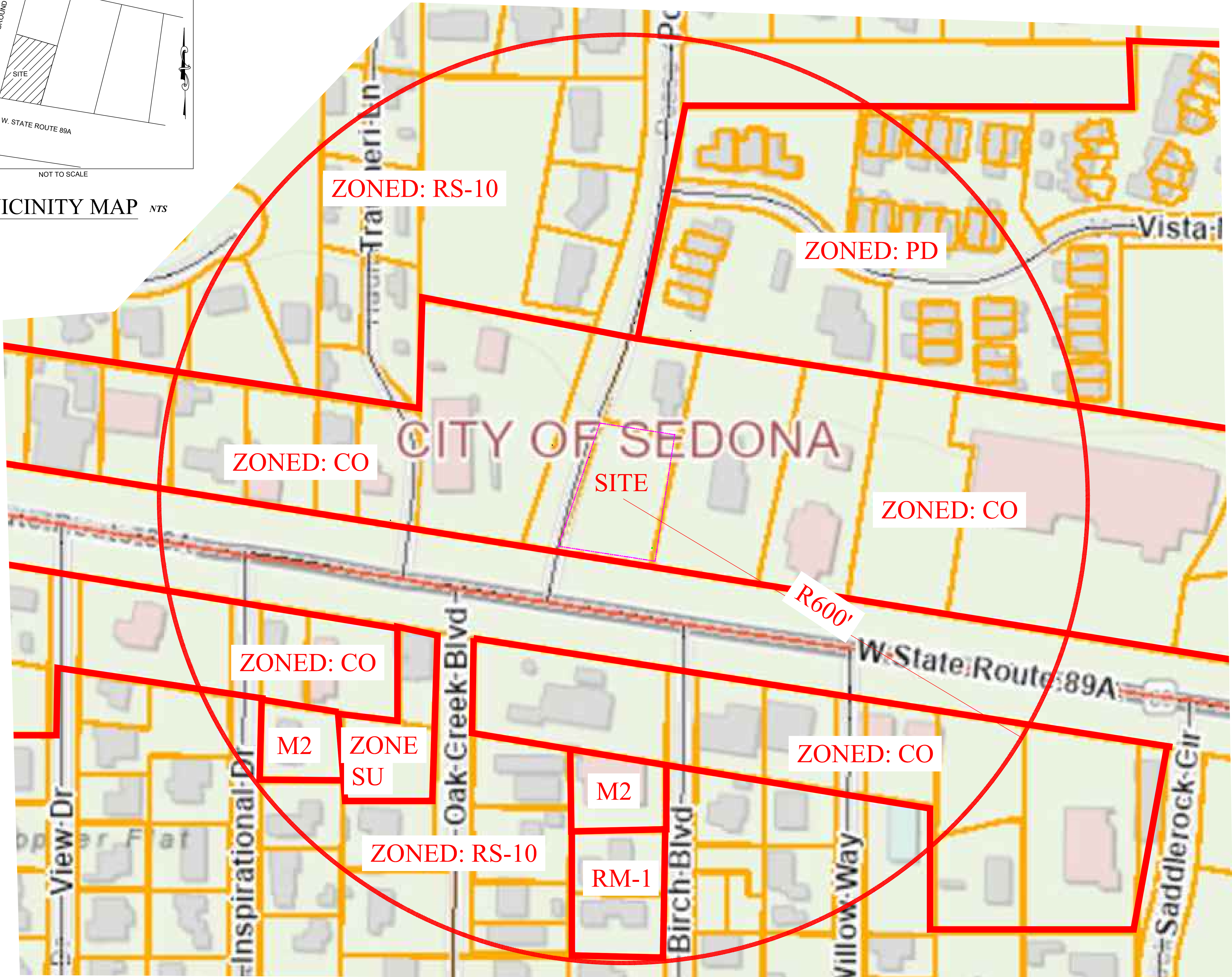
JOB NO:	21-38
DRAWN BY:	JS/BL
DATE:	7-27-2021
SCALE:	1" = 20'
REVISIONS:	

CONTEXT PLAN



NOT TO SCALE

VICINITY MAP NTS



TIDEWATER
ENGINEERING, INC.
200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 EMAIL: peter@tidewatereng.com

REV.	DATE:	DESCRIPTION	BY:

TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
CONTEXT PLAN

DRAWN: pss
APPROVED: pss
DATE:
PROJ#: 21-041
SCALE: AS SHOWN

ALTA/NSPS LAND TITLE AND TOPOGRAPHICAL SURVEY

PORION OF LOT 1 AND LOT 2 OF SECTION 12, T 17N, R 5E,
G. & S.R.M., YAVAPAI COUNTY, ARIZONA.

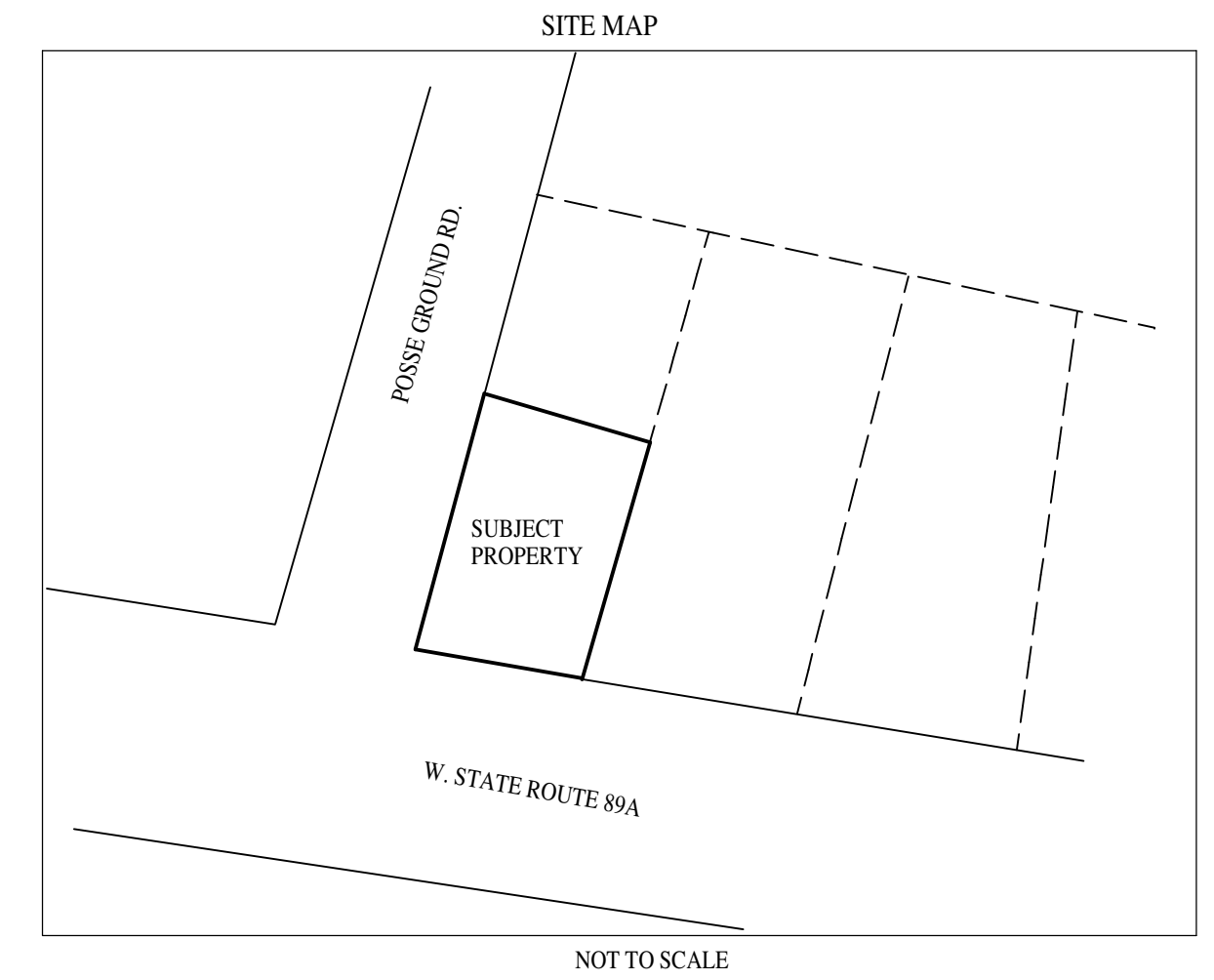
PARCEL #408-28-038R

SCALE: 1"=20'
DATE: 04/28/2021

(R)=EMPIRE WEST TITLE AGENCY
FILE NO. 78003
(R1)= BK. 4186, PG. 324
(M)=MEASURED
(C)=CALCULATED
(P.S.)= PREVIOUS SURVEY

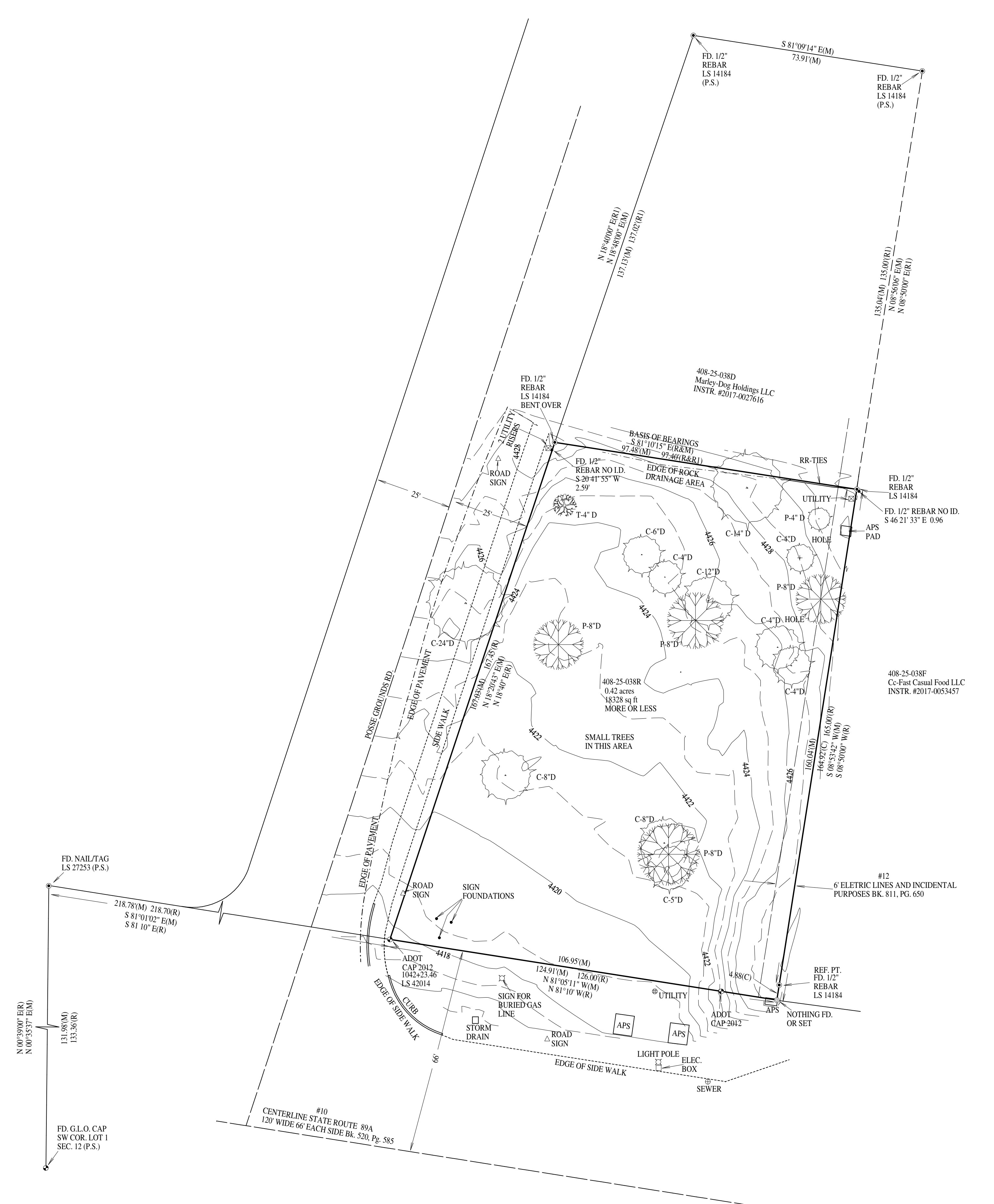
TOPOGRAPHICAL DATA IS FROM A SURVEY DONE ON
JANUARY 14, 2013. NO ATTEMPT WAS MADE TO UPDATE
THE DATA.

CONTOUR INTERVALS:
MAJOR=2 FT.
MINOR= 1 FT.
CONTOURS ARE FROM GPS MEASUREMENTS
AND NOT TIED TO ANY PARTICULAR DATUM.



SCHEDULE B EXCEPTION NOTES:

- Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:
- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
 - Water rights, claims or title to water, whether or not shown by the public records.
 - Reservations or exceptions in Patents, or in Acts authorizing the issuance thereof.
 - Liabilities and Obligations imposed upon said land by reason of its inclusion within water, improvement, fire or other districts or associations, if any.
 - Taxes for the second half of 2017. (The second half is due March 1, 2018 and is delinquent May 1, 2018).
 - Any action by the County Assessor and/or Treasurer, altering the current or prior tax assessment, subsequent to the date of the Policy of Title Insurance.
 - Easement(s) for telephone lines and incidental purposes, recorded in Book 517, page 90 of Official Records. "Easement is for a right-of-way 40 feet in width, 20 feet each side of centerline, for an existing telephone line as shown on a map designated 5430" map is unlegible.
 - Easement(s) for road and incidental purposes, recorded in Book 519, page 520 of Official Records. "Easement is for a right-of-way 66 feet in width, 33 feet on each side of centerline, for an existing road as shown on a map designated 5430" map is unlegible.
 - Easement(s) for road and incidental purposes, recorded in Book 521, page 521 of Official Records. "Easement is for a sign and right-of-way 24 feet in width, 12 feet each side of centerline of an existing road as shown on a map designated 5430" map is unlegible.
 - Easement(s) for sign and incidental purposes, recorded in Book 524, page 377 of Official Records. "Easement is for a sign as shown on a map designated 5430" not enough data provided to locate.
 - Easement(s) for highway and incidental purposes, recorded in Book 520, page 585 of Official Records. See map.
 - Easement(s) for water main and incidental purposes, recorded in Book 638, page 768 of Official Records. Does not reach subject property.
 - Easement(s) for electric lines and incidental purposes, recorded in Book 811, page 650 of Official Records. See map.
 - Easement(s) for electric lines and incidental purposes, recorded in Book 1351, page 182 of Official Records. "to place, construct, operate, repair, maintain, relocate and re-place thereon and in or upon all streets, roads or highways abutting said lands an electric transmission of distribution line or system, and to cut and trim trees and shrubbery to the extent necessary to keep them clear of said electric line or system and to cut down from time to time all dead, weak, leaning or dangerous trees that are tall enough to strike the wire in falling."
 - Easement(s) for electric lines and incidental purposes, recorded in Book 1351, page 321 of Official Records. "to place, construct, operate, repair, maintain, relocate and re-place thereon and in or upon all streets, roads or highways abutting said lands an electric transmission of distribution line or system, and to cut and trim trees and shrubbery to the extent necessary to keep them clear of said electric line or system and to cut down from time to time all dead, weak, leaning or dangerous trees that are tall enough to strike the wire in falling."
 - All matters as set forth in recorded Disclosure for Territory in the vicinity of Sedona Public Airport Airport recorded in Book 57 of Maps, Page 22.
 - Matters as shown on survey recorded in Book 175 of Land Surveys, page(s) 36. Reviewed map.
 - Matters as shown on survey recorded in Book 183 of Land Surveys, page(s) 94. Reviewed map.



THIS PLAT IS SUBJECT TO ALL CONDITIONS,
RESERVATIONS, AND OTHER ITEMS OF PUBLIC
RECORD ON THIS 28th DAY OF APRIL, 2021.

THIS PLAT DOES NOT PURPORT TO VERIFY THE
OWNERSHIP OF ANY PROPERTY SHOWN OR
INVOLVED IN THIS SURVEY. ANY EASEMENTS OR
OTHER ENCUMBRANCES SHOULD BE DETERMINED
BY A TITLE SEARCH.

SURVEYOR'S CERTIFICATE:

THIS RESULTS OF SURVEY MAP AND THE FIELD SURVEY
ON WHICH IT IS BASED WERE CONDUCTED DURING THE
MONTH OF APRIL, 2021, UNDER MY DIRECT SUPERVISION
IN ACCORDANCE WITH THE STANDARDS GOVERNING THE
CREATION OF LAND SURVEY BOUNDARIES WITHIN THE STATE
OF ARIZONA AND IS TRUE AND ACCURATE TO THE BEST OF
MY KNOWLEDGE AND BELIEF.

SURVEYOR'S NOTES:

- THE WORD CERTIFY AS SHOWN OR USED HEREON MEANS AN EXPRESSION OR PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
- THE INTENT OF THIS SURVEY IS TO PROVIDE A ALTA/NSPS SURVEY OF THE REFERENCED PROPERTY.
- DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- GROSS LAND AREA, 0.42 ACRES, 18328 SQ FT. MORE OR LESS.

NOTE: TREES AS SHOWN ON THIS PLAT AND ACCOMPANYING DIGITIZED FILE ARE FOR GRAPHIC REFERENCE. CANOPY DISTANCES ARE AVERAGED FOR EACH TREE. PLEASE NOTIFY SURVEYOR FOR SPECIFIC TREE LOCATION OF ANY TREE FOR CONSTRUCTION PURPOSES AT NO ADDITIONAL CHARGE.

THIS PDF FILE IS NOT TO BE USED FOR DESIGN OR CONSTRUCTION PURPOSES. IT IS A GRAPHIC REPRESENTATION OF THE ORIGINAL PLAT. CONTACT SURVEYOR FOR AN ORIGINAL HARD COPY OR DWG FILE FOR DESIGN WORK.

TABLE A ITEMS

- Monuments placed (or a reference monument or witness to the corner) at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner. SEE PLAT.
- Gross land area (and other areas if specified by the client). SEE PLAT.
- Exterior dimensions of all buildings at ground level, 7.1' exterior footprint of all buildings at ground level. No buildings observed.
- Substantial features observed in the process of conducting the fieldwork (in addition to the improvements and features required pursuant to Section 5 above) (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse). SEE PLAT.
- Number and type (e.g., disabled, motorcycle, regular and other marked specialized types) of clearly identifiable parking spaces on surface parking areas, lots and in parking structures. Striping of clearly identifiable parking spaces on surface parking areas and lots. No parking spaces observed.
- Location of utilities existing on or serving the surveyed property (observed evidence). SEE PLAT.
- Names of adjoining owners according to current tax records. SEE PLAT.

CERTIFICATION

To: Farshid Paydar, and Empire West Title Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1.4, 7.8, 9.11 & 13 of Table A thereof. The fieldwork was completed on 04/26/2021. Date of Plat or Map: 04/28/2021

Timothy L. Hammes

Timothy L. Hammes, RLS 29263



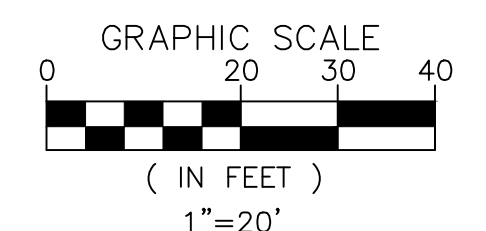
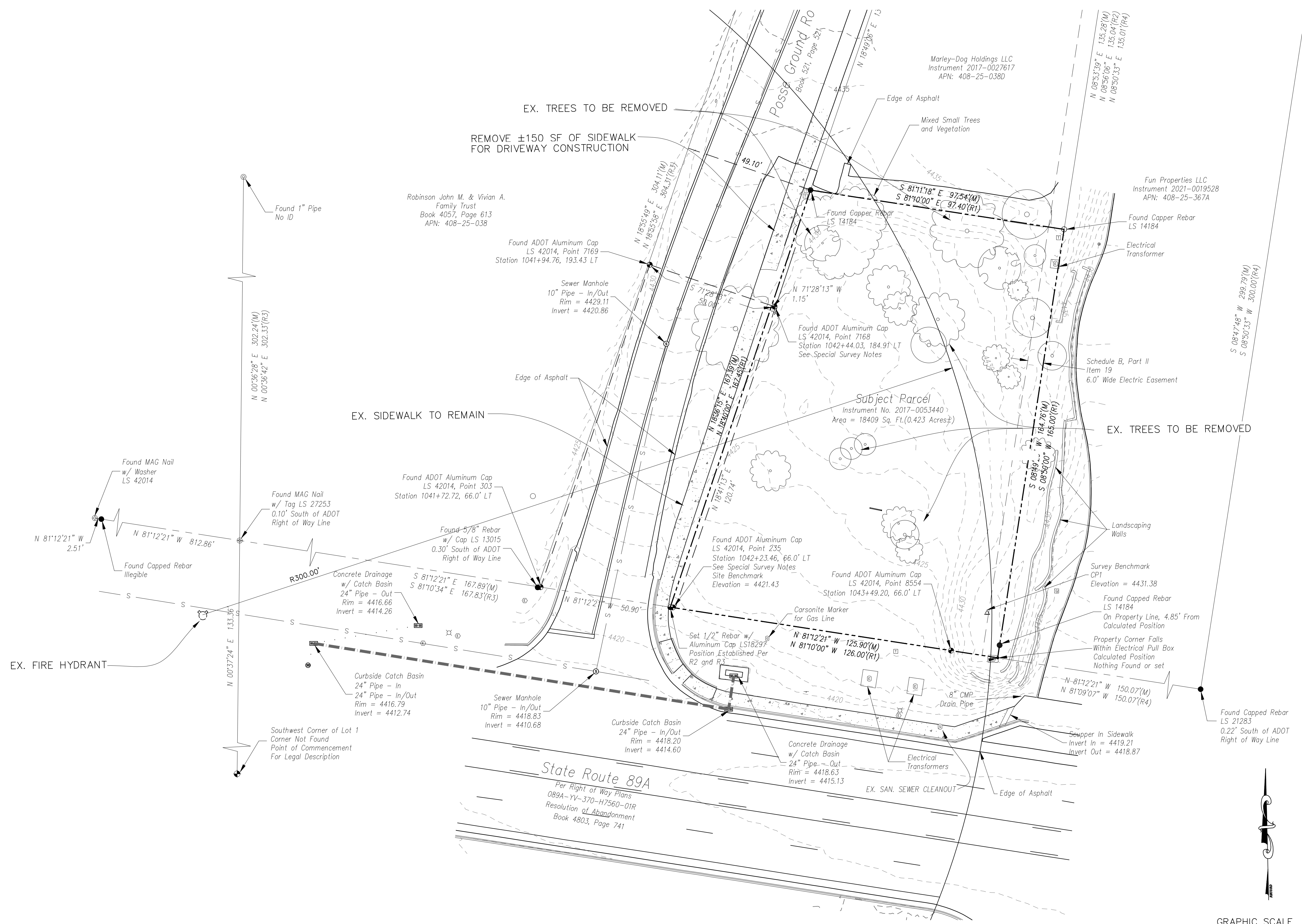
04/28/2021

HAMMES SURVEYING LLC
2100 VIA SILVERADO
CAMP VERDE, AZ 86322
(928) 282-5686 (928) 567-2833



Peter Schoenauer

TIDEWATER, INC.
ENGINEERING, INC.
200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA, 31522
PHONE (912) 268-2164 EMAIL: peter@tidewatereng.com



REV.	DATE	DESCRIPTION	BY:
1	3-28-22	revised per city of Sedona comments	PSS

TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
EX. CONDITIONS/DEMOLITION PLAN

DRAWN: pss
APPROVED: pss
DATE:
PROJ#: 21-041
SCALE: AS SHOWN

SHEET
3 OF 11



Peter Schoenauer

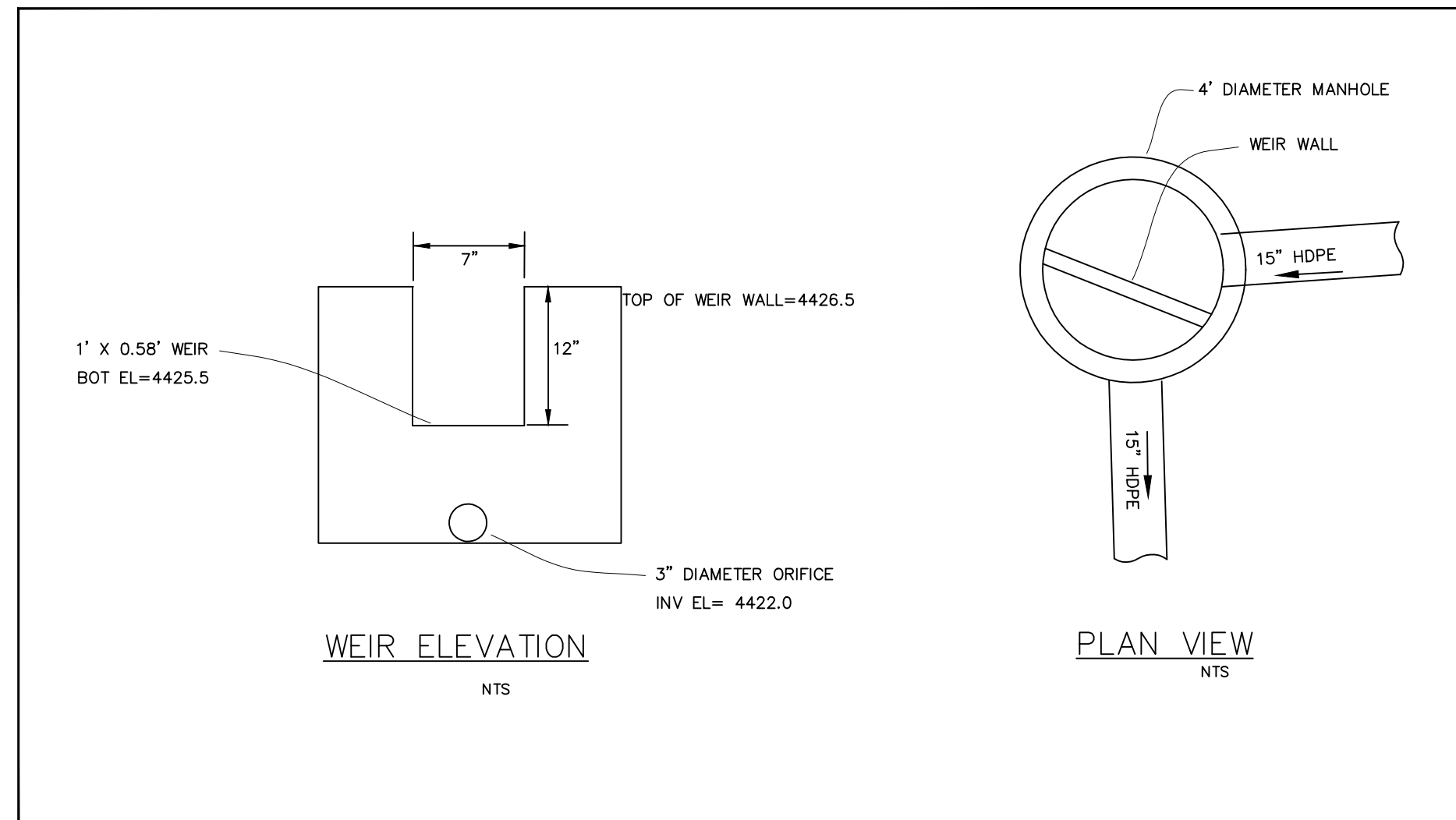
TIDEWATER
ENGINEERING, INC.
200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 EMAIL: peter@tidewatereng.com

REV.	DATE	DESCRIPTION	BY
1	3-28-22	revised per city of Sedona comments	PSS

TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
GRADING AND DRAINAGE PLAN

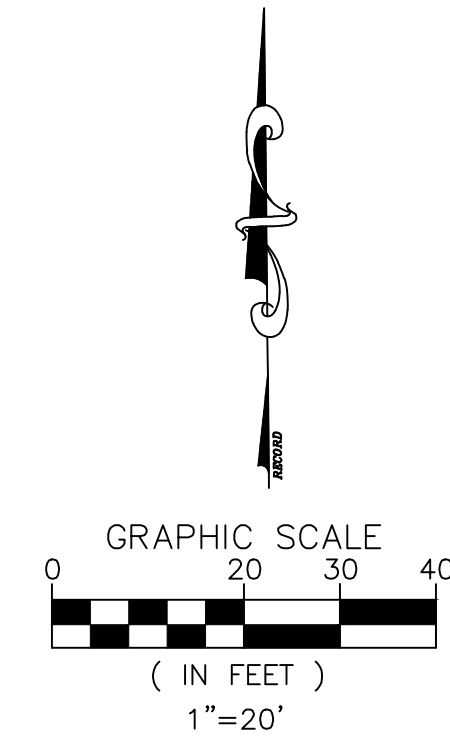
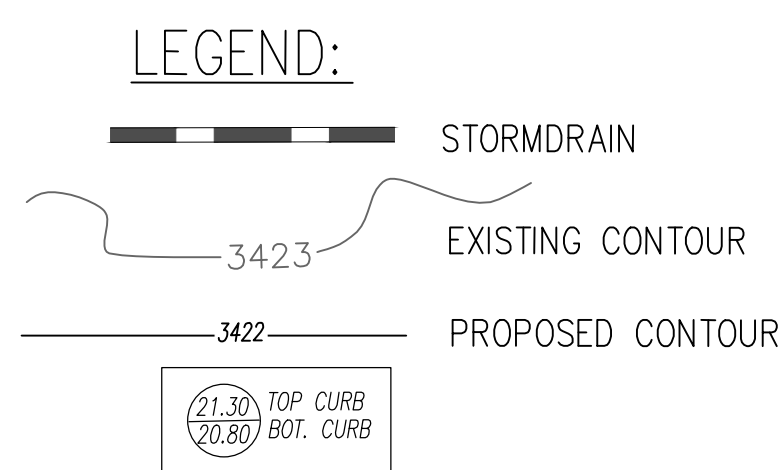
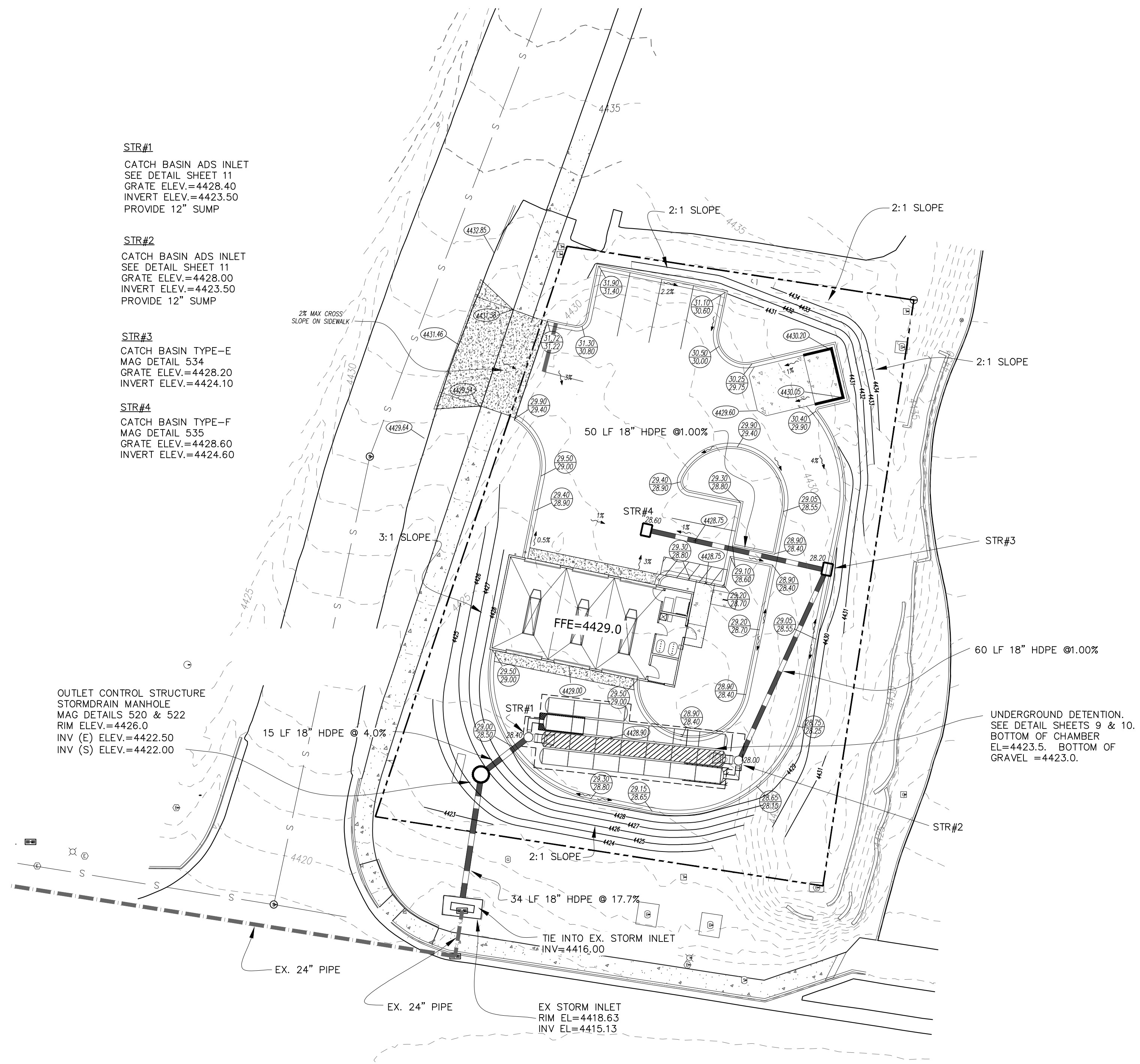
DRAWN: pss
APPROVED: pss
DATE:
PROJ#: 21-041
SCALE: AS SHOWN

