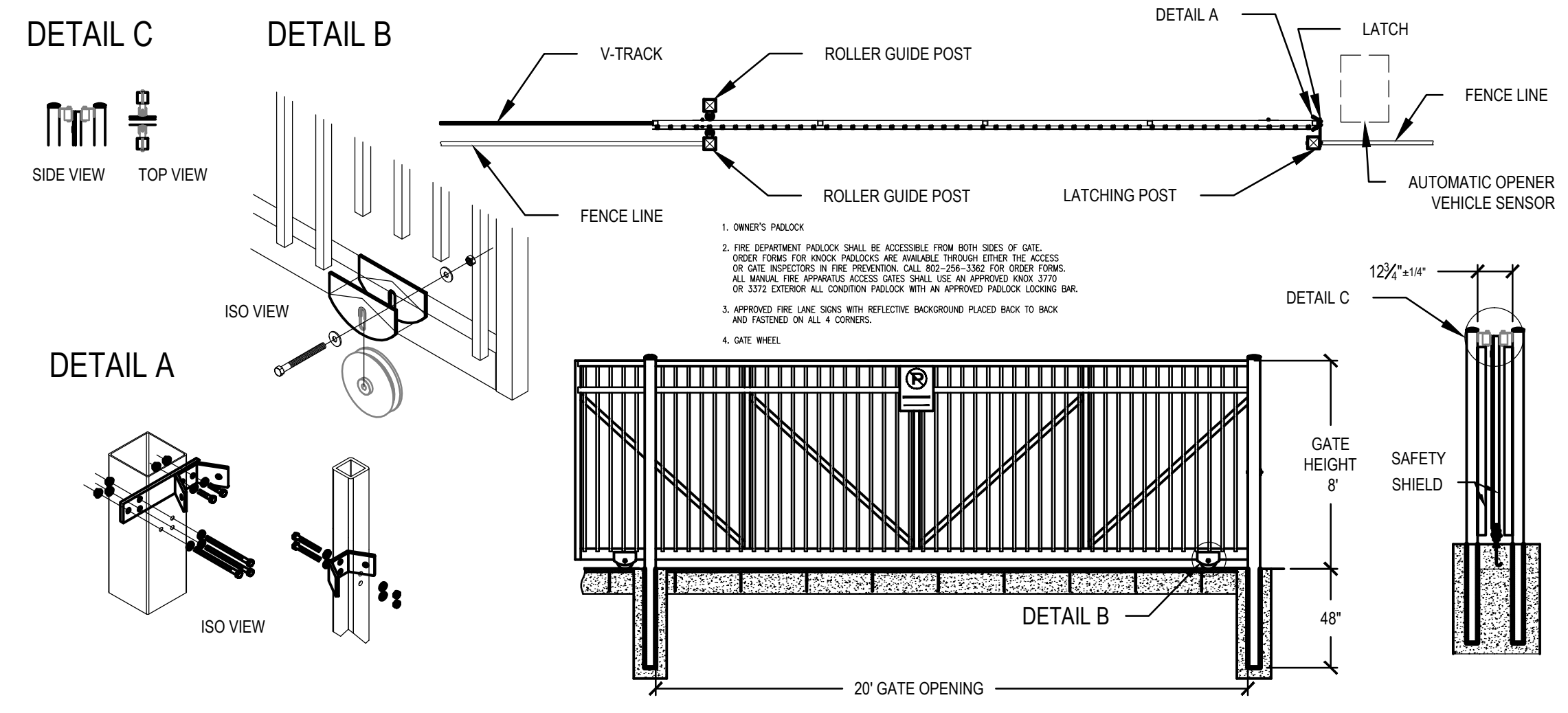


③ screening (site walls) block/stucco wall SCALE: 1/4"=1'-0"

④ screening (site walls) W.I. fence SCALE: 1/4"=1'-0"



② rolling gate SCALE: 1/4"=1'-0"

vicinity map



Sedona, AZ

project data:

PROPERTY OWNER	WHITE BEAR PROFESSIONAL PLAZA LLC
ADDRESS	135 ROADRUNNER DR. SEDONA AZ 86336
CONTACT	JOHN SNICKERS
EMAIL	JSNICKERS@AZWATER.COM
PROJECT DESCRIPTION	PROPOSED DOMESTIC WATER SUPPLY WELL, WAREHOUSE AND ENCLOSED EQUIPMENT AND MATERIAL STORAGE.
JURISDICTION	CITY OF SEDONA
APPLICABLE CODES:	2018 INTERNATIONAL BUILDING CODE WITH AMENDMENTS 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL MECHANICAL CODE 2017 NATIONAL ELECTRICAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2012 INTERNATIONAL FIRE CODE
GENERAL ACCESSIBILITY:	ADA ACCESSIBILITY GUIDELINES AS ADOPTED BY THE STATE OF ARIZONA - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
SUBDIVISION	ROADRUNNER RANCHO
ZONING	M2
PARCEL NUMBERS	408-02-108F & 408-02-108H
SITE AREA	0.55 ACRE & 0.55 ACRE
BUILDINGS ON SITE	WAREHOUSE = 3,200 SQ.FT. STORAGE = 1,760 SQ.FT. TOTAL BUILDING STORAGE = 4,960 SQ.FT.

keynotes: #

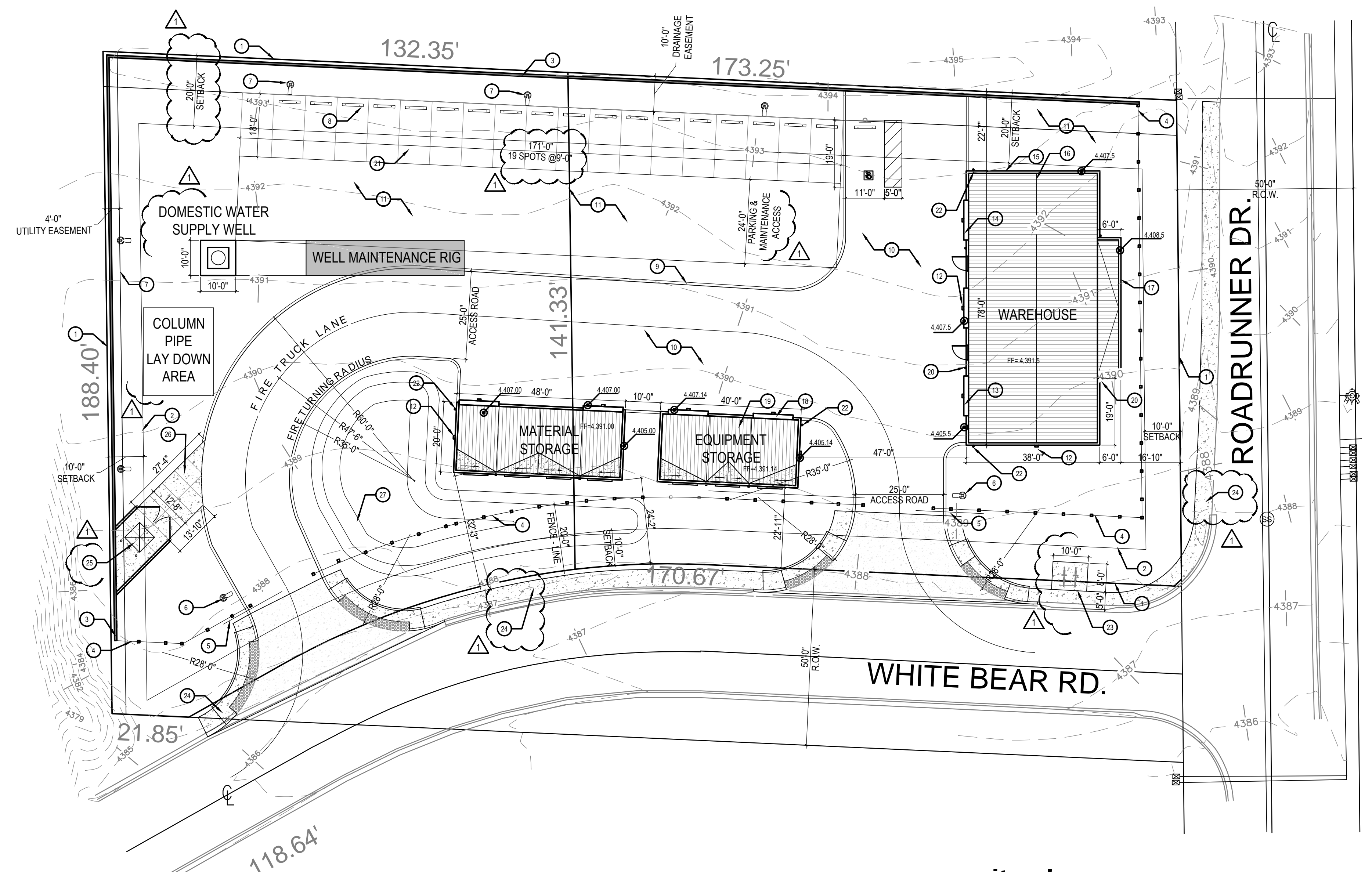
- PROPERTY LINE
- SET BACK
- 8' HIGH BLOCK WALL FINISHED WITH STUCCO ON PERIMETER. SEE DETAIL 3/AS1
- 8' HIGH W.I. FENCE CONSTRUCTED WITH BLOCK AND FINISHED WITH STUCCO @ 8'-0" O.C. SEE DETAIL 4/AS1
- MOTORIZED SLIDING GATE. SEE DETAIL 2/AS1
- 3-WAY EXTERIOR LIGHT SWITCH
- POLE MOUNTED FULL CUTOFF AREA LIGHT POLE 12' H. DARK SKY COMPLIANT. TYP. SEE PHOTOMETRIC PLAN
- CONC. PARKING STOP
- 6" RIBBON CONC. CURB AROUND DRIVEWAY
- ASPHALT DRIVEWAY
- DECOMPOSED GRANITE - DUST CONTROL MATERIAL
- BUILDING MOUNTED LIGHT FIXTURE - DARK SKY COMPLIANT. TYP. SEE ELEVATIONS
- OVERHEAD COILING GARAGE DOOR
- 16' TOP OF WALL-PARAPET
- 14' TOP OF PARAPET
- 13' TOP OF RIDGE
- 17' TOP OF PARAPET
- 14' TOP OF PARAPET
- 1/4" SINGLE SLOPE
- DOWNSPOUTS. SEE CIVIL FOR CONTINUATION.
- DG PARKING LOT MARKERS TO DESIGNATE PARKING AREAS.
- HOSE BIB. TYP.
- 2 BICYCLE SPACES
- 5'-0" SIDEWALK
- REFUSE AREA W/ 8' SOLID WALL PER 3/AS1 AND OPAQUE DOORS TO MATCH BUILDING OVERHEAD DOORS
- 4" REINFORCED CONCRETE SLAB.
- RETENTION. SEE CIVIL