SHEET
5 OF 11



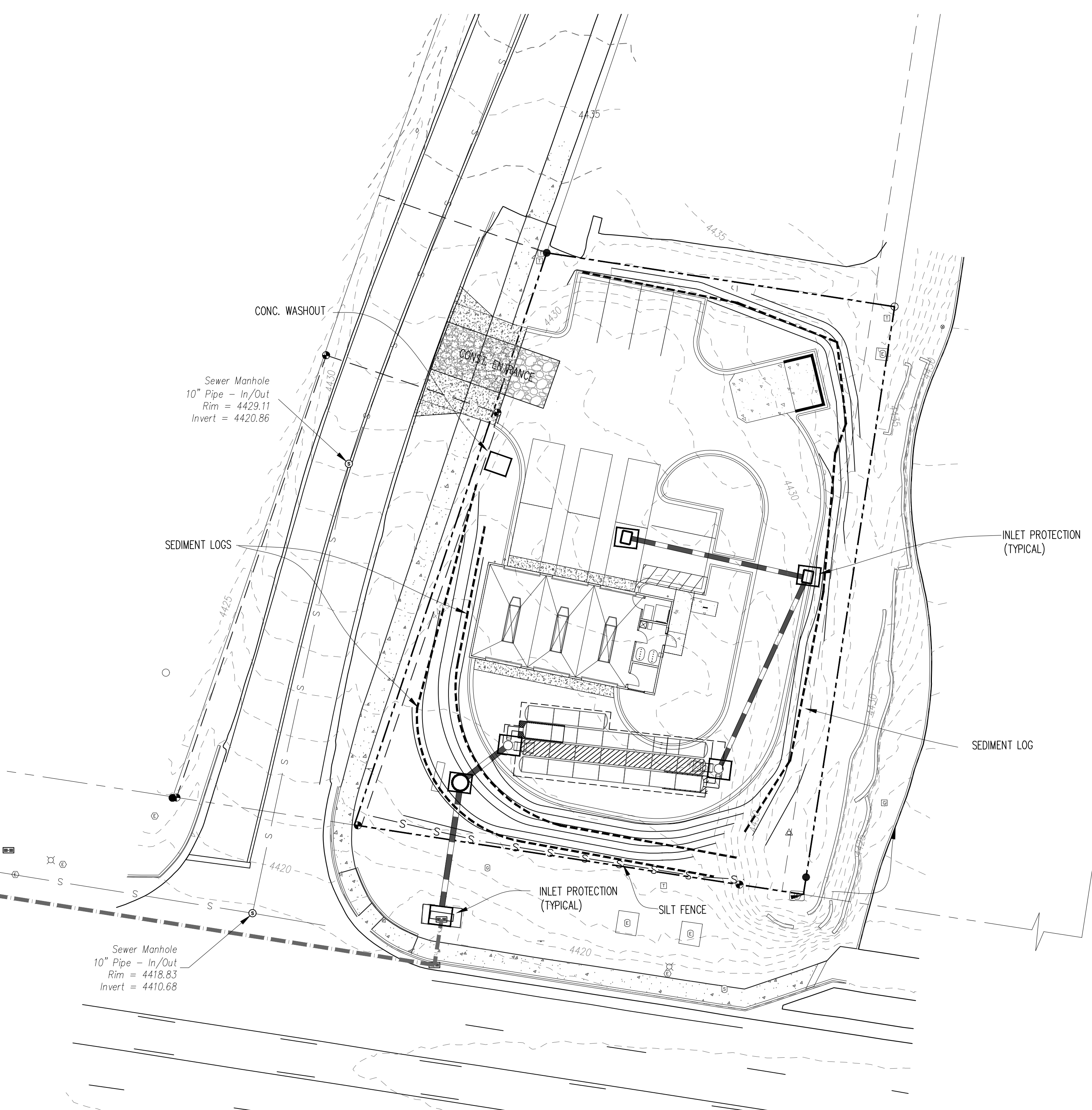
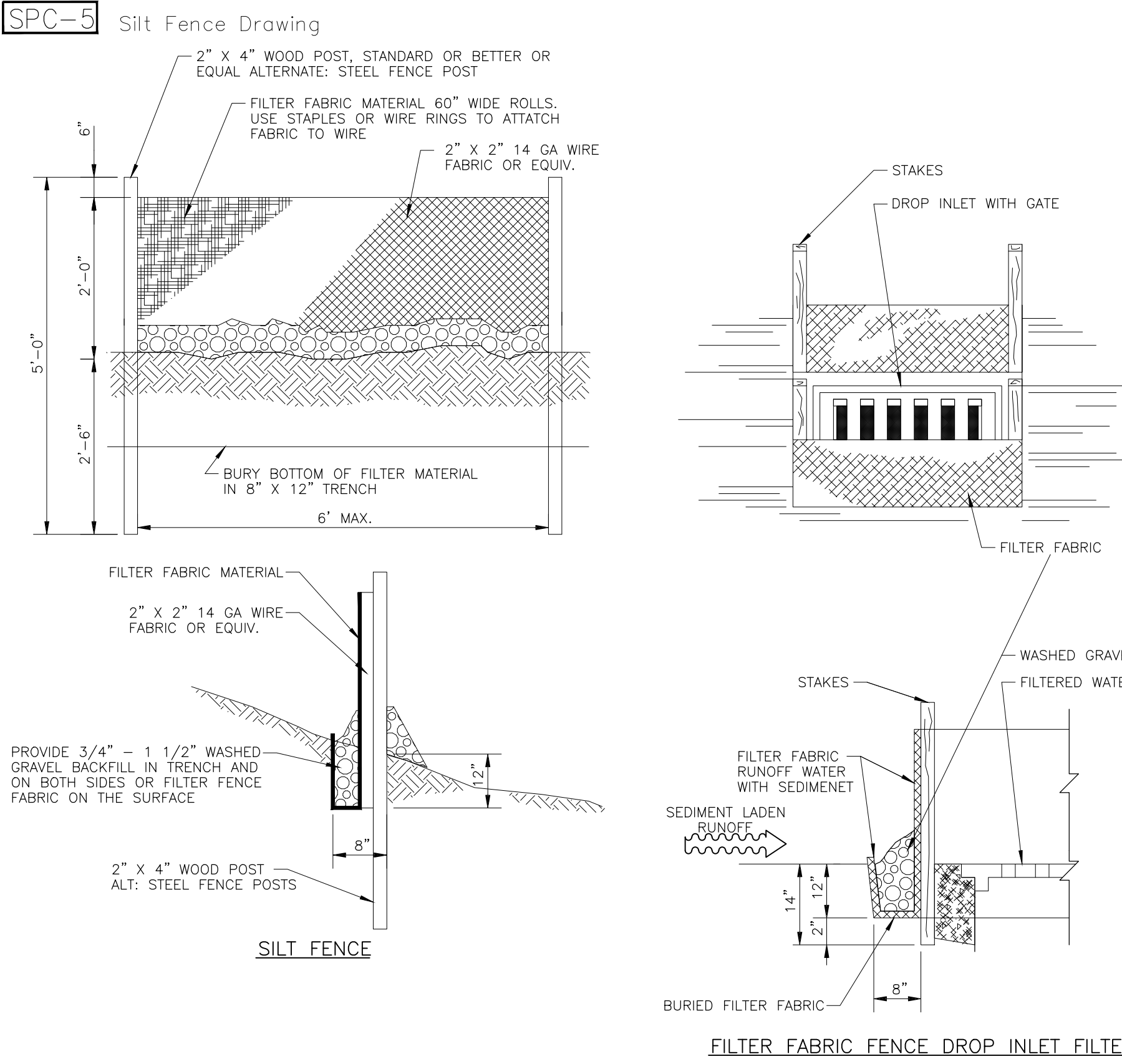
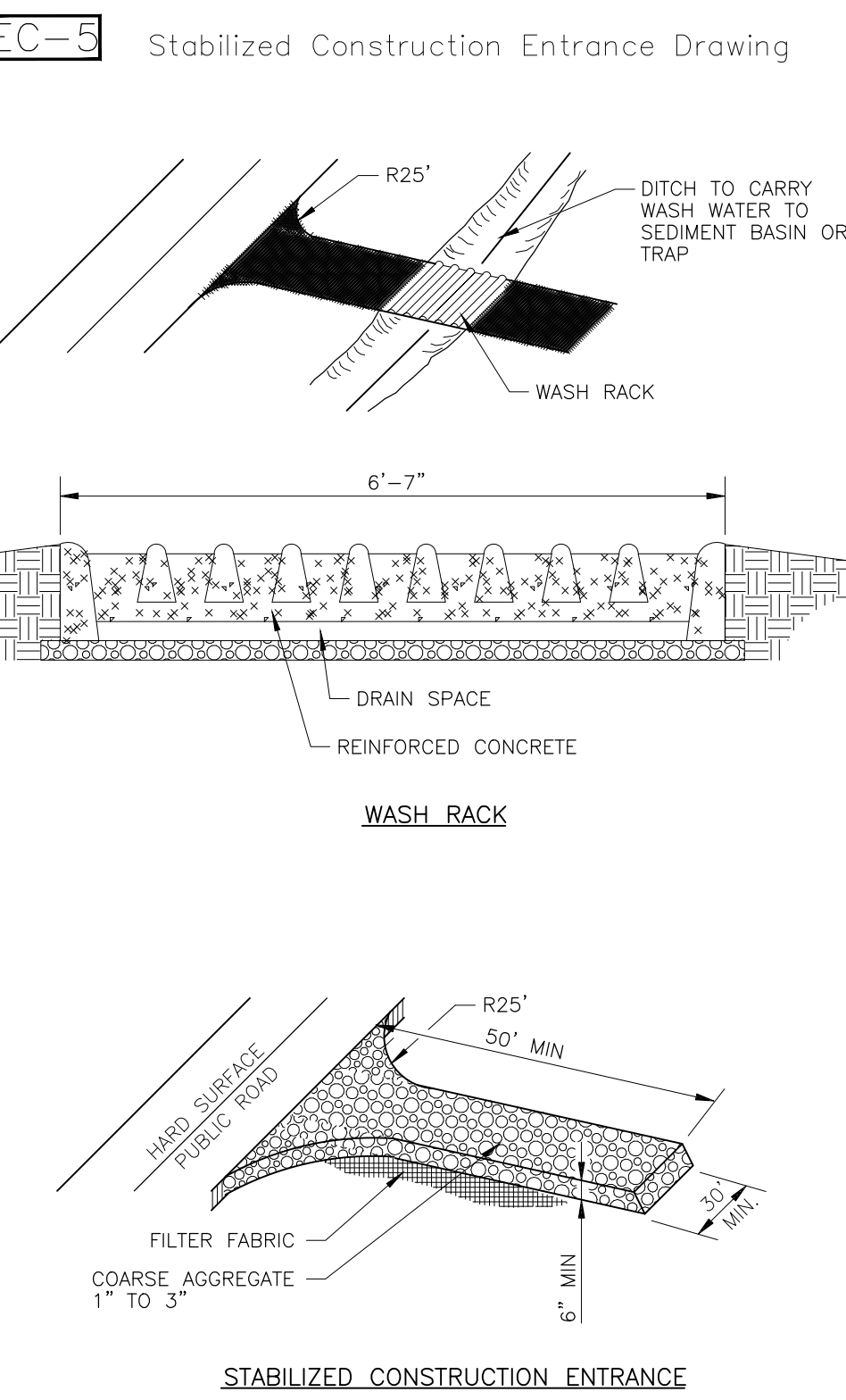
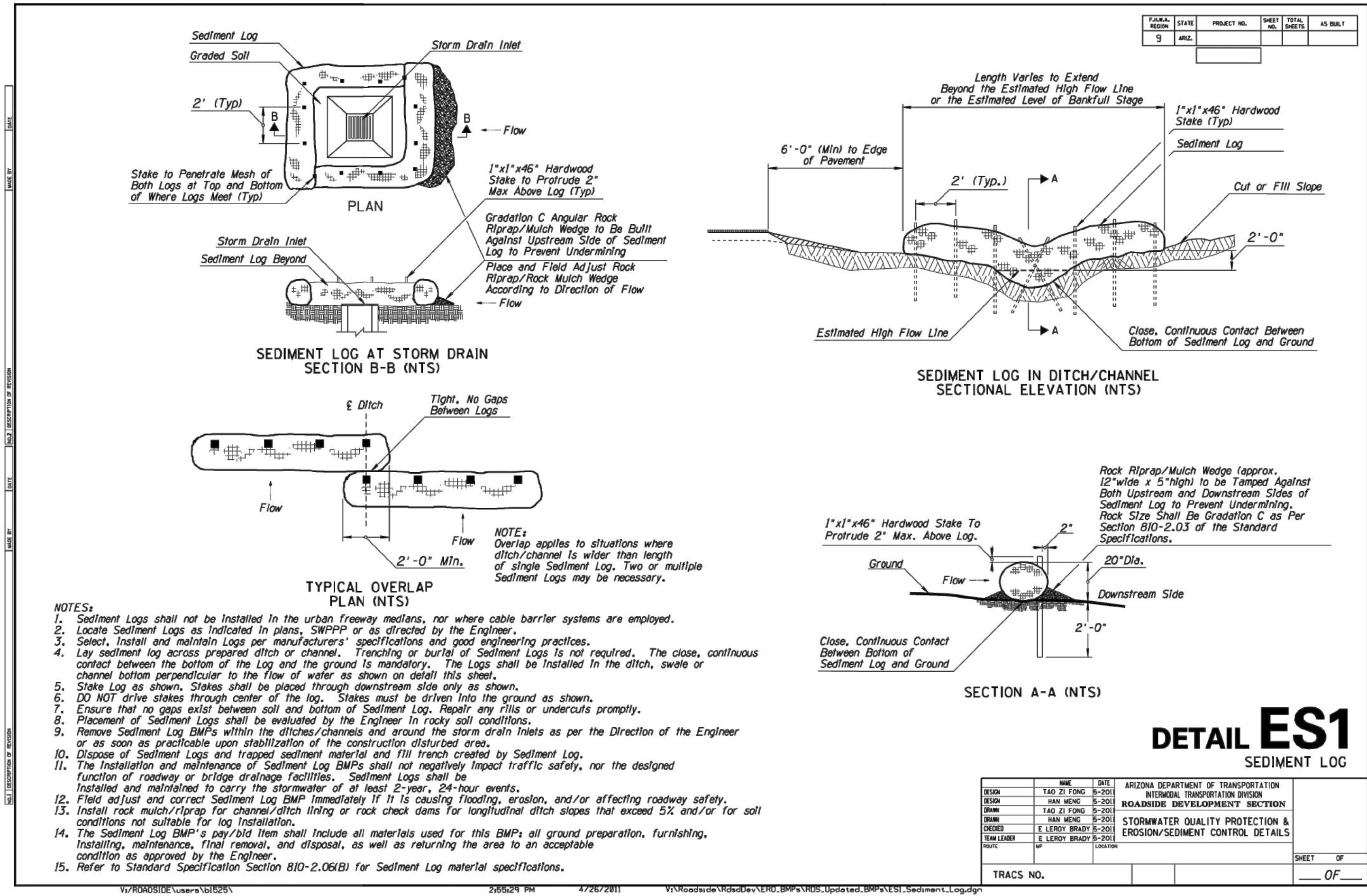
OUTLET CONTROL STRUCTURE

- STR#1**
CATCH BASIN ADS INLET
SEE DETAIL SHEET 11
GRATE ELEV.=4428.40
INVERT ELEV.=4423.50
PROVIDE 12" SUMP
- STR#2**
CATCH BASIN ADS INLET
SEE DETAIL SHEET 11
GRATE ELEV.=4428.00
INVERT ELEV.=4423.50
PROVIDE 12" SUMP
- STR#3**
CATCH BASIN TYPE-E
MAG DETAIL 534
GRATE ELEV.=4428.20
INVERT ELEV.=4424.10
- STR#4**
CATCH BASIN TYPE-F
MAG DETAIL 535
GRATE ELEV.=4428.60
INVERT ELEV.=4424.60



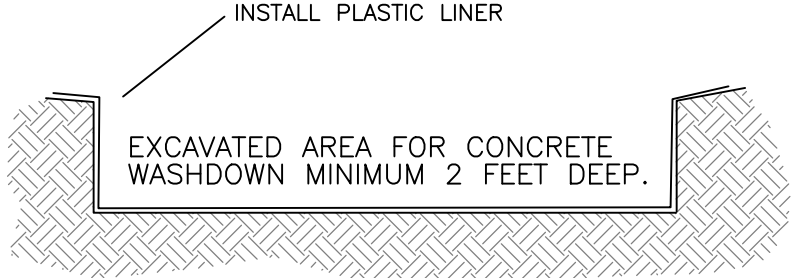
Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com

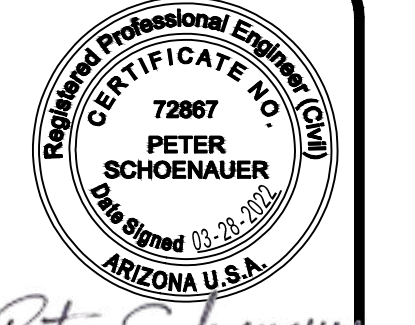
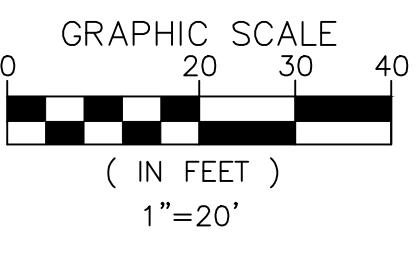


EROSION CONTROL NOTES:

- INSTALL WADDLES ON WEST AND SOUTH SIDE OF SITE DURING BUILDING CONSTRUCTION.
- PROVIDE INLET PROTECTION FOR ON-SITE AND OFF-SITE INLET STRUCTURES DURING CONSTRUCTION.
- APPLY WATER AS NECESSARY FOR DUST CONTROL.
- INSTALL SILT FENCE ALONG SOUTH PROPERTY LINE.



- SEE PLAN FOR SIZE AND LOCATION
- FOR WASHDOWN OF TOOLS, CHUTE AND BACK OF TRUCK ONLY.
- NO WASHOUT OF DRUM ON SITE PERMITTED.
- CONCRETE WASHOUT DIMENSIONS: 10' X 10'



**TIDEWATER
ENGINEERING, INC.**
200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 EMAIL: pete@tidewatereng.com

BY:	PSS
DESCRIPTION	revised per city of Sedona comments
REV:	DATE:
1	3-28-22

**TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336**

EROSION CONTROL PLAN & DETAILS

DRAWN:	pss
APPROVED:	pss
DATE:	
PROJ#:	21-041
SCALE:	AS SHOWN
SHEET	6 OF 11





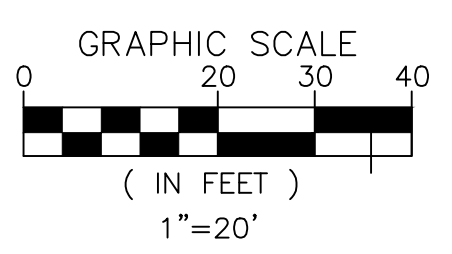
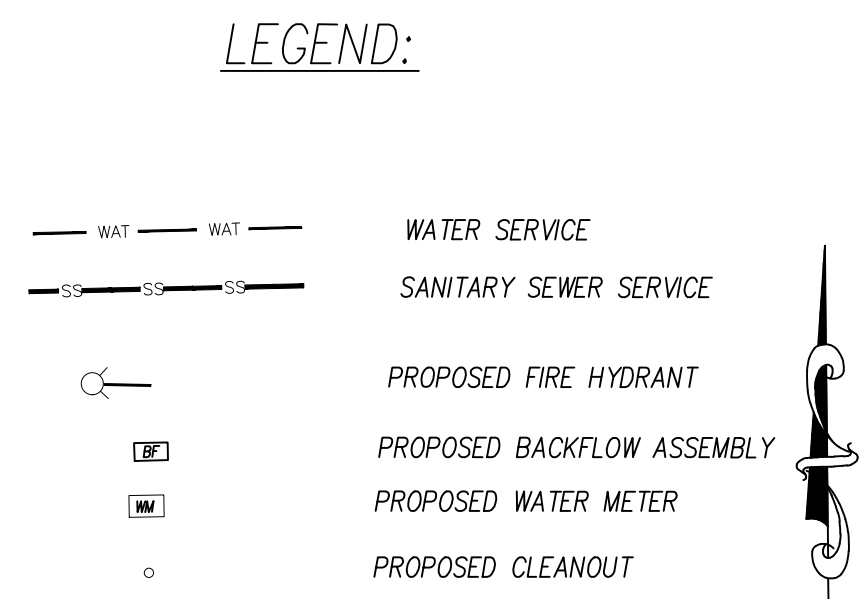
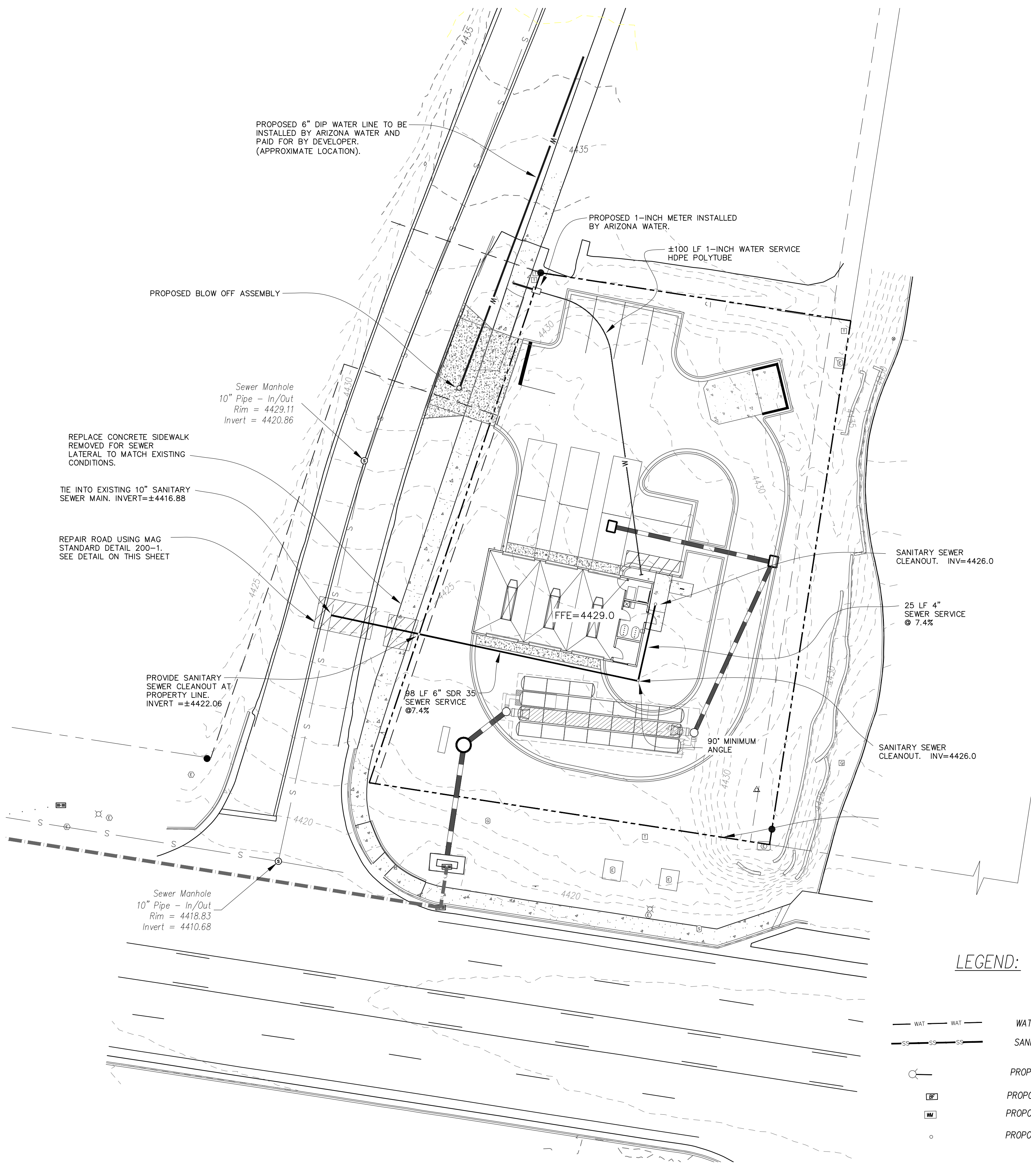
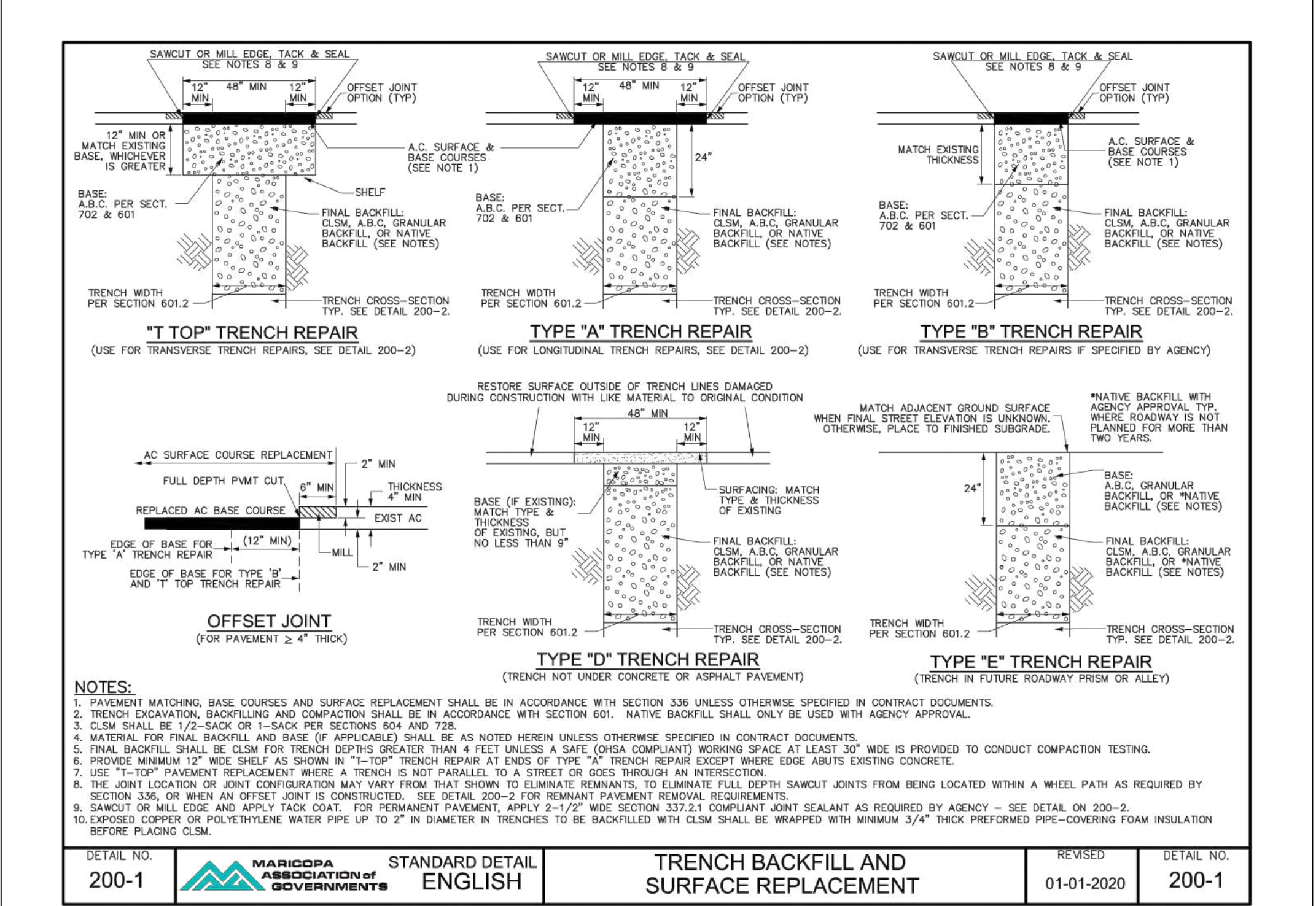
Peter Schoenauer

TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE: (912) 268-2164 EMAIL: pets@tidewatereng.com

REV.	DATE	DESCRIPTION	BY
1	3-28-22	revised per city of Sedona comments	PSS

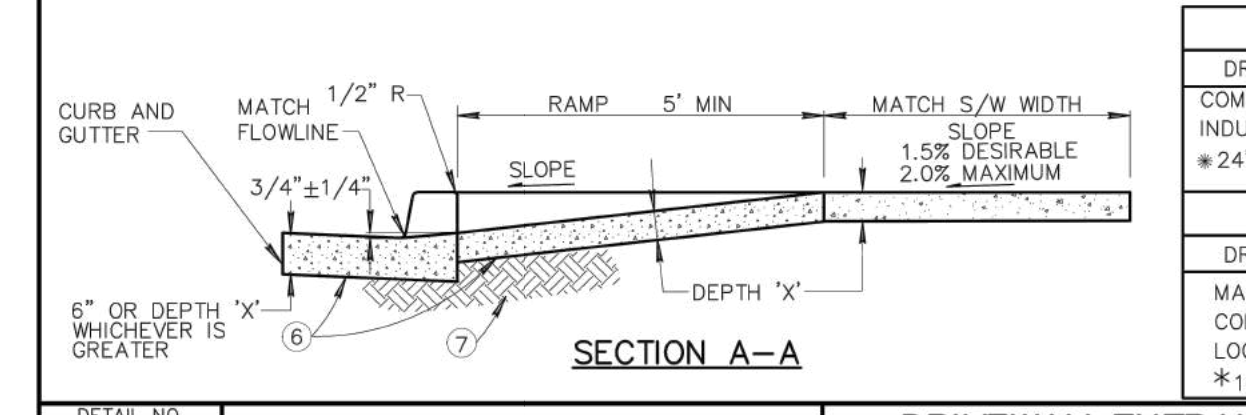
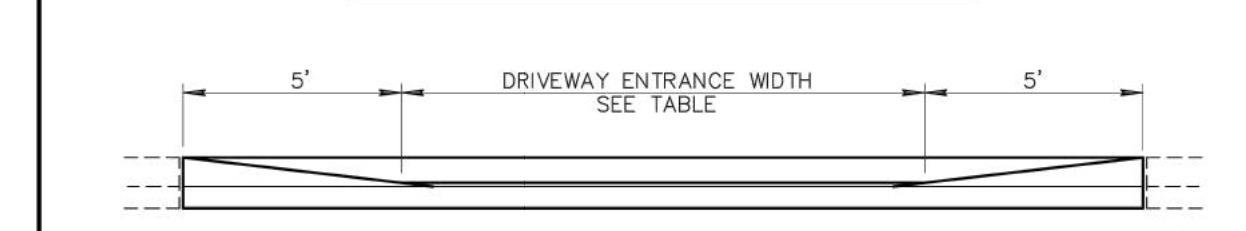
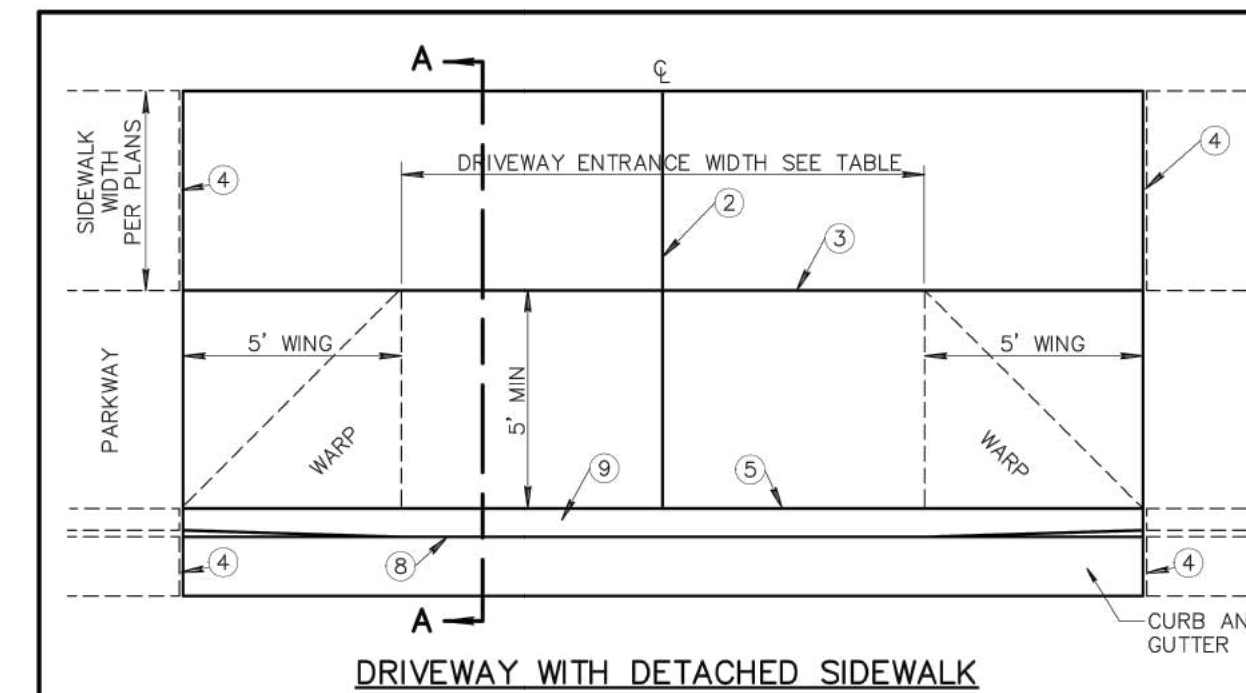
TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
UTILITY PLAN

DRAWN:	pss
APPROVED:	pss
DATE:	
PROJ#:	21-041
SCALE:	AS SHOWN
SHEET	7 OF 11



Contact Arizona 811 at least two full working days before you begin excavation

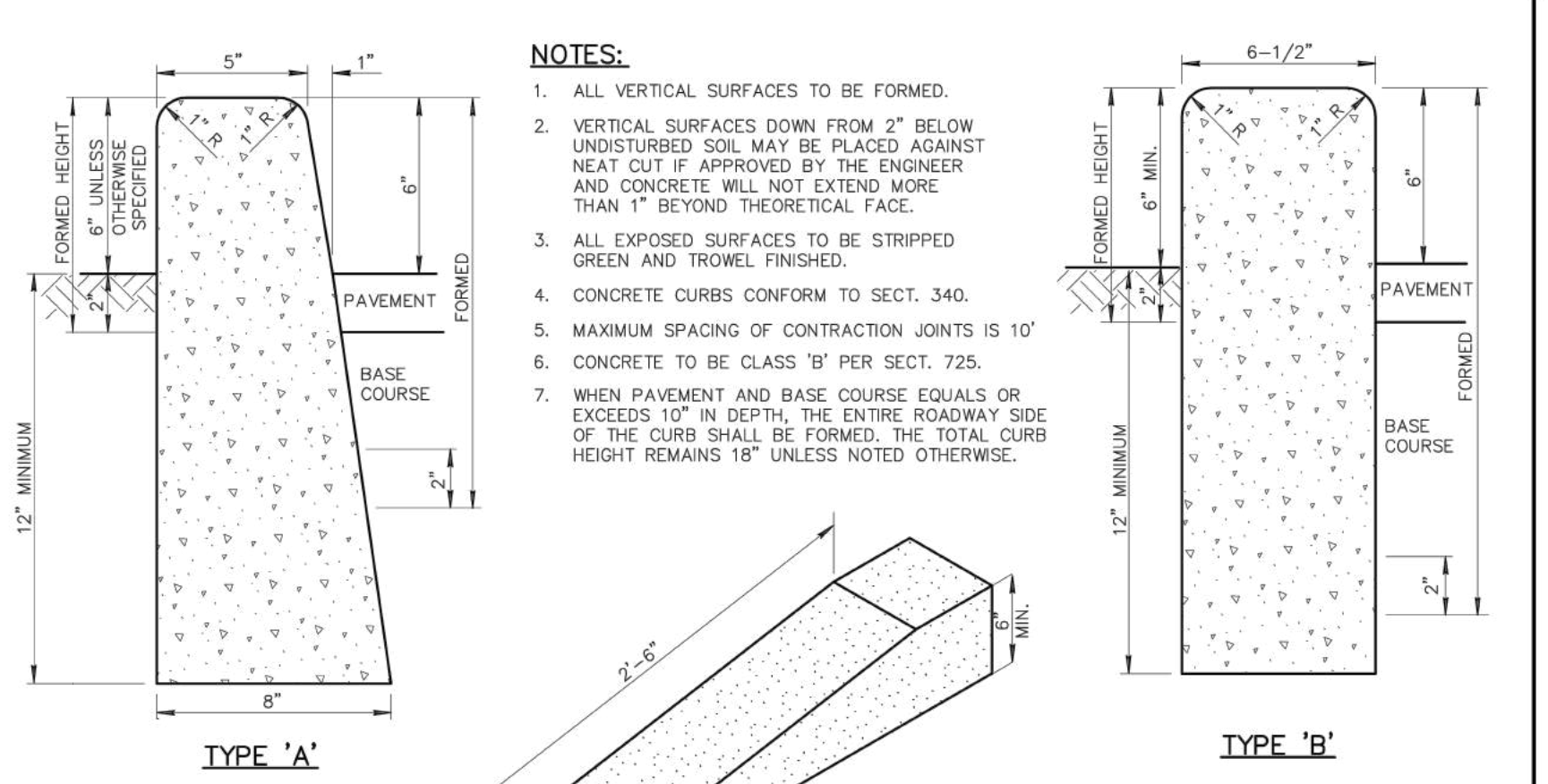
Call 811 or click Arizona811.com



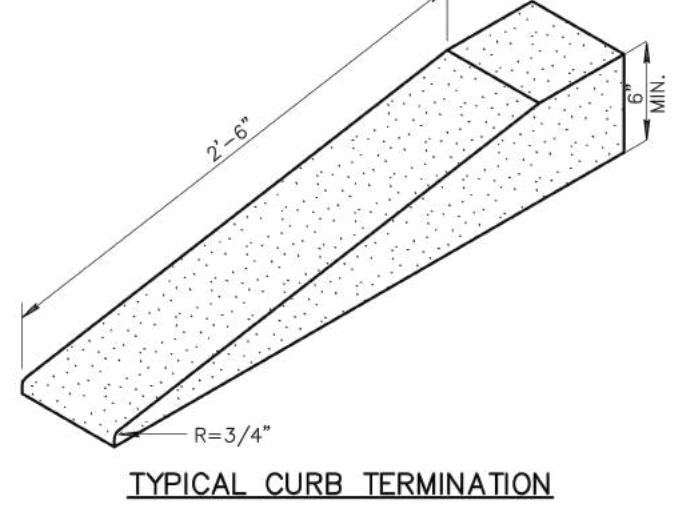
- NOTES:**
- DEPRESSED CURB SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR THE TYPE OF CURB USED AT THAT LOCATION.
 - CONTRACTION JOINT ON D/W CENTERLINE.
 - CONTRACTION JOINT.
 - 1/2-INCH EXPANSION JOINTS SHALL COMPLY WITH SECTION 340.
 - BACK OF CURB - CONSTRUCTION JOINT.
 - CONCRETE CLASS AS NOTED IN TABLE. CONCRETE PER SECTION 725.
 - SUBGRADE PREPARATION, SECT. 301.
 - FLOW LINE OF GUTTER.
 - DEPRESSED CURB.
 - SECT. A-A AND ELEVATION: D/W SHOWN WITH VERTICAL CURB AND GUTTER, ROLL TYPE CURB AND GUTTER TREATED SIMILARLY.
 - ROUGH BROOM FINISH FULL WIDTH OF RAMP AND WINGS.
 - TROWEL AND USE LIGHT HAIR BROOM FINISH FOR WALKWAY AREA.
 - 'DRIVEWAY ENTRANCE WIDTH' IS THE DRIVEWAY WIDTH PLUS ADDITIONAL WIDENING REQUIRED BY THE LOCAL JURISDICTION.
 - ELEVATION AT TOP OF DRIVEWAY RAMP SHALL BE EQUAL TO OR HIGHER THAN NORMAL CURB ELEVATION.