general notes:

- FIELD VERIFY EXISTING CONDITIONS.
- DO NOT SCALE DRAWINGS. RELY ONLY ON ARCHITECT'S WRITTEN DIMENSIONS.

APN: 408-02-108F

APN: 408-02-108H



① site plan SCALE: 1/20"=1'-0"



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135 roadrunner dr.
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Sedona, AZ - 86336

02.16.2022

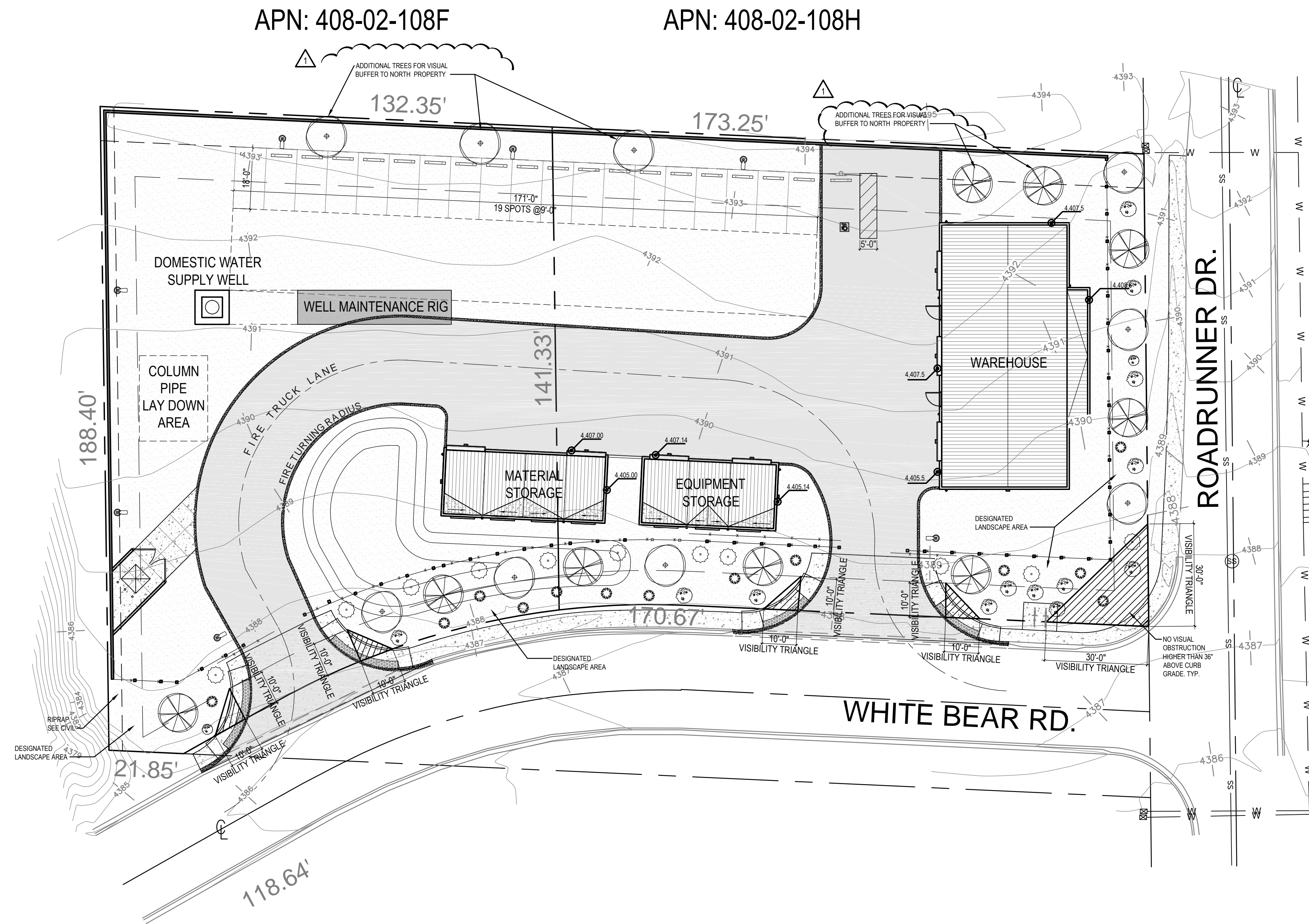
CITY COMMENTS

DATE ISSUED
DRAWN BY
CHECKED BY
sheet description
site plan



SHEET
AS1

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1 site plan
SCALE: 1/20"=1'-0"

ground cover legend:

- ASPHALT
- STABILIZED DECOMPOSED GRAVEL
- CONCRETE

plant legend:

LANDSCAPED AREAS SHALL BE PLANTED AT A MIN RATE OF 1 TREE AND 3 SHRUBS PER 400 SF.
 AREA TO BE LANDSCAPED = 400 SQFT (AREA ON WEST OF WEST GATE) + 2400 SQFT (AREA IN BETWEEN BOTH GATES) + 2400 SQFT EAST OF EAST GATE AND EAST SETBACK ON THE MAIN STREET)
 TOTAL AREA = 5,200 / 400 =

- 13 TREES
- 39 SHRUBS
- * 5 PLANT SPECIES MIN.
- PER APPENDIX (A) CITY OF SEDONA APPROVED LANDSCAPE LIST.

IN ADDITION TO SOLID MASONRY/STUCCO FENCE ON THE NORTH SIDE OF THE PROPERTY, 5 TREES WILL BE PLACED TO PROVIDE A VISUAL LANDSCAPE BUFFER TOWARDS THE BUILDING ON THE EAST AND THE PARKING ON THE LEFT.

TREES / NATIVE SELECTION		
	JUNIPERUS SCOPIULORUM	ROCKY MOUNTAIN JUNIPER 9

TREES / ADAPTIVE SELECTION		
	ROBINA X AMBIGUA	LOCUST 'PURPLE ROBE' 9

SHRUBS/ACCENTS		
	COMMON NAME	QTY
	ATRIPLEX CANESCENS	FOUR-WING SALTBUUSH 13
	AGAVE PARRYII	PARRY'S AGAVE 11

SHRUBS/ACCENTS / ADAPTIVE		
	COMMON NAME	QTY
	EPHEDRA SP.	MORMON TEA 15

023600 SOIL TREATMENT
 GENERAL TREAT ALL BASE COURSE MATERIALS TO INHIBIT THE INFESTATION OF TERMITES PRIOR TO INSTALLING ANY SLABS-N-GRADE OR FOUNDATIONS.

PRODUCTS AS APPROVED BY THE STATE OF ARIZONA STRUCTURAL PEST CONTROL COMMISSION.

020500 BASIC SITE MATERIALS AND METHODS
 PRODUCTS STABILIZED DECOMPOSED GRANITE
 1. PRE-MIX THE GRANITE BEFORE PLACEMENT, EITHER AT THE QUARRY OR AT THE PROJECT SITE, AT THE FOLLOWING RATE: ONE TON OF DECOMPOSED GRANITE MIXED WITH TWELVE POUNDS OF BINDER, OR PER MANUFACTURER'S INSTRUCTIONS. STABILIZER IS AVAILABLE FROM STABILIZER, INC. 4832 EAST INDIAN SCHOOL, PHOENIX, 85018, 800-335-2488 OR SOIL-LOC, HORIZON IRRIGATION, SCOTTSDALE, 480-596-8711.
 2. SPREAD AND LEVEL GRANITE TO THREE INCH (3") COMPACTED LAYER PER DETAIL. AVOID PLACEMENT OF STABILIZED GRANITE OVER ROOTBALLS OF PLANTS.
 3. APPLY WATER UNTIL MOISTURE PENETRATES TOTAL DEPTH OF GRANITE, AND BEGINS TO PUDDLE ON TOP. LET SURFACE WATER DRAIN, WAITING 6 TO 48 HOURS.
 4. ROLL GRANITE TO 95% COMPACTION WITH A POWER ROLLER, OR 500 POUND HAND ROLLER, EXCEPT AREAS FREE OF BINDER UNDER PLANT MATERIAL.