COMMERCIAL AND INDUSTRIAL				
DRIVEWAY ENTRANCE WIDTH	MIN.	MAX.	CLASS	DEPTH "X"
COMMERCIAL	*16'	40'	A	9"
INDUSTRIAL	*16'	40'	A	9"
*24' MIN. FOR TWO WAY TRAFFIC				
RESIDENTIAL				
DRIVEWAY ENTRANCE WIDTH	MIN.	MAX.	CLASS	DEPTH "X"
MAJOR STREET	16'	30'	B	5"
COLLECTOR STREET	*12'	30'	B	5"
LOCAL STREET	12'	30'	B	5"
*16' DESIRABLE				

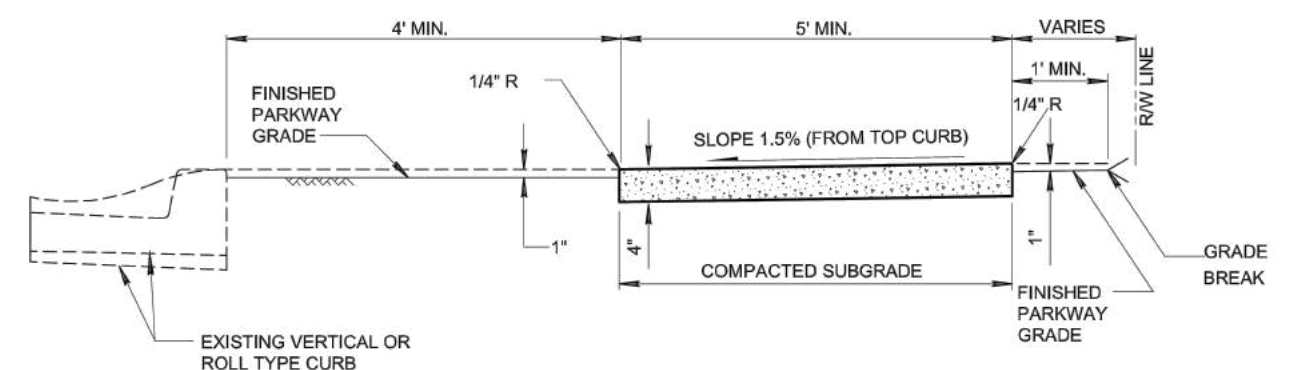
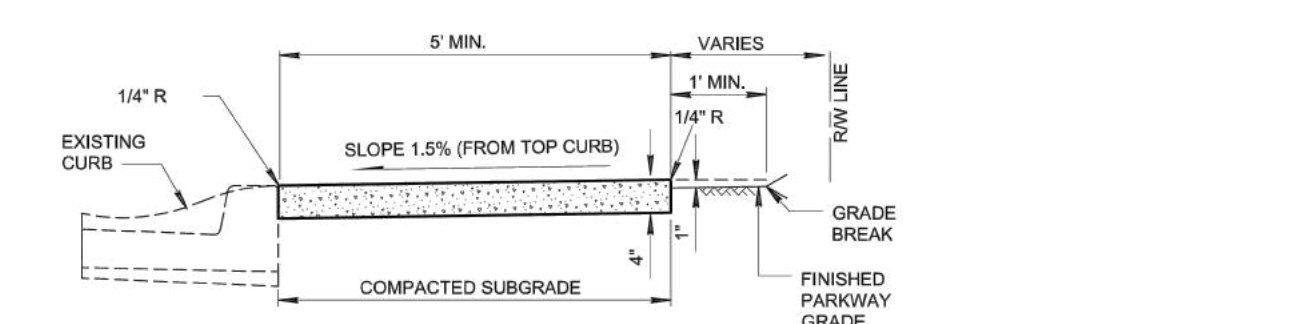
DETAIL NO. 250-1 MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAIL ENGLISH DRIVEWAY ENTRANCES WITH DETACHED SIDEWALK REVISED 01-01-2014 DETAIL NO. 250-1



- NOTES:**
- ALL VERTICAL SURFACES TO BE FORMED.
 - VERTICAL SURFACES DOWN FROM 2" BELOW UNDISTURBED SOIL MAY BE PLACED AGAINST NEAT CUT IF APPROVED BY THE ENGINEER AND CONCRETE WILL NOT EXTEND MORE THAN 1" BEYOND THEORETICAL FACE.
 - ALL EXPOSED SURFACES TO BE STRIPPED GREEN AND TROWEL FINISHED.
 - CONCRETE CURBS CONFORM TO SECT. 340.
 - MAXIMUM SPACING OF CONTRACTION JOINTS IS 10'.
 - CONCRETE TO BE CLASS 'B' PER SECT. 725.
 - WHEN PAVEMENT AND BASE COURSE EQUALS OR EXCEEDS 10" IN DEPTH, THE ENTIRE ROADWAY SIDE OF THE CURB SHALL BE FORMED. THE TOTAL CURB HEIGHT REMAINS 18" UNLESS NOTED OTHERWISE.

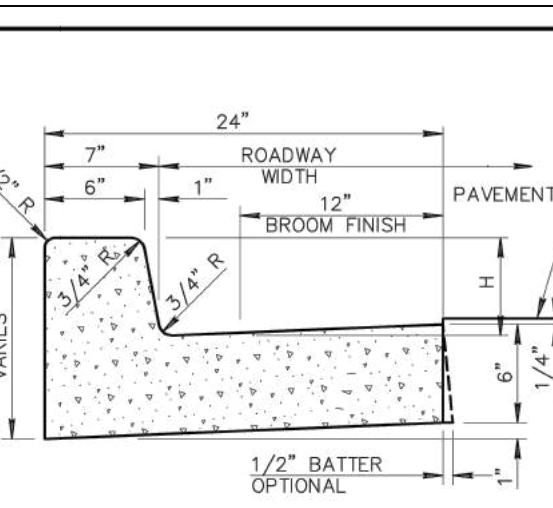


DETAIL NO. 222 MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAIL ENGLISH SINGLE CURB - TYPES A, B AND TERMINATION REVISED 01-01-2008 DETAIL NO. 222

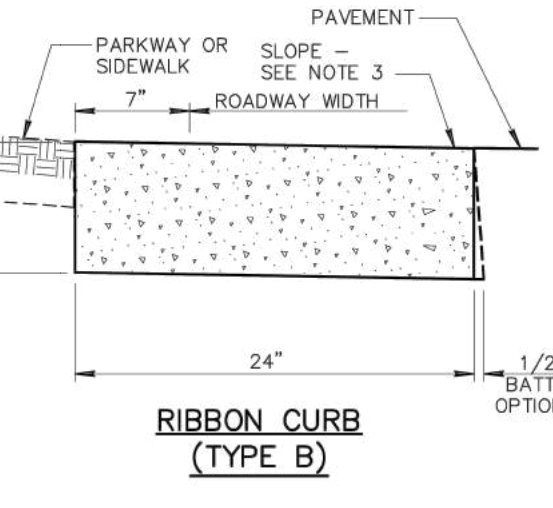


- NOTES:**
- SIDEWALK CONSTRUCTION SHALL CONFORM TO SECTION 340.
 - EXPANSION JOINTS SHALL BE 1/2" BITUMINOUS TYPE PREFORMED EXPANSION JOINT FILLER, PER SECTION 729.
 - LARGE AGGREGATE, IN CONTRACTION JOINT SHALL BE SEPARATED TO A DEPTH OF 1". FINISH DEPTH SHALL BE A MINIMUM OF 3/4".
 - EXPANSION JOINTS SHALL CONFORM TO SECTION 340, BE INSTALLED PRIOR TO CONCRETE PLACEMENT, AND AT A MAXIMUM SPACING OF 50'.
 - CONCRETE SHALL BE CLASS 'B' PER SECTION 725.
 - WHEN SIDEWALK AND ADJACENT CURB ARE CONSTRUCTED MONOLITHICALLY, ALL EXPANSION AND CONTRACTION JOINTS SHALL EXTEND ACROSS THE CURB.

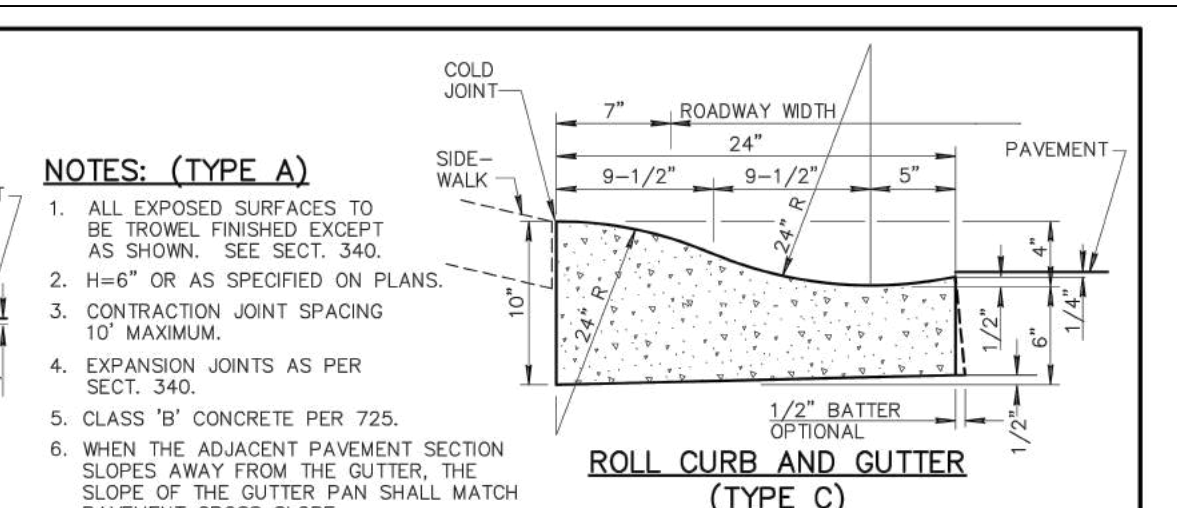
DETAIL NO. 230 MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAIL ENGLISH SIDEWALKS REVISED 01-01-2014 DETAIL NO. 230



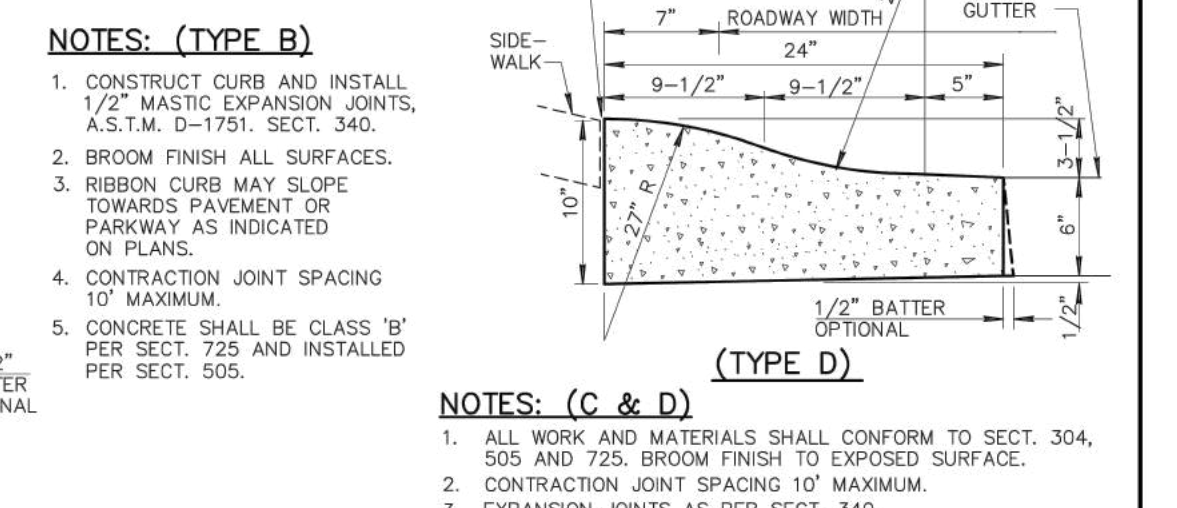
VERTICAL CURB AND GUTTER (TYPE A)



RIBBON CURB (TYPE B)



ROLL CURB AND GUTTER (TYPE C)



CURB AND GUTTER TYPES A, B, C AND D

- NOTES: (TYPE A)**
- ALL EXPOSED SURFACES TO BE TROWEL FINISHED EXCEPT AS SHOWN. SEE SECT. 340.
 - H=6" OR AS SPECIFIED ON PLANS.
 - CONTRACTION JOINT SPACING 10' MAXIMUM.
 - EXPANSION JOINTS AS PER SECT. 340.
 - CLASS 'B' CONCRETE PER SECT. 725.
 - WHEN THE ADJACENT PAVEMENT SECTION SLOPES AWAY FROM THE GUTTER, THE SLOPE OF THE GUTTER PAN SHALL MATCH PAVEMENT CROSS SLOPE.

- NOTES: (TYPE B)**
- CONSTRUCT CURB AND INSTALL 1/2" MASTIC EXPANSION JOINTS, A.S.T.M. D-1751, SECT. 340.
 - BROOM FINISH ALL SURFACES.
 - RIBBON CURB MAY SLOPE TOWARDS PAVEMENT OR PARKWAY AS INDICATED ON PLANS.
 - CONTRACTION JOINT SPACING 10' MAXIMUM.
 - CONCRETE SHALL BE CLASS 'B' PER SECT. 725 AND INSTALLED PER SECT. 505.

- NOTES: (C & D)**
- ALL WORK AND MATERIALS SHALL CONFORM TO SECT. 304, 505 AND 725. BROOM FINISH TO EXPOSED SURFACE.
 - CONTRACTION JOINT SPACING 10' MAXIMUM.
 - EXPANSION JOINTS AS PER SECT. 340.
 - CLASS 'B' CONCRETE PER SECT. 725.

DETAIL NO. 220-1 MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAIL ENGLISH CURB AND GUTTER TYPES A, B, C AND D REVISED 01-01-2007 DETAIL NO. 220-1



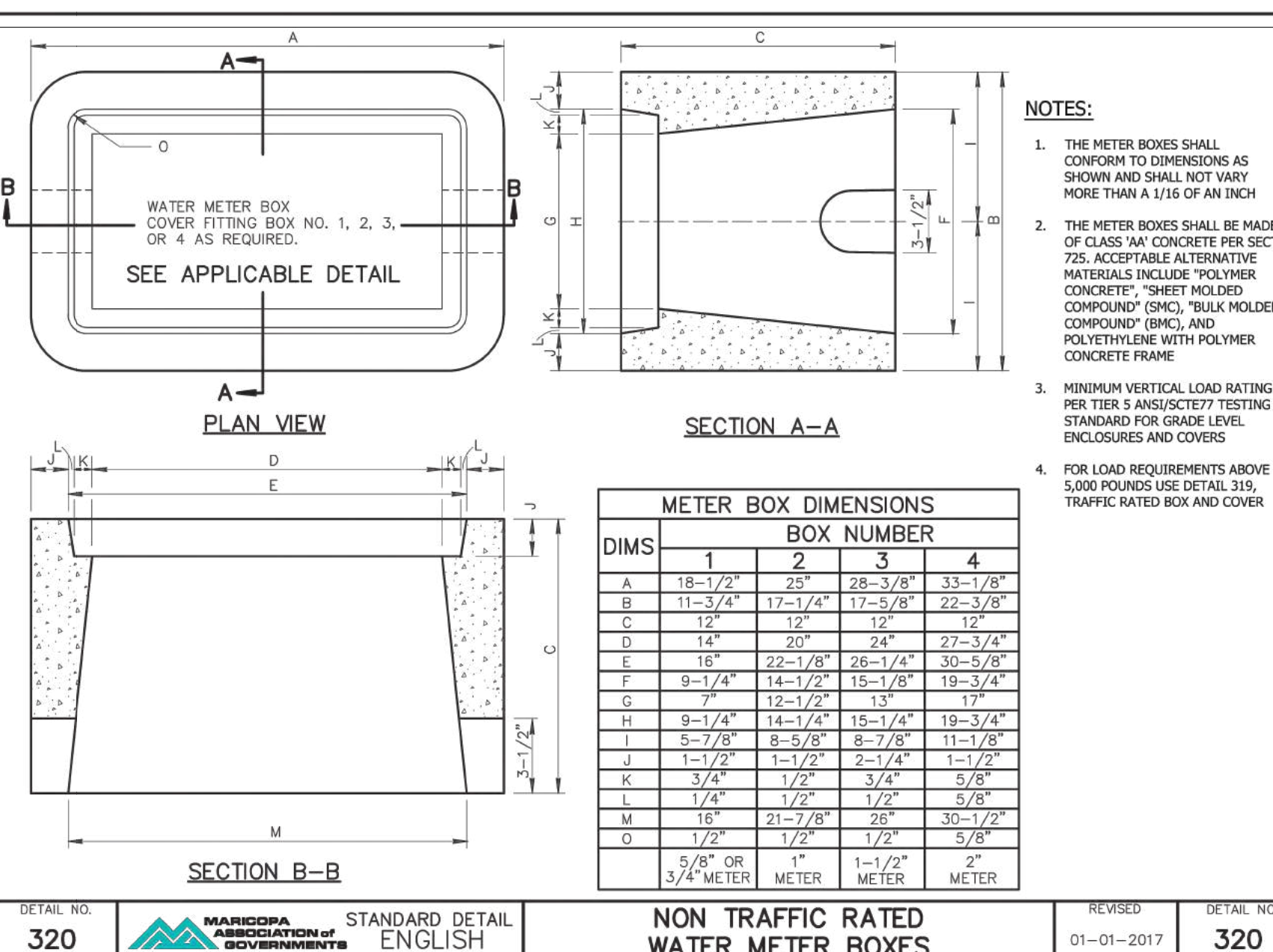
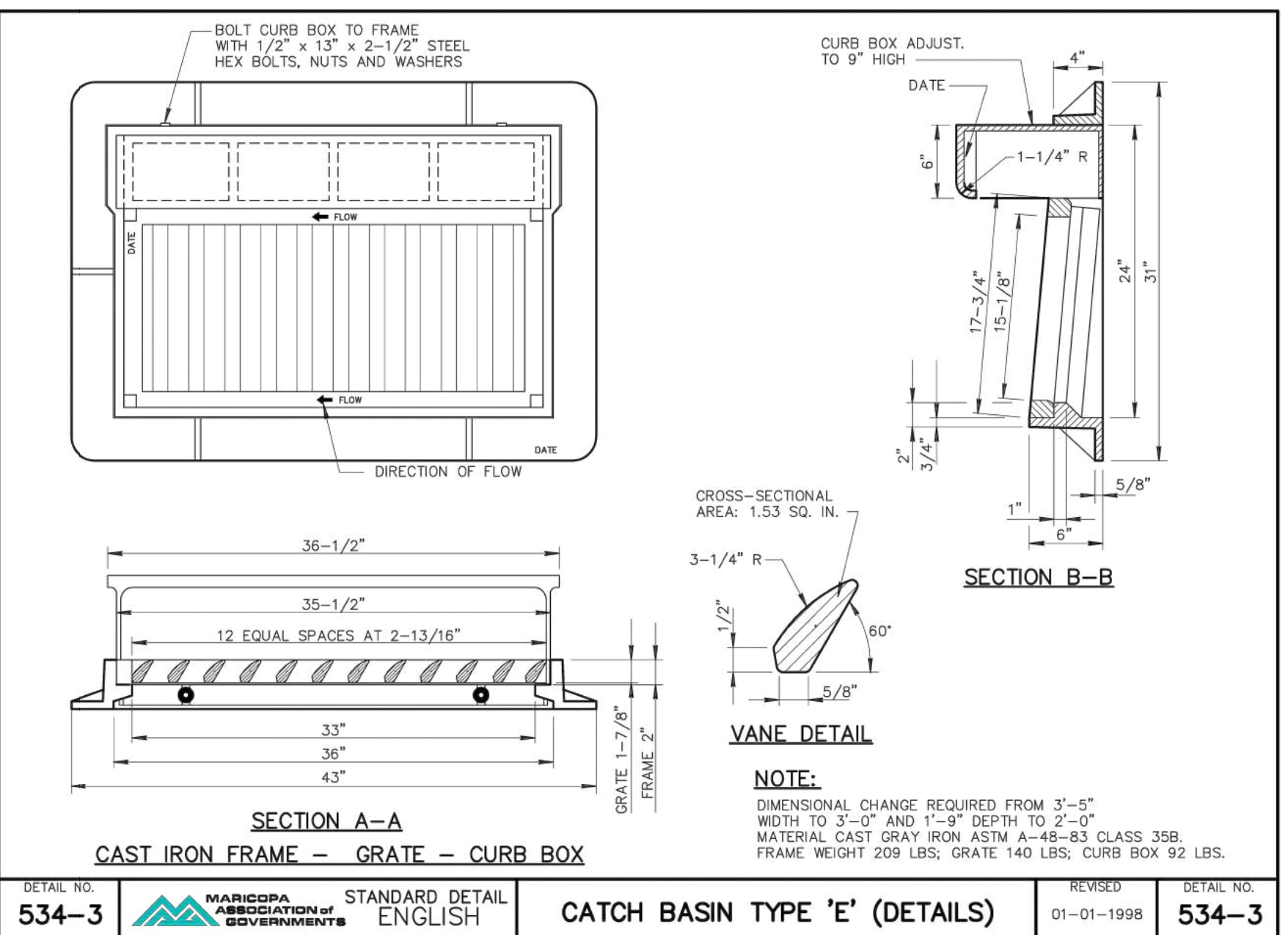
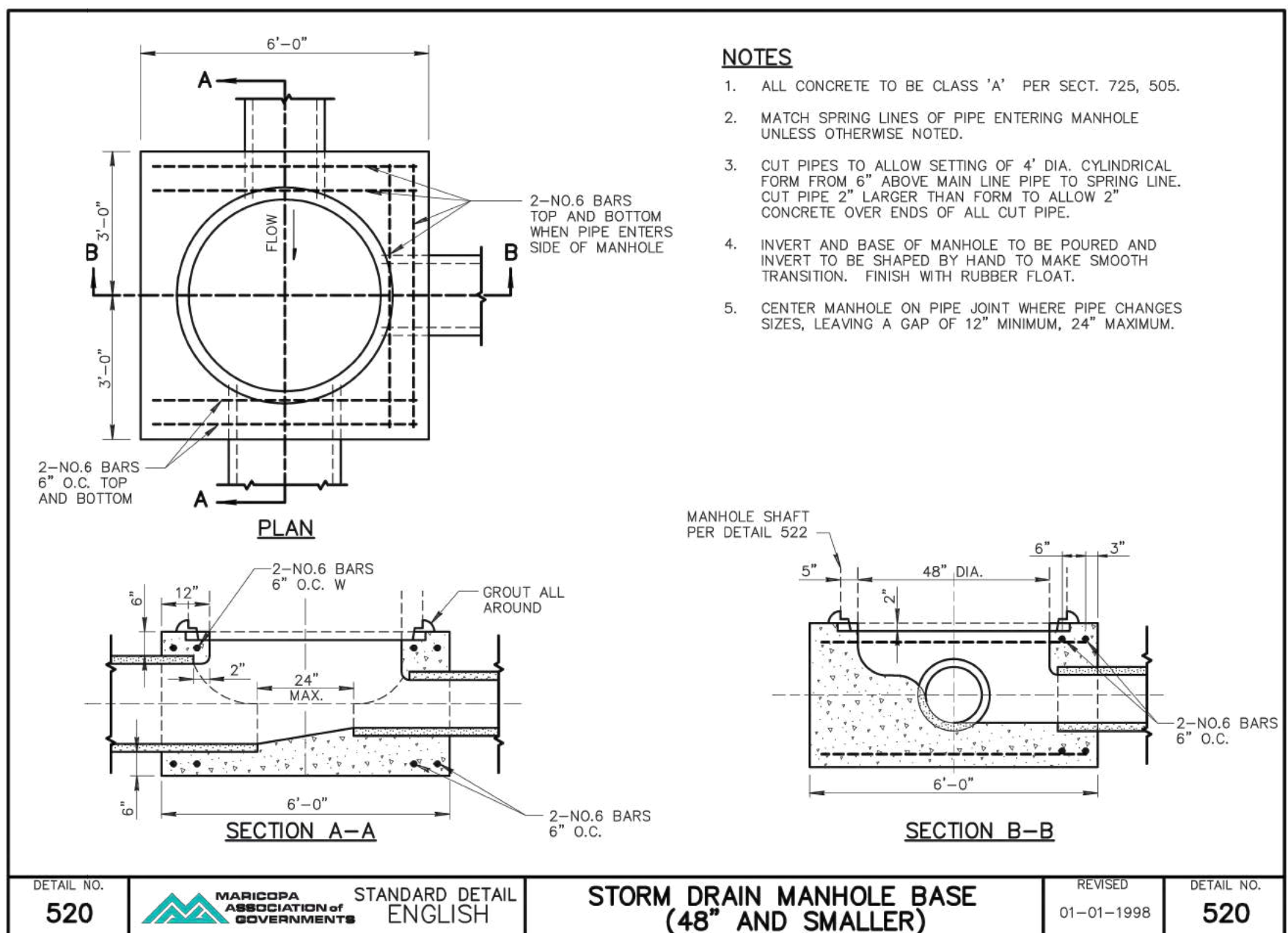
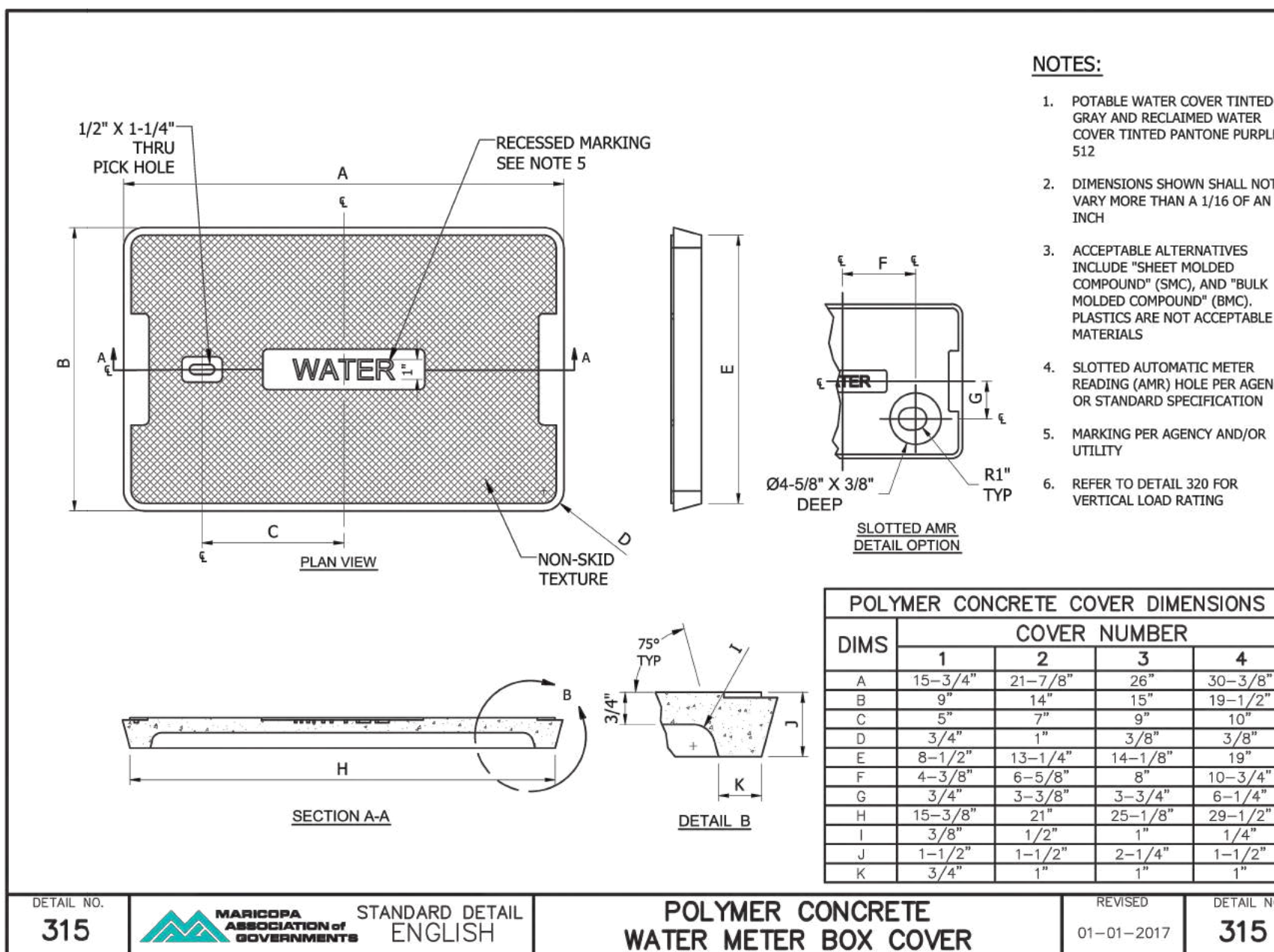
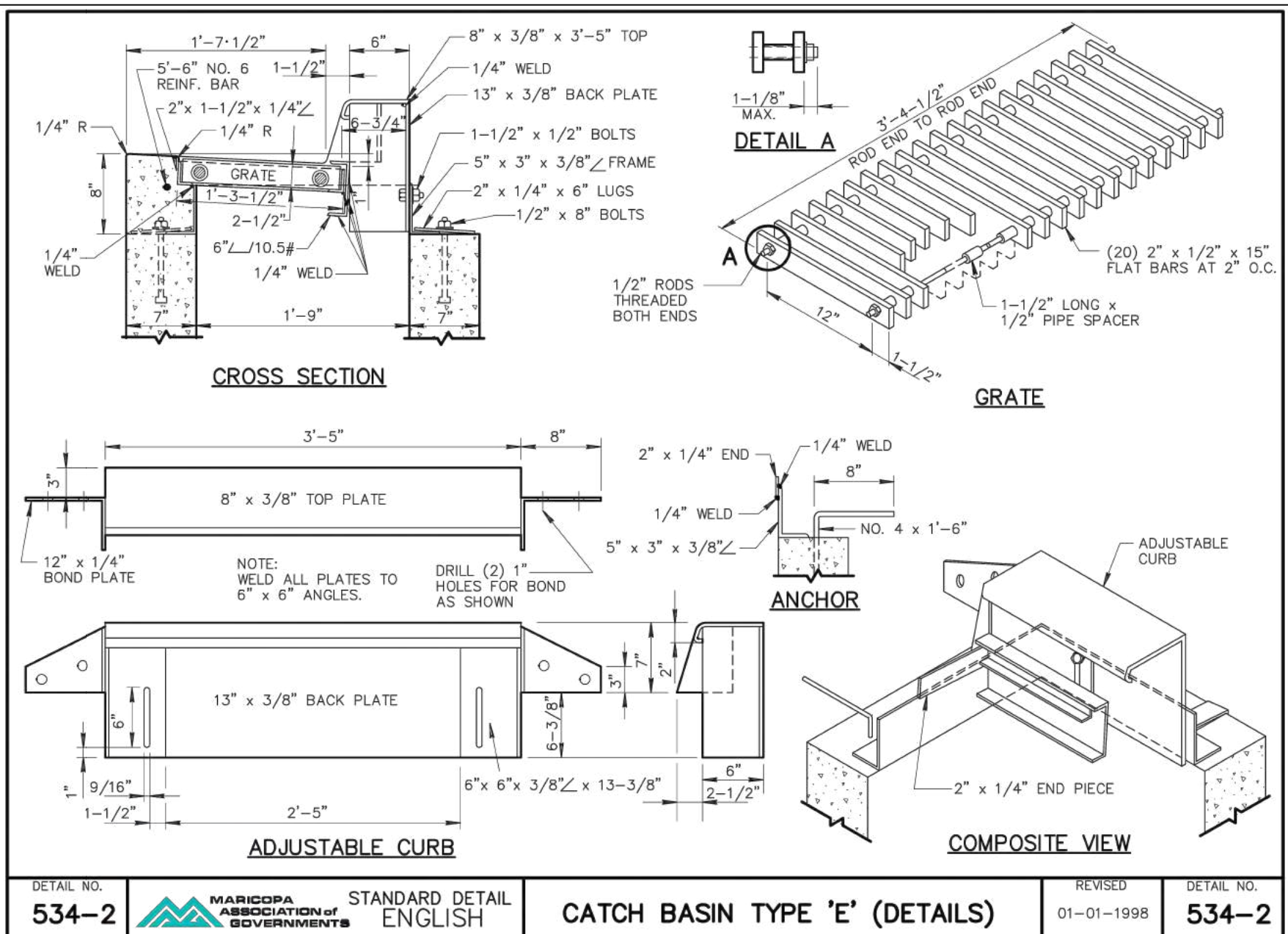
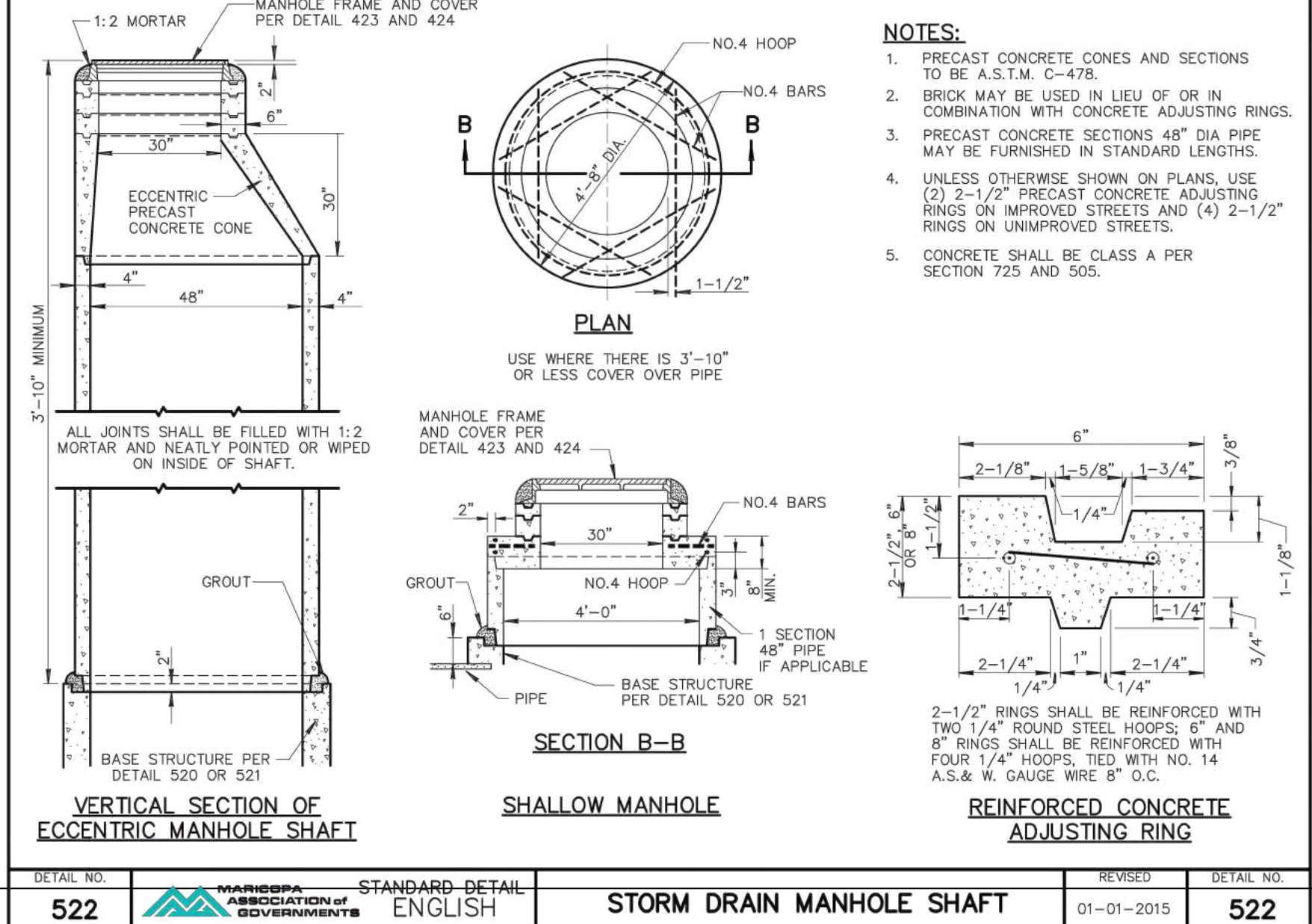
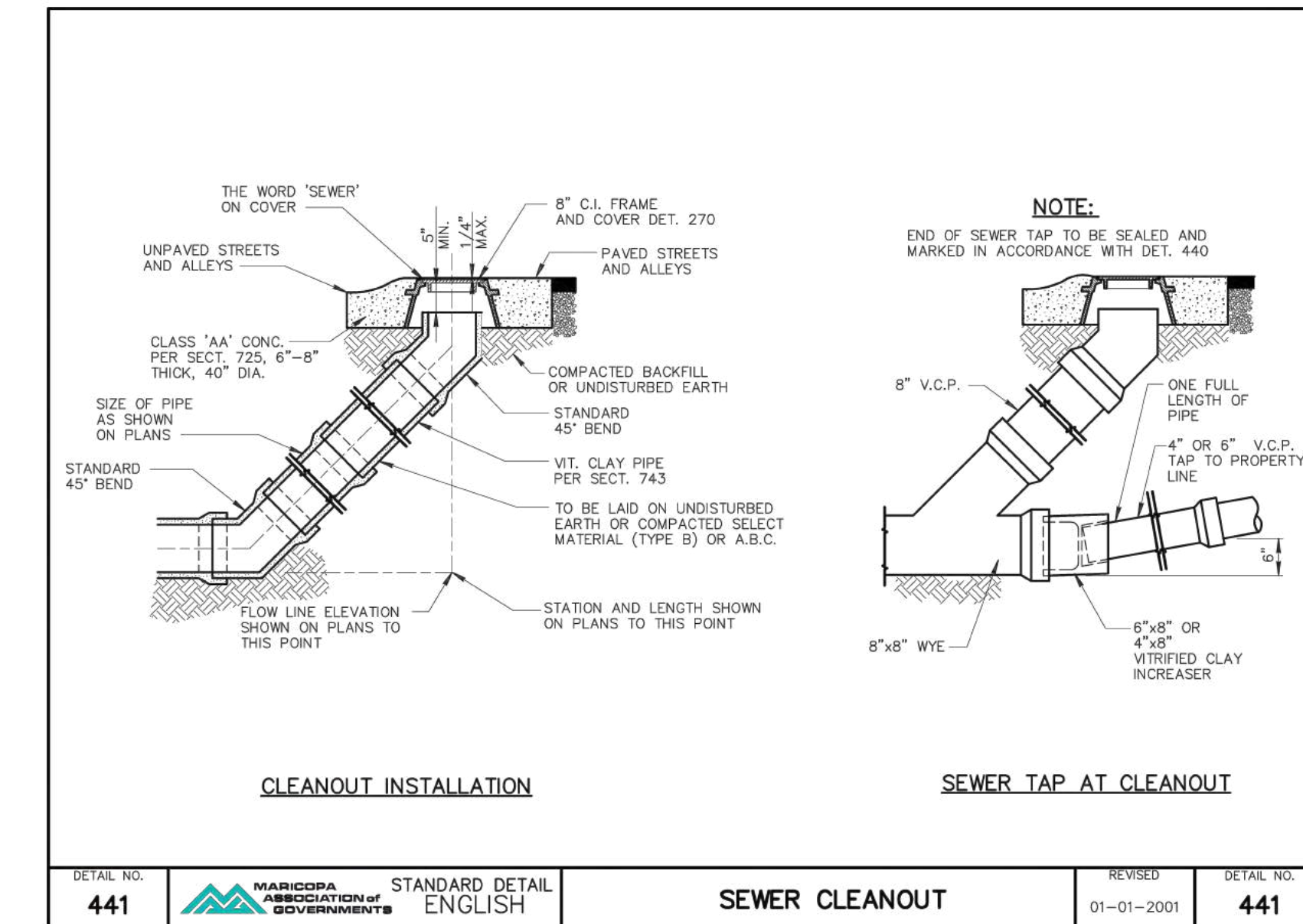
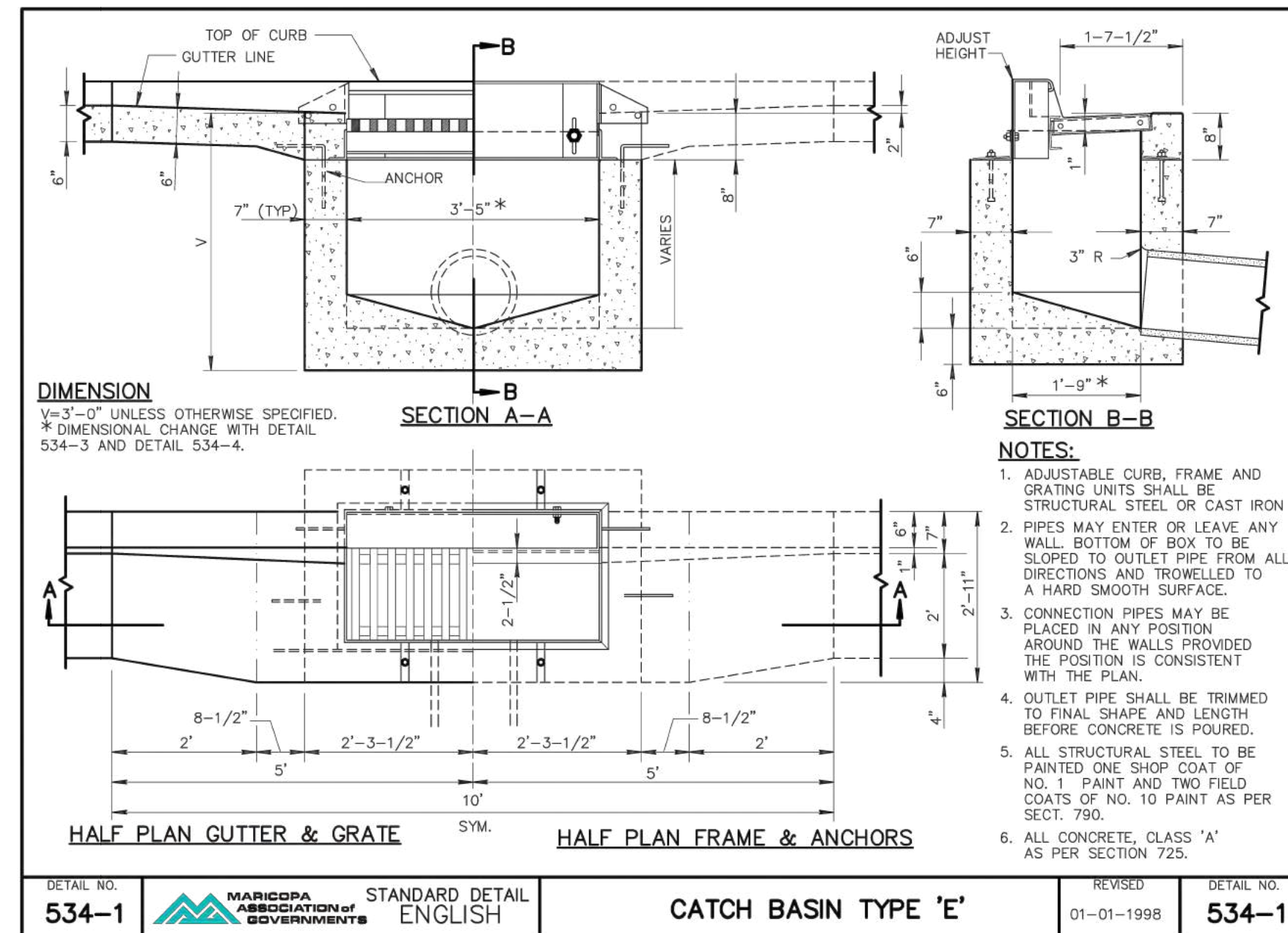
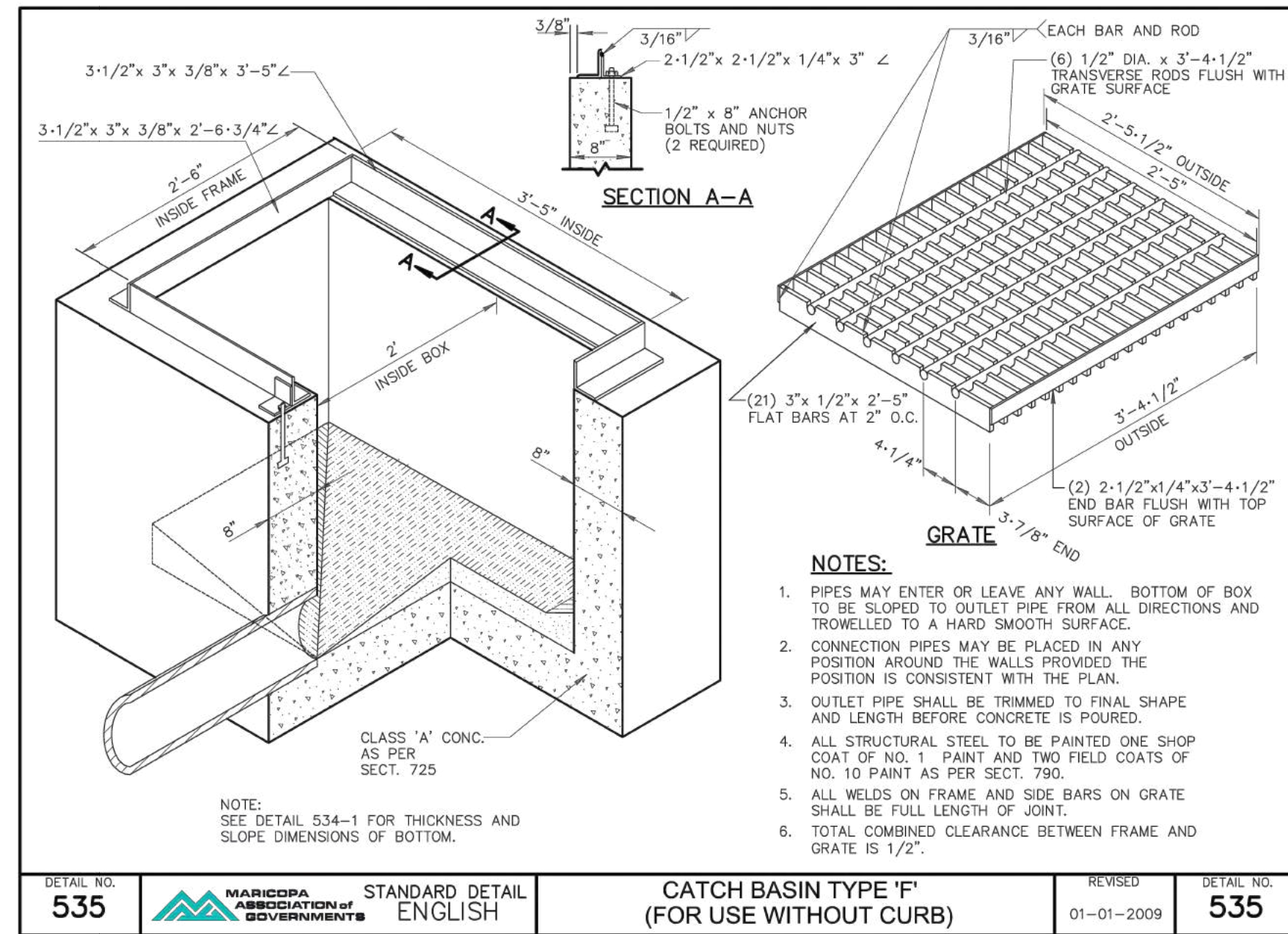
Peter Schoenauer

TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 EMAIL: pete@tidewatereng.com

REV.	DATE	DESCRIPTION
1	3-28-22	revised per city of Sedona comments

TAKE-5 OIL CHANGE
 80 POSSE HILL ROAD
 SEDONA, AZ 86336

DRAWN: pss
 APPROVED: pss
 DATE:
 PROJ#: 21-041
 SCALE: AS SHOWN



TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 266-2164 EMAIL: pete@tidewatereng.com

Pete Schoenauer

REV. DATE: 3-28-22

REV.	DATE	DESCRIPTION
1	3-28-22	revised per city of Sedona comments

TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336

DRAINAGE AND UTILITY DETAILS

DRAWN: pss
 APPROVED: pss
 DATE:
 PROJ#: 21-041
 SCALE: AS SHOWN

SHEET **9** OF **11**

PROJECT INFORMATION	
ENGINEERED PRODUCT MANAGER	
ADS SALES REP	
PROJECT NO.	



TAKE 5 OIL CHANGE SEDONA SEDONA, AZ

SC-740 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH SC-740.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPED FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.9 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN² AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.85 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

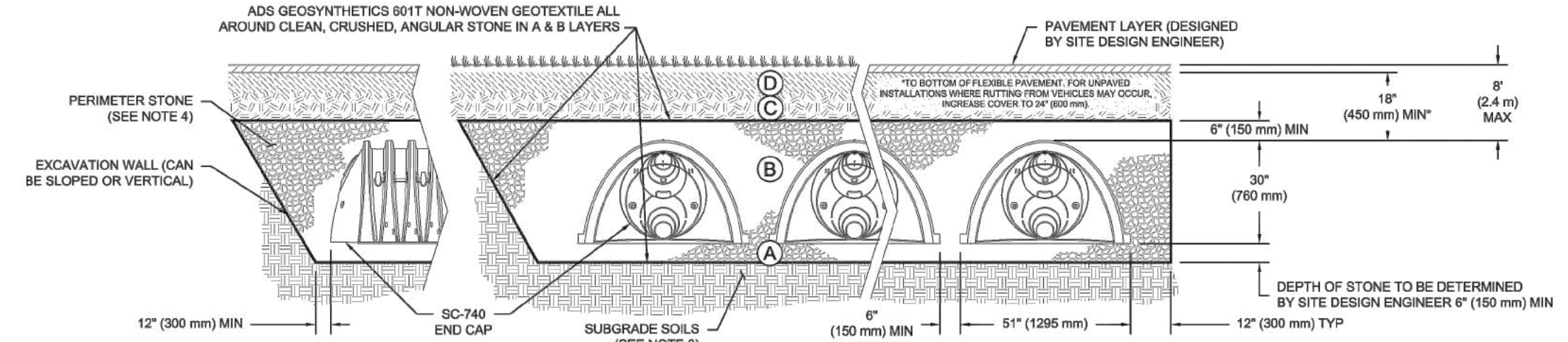
IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF THE SC-740 SYSTEM

- STORMTECH SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
 - STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
 - THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
 - JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
 - MAINTAIN MINIMUM - 6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
 - EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE 3/4"-2" (20-50 mm).
 - THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
 - ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.
- ### NOTES FOR CONSTRUCTION EQUIPMENT
- STORMTECH SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-740 CHAMBERS IS LIMITED:
 - NO RUBBER TIED LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- ### USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2894 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	NA	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE 'C' LAYER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M1451 A-1, A-2.4, A-3 OR AASHTO M31 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 88, 9, 10	BEFORE COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED, COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN).
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M31 3, 357, 4, 467, 5, 56, 57	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M31 3, 357, 4, 467, 5, 56, 57	PLATE COMPACTION OR ROLL TO ACHIEVE A FLAT SURFACE. ^{2,3}

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M3) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 - WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-16a, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 2".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 6.2.9 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 550 LBS/IN² AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

TAKE 5 OIL CHANGE SEDONA
SEDONA, AZ

DESCRIPTION: TAKE 5 OIL CHANGE SEDONA
DRAWN BY: [blank]
DATE: [blank]
PROJECT # [blank]
CHECKED BY: [blank]

StormTech Chamber System
4640 TRUBMAN BLVD
HILLIARD, OH 43026
614-235-7474

ADS
4640 TRUBMAN BLVD
HILLIARD, OH 43026
614-235-7474

SHEET 3 OF 6

Professional Engineer
CERTIFICATE NO. 72867
PETER SCHOENAUER
Arizona State Seal
Petri Schoenauer
TIDEWATER ENGINEERING, INC.
200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 EMAIL: pete@tidewatereng.com

PROPOSED LAYOUT	CONCEPTUAL ELEVATIONS	PART TYPE	ITEM ON LAYOUT	DESCRIPTION	*INVERT ABOVE BASE OF CHAMBER	INVERT	MAX FLOW
24 STORMTECH SC-740 CHAMBERS	MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):				11.00		
9 STORMTECH SC-740 END CAPS	MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):				5.00		
6 STONE ABOVE (in)	MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):		A	24" PREFABRICATED END CAP, PART#: SC740EP248R / TYP OF ALL 24" ISOLATOR ROW PLUS CONNECTIONS	4.50	0.10'	
6 STONE BELOW (in)	MINIMUM ALLOWABLE GRADE (TOP OF RIGID CONCRETE PAVEMENT):		B	12" x 12" TOP MANIFOLD, ADS N-12	4.50	12.50'	
40 STONE VOID	MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):		C	12" x 12" TOP MANIFOLD, ADS N-12	4.50	12.50'	
INSTALLED SYSTEM VOLUME (CF)					3.00		
2108 (PERIMETER STONE INCLUDED)	TOP OF SC-740 CHAMBER		D	30" DIAMETER (24.00" SLUMP MIN)	3.00		2.3 CFS IN
(COVER STONE INCLUDED)	TOP OF 12" TOP MANIFOLD INVERT:				1.50		
(BASE STONE INCLUDED)	TOP OF 12" TOP MANIFOLD INVERT:				1.50		
1033 SYSTEM AREA (SF)	24" ISOLATOR ROW PLUS INVERT:		E	30" DIAMETER (24.00" SLUMP MIN)	0.51		2.3 CFS IN
163.6 SYSTEM PERIMETER (ft)	24" ISOLATOR ROW PLUS INVERT:				0.51		
	BOTTOM OF SC-740 CHAMBER:				0.50		
	BOTTOM OF STONE:				0.50		

ISOLATOR ROW PLUS (SEE DETAIL)

PLACE MINIMUM 12.50' OF ADS PLUS 125 WOVEN GEOTEXTILE OVER BEDDING STONE AND UNDERNEATH CHAMBER FEET FOR SCOUR PROTECTION AT ALL CHAMBER INLET ROWS

— BED LIMITS

NOTES:
 1. MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH NOTE #8-32 FOR MANIFOLD SIZING GUIDANCE.
 2. DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE SYSTEM.
 3. THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.
 4. THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE IN-SITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
 5. **NOT FOR CONSTRUCTION:** THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.

StormTech Chamber System
4640 TRUBMAN BLVD
HILLIARD, OH 43026
614-235-7474
WWW.STORMTECH.COM
888-892-2894

TAKE 5 OIL CHANGE SEDONA
SEDONA, AZ

DESCRIPTION: TAKE 5 OIL CHANGE SEDONA
DRAWN BY: [blank]
DATE: [blank]
PROJECT # [blank]
CHECKED BY: [blank]

ADS
4640 TRUBMAN BLVD
HILLIARD, OH 43026
614-235-7474

SHEET 2 OF 6

SC-740 ISOLATOR ROW PLUS DETAIL

COVER ENTIRE ISOLATOR ROW PLUS WITH ADS GEOSYNTHETICS 801T NON-WOVEN GEOTEXTILE 6\" (2.4 m) MIN WIDE

STORMTECH HIGHLY RECOMMENDS FLEXSTORM INSERTS IN ANY UPSTREAM STRUCTURES WITH OPEN GRATES

24\" (600 mm) HDPE ACCESS PIPE REQUIRED USE FACTORY PREFABRICATED END CAP WITH FLAMP PART # SC740EP248R

ONE LAYER OF ADS PLUS 125 WOVEN GEOTEXTILE BETWEEN FOUNDATION STONE AND CHAMBERS 5\" (1.5 m) MIN WIDE CONTINUOUS FABRIC WITHOUT SEAMS

CATCH BASIN OR MANHOLE

OPTIONAL INSPECTION PORT

SC-740 CHAMBER

SC-740 END CAP

SLUMP DEPTH TIED BY SITE DESIGN ENGINEER (24\" (600 mm) MIN RECOMMENDED)

INSPECTION & MAINTENANCE

STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

A.1. REMOVE COVERS LID ON NYLON/PLAST INLINE DRAIN

A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED

A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG

A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)

A.5. IF SEDIMENT IS AT, OR ABOVE, 3\" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROW PLUS ROWS

B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS

B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE

i. MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY

ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE

B.3. IF SEDIMENT IS AT, OR ABOVE, 3\" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS

A. FIVE (5) CLEANING NOZZLES WITH REAR FACING SPREAD OF 45\" (1.1 m) OR MORE IS PREFERRED

B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKWASH WATER IS CLEAN

C. VACUUM STRUCTURE SLUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

CONCRETE COLLAR

PAVEMENT

CONCRETE COLLAR NOT REQUIRED FOR UNPAVED APPLICATIONS

8\" NYLON/PLAST INSPECTION PORT BODY (PART# 2708461POT) OR TRAFFIC RATED BOX W/SLID LOCKING COVER

CONCRETE SLAB 6\" (150 mm) MIN THICKNESS

4\" (100 mm) SDR 35 PIPE

4\" (100 mm) INSERTA TEE TO BE CENTERED ON CORRUGATION CREST

STORMTECH CHAMBER

12\" (300 mm) MIN WIDTH

4\" PVC INSPECTION PORT DETAIL (SC SERIES CHAMBER)

NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

StormTech Chamber System
4640 TRUBMAN BLVD
HILLIARD, OH 43026
614-235-7474
WWW.STORMTECH.COM
888-892-2894

TAKE 5 OIL CHANGE SEDONA
SEDONA, AZ

DESCRIPTION: TAKE 5 OIL CHANGE SEDONA
DRAWN BY: [blank]
DATE: [blank]
PROJECT # [blank]
CHECKED BY: [blank]

ADS
4640 TRUBMAN BLVD
HILLIARD, OH 43026
614-235-7474

SHEET 4 OF 6

REV. DATE: 1 3-28-22

DESCRIPTION: revised per city of Sedona comments

BY: PSS

TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
STORMTECH CHAMBER DETAILS

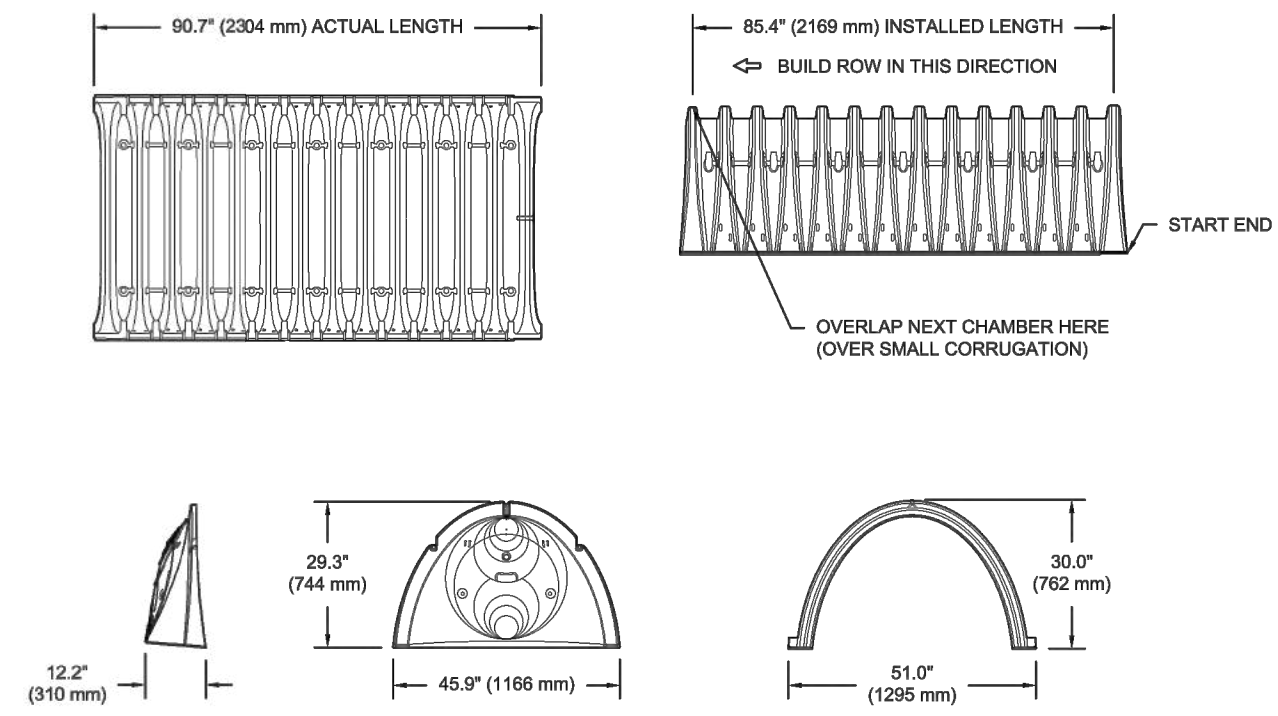
DRAWN: pss
APPROVED: pss
DATE: [blank]
PROJ#: 21-041
SCALE: AS SHOWN

SHEET 10 OF 11



TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 EMAIL: peter@tidewatereng.com

SC-740 TECHNICAL SPECIFICATION
 NTS



NOMINAL CHAMBER SPECIFICATIONS

SIZE (W X H X INSTALLED LENGTH)	51.0\"/>
CHAMBER STORAGE	45.9 CUBIC FEET (1.30 m ³)
MINIMUM INSTALLED STORAGE*	74.9 CUBIC FEET (2.12 m ³)
WEIGHT	75.0 lbs. (33.6 kg)

*ASSUMES 6\"/>

PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR"
 PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
 PRE-CORRED END CAPS END WITH "PC"

PART #	STUB	A	B	C
SC740EP06T / SC740EP06TPC	6\"/>			
SC740EP06B / SC740EP06BPC	6\"/>			
SC740EP08T / SC740EP08TPC	8\"/>			
SC740EP08B / SC740EP08BPC	8\"/>			
SC740EP10T / SC740EP10TPC	10\"/>			
SC740EP10B / SC740EP10BPC	10\"/>			
SC740EP12T / SC740EP12TPC	12\"/>			
SC740EP12B / SC740EP12BPC	12\"/>			
SC740EP15T / SC740EP15TPC	15\"/>			
SC740EP15B / SC740EP15BPC	15\"/>			
SC740EP18T / SC740EP18TPC	18\"/>			
SC740EP18B / SC740EP18BPC	18\"/>			
SC740EP24B*	24\"/>			
SC740EP24B*	24\"/>			

ALL STUBS, EXCEPT FOR THE SC740EP24B/SC740EP24BR ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2894.