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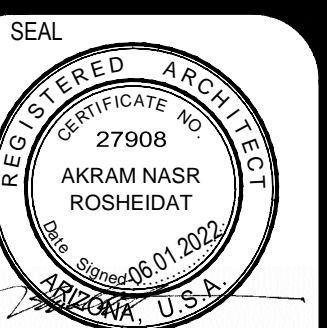
JOB NUMBER
21006

PROJECT
Arizona Water Company
135 roadrunner dr.
Public Water Utility Facility
 Sedona, AZ - 86336

REVISIONS
 02/16/2022

1 CITY COMMENTS

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landscape plan

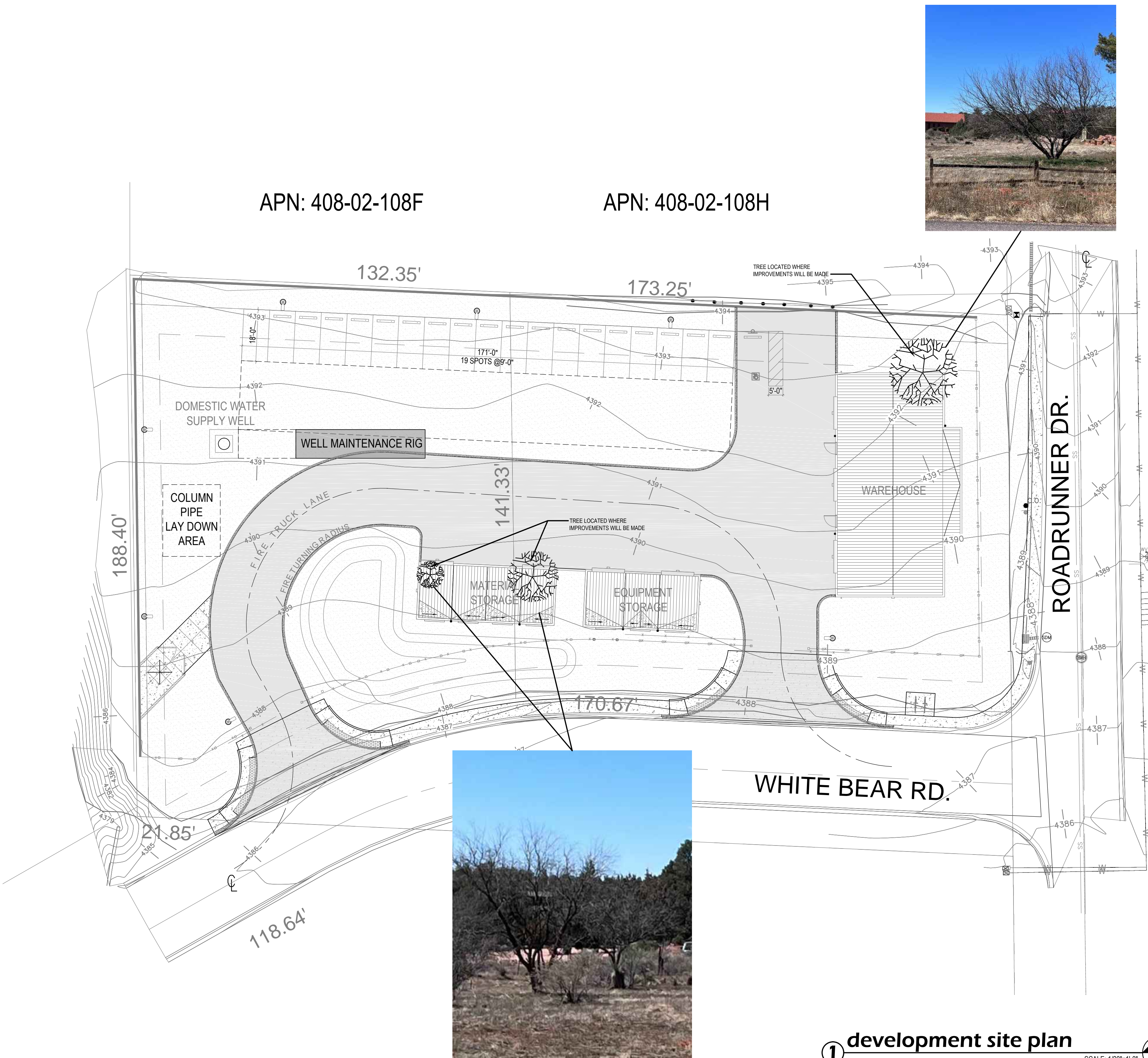


SHEET
AS2

general notes:

1. FIELD VERIFY EXISTING CONDITIONS.
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1 development site plan SCALE: 1/20"=1'-0" N

key notes:

- TREES ARE LOCATED IN AN AREA WHERE STRUCTURES AND IMPROVEMENTS WILL BE PLACED AND NON-REMOVAL WOULD UNREASONABLY RESTRICT THE ECONOMICALLY BENEFICIAL USE OF THE PARCEL.
- THE PROJECT PROPOSES TO INCREASE NATIVE LANDSCAPE AS PROPOSED IN SHEET AS2 TO ADD 18 NEW TREES AND 39 NEW SHRUBS TO THE SITE.