* FOR THE SC740EP24B/SC740EP24BR THE 24\"/>

REV. DATE: 3-28-22

DESCRIPTION: TAKE 5 OIL CHANGE SEDONA

DRAWN: BD

CHECKED: NA

PROJECT #:

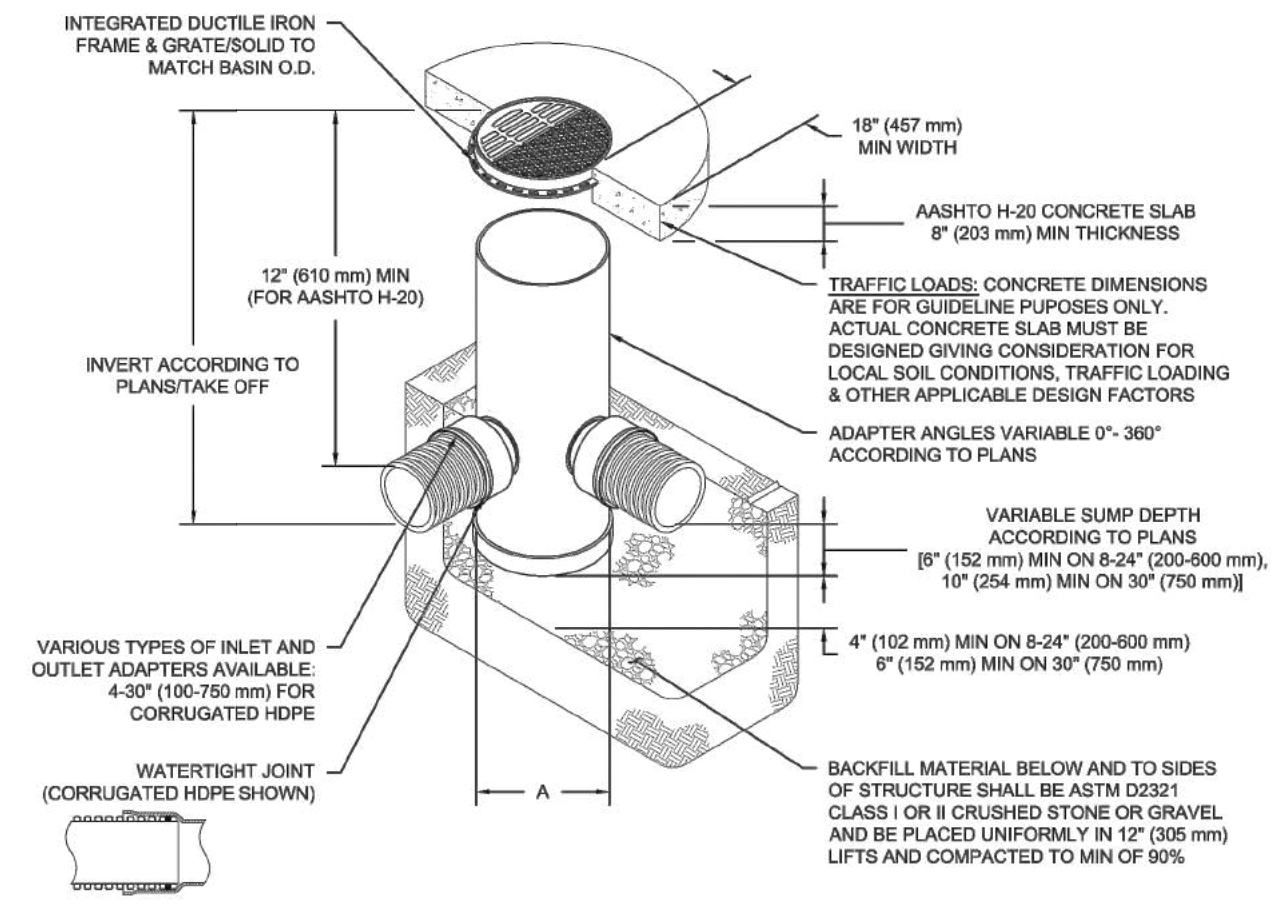
StormTech® Chamber System

4654 TREIBMAN BLVD
 HILLARIO, OH 43026
 1-800-752-7473

ADS

SHEET 5 OF 6

NYLOPLAST DRAIN BASIN
 NTS



- NOTES**
- 8-30\"/>
 - 12-30\"/>
 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
 - FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
 - TO ORDER CALL: 800-821-8718

A	PART #	GRATE/SOLID COVER OPTIONS
8\"/>		
10\"/>		
12\"/>		
15\"/>		
18\"/>		
24\"/>		
30\"/>		

REV. DATE: 3-28-22

DESCRIPTION: TAKE 5 OIL CHANGE SEDONA

DRAWN: BD

CHECKED: NA

PROJECT #:

Nyloplast®

7700 282441 | WWW.NYLOPLAST-US.COM

ADS

SHEET 6 OF 6

REV. DATE: 3-28-22

DESCRIPTION: TAKE 5 OIL CHANGE SEDONA

DRAWN: BD

CHECKED: NA

PROJECT #:

StormTech® Chamber System

4654 TREIBMAN BLVD
 HILLARIO, OH 43026
 1-800-752-7473

ADS

SHEET 5 OF 6

TAKE-5 OIL CHANGE
 80 POSSE HILL ROAD
 SEDONA, AZ 86336

STORMTECH CHAMBER DETAILS

DRAWN: pss

APPROVED: pss

DATE:

PROJ#: 21-041

SCALE: AS SHOWN

SHEET 11 OF 11



PROJECT

The Parcel is Zoned CO - Commercial The area of development is 0.43 acres.
 The aerial photo shows the project site and the existing trees on the site.
 The primary trees observed on the project site is the Velvet Mesquite, Arizona Cypress, Pinyon pine, Utah Juniper and Tree of Heaven. Several Trees will be preserved-in-place (PIP) and the rest removed from site (RFS) as they are located within the site improvement footprint.

EXISTING TREES DISPOSITION

- Tree to be "PIP" - Preserved On Site
- Tree to be "RFS"- Removed from site.

EXISTING TREE SUMMARY

Scientific Name	Common Name
PV <i>Prosopis velutina</i>	Mesquite
PE <i>Pinus edulis</i>	Pinyon Pine
CG <i>Cupressus Glabra</i>	Az. Cypress
JD <i>Juniperus osteosperma</i>	Utah Juniper
AA <i>Ailanthus altissima</i>	Tree of Heaven

- 19- Trees on site
- 4 - Tree preserved on-site
- 15 - Trees removed from on-site

Disposal of Removed Trees:
 Trees that are cut down shall be removed from the lot or parcel within two weeks, chipped on site, or cut and stored for firewood on the property in a manner that does not encourage the propagation of insects or risk of wildfire.

Tree Protection During Construction Activities:
 Trees that are to remain on site shall be protected during all construction activities to prevent root damage, soil compaction and trunk or limb damage.

All trees to designated to remain on site shall be fence during construction to avoid compaction of the root system and low branches from being broken.

Protective fencing and barriers shall be no smaller than one foot past the diameter of the drip-line of the tree to be saved and shall be a minimum of 3 feet in height.

Fencing is required during construction for individual Protected trees to be preserved in place. The area to be fenced shall be beyond the "drip-line". Four foot (4') height orange Tensor fencing shall be erected.

NO.	DATE	REVISION

**TAKE - 5 OIL CHANGE
 SEDONA, ARIZONA
 PARCEL I.D.408-25-038R**

OWNER

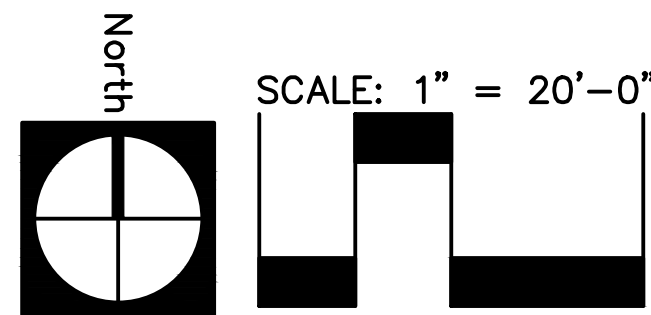
SITE ADDRESS
 80 POSSE HILL ROAD
 SEDONA, ARIZONA 86336

SHEET NUMBER

TREE PRESERVATION PLAN
 PZ21-00023

JOHN HUCKO - LANDSCAPE ARCHITECT
 5236 N. STONEHOUSE PL.
 TUCSON, ARIZONA 85750
 P: (520) 400.8529
 E: jhucko789@comcast.net

PROJECT NO: 21-71 DATE: 04/01/22





GENERAL NOTES

- Contractor shall visit site and examine existing conditions prior to submitting a bid.
- Prior to commencing work on site arrange an on-site meeting with the Owner or his Representative.
- Contractor is required to contact Blue Stake to identify and locate all existing utilities prior to any type of excavation on site. Any damage to underground utilities or structures shall be repaired at the Contractors expense.
- Submit to Owner's Representative manufacturers or vendors certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with the specified soil amendments.
- Plant quantities are provided as a convenience to the contractor only. Actual plant symbols shown on plans take precedence.

LANDSCAPE MAINTENANCE

It shall be the responsibility of the owner, lessee, heirs, agent, homeowners association or other liable entity of the property to permanently maintain all approved landscaping in accordance with the approved landscape plan.

- Required maintenance shall include regular watering, pruning, mowing, fertilizing, clearing of debris and weeds, removal and replacement of dead plants and repair and replacement of irrigation systems and architectural features.
- Any required plant materials not surviving shall be replaced with plants of the same variety and quality as those removed within 30 days of their demise or in the next planting period. This requirement may be waived by the director if the remaining landscaping on site satisfies the minimum landscape requirements.
- Failure to maintain approved landscaping shall constitute a violation of the LDC.
- Maintenance of the landscaping within public right-of-way shall be included in accordance with the terms of encroachment permits authorizing such landscaping.
- All plants shall be allowed to grow in natural patterns. Over-pruning plants into unnatural shapes is prohibited.
- Vegetation shall be selected, placed and maintained, so that at maturity it does not interfere with utility lines, building, traffic sight lines, vehicular parking, pedestrian circulation, and property rights of adjacent owners, and would not significantly damage or create upheaval of sidewalks and pavement.

ADOT NOTES:

- Materials within SVT's shall be placed so as not to interfere with a visibility plane described by two horizontal planes 24" and 72" above finish grade of the travel lane. All shrub heights in the SVTs shall be maintained 24" and below and tree canopy's shall be maintained at a minimum 72".
- All required maintenance shall be provided by Take-5 Oil Change and its successors. Maintenance shall include weekly trash pick-up, pruning, plant replacement, irrigation repair and seasonal irrigation scheduling adjustment.

LANDSCAPE CALCULATIONS

SITE AREA = 18,730 S.F.
 LESS BUILDING/PARKING AREA = 10,026 S.F.
 SITE LANDSCAPE AREA = 8,704 S.F.
 LANDSCAPE REQUIREMENTS
 1 TREE/ 400 S.F. ± 4 SHRUBS /400S.F.
 No. Trees Required = 22 - Trees provided = 22
 No. Shrubs required = 87 - Shrubs provided = 107

PARKING AREA LANDSCAPE REQUIREMENTS
 PARKING LOT AREA 7,775 S.F.
 10% = 775 S.F.- REQUIRED - 800 S.F. PROVIDED
 PARKING LOT LANDSCAPE AREA

LANDSCAPE PLAN
P221-00023

JOHN HUCKO - LANDSCAPE ARCHITECT
 5236 N. STONEHOUSE PL.
 TUCSON, ARIZONA 85750
 P: (520) 400.8529
 E: jhucko789@comcast.net

PROJECT NO: 21-71 DATE: 04/01/22

PLANT LEGEND

BOTANICAL NAME:

COMMON NAME:

SIZE: TYPE: QTY: GPH:

SYMBOL TREES:

- Cercis occidentalis*
Western Redbud Min. 2" Cal. A 7 8
- Pinus edulis*
Pinyon Pine 8' Tall N 8 8
- Chilopsis linearis*
Desert Willow Min. 2" Cal. N 3 8
- Cupressus arizonica 'glabra'*
Arizona Cypress 8' Tall N 3 8
- Existing Trees -To Remain in Place
Prune and remove lower branches, damaged branches and deadwood.
Irrigate all trees to remain in place with 1 - 2 GPH Multi-Port Emitter for a total of 8 GPH.

SHRUBS AND ACCENTS

SIZE: TYPE: QTY:GPH:

- Berberis fremontii*
Fremont Barberry 2' Tall N 11 2
- Arctostaphylos pungens*
Pointleaf Manzanita 2' Tall N 19 2
- Larrea tridentata*
Creosote 2' Tall N 4 1
- Dasylirion wheeleri*
Desert Spoon 2' Tall A 8 1
- Yucca Elata*
Soaptree Yucca 15 Gal. N 4 .5
- Calliandra eriophylla*
Fairy Duster 2' Tall A 13 2
- Hesperaloe parviflora* "Breaklights"
Red Aloe 2' Tall A 25 1
- Rhus ovata*
Sugar Bush 2' Tall N 7 2
- Dalea formosa*
Feather Dalea 2' Tall N 4 1
- Juniperus sabrina* "Buffalo"
Buffalo Juniper 2' Tall A 12 2
- Rosmarinus officinalis*
Prostrate Rosemary 1 Gal. A 28 1

BOULDERS:

Note: Native Surface Select -
 Weathered Boulders - Native
 to the area Sizes Are
 Approximate -

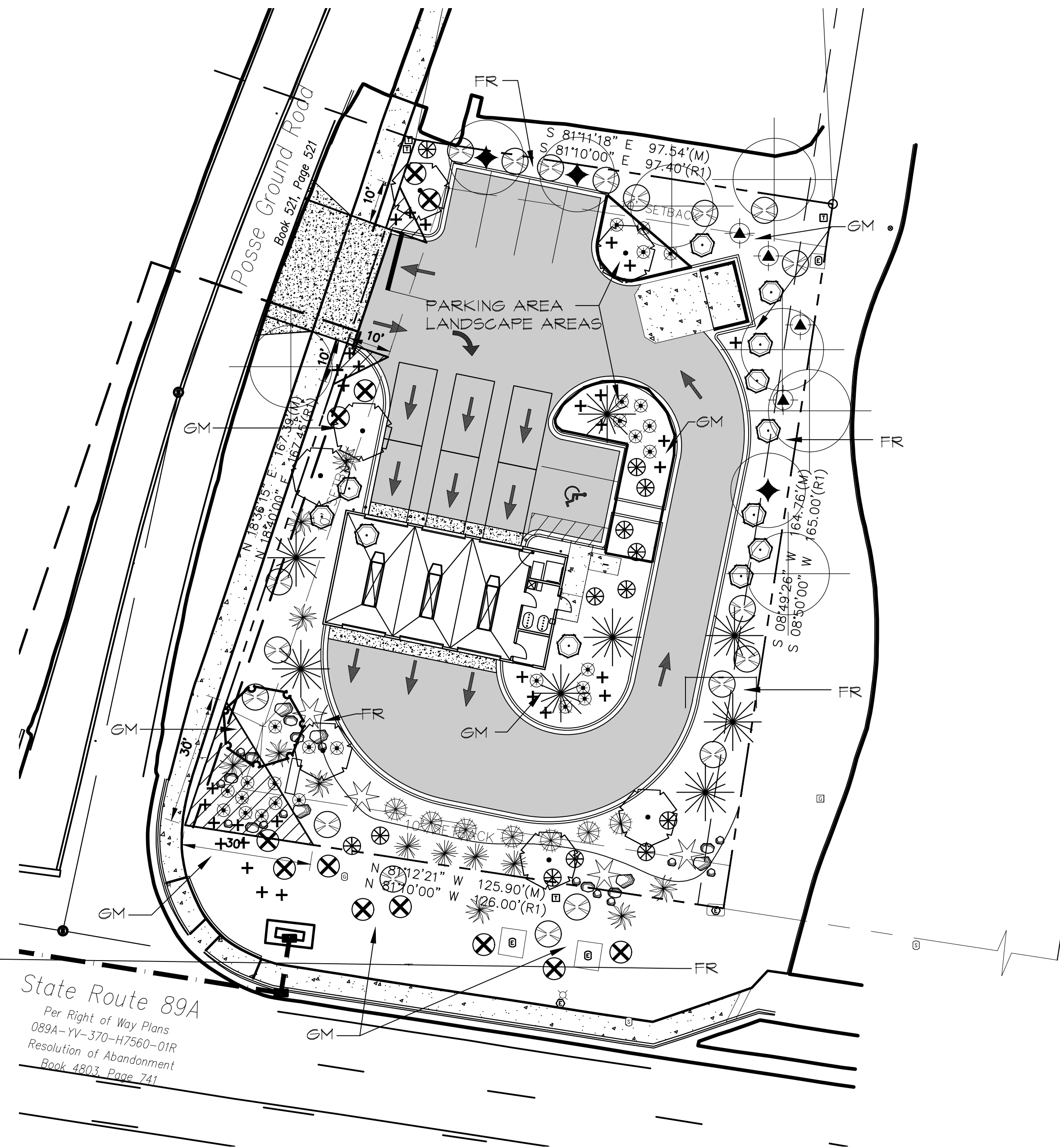
- 18" x 24" x 2'
- 2' x 3' x 2'
- 4' x 4' x 3'

INERT GROUNDCOVERS:

GM Granite Mulch: 1-1/4" Minus - "Sedona Red" - Min. 2" Depth
 FR Fractured Rock 4"Minus "Sedona Red"
 Rock shall be angular, fractured rock material

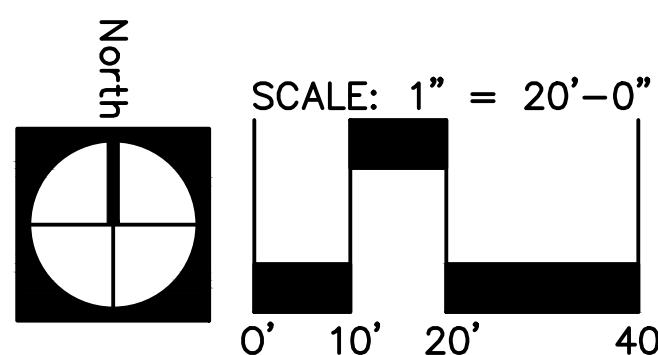
Pre-Emergent Herbicide: All landscape areas shall be treated with Surflan per-emergent herbicide or approved equal. Herbicide shall meet all applicable local, State and Federal environmental and labeling laws. Under no circumstances shall a soil sterilant be used on the site. Submit specification to Owners Representative for review and approval prior to application. Apply herbicide per manufacturer's recommendations.

All granite mulch and rock rip-rap areas shall be watered settled. Wash off all boulders at completion



LANDSCAPE NOTES

- Prior to plant pit excavation all plants shall be located in the field with flagging or stakes and approved by Landscape Architect or Owner's Representative.
- All plants shall be nursery grown unless otherwise noted. Plants shall be healthy, well formed and well branched, vigorous, symmetrical and free from pests and diseases. They shall conform in quality and size to the American Nursery Stock and the Arizona Nursery Association Growers committee recommended tree specifications. Plant materials shall be protected adequately during transport and delivery. Contractor to assure all plants are adequately watered while on site.
- Trees shall be staked per detail.
- All plant pits shall drain at a minimum rate of 6"per2 hours. Plant pits in caliche shall be deepened to a sufficient depth to meet the 6" per 2 hour minimum.
- Soil conditioner/compost shall consist of composted ground or shredded fir or pine bark shavings. Maximum pH 7.5, 85% shall pass a one-quarter screen. Nitrogen stabilized, minimum of 0.5% nitrogen. Submit Laboratory analysis to Landscape Architect / Owners Representative for review and approval prior to use.
- Fertilizer - Slow release tablets, Agriform 20-10-5 slow release, 21 gram tablets or approved equal for trees and shrubs. Agricultural gypsum (c) Powdered soil sulfur (85-95% pure soil sulfur). Fertilizers shall be delivered to the site in un-opened containers, each fully labeled and bearing the name or trademark and warranty of the producer. Submit product specifications for review and approval by Owner's Representative.
- Plant pit backfill mix shall consist of 65% site soil and 35% soil conditioner/compost. Site soil shall be mixed with six (6) pounds of agricultural gypsum and one (1) pound of powdered soil sulfur for each cubic yard of backfill mix. The backfill mix shall be an homogenous blend of the required materials. Place one (1) Agriform tablet for each 1-gallon plant, two (2) tablets each for 5 - gallon plants and three (3) tablets for trees. Evenly distribute tablets around the plant rootball in the backfill mix.
- Backfill mix shall well worked about the rootball and settled by tamping and watering and be at the required finish grade as shown for water-harvesting basins.
- The Contractor shall at all times keep the area of his work in a neat and orderly condition, insofar as the storage of material and the removal of dirt and debris caused by his work operations, cleaning up of debris, etc. shall be explicitly followed. Upon completion of work the Contractor shall thoroughly clean all paving, walls, curbs boulders, etc. by sweeping area and washing the area with water from a pressurized hose.

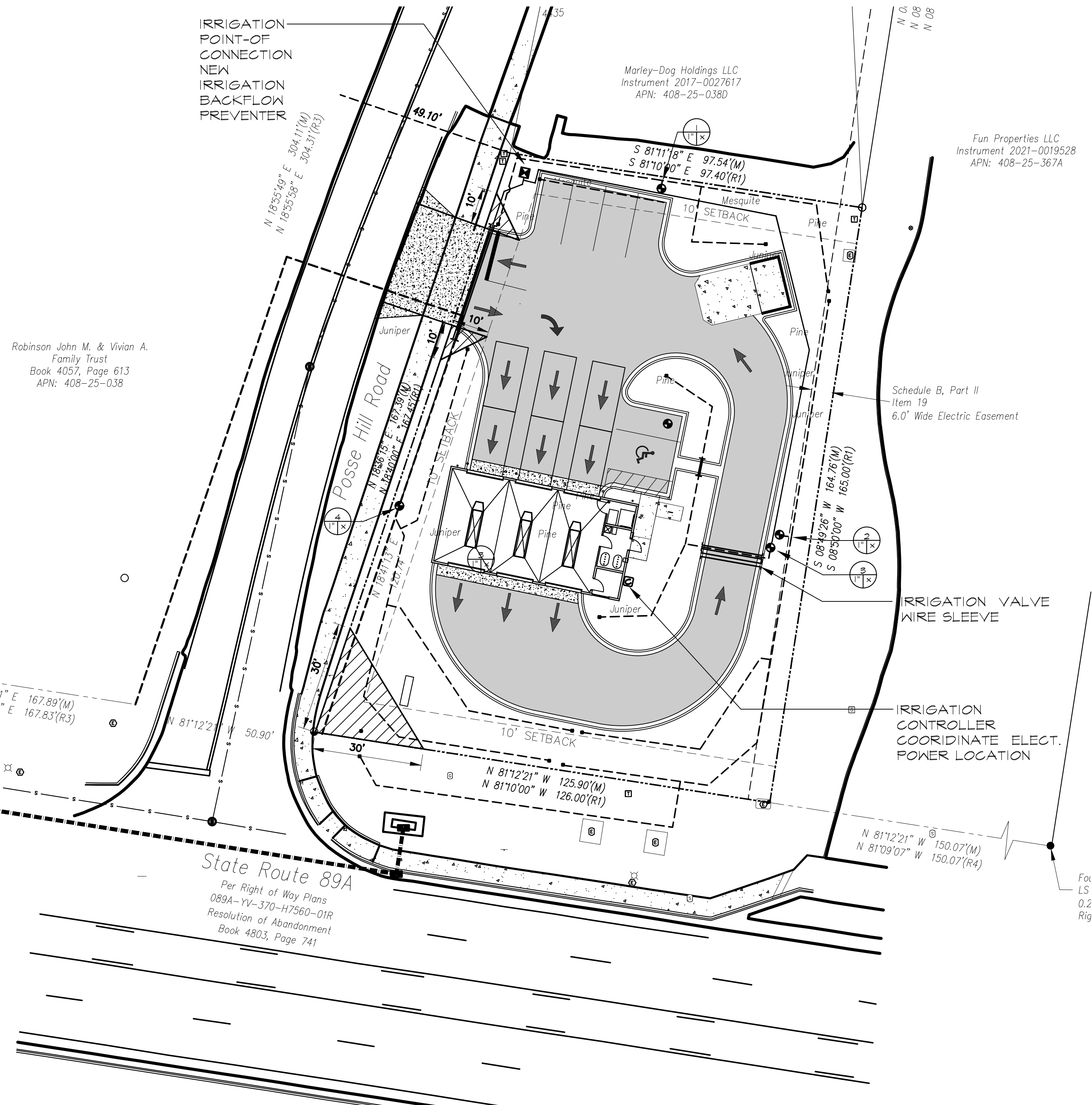


TAKE - 5 OIL CHANGE
SEDONA, ARIZONA
 PARCEL I.D.408-25-038R

OWNER

SITE ADDRESS
 80 POSSE HILL ROAD
 SEDONA, ARIZONA 86336

SHEET NUMBER



IRRIGATION LEGEND

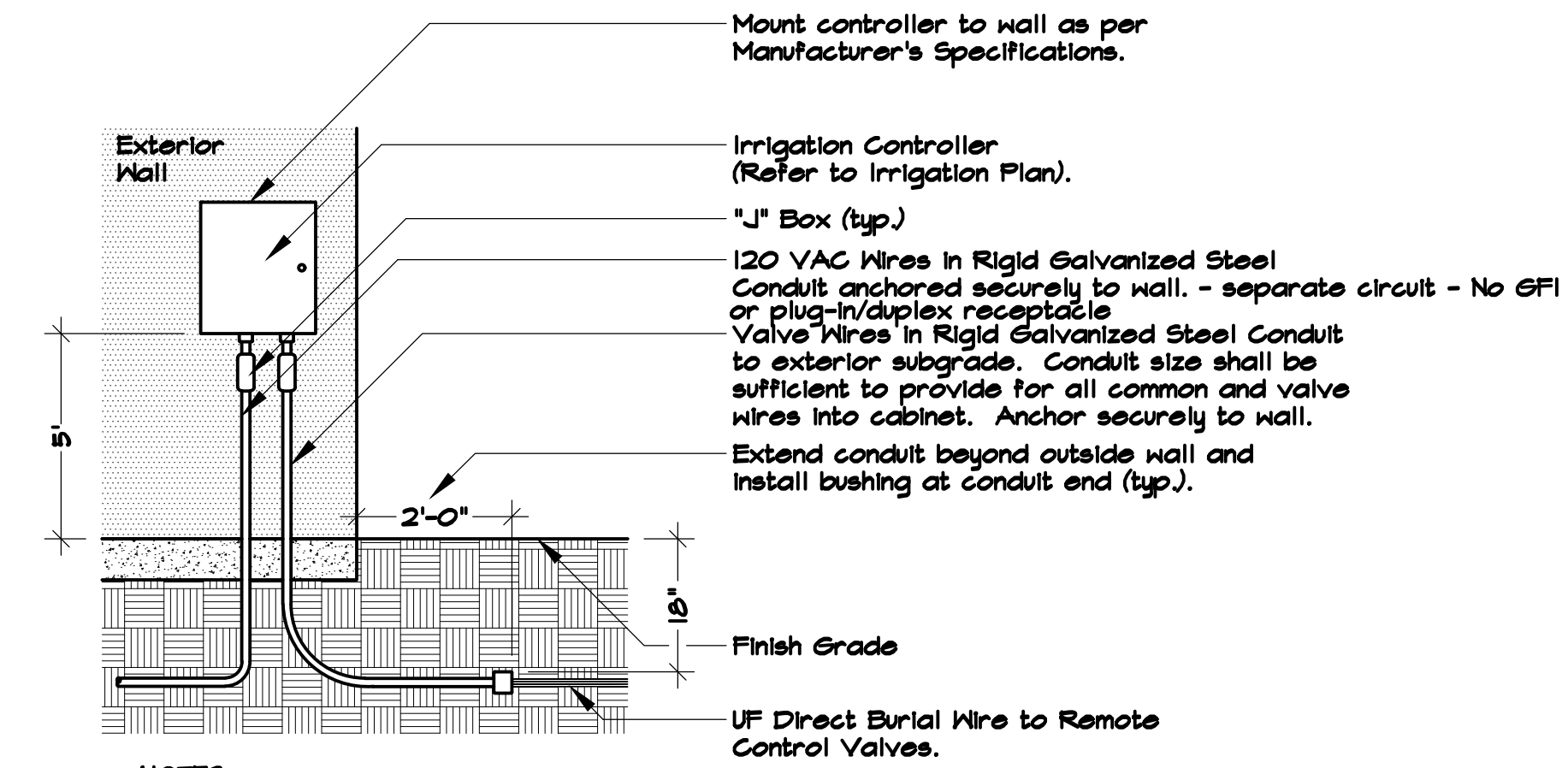
Symbol	Manufacturer	Description
		Water Meter - Irrigation P.O.C
	HUNTER	I-CORE 6 Station #IC-600-PL - Wall-Mount,
	FEBCO	Reduced Pressure Backflow Preventer, Febco 825Y - 3/4". w/ Guardshack security cabinet.
	RAIN BIRD	XCZ - 100-PRB-COM 1"- Control Zone Kit
	Sch 40 PVC	Mainline - 3/4"
	Sch 40 PVC	2" Sleeve.
	SCH 40 PVC	Lateral line - size as shown.
	CL 200 PVC	3/4" CL 200 PVC Drip Irrigation Lateral w/ Rain Bug XBT-20-6 Multi-outlet Emitter @ 2 GPH each Outlet XBT-20 Single-outlet Emitter @ 2 GPH w/ RBT-220V Distribution Tubing.
	Lasco	AP-075 - 3/4" Hose End Flush Cap.

VALVE IDENTIFIER:

SIZE:

IRRIGATION NOTES

1. Plan is schematic only. All mainlines, valves, etc. shall be placed within planting areas wherever possible.
2. The entire irrigation system shall satisfy all code requirements and be installed as per manufacturers' specifications.
3. Contractor shall sleeve all mainlines (2" or less), valve wires and laterals under all paved surfaces and walls, extending sleeves 1 foot from edge of paved surface or wall. Mainlines greater than 2 inches in diameter shall be direct buried. Contractor shall coordinate sleeve installation through wall/footing to bring irrigation into the planters located in the storage/parking area.
4. Contractor shall coordinate installation of drip irrigation lines prior to installation of plant material with the Owner's Representative.
5. Trees to be irrigated by multi-outlet emitters. Shrubs and groundcover to be irrigated by single-outlet emitters.
6. Contractor shall apply for Reduced Pressure Backflow Preventer permit from Dept. of Water Backflow Prevention Department.
7. All irrigation equipment shall be as specified, or approved equal per the discretion of the owner.
8. The Irrigation system has been designed for a minimum static water pressure of 50 PSI. Contractor shall verify water pressure in the field before construction and notify to owner/general contractor of any discrepancy.



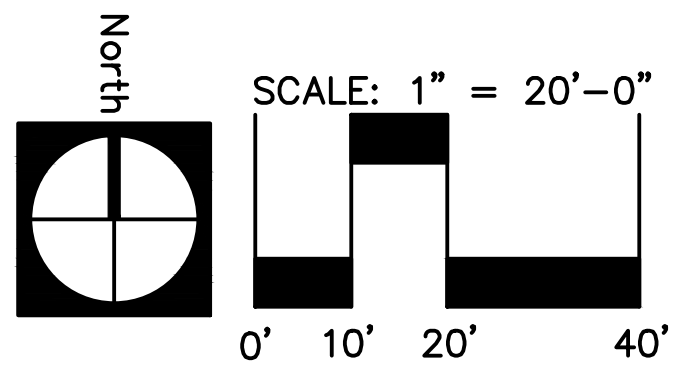
NOTES:
 All wiring to be installed as per City Code.
 Refer to Electrical Plans for location and power source.

WALL-MOUNTED IRRIGATION CONTROLLER
 NTS

Robinson John M. & Vivian A. Family Trust
 Book 4057, Page 613
 APN: 408-25-038

Fun Properties LLC
 Instrument 2021-0019528
 APN: 408-25-367A

State Route 89A
 Per Right of Way Plans
 089A-YV-370-H7560-01R
 Resolution of Abandonment
 Book 4803, Page 741



NO.	DATE	REVISION

TAKE - 5 OIL CHANGE
SEDONA, ARIZONA
 PARCEL I.D. 408-25-038R

OWNER

SITE ADDRESS
 80 POSSE HILL ROAD
 SEDONA, ARIZONA 86336

SHEET NUMBER

IRRIGATION PLAN
 PZ21-00023

JOHN HUCKO - LANDSCAPE ARCHITECT
 5236 N. STONEHOUSE PL.
 TUCSON, ARIZONA 85750
 P: (520) 400.8529
 E: jhucko789@comcast.net

PROJECT NO: 21-71 DATE: 04/01/22





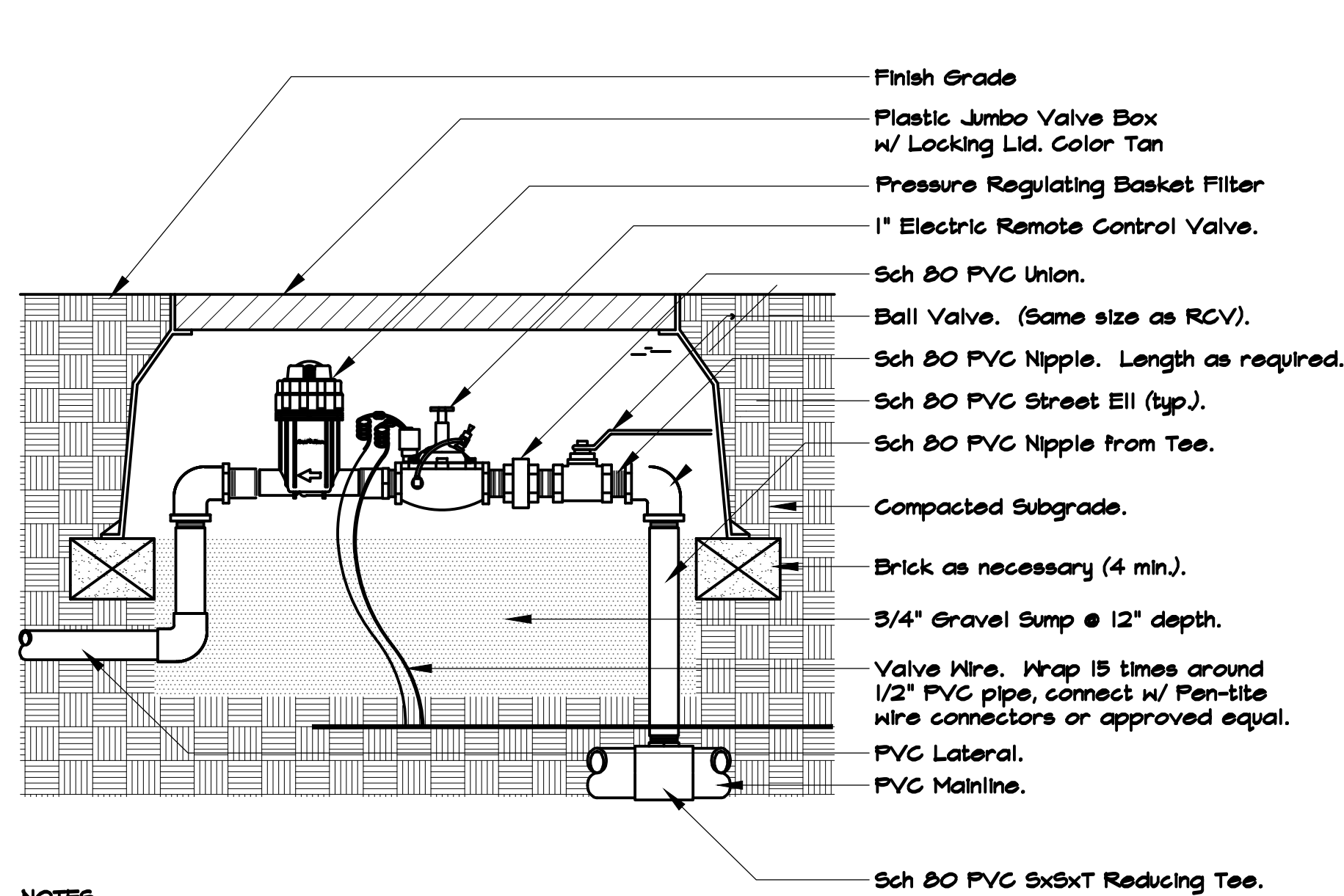
NO.	DATE	REVISION

TAKE - 5 OIL CHANGE
 SEDONA, ARIZONA
 PARCEL I.D. 408-25-038R

OWNER

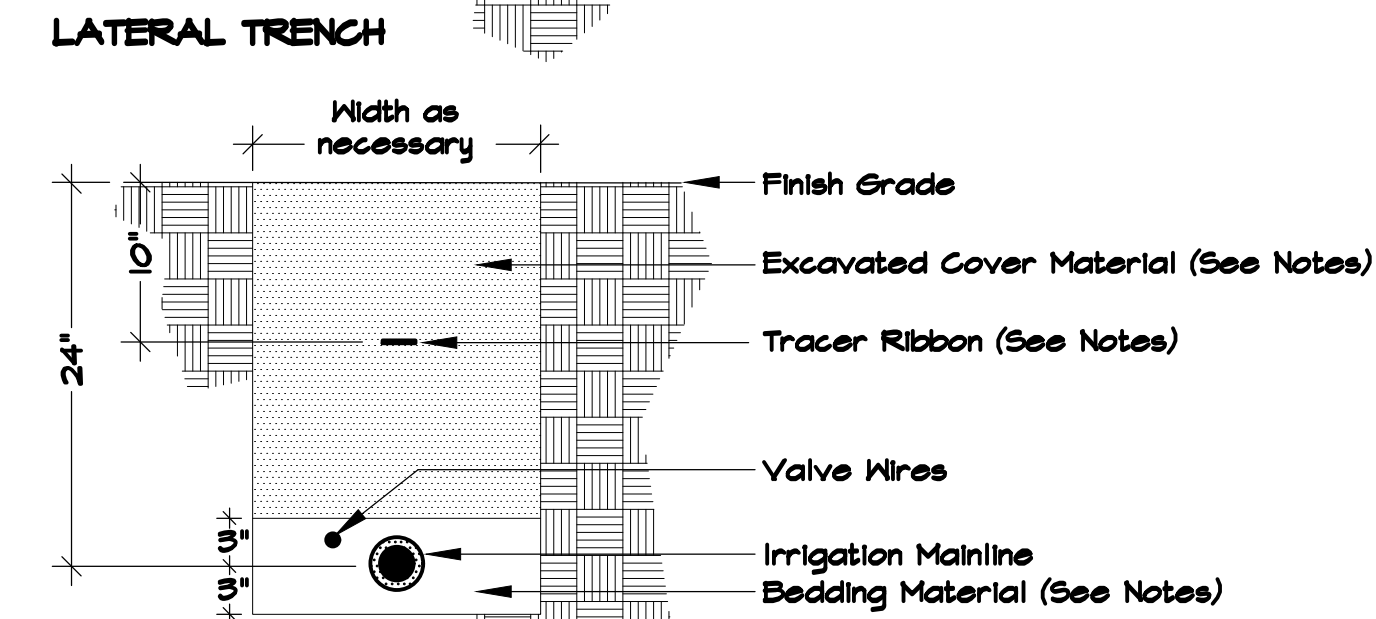
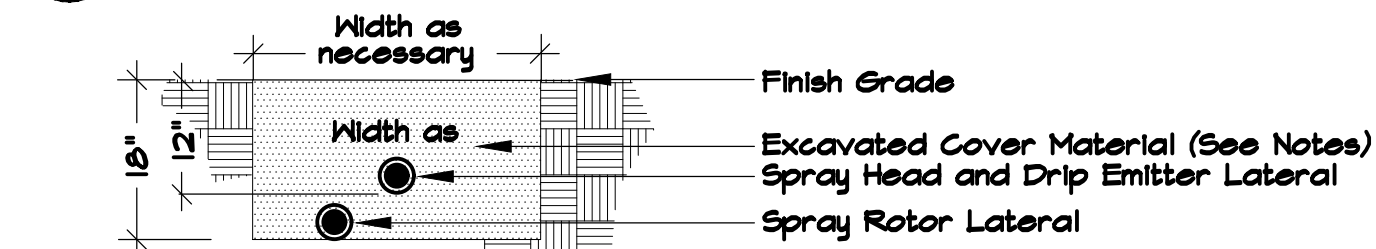
SITE ADDRESS
 80 POSSE HILL ROAD
 SEDONA, ARIZONA 86336

SHEET NUMBER



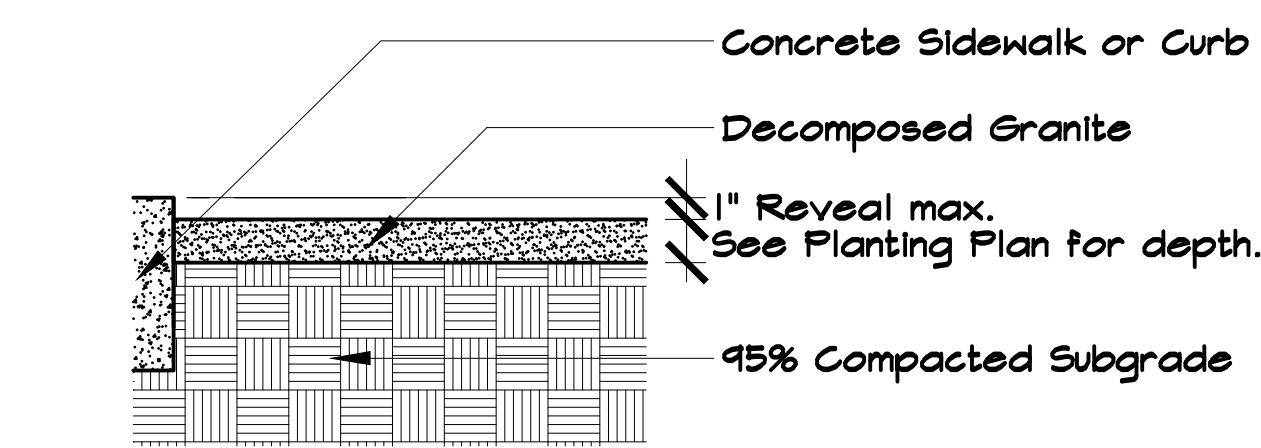
NOTES:
 Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
 Compact soil around piping and valve box to same density as undisturbed soil.
 Refer to Specifications for piping material.

1 REMOTE CONTROL VALVE WITH FILTER - DRIP
NTS

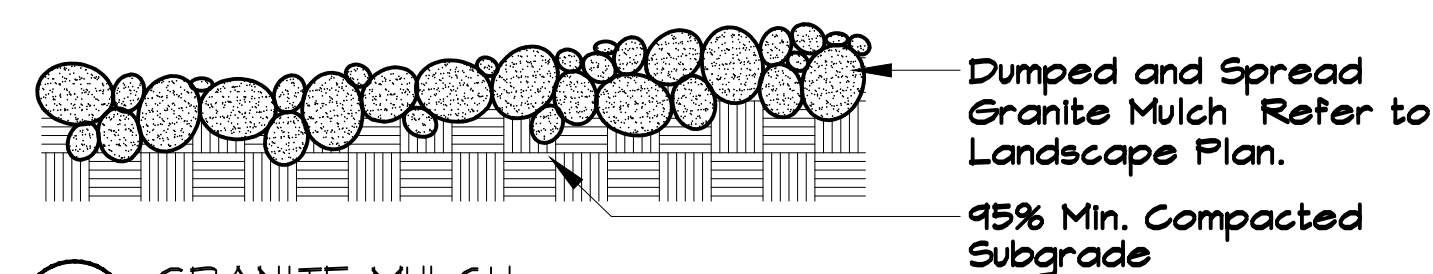


NOTES:
 All electrical wire connections to valves and splices to be installed within a valve box and made with Pen-tite waterproof connectors, or approved equal. Bundle and tape wiring at 10 foot intervals.
 Valve wires to be installed within mainline trench wherever possible.
 Bedding material shall be 1/4\"/>

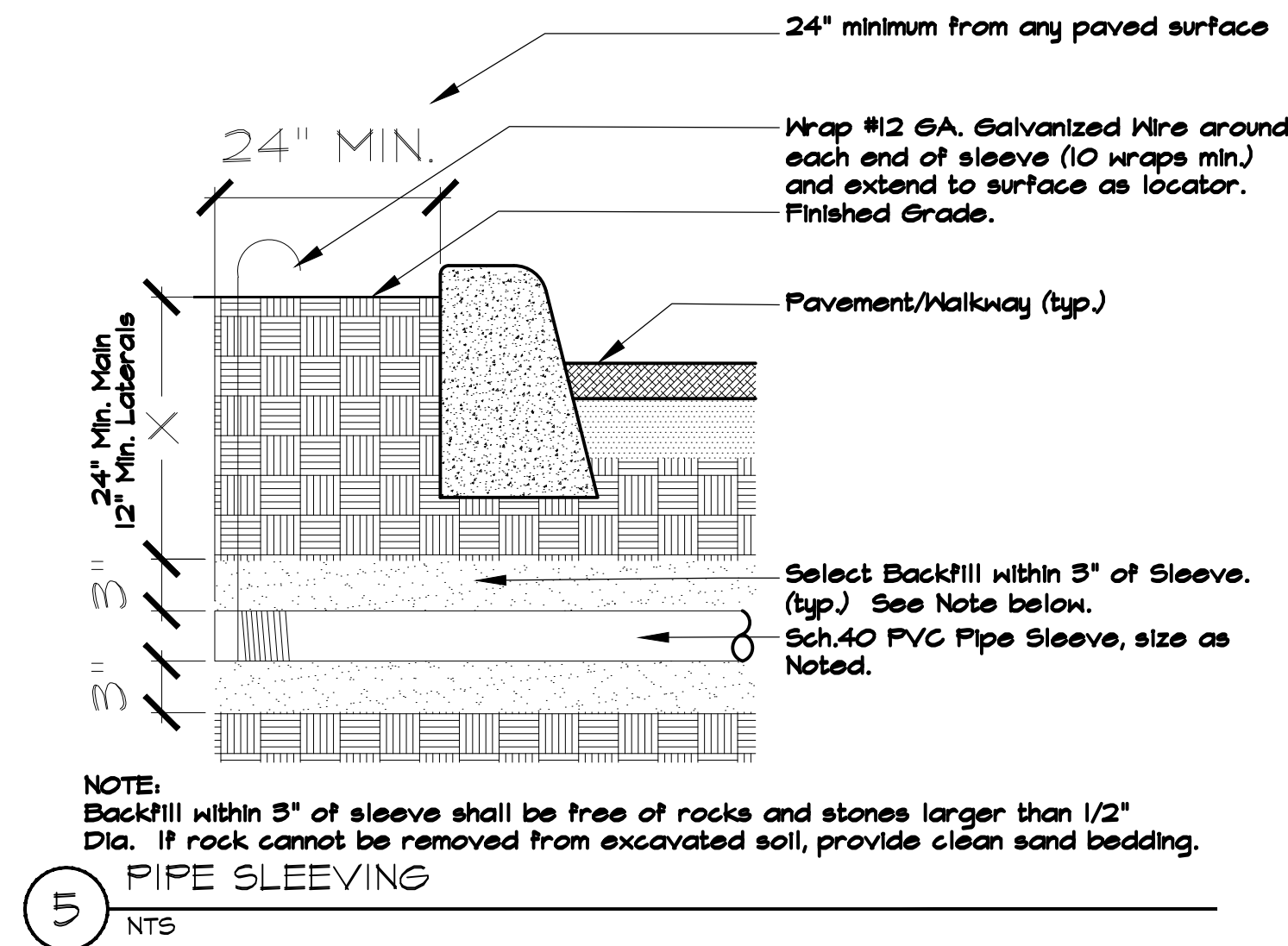
2 TRENCHING DETAIL
NTS



3 SCREENED ROCK / DECOMPOSED GRANITE
NTS

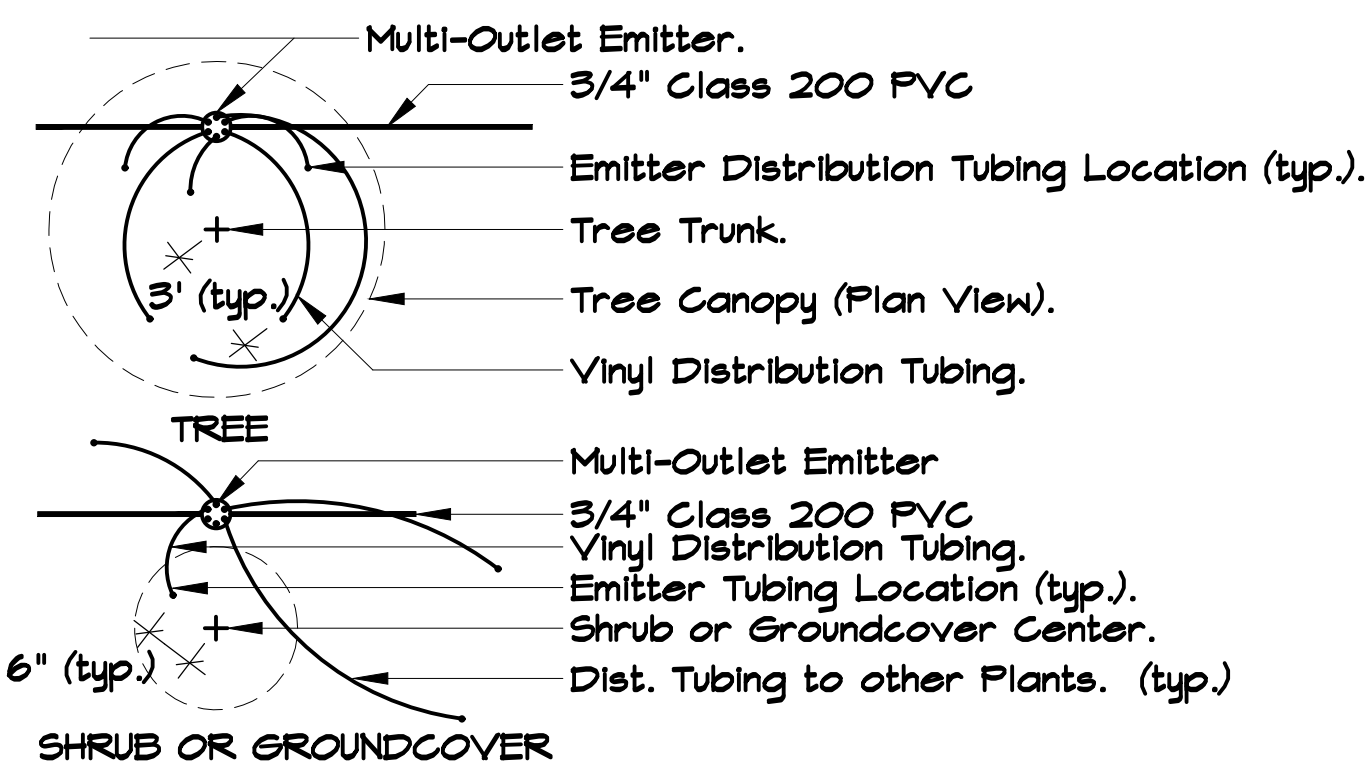


4 GRANITE MULCH
NTS



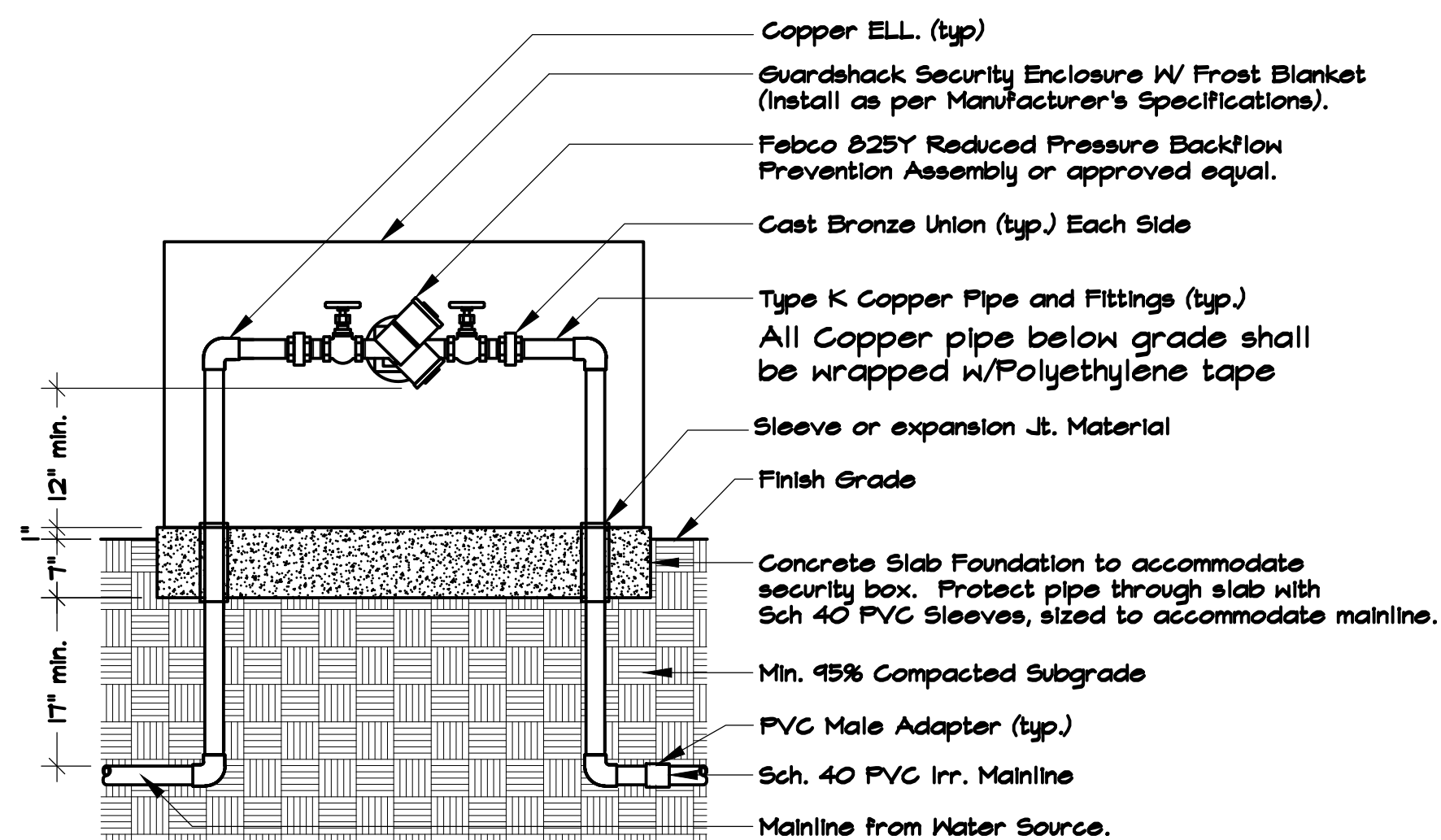
NOTE:
 Backfill within 3\"/>

5 PIPE SLEEVING
NTS



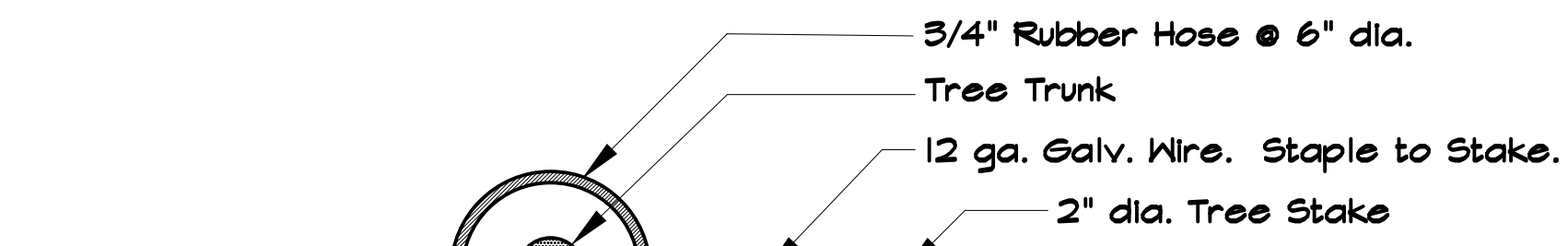
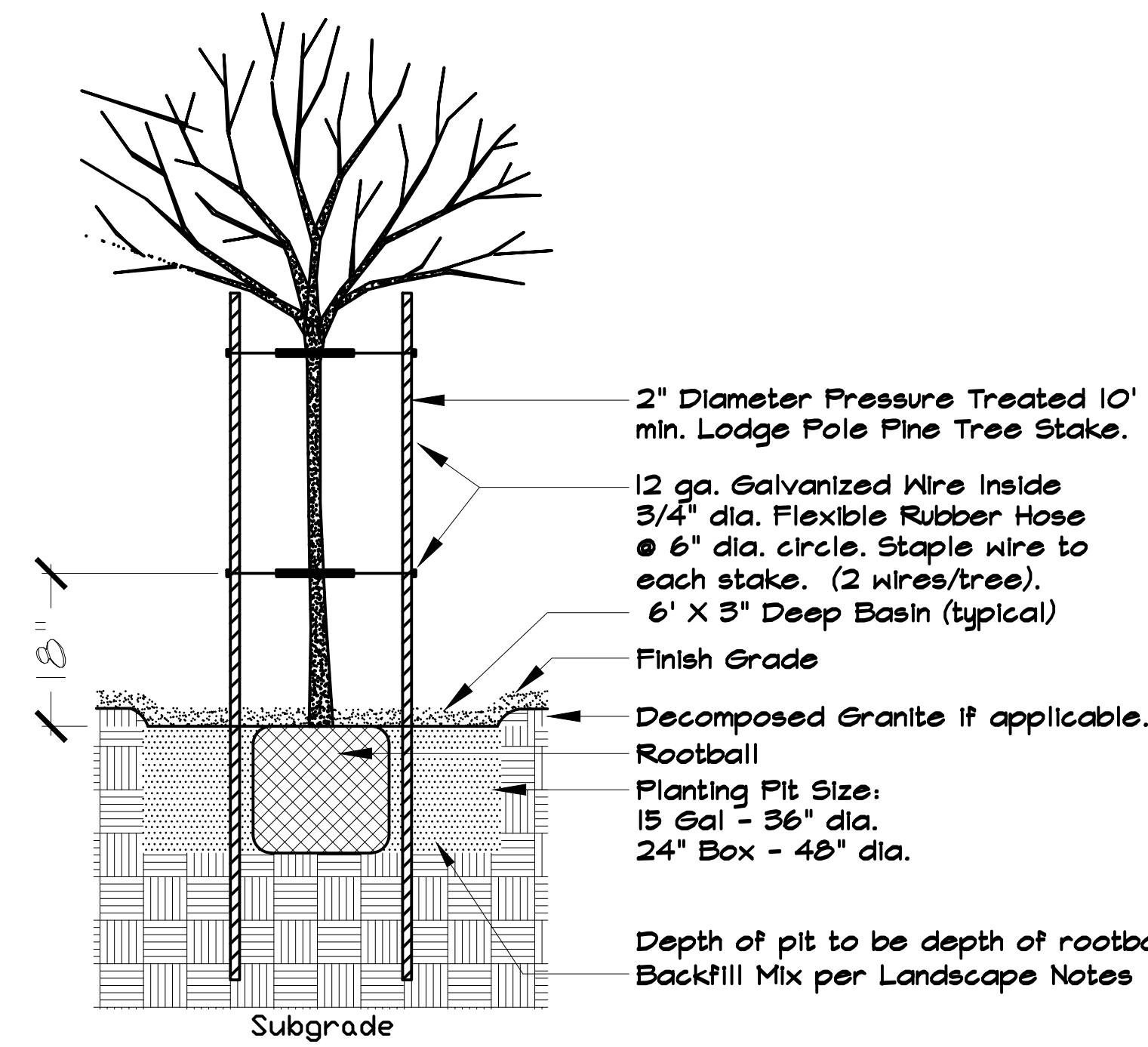
NOTES:
 Refer to Irrigation Key for Manufacturer.

6 EMITTER PLACEMENT
NTS



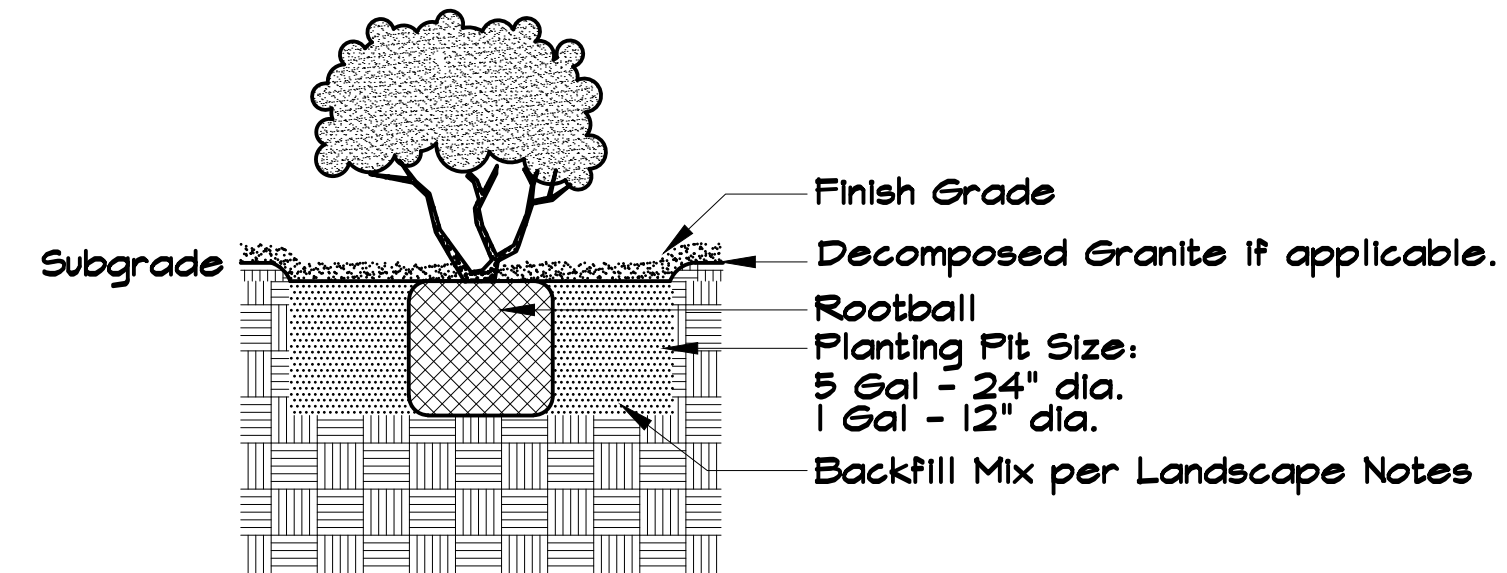
NOTES:
 Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
 Compact soil around mainline piping to same density as undisturbed soil.
 Refer to specifications for piping material.
 Supply keyed padlock, Master Lock Model #457 w/ two keys, or approved equal, for locking security enclosure.

7 REDUCED PRESSURE TYPE BACKFLOW PREVENTER
NTS



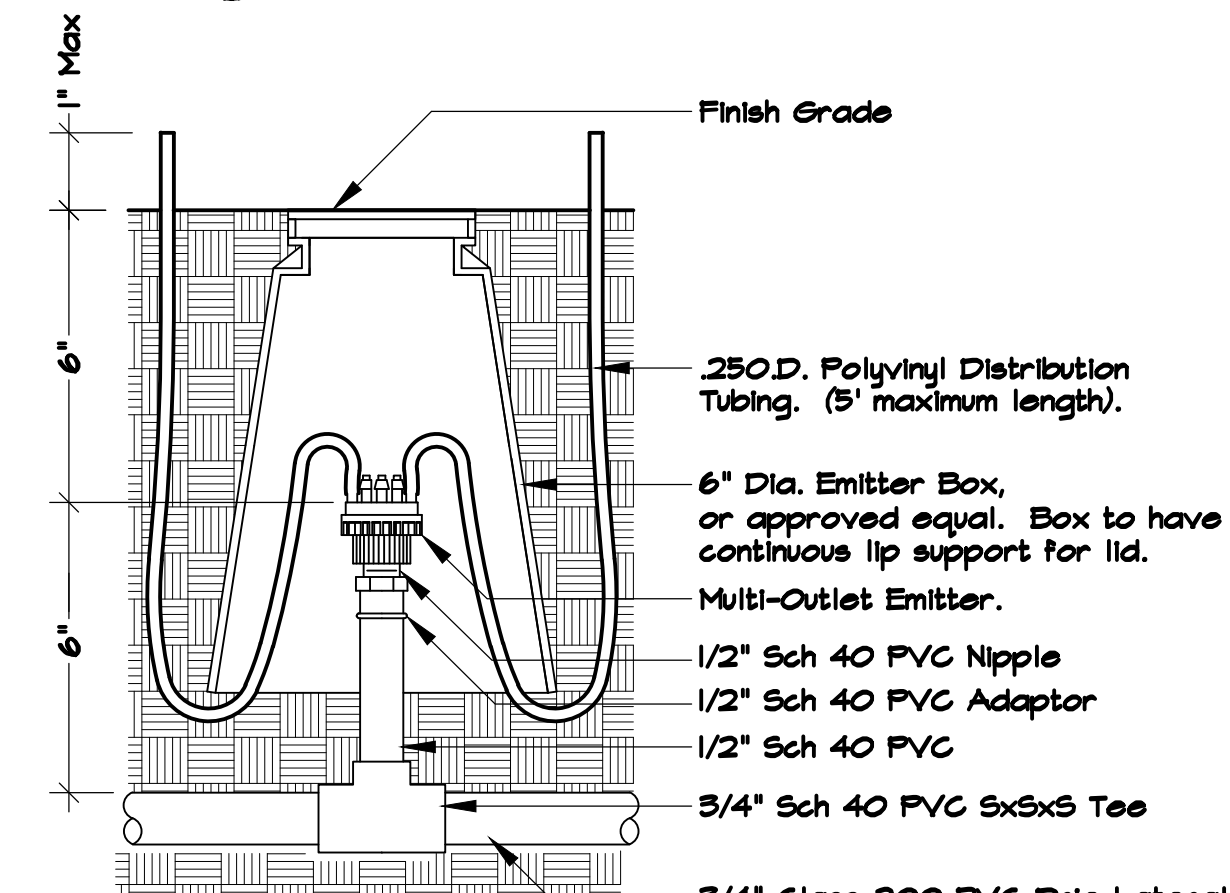
NOTE:
 See Specifications for application of FERROMECH AC Liquid Iron to all trees.
 Plant pit to be to the depth of the rootball, typical.

8 SINGLE TRUNK TREE PLANTING
NTS



NOTE: Plant pit to be to the depth of the rootball, typical.

9 SHRUB PLANTING
NTS



NOTES:
 Compact soil around emitter assembly to same density as undisturbed soil.

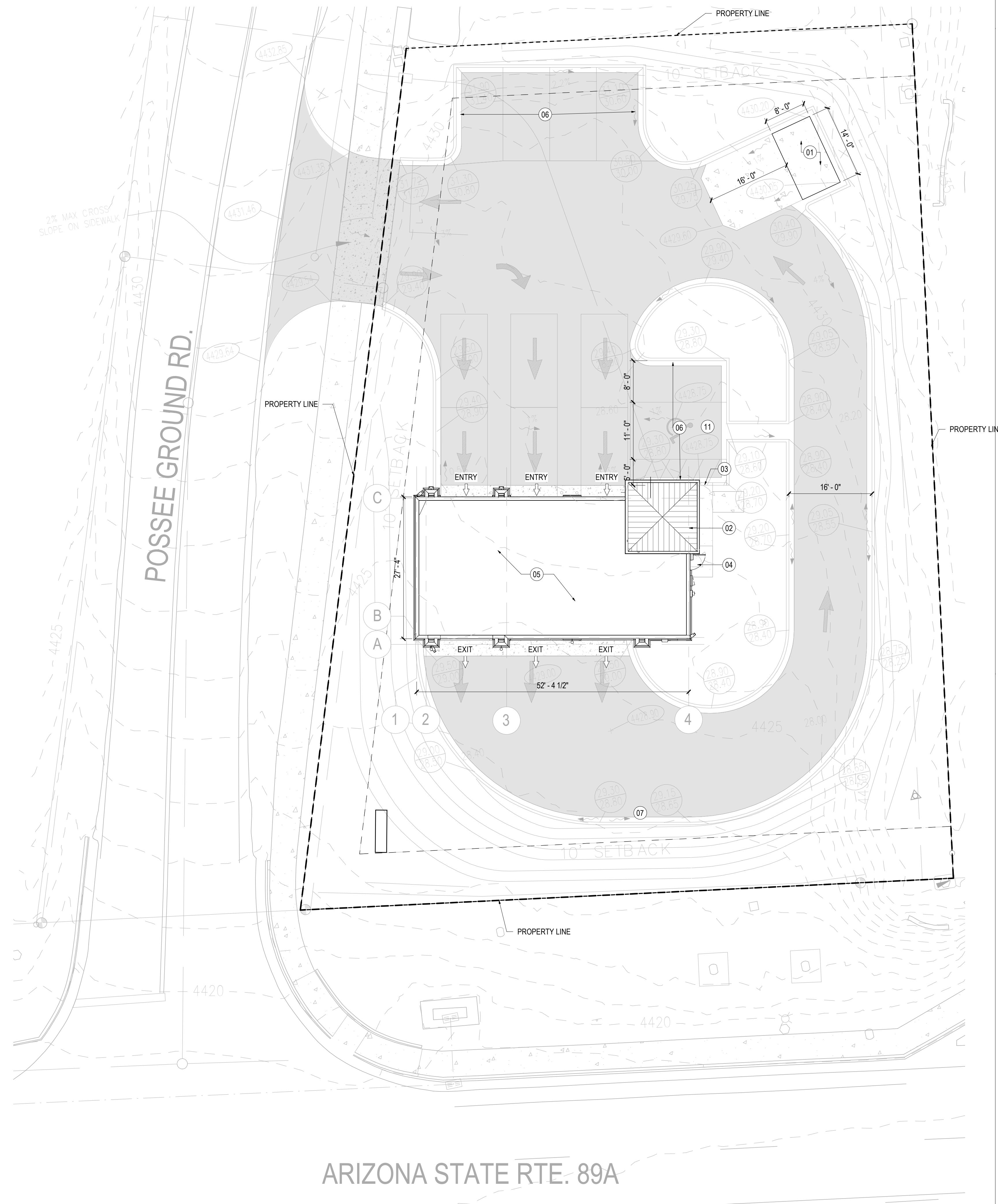
10 EMITTER INSTALLATION
NTS

LANDSCAPE - IRRIGATION DETAILS
PZ21-00023

JOHN HUCKO - LANDSCAPE ARCHITECT
 5236 N. STONEHOUSE PL.
 TUCSON, ARIZONA 85750
 P: (520) 400.8529
 E: jhucko789@comcast.net

PROJECT NO: 21-71 DATE: 04/01/22

4/7/2022 4:00:12 PM BIM:360/099.6678.008 - Take 5 Oil Change - Sedona, AZ/09.6678.008 TAKE 5 SEDONA_2.rvt



SHEET NOTES

- 01 DUMPSTER ENCLOSURE. REFER TO SHEET A5.101 FOR ADDITIONAL INFORMATION
- 02 RAISED CUPOLA. REFER TO PLANS SHEET A1.102 FOR ADDITIONAL INFORMATION. AND DETAILS
- 03 CURB CUT RAMP FOR ACCESSIBLE PATH TO BUILDING. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION AND DETAILS
- 04 SERVICE DOOR ACCESS / ENTRY
- 05 REFER TO CONSTRUCTION PLAN FOR BUILDING OUTLINE AND DIMENSIONS ON SHEET A1.101
- 06 REFER TO CIVIL PLANS FOR PARKING LAYOUT, COUNTS AND DETAILS
- 07 REFER TO CIVIL DRAWINGS AND DRAINAGE PLAN FOR SPECIFIC LAYOUT AND DIMENSIONS OF RETENTION POND
- 11 ACCESSIBLE PARKING SPACE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

GENERAL NOTES

- A. REFER TO CIVIL DRAWINGS FOR ALL SITE INFORMATION. ARCHITECTURAL SITE PLAN SHOWN FOR REFERENCE ONLY FOR LOCATION, ORIENTATION OF BUILDING AND DUMPSTER ENCLOSURES.
- B. REFER TO CIVIL DRAWINGS FOR SITE UTILITIES. GC TO REFER TO MEP DRAWINGS FOR COORDINATION AND ADDITIONAL INFORMATION
- C. REFER TO CIVIL DRAWINGS FOR SURVEY, SITE GRADING AND ADDITIONAL INFORMATION TO COORDINATE WITH STRUCTURAL FOUNDATION PLANS AND DETAILS.