general notes:

- FIELD VERIFY EXISTING CONDITIONS.
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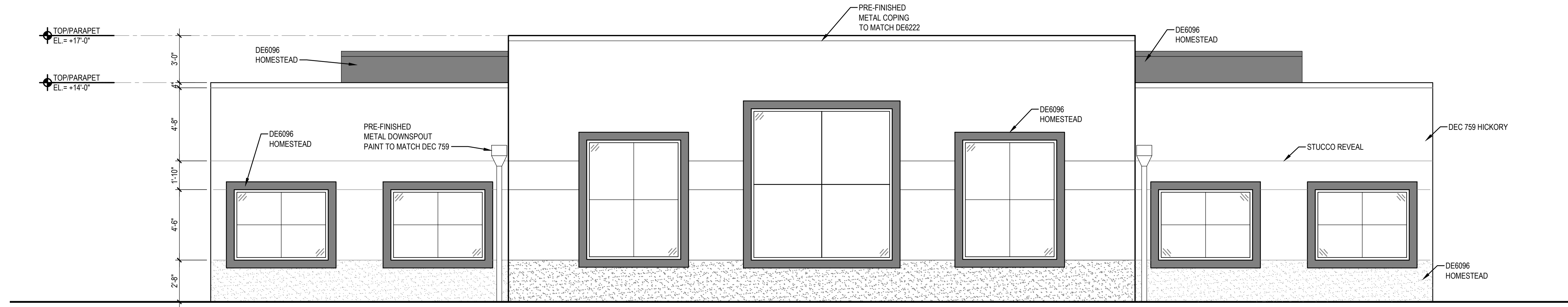
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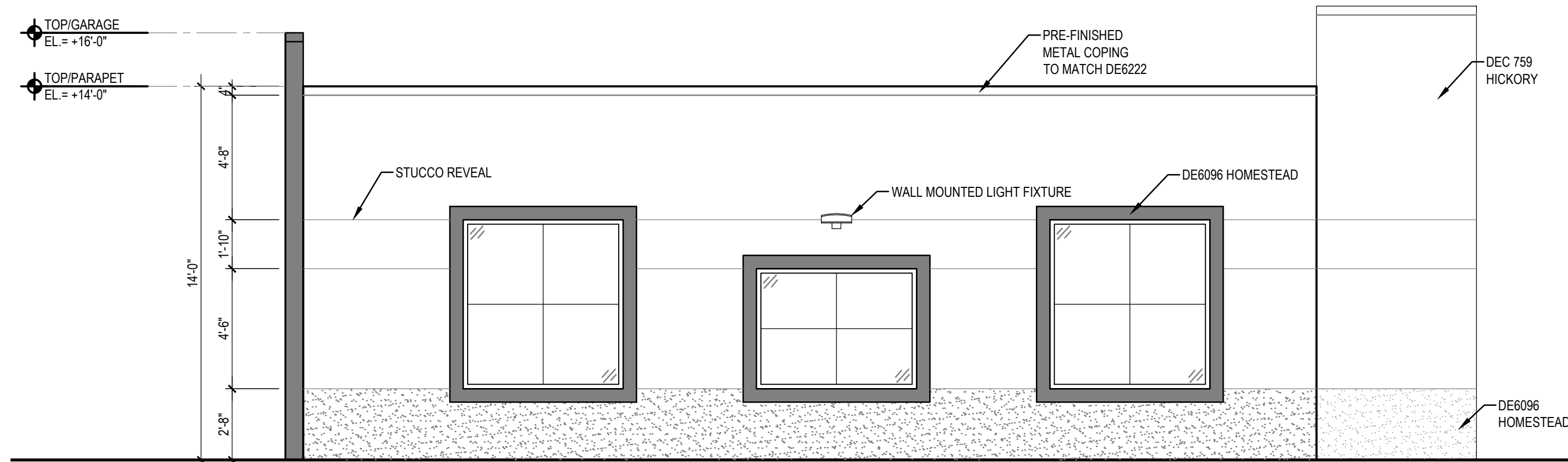
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**development
 landscape plan**