Take 5 Oil Change

80 Posse Ground Rd
Sedona AZ 86336

Gensler

101 S. Tryon Street
Suite 2100
Charlotte, NC 28280
United States

Tel 704.377.2725
Fax 704.377.2807

Date	Description
1 10.08.2021	ISSUE FOR CONSTRUCTION

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.008

Description

ARCHITECTURAL SITE PLAN

Scale

3/32" = 1'-0"

A0.100

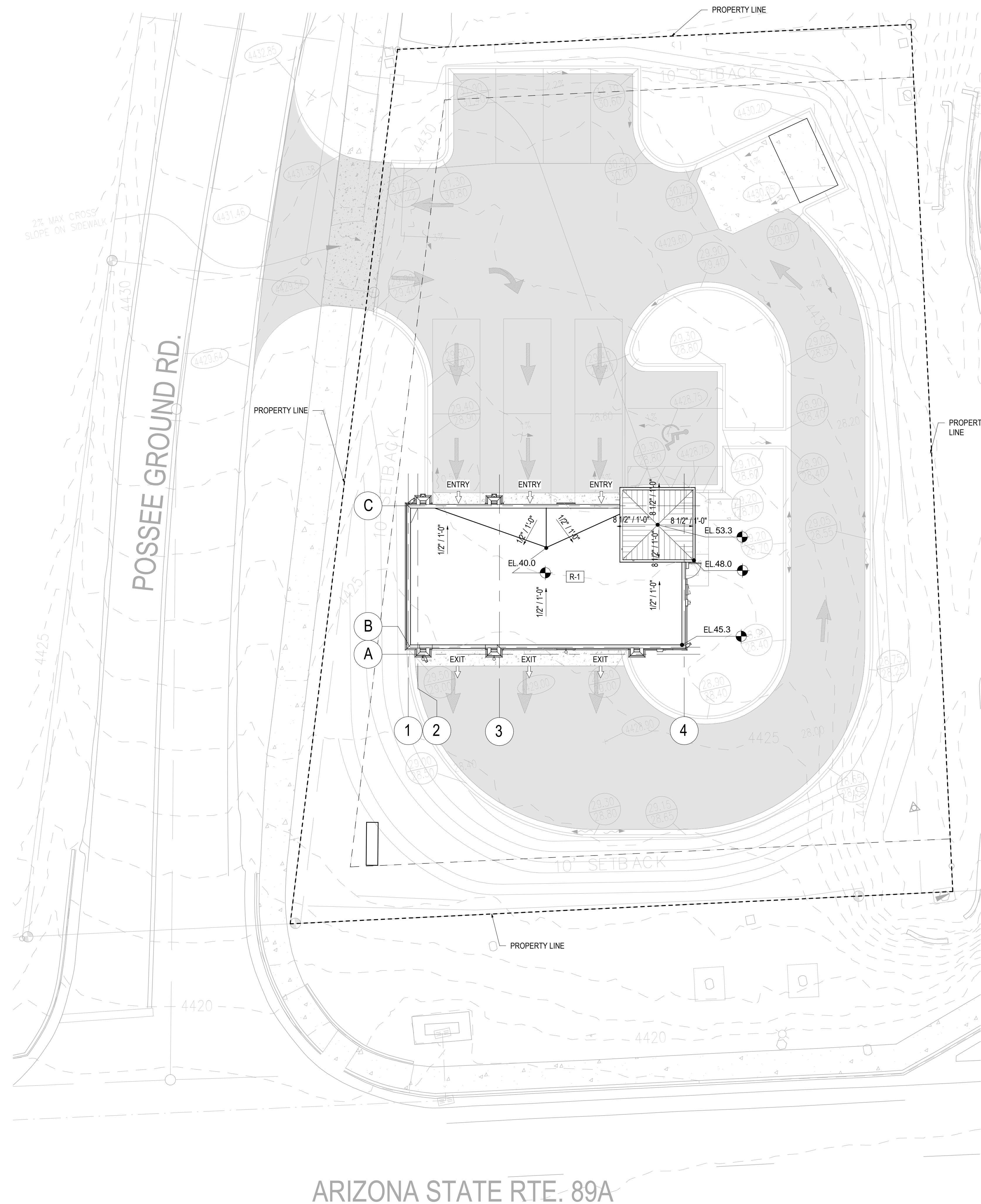
© 2022 Gensler

01 ARCHITECTURAL SITE PLAN

SCALE: 3/32" = 1'-0"

ARIZONA STATE RTE. 89A

4/7/2022 4:07:02 PM BIM:360/099.6678.008 - Take 5 Oil Change - Sedona, AZ:09.6678.008 TAKE 5 SEDONA_2.rvt



SHEET NOTES

GENERAL NOTES

- A. REFER TO CIVIL DRAWINGS FOR ALL SITE INFORMATION. ARCHITECTURAL SITE PLAN SHOWN FOR REFERENCE ONLY FOR LOCATION, ORIENTATION OF BUILDING AND DUMPSTER ENCLOSURES.
- B. REFER TO CIVIL DRAWINGS FOR SITE UTILITIES. GC TO REFER TO MEP DRAWINGS FOR COORDINATION AND ADDITIONAL INFORMATION
- C. REFER TO CIVIL DRAWINGS FOR SURVEY, SITE GRADING AND ADDITIONAL INFORMATION TO COORDINATE WITH STRUCTURAL FOUNDATION PLANS AND DETAILS.

Take 5 Oil Change

80 Posse Ground Rd
Sedona AZ 86336

Gensler

101 S. Tryon Street
Suite 2100
Charlotte, NC 28280
United States

Tel 704.377.2725
Fax 704.377.2807

Date	Description

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.008

Description

ROOF PLAN

Scale

3/32" = 1'-0"

A1.100

© 2022 Gensler

01 ROOF PLAN

SCALE: 3/32" = 1'-0"

ARIZONA STATE RTE. 89A

EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	EIFS MAIN COLOR	--	MATCH DE6118, SANDPIT	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
2	EIFS ACCENT BAND	--	MATCH DE6145, ROCKY RIDGE	FINISH TO MATCH STO "FINE SAND" OR DRYVIT "SANDBLAST"
3	BRICK VEENER	--	MATCH DEA159, RICH MOCHA	
4	COPING / CORNICE	--	MATCH DET439, SPICE OF LIFE	FINISH TO BE KYNAR 500 PREFINISHED
5	EIFS SECONDARY COLOR	--	MATCH DET439, SPICE OF LIFE	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
6	TOWER - ROOF AND GUTTER PRE-FINISHED STANDING SEAM	--	MATCH DET439, SPICE OF LIFE	
7	TOWER - FASCIA PRE-PRIMED LP SMARTSIDE TRIM	2	MATCH DET439, SPICE OF LIFE	
8	TOWER - SOFFIT PRE-PRIMED LP SMARTSIDE VENTED SOFFIT	2	MATCH DE6145, ROCKY RIDGE	

SHEET NOTES

- 01 LIGHT FIXTURE (TYPICAL) - REFER TO ELECTRICAL DWGS.
- 02 "J" JOINT IN EIFS - REFER TO DETAIL 10 / A4.201 FOR MORE INFORMATION
- 03 OIL CHANGE SIGN (37 S.F.) SHOWN FOR REFERENCE ONLY
- 04 PREFINISHED GALV. METAL COPING TO MATCH FINISH 4
- 05 A.C. UNIT LOUVER - COLOR DARK BRONZE
- 06 PREFINISHED METAL OVERFLOW SCUPPER (COLOR - DARK BRONZE)
- 07 PREFINISHED METAL DOWNSPOUT & LEADERHEAD (COLOR - DARK BRONZE)
- 08 1X2 SPLASHBLOCK OR CONNECT TO STORM DRAIN (COORDINATE WITH CIVIL)
- 09 6" ROUND PIPE BOLLARD TYPICAL - COLOR TO MATCH FINISH 5
- 10 EF-2 W/ THERMOSTAT & GRAVITY LOUVER
- 11 BATH FAN WALL CAP
- 12 12X12 INTAKE LOUVER - COLOR TO MATCH FINISH 1
- 13 ELECTRICAL METER / PANEL - PAINT DARK BRONZE
- 14 PAINT DOOR & FRAME TO BE SW #6076 - TURKISH COFFEE

Take 5 Oil Change

80 Posse Ground Rd
Sedona AZ 86336

Gensler

101 S. Tryon Street
Suite 2100
Charlotte, NC 28280
United States

Tel 704.377.2725
Fax 704.377.2807

Date	Description
1 10.08.2021	ISSUE FOR CONSTRUCTION



01 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



02 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

NOTE: SIGNAGE TO BE PERMITTED SEPERATELY

EXTERIOR FINISH NOTES:

1. EIFS TO BE STO THERM CI CLASSIC, DRYVIT OUTSULATION PLUS MD OR APPROVED EQUAL.
2. EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
3. EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF.
4. EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
5. METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
6. METAL ROOF PANELS TO BE 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
7. METAL COPING TO BE PREFINISHED, 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.008

Description

BUILDING ELEVATIONS

Scale

1/4" = 1'-0"

A2.101

EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	EIFS MAIN COLOR	--	MATCH DE6118, SANDPIT	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
2	EIFS ACCENT BAND	--	MATCH DE6145, ROCKY RIDGE	FINISH TO MATCH STO "FINE SAND" OR DRYVIT "SANDBLAST"
3	BRICK VEENER	--	MATCH DEA159, RICH MOCHA	
4	COPING / CORNICE	--	MATCH DET439, SPICE OF LIFE	FINISH TO BE KYNAR 500 PREFINISHED
5	EIFS SECONDARY COLOR	--	MATCH DET439, SPICE OF LIFE	FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE"
6	TOWER - ROOF AND GUTTER PRE-FINISHED STANDING SEAM	--	MATCH DET439, SPICE OF LIFE	
7	TOWER - FASCIA PRE-PRIMED LP SMARTSIDE TRIM	2	MATCH DET439, SPICE OF LIFE	
8	TOWER - SOFFIT PRE-PRIMED LP SMARTSIDE VENTED SOFFIT	2	MATCH DE6145, ROCKY RIDGE	

SHEET NOTES

- 01 LIGHT FIXTURE (TYPICAL) - REFER TO ELECTRICAL DWGS.
- 02 "J" JOINT IN EIFS - REFER TO DETAIL 10 / A4.201 FOR MORE INFORMATION
- 03 OIL CHANGE SIGN (37 S.F.) SHOWN FOR REFERENCE ONLY
- 04 PREFINISHED GALV. METAL COPING TO MATCH FINISH 4
- 05 A.C. UNIT LOUVER - COLOR DARK BRONZE
- 06 PREFINISHED METAL OVERFLOW SCUPPER (COLOR - DARK BRONZE)
- 07 PREFINISHED METAL DOWNSPOUT & LEADERHEAD (COLOR - DARK BRONZE)
- 08 1X2 SPLASHBLOCK OR CONNECT TO STORM DRAIN (COORDINATE WITH CIVIL)
- 09 6" ROUND PIPE BOLLARD TYPICAL - COLOR TO MATCH FINISH 5
- 10 EF-2 W/ THERMOSTAT & GRAVITY LOUVER
- 11 BATH FAN WALL CAP
- 12 12X12 INTAKE LOUVER - COLOR TO MATCH FINISH 1
- 13 ELECTRICAL METER / PANEL - PAINT DARK BRONZE
- 14 PAINT DOOR & FRAME TO BE SW #6076 - TURKISH COFFEE

Take 5 Oil Change

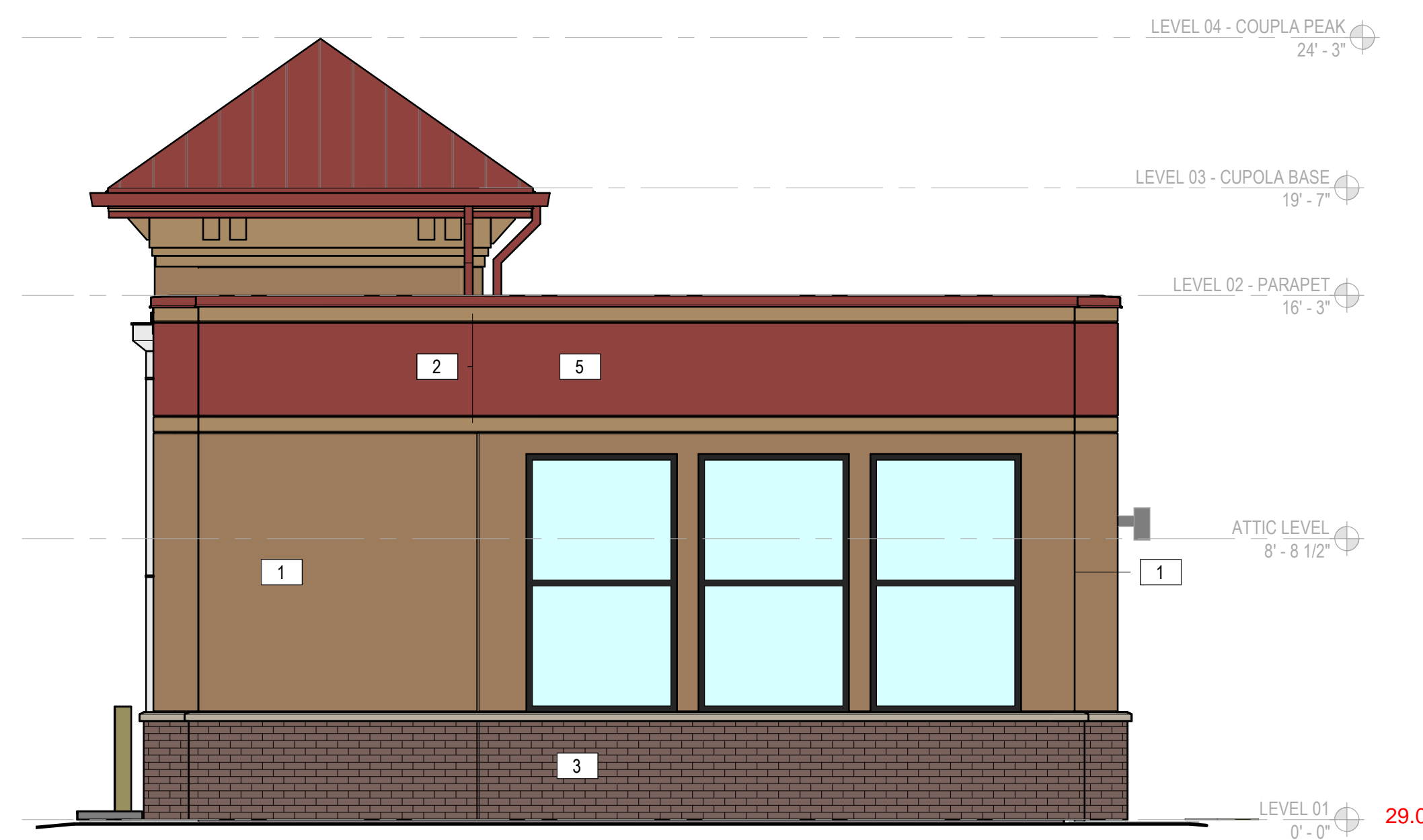
80 Posse Ground Rd
Sedona AZ 86336

Gensler

101 S. Tryon Street
Suite 2100
Charlotte, NC 28280
United States

Tel 704.377.2725
Fax 704.377.2807

Date	Description



01 WEST ELEVATION
SCALE: 1/4" = 1'-0"



02 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

NOTE: SIGNAGE TO BE PERMITTED SEPERATELY

EXTERIOR FINISH NOTES:

1. EIFS TO BE STO THERM CI CLASSIC, DRYVIT OUTSULATION PLUS MD OR APPROVED EQUAL.
2. EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
3. EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF.
4. EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
5. METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
6. METAL ROOF PANELS TO BE 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
7. METAL COPING TO BE PREFINISHED, 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.008

Description

BUILDING ELEVATIONS

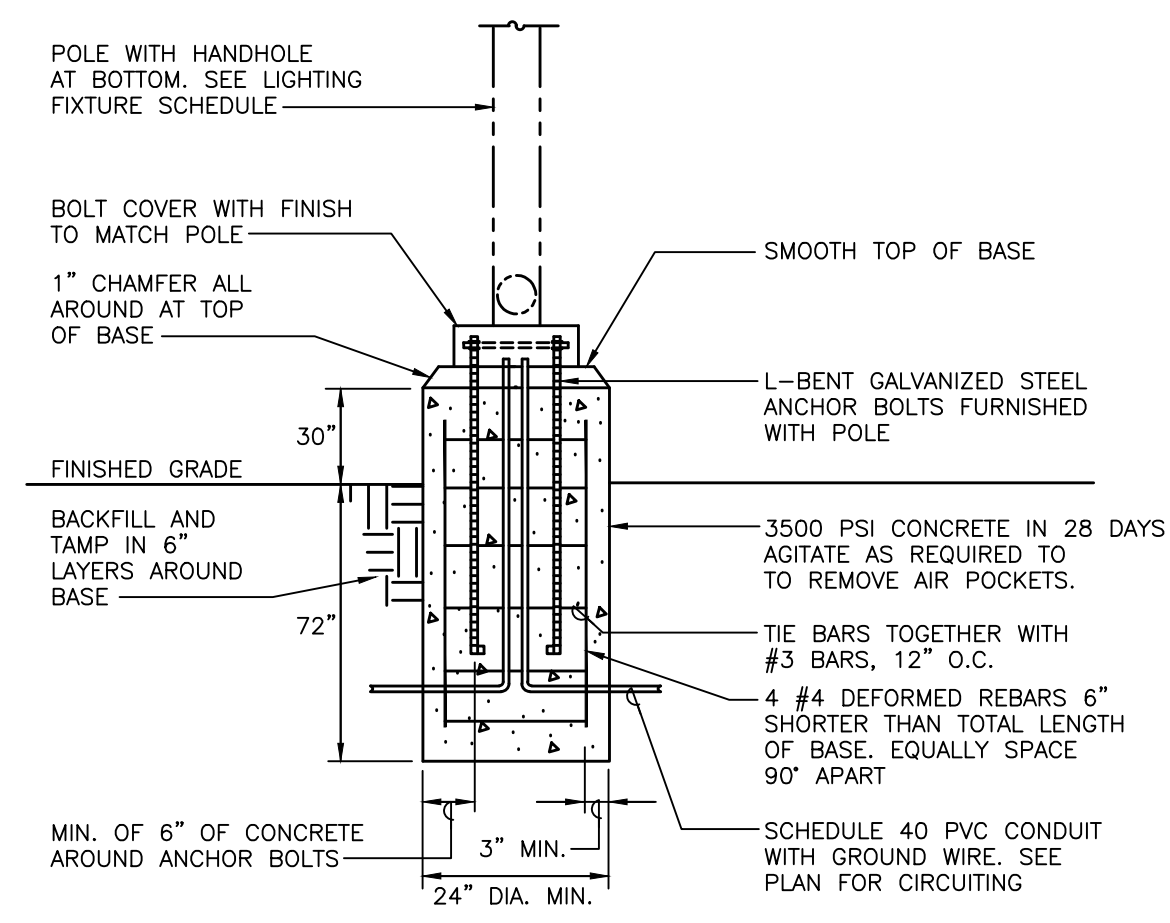
Scale

1/4" = 1'-0"

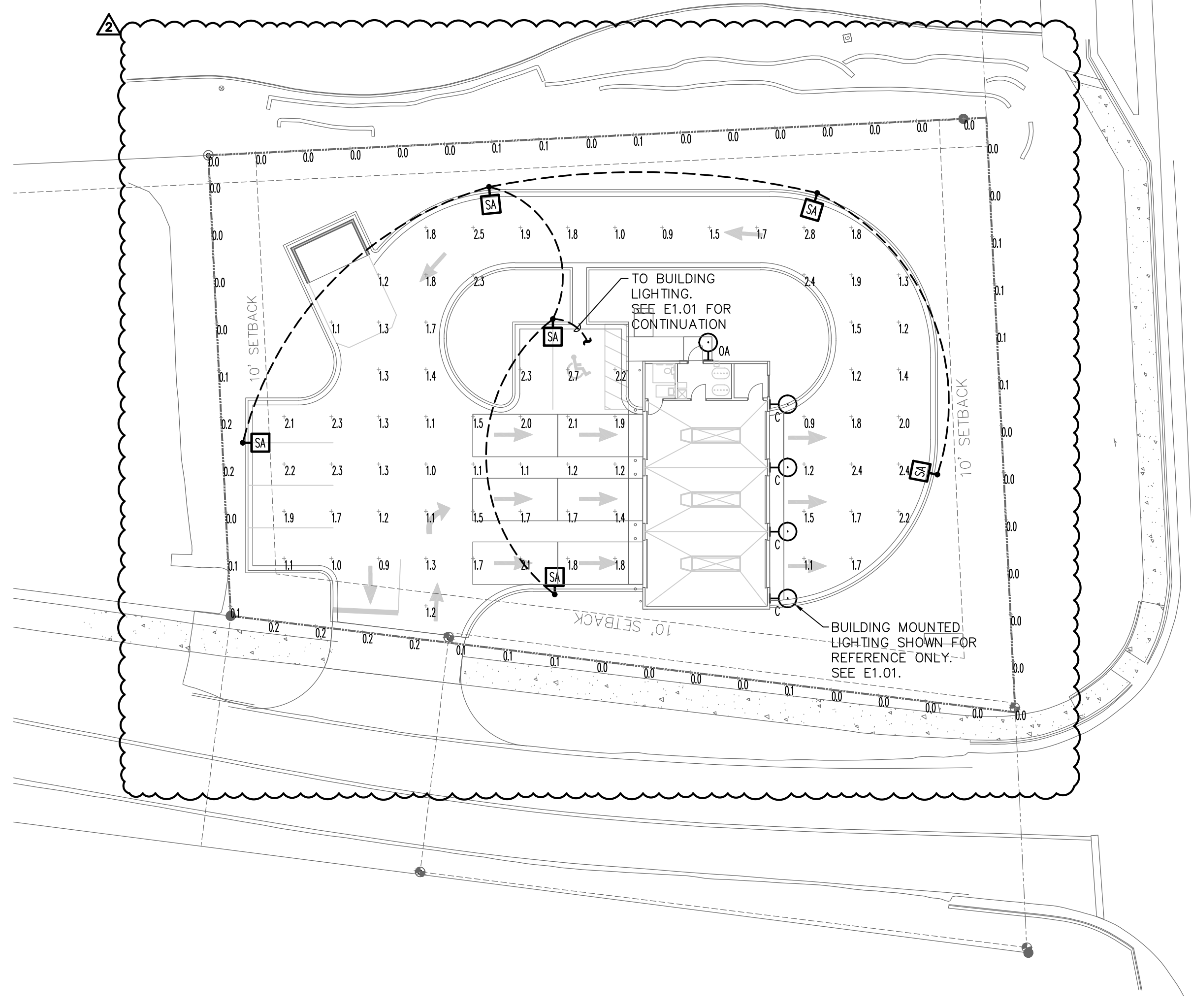
A2.102

LIGHT FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	B.U.G RATING	BALLAST / DRIVER	LAMPS / LUMENS	VOLTS WATTS
SA	COOPER LIGHTING	GPC-SA1-A-727-U-T4W-HSS-QM-BK	POLE MOUNTED LED FIXTURE, BLACK FINISH, WET LOCATION LISTED, TYPE IV WIDE DISTRIBUTION, 12'-0" STEEL POLE, HOUSE SIDE SHIELD	B2-UO-G3	ELECTRONIC	LED 2700K 3,016 LUMENS	120 34
C	KICHLER	11310BKLED	UP/DOWN LIGHTING WALL SCONCE, WET LOCATION RATED, PROVIDE WITH 1 #9536AZ LENS EACH FIXTURE	ELECTRONIC	ELECTRONIC	LED 2700K 925 LUMENS	120 20.1
OA	COOPER	ENC-SA1-A-727-U-T4FT-HSS-BK	LED WALL PACK, BLACK FINISH, WET LOCATION LABEL	B1-UO-G1	ELECTRONIC	LED 2700K 1,619 LUMENS	120/277 20.1

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking	Illuminance	Fc	1.63	2.8	0.9	1.81	3.11
Property Line	Illuminance	Fc	0.05	0.2	0.0	N.A.	N.A.



2 POLE BASE DETAIL
E1.00 NO SCALE



1 SITE PLAN - PHOTOMETRICS
E1.00 SCALE: 1" = 20'

Project	Catalog #	Type	SA
Prepared by	Notes	Date	

McGraw-Edison
GPC Gallon Pedestrian Companion

Area / Site Luminaire

Product Features

- Interactive Menu
- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 6

Quick Facts

- Choice of sixteen high-efficiency, patented AccuLED Optics
- Quick mount pole or mast-arm mounting configurations
- Eight lumen packages from 3,215 up to 17,056 lumens
- IP66 rated housing and LED light squares

Dimensional Details

Product Certifications

COOPER
Lighting Solutions

PHS00007EN page 1
January 14, 2022 9:15 AM

DESCRIPTION

The Entr LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Cooper Lighting Solutions' proprietary LED LightSquare technology and AccuLED Optics™ system, the Entr LED luminaire offers designers vast versatility in system design, function and performance. Use Entr LED for wall mount architectural lighting applications and egress lighting requirements. LALCAL listed for use in wet locations.

SPECIFICATION FEATURES

Construction
HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. FACEPLATE / DOOR: One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. GASKET: One-piece molded silicone gasket mates perfectly between the door and housing for reparable seal. LENS: Upright lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is an LED LightSquare with integral optics sealed for IP66 rating. HARDWARE: Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics
Choice of patented, high efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. CRI and CCT offering includes 2700K, 3000K, 3500K, 4000K, 5000K, and 5500K with minimum 70CRI and 2700K and 3000K with minimum 80CRI all within 8-step MacAdam ellipse.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage 120-277V/50/60Hz, 347V/60Hz or 480V/60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in +40°C to +60°C ambient environments and optional SDC construction available. All fixtures are shipped standard with 10kV/10A common and differential mode surge protection. LightSquare feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for 20°C ambient environments. Waveless™ occupancy sensor, and dimming options available.

Mounting
JUNCTION BOX: Standard with zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightSquare mounts facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery back, surface conduit and trough branch wiring. The Entr LED luminaire is approved for mounting on combustible surfaces.

Finish
Housing is finished in five-stage super TGIC polyester powder coat paint, 2.2 mil nominal thickness for superior protection against fade and wear. LightSquare cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete listing.

Warranty
Five-year warranty.

LightSquare
Solid State LED

ARCHITECTURAL WALL LUMINAIRE

ENC/ENT/ENV ENTRI LENV

CERTIFICATION DATA
DesignLights Consortium® Qualifier®
UL-listed
90-90+
IP66 LightSquare
LM79 / LM80 Compliant

ENERGY DATA
Efficient LED Driver
0.8 Power Factor
40% Total Harmonic Distortion
130-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
20°C Maximum Temperature
40°C Ambient Temperature Rating (Optional)

SHIPPING DATA
Approximate Net Weight:
15.2 lbs. (6.9 kg) - Without backbox
29.1 lbs. (13.2 kg) - With backbox

COOPER
Lighting Solutions

PHS00007EN page 1
January 14, 2022 9:15 AM

Cylinder 3000K LED 12.25" Wall Light

11310BKLED

© 2021 Kichler Lighting LLC. All Rights Reserved.

SPECIFICATIONS

Certifications/Qualifications	
Energy Star	Yes
Title 24 Compliant	Yes
www.kichler.com/warranty	
Dimensions	
Base Backplate Extension	6.50"
Weight	2.63 LBS
Height from center of Wall opening (Spec Sheet)	6.21"
Height	12.25"
Length	6.50"
Width	5.00"
Light Source	
Delivered Lumens	925
Dimmable	Yes
Expected Life Span (Hours)	45000
Lamp Included	Integrated LED
Light Source	LED
Max or Nominal Watt	20W
Max Wattage/Range	20W
Mounting/Installation	
Interior/Exterior	Exterior
Location Rating	Wet
Mounting Style	Wall Mount
Mounting Weight	3.50 LBS
Photometrics	
Color Rendering Index	90
Kelvin Temperature	2700K
FIXTURE ATTRIBUTES	
Housing	EPDM
Primary Material	EPDM
Product/Ordering Information	
SKU	11310BKLED
Finish	Textured Black
Style	Other
LPC	733027545297
Finish Options	
Textured Black	<input checked="" type="radio"/>

COOPER
Lighting Solutions

PHS00007EN page 1
January 14, 2022 9:15 AM

Take 5 Oil Change



Gensler
101 South Tryon Street
Suite 2100
Charlotte, NC 28208
United States
Tel 704.377.2725
Fax 704.377.2807



Structural Engineer
1307 W. Morehead Street
Suite 205
Charlotte, NC 28208
Telephone 980.999.6122



MEP Engineer
2905-D Queen City Dr.
Charlotte, NC 28208
Telephone 704.399.3943

Date	Description
7/29/2021	ISSUE FOR CONSTRUCTION

Seal / Signature

Project Name
Take 5 Oil Change

Project Number
59.6678.001

Description
SITE PHOTOMETRIC PLAN

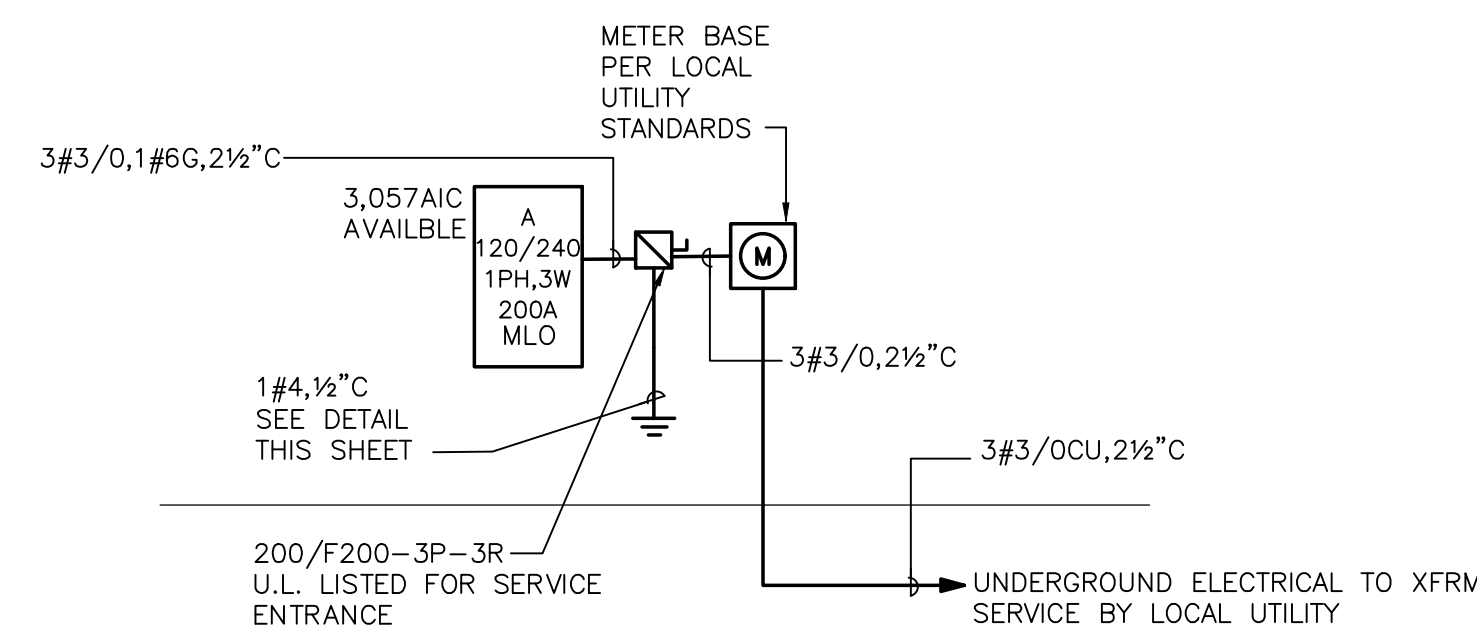
Scale
As indicated

E1.00

LOAD		KVA		D.F.		KVA NET	
LOAD	KVA	D.F.	KVA	D.F.	KVA	D.F.	KVA
LIGHTING	4.8	1.29	6.0				
RECEPTACLES	6.9	1.00	6.9				
RECEPTACLES	0.0	0.50	0.0				
MOTORS	3.5	1.00	3.5				
LARGEST MOTOR	0.0	1.75	0.0				
HEAT	16.3	1.00	16.3				
KITCHEN	0.0	0.56	0.0				
OTHER	2.7	1.00	2.7				
SPARE	0.0	1.00	0.0				
TOTAL	34.2		35.4				

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	B.U.G RATING	BALLAST / DRIVER	LAMPS / LUMENS	VOLTS	WATTS
A	METALLUX	8V12LD5-9-DR-UNV-L840-CD1-U	8" INDUSTRIAL LED LAMP VAPORITITE INDUSTRIAL REFRIGERATED CASE FIXTURE. CHAIN HUNG OPTION	NA	ELECTRONIC	LED 4000K 9054 LUMENS	120/277	65
AE	METALLUX	8V12LD5-9-DR-UNV-VT-REM-EL-L840-CD1-U	8" INDUSTRIAL LED LAMP VAPORITITE INDUSTRIAL REFRIGERATED CASE FIXTURE. CHAIN HUNG OPTION. REMOTE EMERGENCY ENCLOSURE	NA	ELECTRONIC	LED 4000K 9054 LUMENS	120/277	65
B	LITHONIA	RTL1A-30L-GZ10-LP840	1'x4' LED VOLUMETRIC SURFACE MOUNT FIXTURE	NA	ELECTRONIC	LED 4000K 3224 LUMENS	120/277	26.6
BE	LITHONIA	RTL1A-30L-GZ10-EL14L-LP840	1'x4' LED VOLUMETRIC SURFACE MOUNT FIXTURE WITH BATTERY BACKUP	NA	ELECTRONIC	LED 4000K 3224 LUMENS	120/277	26.6
C	KICHLER	11310BK7LED	UP/DOWN LIGHTING WALL SCIENCE. WET LOCATION RATED. PROVIDE WITH 1 #9536AZ LENS EACH FIXTURE	ELECTRONIC	ELECTRONIC	LED 2700K 925 LUMENS	120	20.1
OA	COOPER	ENC-SA1-A-727-U-T4FT-HSS-BK	LED WALL PACK, BLACK FINISH, WET LOCATION LABEL	B1-U0-G1	ELECTRONIC	LED 2700K 1,619 LUMENS	120/277	20.1
EX	LIGHT ALARMS	QLN500-RN	WALL MOUNTED LED EXIT LIGHT WITH POLYCARBONATE HOUSING WITH SELF CONTAINED POWERPACK FOR 90 MIN. OPERATION. LEAD CALCIUM BATTERY			LED	120/277	2.5
EM	LIGHT ALARMS	LGA-2LEDR	WALL MOUNTED EMERG LED LIGHT WITH POLYCARBONATE HOUSING WITH SELF CONTAINED POWERPACK FOR 90 MIN. OPERATION. LEAD CALCIUM			DOUBLE LED	120/277	4.9
EM EXT	LIGHT ALARMS	UQLN500-R-2LED-R	WALL MOUNTED COMBO EMERG/EXIT LED LIGHT WITH POLYCARBONATE HOUSING WITH SELF CONTAINED POWERPACK FOR 90 MIN. OPERATION. REMOTE HEAD FEED FROM COMBO			LED FOR FACE.	120/277	4.9
EXT	LIGHT ALARMS	ELF652D/LED-WP	REMOTE HEAD FEED FROM COMBO			DOUBLE LED	120/277	4.9

NOTES:
 1 SEE ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT FIXTURE LOCATIONS.
 2 SUSPEND TWO OPPOSITE CORNERS WITH WIRE TO STRUCTURE FROM ALL 4 CORNERS. DO NOT ALLOW GRID ALONE TO SUPPORT FIXTURE.
 3 FIXTURE FLANGES AND TRIMS SHALL MATCH CEILING TYPES.