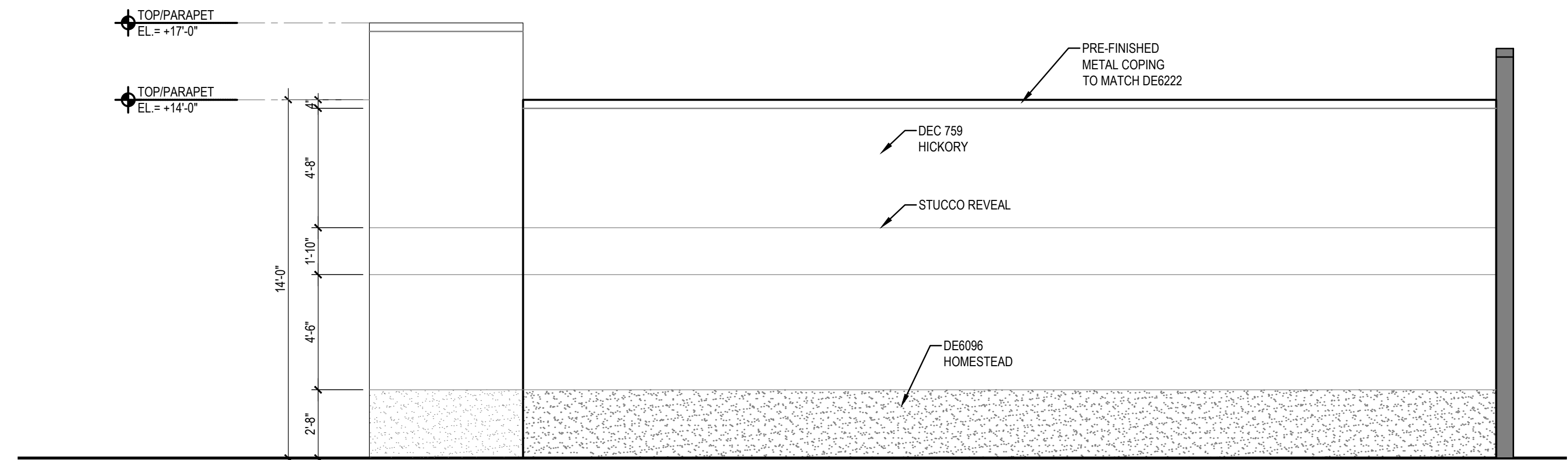
SHEET
AS3



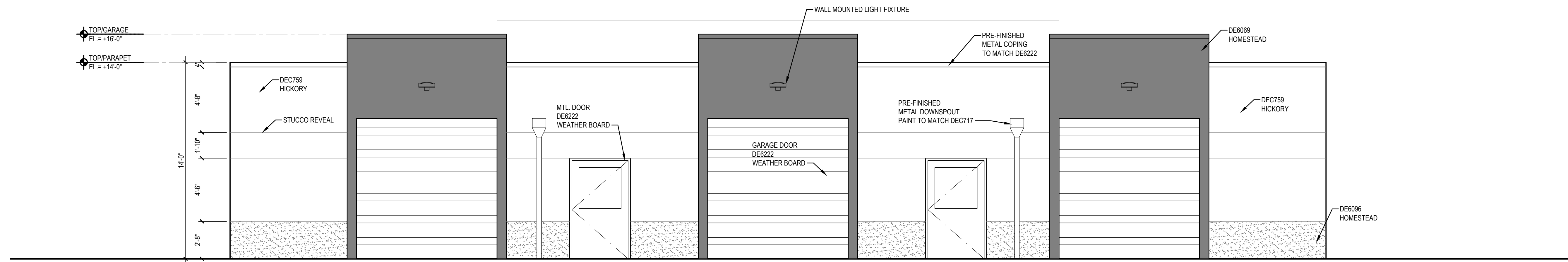
④ warehouse building elevations east (33% glazing)
SCALE: 1/4"=1'-0"



③ warehouse building elevations south (30% glazing)
SCALE: 1/4"=1'-0"



② warehouse building elevations north
SCALE: 1/4"=1'-0"



① warehouse building elevations west
SCALE: 1/4"=1'-0"

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SHEET DESCRIPTION
building elevations



SHEET
A1

8' HIGH W.I. FENCE
CONSTRUCTED WITH BLOCK
AND FINISHED WITH STUCCO @
8'-0" O.C. SEE DETAIL 4/AS1

8' HIGH SOLID BLOCK WALL
FINISHED WITH STUCCO @ 8'-0"
SEE DETAIL 3/AS1



④ site exit onto white bear

SCALE: N.T.S.



③ storage building elevations
yard elevation

SCALE: N.T.S.



② site building elevations
south on white bear

SCALE: N.T.S.



① warehouse building elevations
east on road runner

SCALE: N.T.S.



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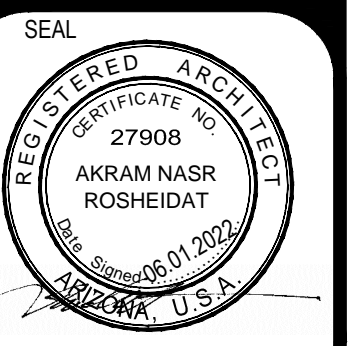
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SHEET DESCRIPTION
colored
building elevations