1 POWER RISER DIAGRAM

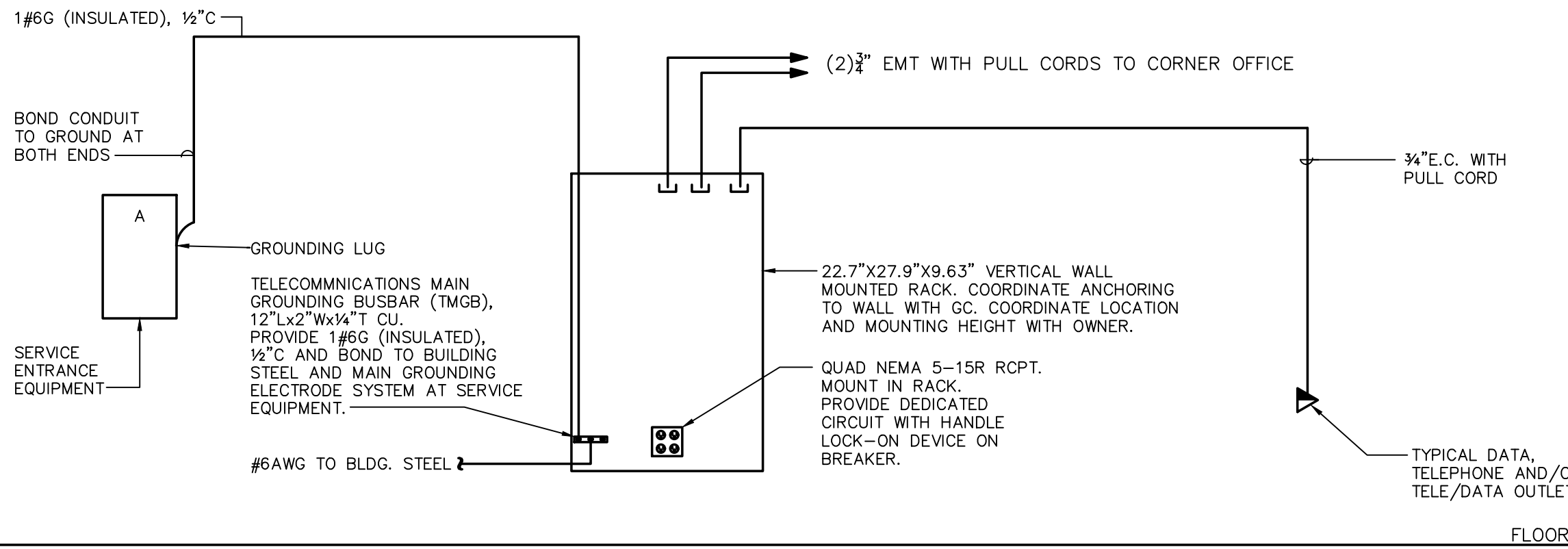
(E2.01) NO SCALE

GENERAL NOTES:

- E.C IS RESPONSIBLE FOR UNDERGROUND SERVICE FROM UTILITY TRANSFORMER TO METER. COORDINATE WITH LOCAL UTILITY COMPANY ON LOCATION OF TRANSFORMER.

MECHANICAL EQUIPMENT SCHEDULE											
EQUIPMENT DESIGNATION	EQUIPMENT CATEGORY	MCA	MOCF	VOLTS	PHASE	HP/KW	DISCONNECT	NOTES			
EH-1	ELECTRIC UNIT HEATER	6.30	15	120	1	0.75	INTEGRAL				
EH-2	ELECTRIC UNIT HEATER	7.2	15	240	1	1.5	SZ				
EF-1,3	EXHAUST FAN			120	1	0.13	SM				
EF-2	EXHAUST FAN			120	1	0.11	SM				
EF-4	SERVICE BAY EXHAUST FAN			120	1	0.67	SM				
PTAC-1	PTAC UNIT	19.5	20	240	1	3.5	30NF-2P				
WH-1	ELECTRIC WATER HEATER			20	120	1	1.5	SM			
IRH-1,2	SERVICE BAY ELECTRIC HEATERS			240	1	6	60NF-2P				

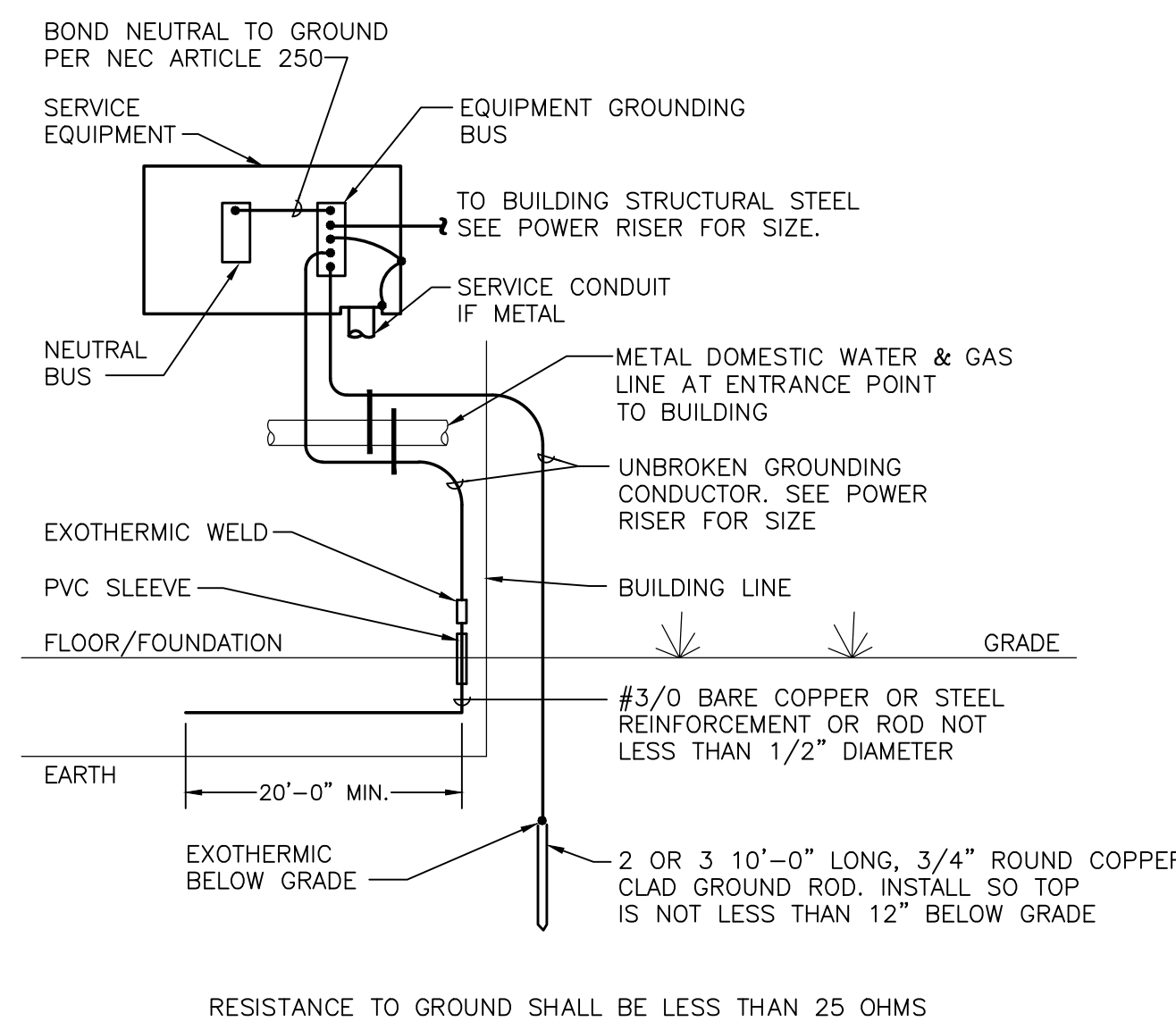
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL AS REQUIRED ALL DISCONNECT SWITCHES, RECEPTACLES, ETC. TO MECHANICAL/PLUMBING EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL ALSO PROVIDE ALL CORDS, PLUGS, CABLES, ETC. ON EQUIPMENT REQUIRING SUCH ITEMS.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE FINAL CONNECTIONS TO ALL MECHANICAL/PLUMBING EQUIPMENT AS REQUIRED.



- TELE/DATA RISER DIAGRAM NOTES:
- FLOOR PLANS INDICATE THE EXACT QUANTITY AND LOCATION OF ALL TELEPHONE AND/OR DATA OUTLETS.
 - ALL TELEPHONE AND/OR DATA WIRING AND EQUIPMENT SHALL BE PROVIDED BY THE OWNER'S TELE/DATA SUPPLIER.

3 TELEPHONE RISER DIAGRAM

(E2.01) NO SCALE



2 SERVICE GROUNDING DETAIL

(E2.01) NO SCALE

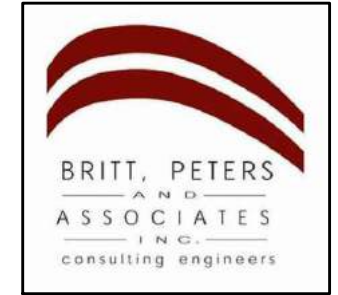
Take 5 Oil Change

80 Posse Ground Rd.
 Sedona, AZ 86336



Gensler

101 South Tryon Street
 Suite 2100
 Charlotte, NC 28208
 United States
 Tel 704.377.2725
 Fax 704.377.2807



Structural Engineer
 1307 W. Morehead Street
 Suite 205
 Charlotte, NC 28208
 Telephone 980.999.6122



MEP Engineer
 2905-D Queen City Dr.
 Charlotte, NC 28208
 Telephone 704.399.3943

Date	Description
7/29/2021	ISSUE FOR CONSTRUCTION

Seal / Signature



Project Name

Take 5 Oil Change

Project Number

59.6678.001

Description

PANEL SCHEDULES AND RISER DIAGRAM

Scale

As indicated

E2.01

FRONT ELEVATION

TAKE 5

OIL CHANGE

80 Posse Ground Rd
Sedona, AZ 86336



Underwriters Laboratories Inc.
UL File #E225670

Copyright Notice ©

This drawing and all reproductions thereof are the property of Signs Unlimited, Inc. and may not be reproduced, published, changed or used in any way without written consent.

ADDITIONAL ELEMENT

ALUMINUM PANS

Quantity:

2

Size:

As in drawing

Color:

Black and White

Returns:

1"

Mounting:

Angle into facade



NOTE: CENTERED UNDER LIGHTS
AND 6" DOWN FROM THE BOTTOM
OF SCENCE VERTICALLY

INITIAL LAYOUT:

March 9, 2022

REVISIONS:

03/11/2022

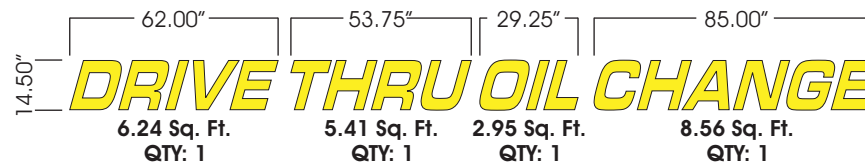
03/16/2022

I
II
III
IV
V

Sq. Ft. Signage: 34.83
Signage Allowance:
50.00 Sq. Ft. Aggregate

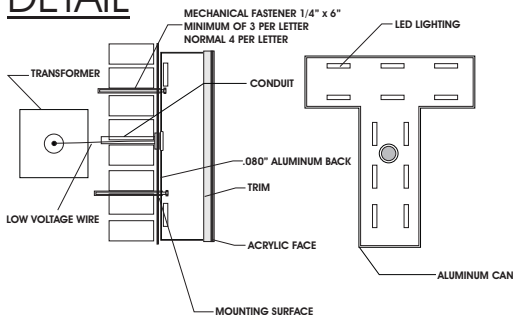


Oil Can
Calculation



IMPOSED IMAGERY

DETAIL



NOTES:

- IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL, CONNECTION TO BE HANDLED BY INSTALLER. IF NOT ELECTRICAL HANDLED BY OWNER/GC
- IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER
- REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER

SPECIFICATIONS

ILLUMINATED
CHANNEL LETTERS

Quantity:

See above

Size:

As in drawing

Trim:

1"

Trim Color:

Black

Return Color:

Black

Face Color:

Yellow

Face:

1/8" Acrylic

Letter Interior:

Gloss White

Illumination:

LED

Mounting:

Studded Letters

Owner/Landlord Approval _____

SIGNS UNLIMITED
communicate your identity

6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

Copyright Notice ©

This drawing and all reproductions thereof are the property of Signs Unlimited, Inc. and may not be reproduced, published, changed or used in any way without written consent.

REAR ELEVATION

TAKE 5 OIL CHANGE

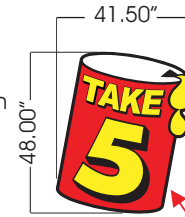
80 Posse Ground Rd
Sedona, AZ 86336

INITIAL LAYOUT: March 16, 2022

REVISIONS:
I
II
III
IV
V



Oil Can Calculation

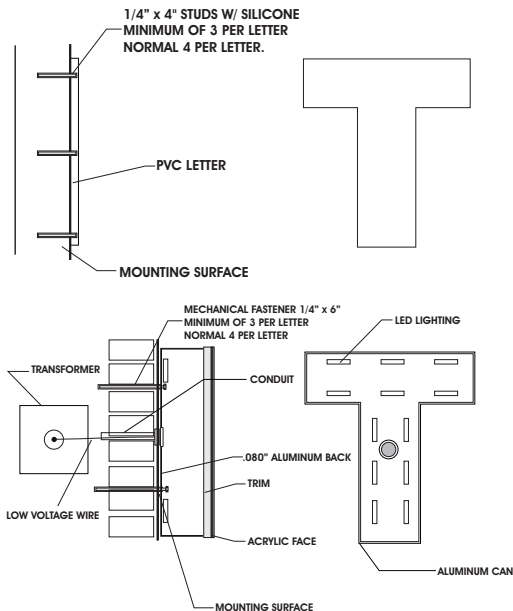


+/- 20 Degree Angle on Can

Sq. Ft. Signage: 11.67
Signage Allowance: 50.00 Sq. Ft. Aggregate

221.50"
18.00"
STAY IN YOUR CAR
INFORMATIVE/INSTRUCTIONAL MESSAGE
(NOT COUNTED TOWARD ALLOWANCE)
QTY: 1

DETAIL



IMPOSED IMAGERY



NOTES:

- IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL, CONNECTION TO BE HANDLED BY INSTALLER. IF NOT ELECTRICAL HANDLED BY OWNER/GC
- IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER
- REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER

SPECIFICATIONS NON ILLUMINATED PVC LETTERS W/ STUDS

Quantity: See above
Size: As in drawing
Thickness: 1/2"
Face Color: Yellow
Edge Color: Yellow
Mounting: Studs w/ Silicone

SPECIFICATIONS ILLUMINATED CHANNEL LETTERS

Quantity: See above
Size: As in drawing
Trim: 1"
Trim Color: Black
Return Color: Black
Face Color: Yellow
Face: 1/8" Acrylic
Letter Interior: Gloss White
Illumination: LED
Mounting: Studded Letters

Owner/Landlord Approval _____



SIDE ELEVATIONS

TAKE 5

OIL CHANGE

80 Posse Ground Rd
Sedona, AZ 86336



Underwriters Laboratories Inc.
UL File #E225670

Copyright Notice ©

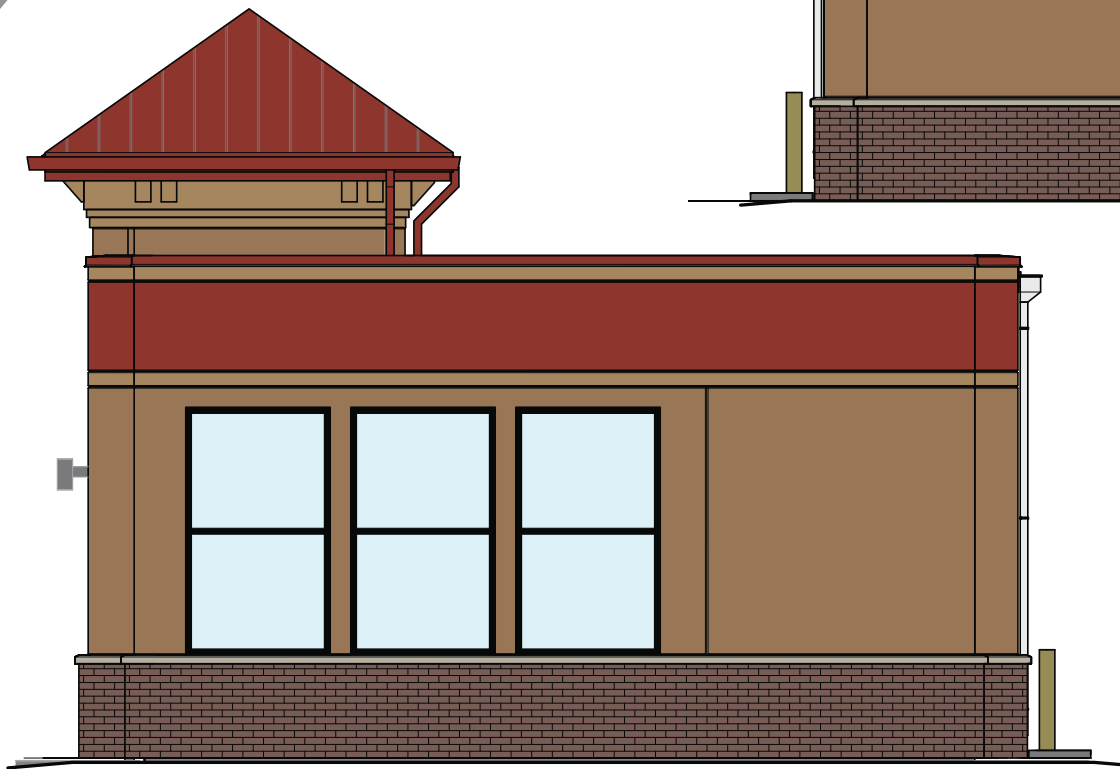
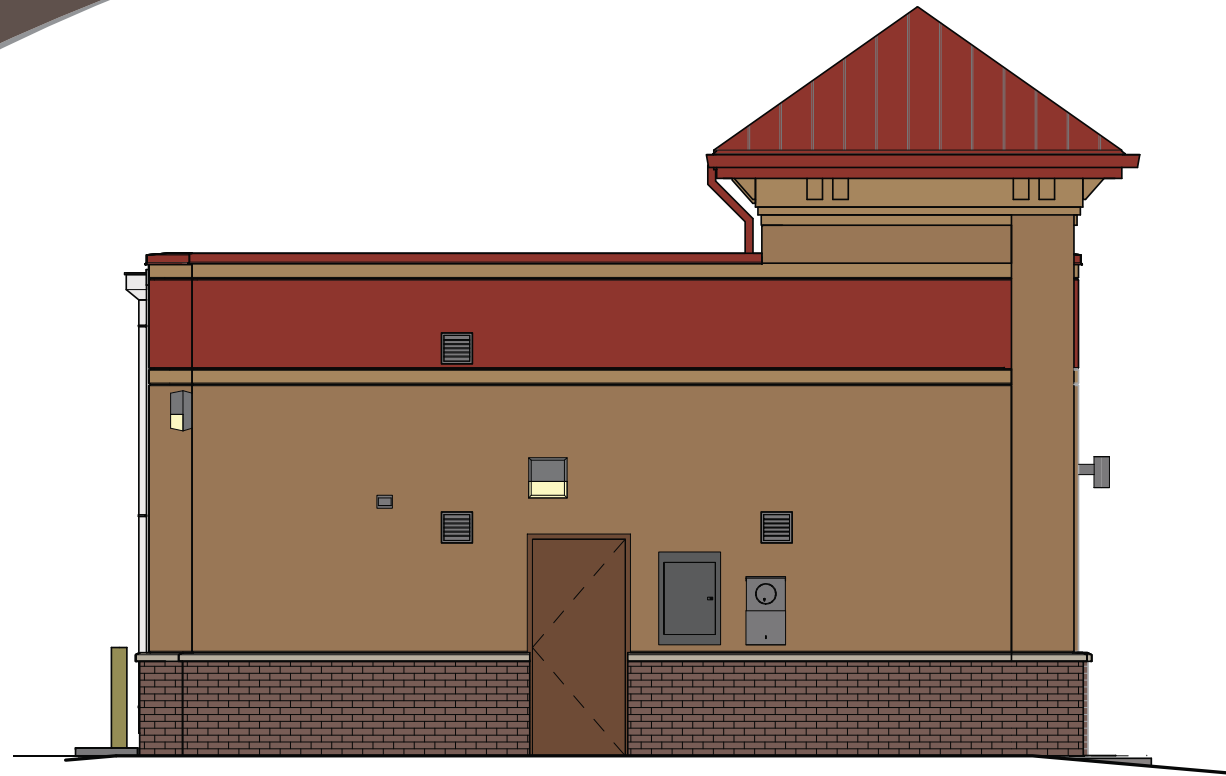
This drawing and all reproductions thereof are the property of Signs Unlimited, Inc. and may not be reproduced, published, changed or used in any way without written consent.

NO SIGNAGE

INITIAL LAYOUT: March 9, 2022

REVISIONS: 03/11/2022

- I
- II
- III
- IV
- V



Owner/Landlord Approval _____



6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

SPECIFICATIONS

NON ILLUMINATED
DOUBLE-SIDED POST & PANEL

Quantity:

See Below

Size:

As in drawing

Material:

Aluminum square tubing and panels

Face Color:

SW 7693 Stonebriar and
as determined by message

Leg Color:

SW 6076 Turkish Coffee

Mounting:

Into Earth

Sq. Ft. Signage:

4.00



Underwriters Laboratories Inc.
UL File #E225670

Copyright Notice ©

This drawing and all
reproductions thereof are the property
of Signs Unlimited, Inc. and
may not be reproduced, published,
changed or used in any way without
written consent.

DIRECTIONAL SIGNAGE

TAKE 5

OIL CHANGE

80 Posse Ground Rd
Sedona, AZ 86336

INITIAL LAYOUT:

March 9, 2022

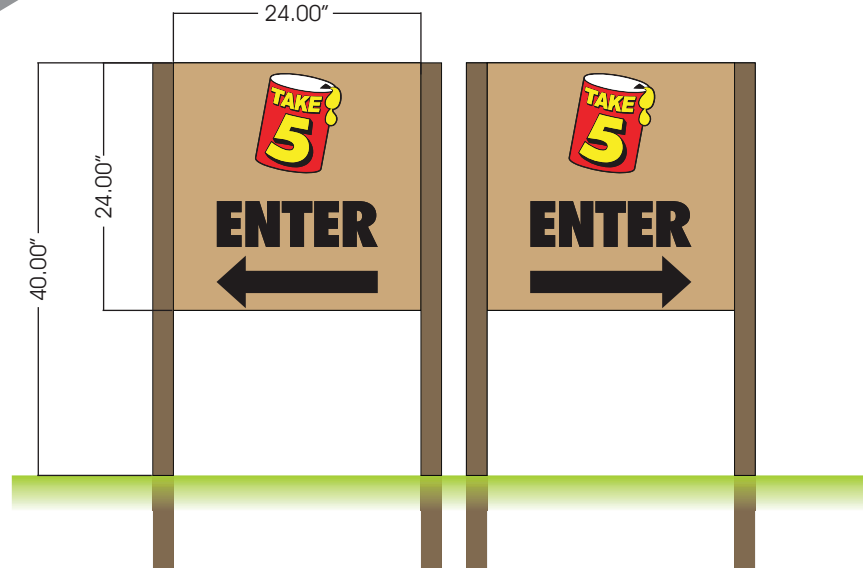
REVISIONS:

- I -
- II -
- III -
- IV -
- V -

SIDE 1

SIDE 2

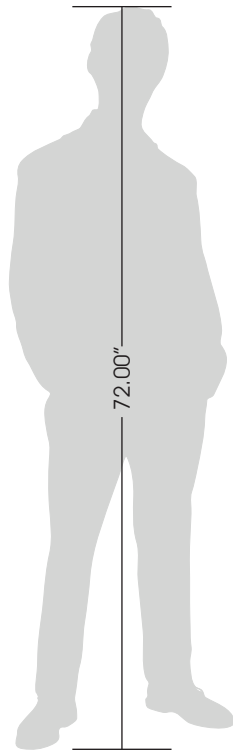
QTY: 1



SIDE 1

SIDE 2

QTY: 1



Owner/Landlord Approval _____



TAKE 5 OIL CHANGE

80 Posse Ground Rd
Sedona, AZ 86336



Underwriters Laboratories Inc. •
UL File #E225670

Copyright Notice ©

This drawing and all
reproductions thereof are the property
of Signs Unlimited, Inc. and
may not be reproduced, published,
changed or used in any way without
written consent.

PROOF
**NOTE: ENGINEERING
REQUIREMENTS MAY
ALTER FOOTER,
POLE AND PRICE**

INITIAL LAYOUT: March 9, 2022

REVISIONS:

- I
- II
- III
- IV
- V

CHANGEABLE COPY CHARACTER COUNT
EXTRAS TO BE DETERMINED AND ORDERED WITH STANDARD SET
(CANNOT ORDER INDIVIDUAL LETTERS AT A LATER DATE)

200 Piece Set of 8 ON 9 ADM Letters			
E	14	F G H M B C D	6 Each
A I	12 Each	J K V W Y Z	4 Each
O U	10 Each	Q X \$ ¢ 0 1 2 3 4 5 6 7 8 9	2 Each
L N R S T P	8 Each		

Sq. Ft. Signage: 24.24
Signage Allowance: 25.00 Sq. Ft.
Max Height 8'
Base Must be 75%
of Sign Width

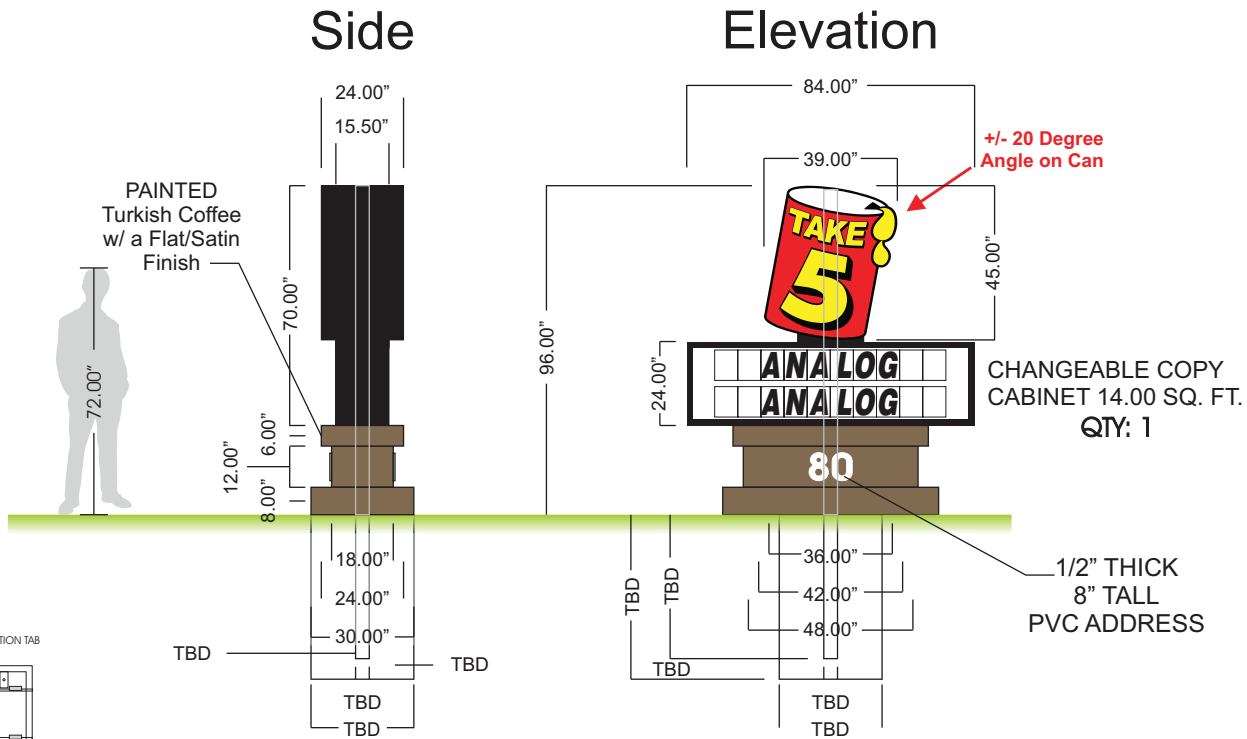
SPECIFICATIONS
**DOUBLE-SIDED
ILLUMINATED
ALUMINUM CABINET**

- Quantity: 1 of Each
- Size: As in drawing
- Face Color: As in drawing
- Vinyl Colors: As in drawing
- Face: Flat
- Cabinet Interior: Gloss White
- Cabinet Color: Black
- Retainer: 1.5" & 2.0"
- Illumination: LED
- Mounting: Pole w/ Concrete Footer Into earth

**OIL CAN
CALCULATION**

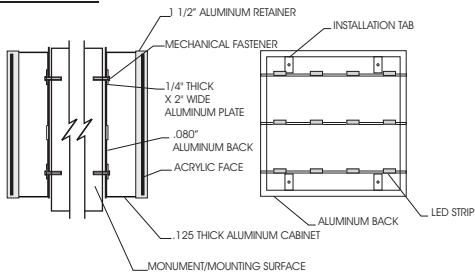


10.24 Sq. Ft.
QTY: 1



NOTE: HOLE AND FOOTER DIMENSIONS/SPECIFICATIONS
TO BE DETERMINED BASED ON ENGINEERING

DETAIL



Owner/Landlord Approval _____





Copyright Notice ©

This drawing and all reproductions thereof are the property of Signs Unlimited, Inc. and may not be reproduced, published, changed or used in any way without written consent.

THE ADJOINING PROPERTY DOES NOT HAVE A STANDARD DRIVEWAY. CARS ARE PARKED PERPENDICULAR TO THE ROAD AND ARE FORCED TO BACK OUT INTO THE ROADWAY TO LEAVE THE SITE. A SHARED DRIVEWAY WAS CONSIDERED BUT FOUND TO BE INFEASIBLE DUE TO THE GRADES BETWEEN THE TWO PROPERTIES. THE ADJOINING PROPERTY WOULD ALSO HAVE TO LOSE SEVERAL PARKING SPACES TO ACCOMMODATE A SHARED DRIVEWAY.

DRIVEWAYS, DRIVE AISLES AND PARKING AREAS WILL BE ASPHALT PAVEMENT.

INITIAL LAYOUT:

March 9, 2022

REVISIONS:

- I 03/11/2022
- II 03/16/2022
- III 04/04/2022
- IV -
- V -

**REAR:
CAN & "STAY IN YOUR CAR"**

**ENTER/ENTER
DIRECTIONAL**

**EXIT ONLY/HONK
DIRECTIONAL**

**PROPOSED
LOCATION OF
NEW MONUMENT**

**FRONT SIGNAGE:
CAN, "DRIVE THRU OIL CHANGE"**

DRIVEWAY SHALL COMPLY WITH
MAG STANDARD DETAIL 250.(SEE SHEET 8)
DRIVEWAY WIDTH IS 28'
USE COLORED "SEDONA RED"
CONCRETE FOR DRIVEWAY APRON.

REPLACE SIDEWALK WITH
4" THICK, COLORED CONCRETE
NEW SIDEWALK TO BE 10' WIDE.
INSTALL DETECTABLE WARNING
BOTH SIDES OF DRIVEWAY
CONCRETE MUST BE COLORED
"SEDONA RED" (DAVIS 160 COLOR)

OWNER SHALL DEDICATE
2' EASEMENT FOR
BENEFIT TO THE CITY OF
SEDONA FOR THE
PROPOSED SIDEWALK
WIDENING PROJECT.

EX. SIDEWALK TO REMAIN

SIGHT VISIBILITY TRIANGLE

PROPOSED MONUMENT SIGN
TO BE PERMITTED SEPARATELY

TRASH ENCLOSURE
10'X14'
SEE ARCH PLANS
FOR DETAILS

ACCESSIBLE PARKING/SIGNAGE SHALL
MEET THE REQUIREMENTS OF THE
CITY LDC AND DREAM DOCUMENTS

24" CURB
& GUTTER
MAG DT-220
TYPE-A (TYP)

CURB CUT FOR HC ACCESS

4' x 7' CONCRETE PAD FOR
2-BICYCLE PARKS.
SEE DETAIL THIS SHEET FOR
INVERTED-U BIKE RACK.

CONC. SIDEWALK