SHEET
A1.1



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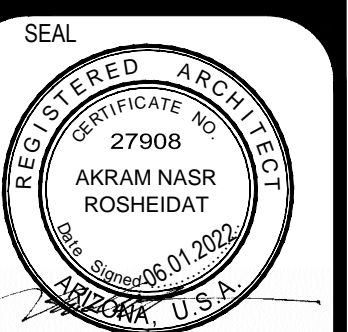
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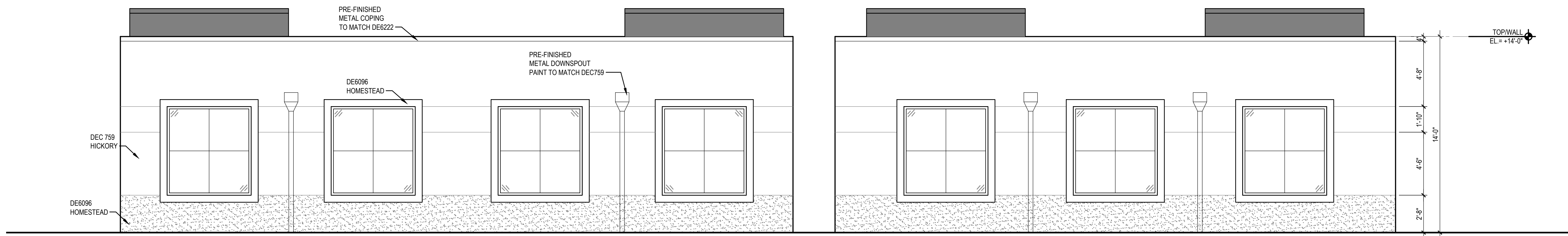
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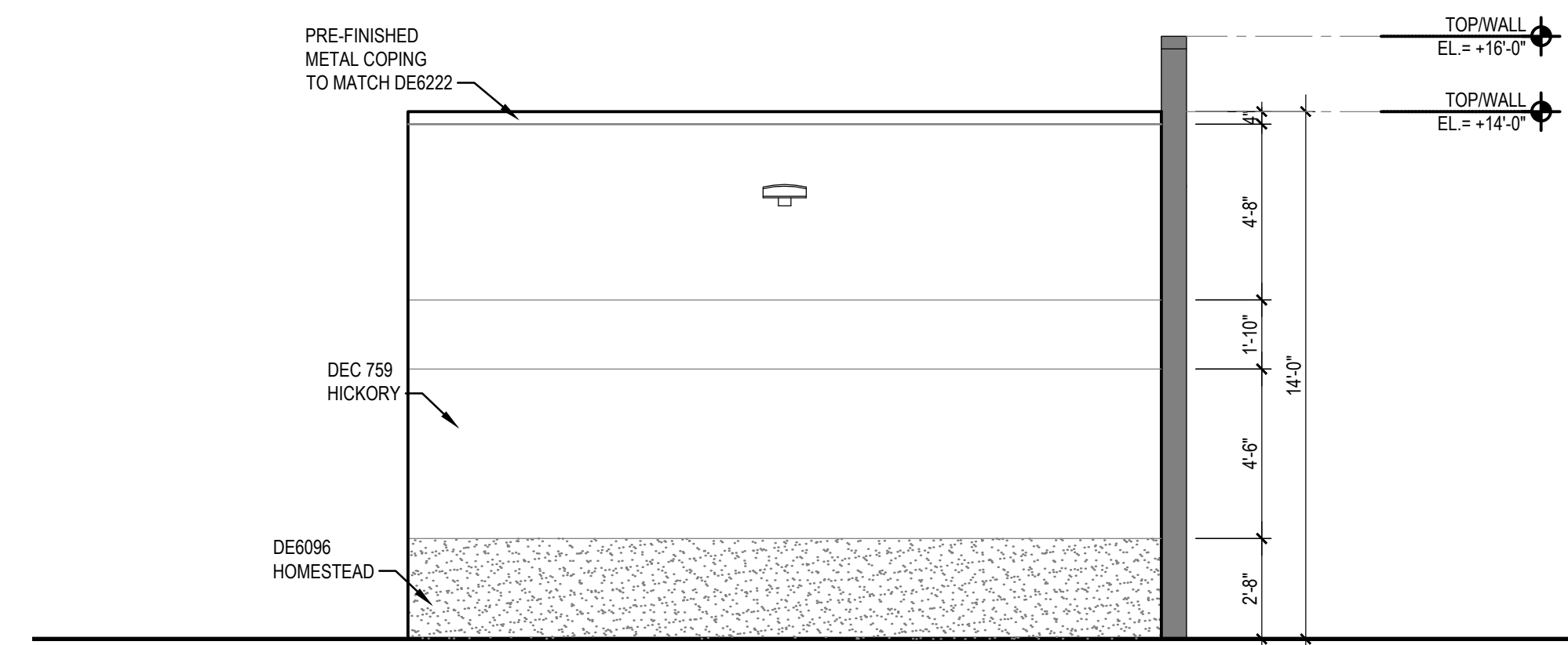
DRAWN BY
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 SHEET DESCRIPTION
building elevations



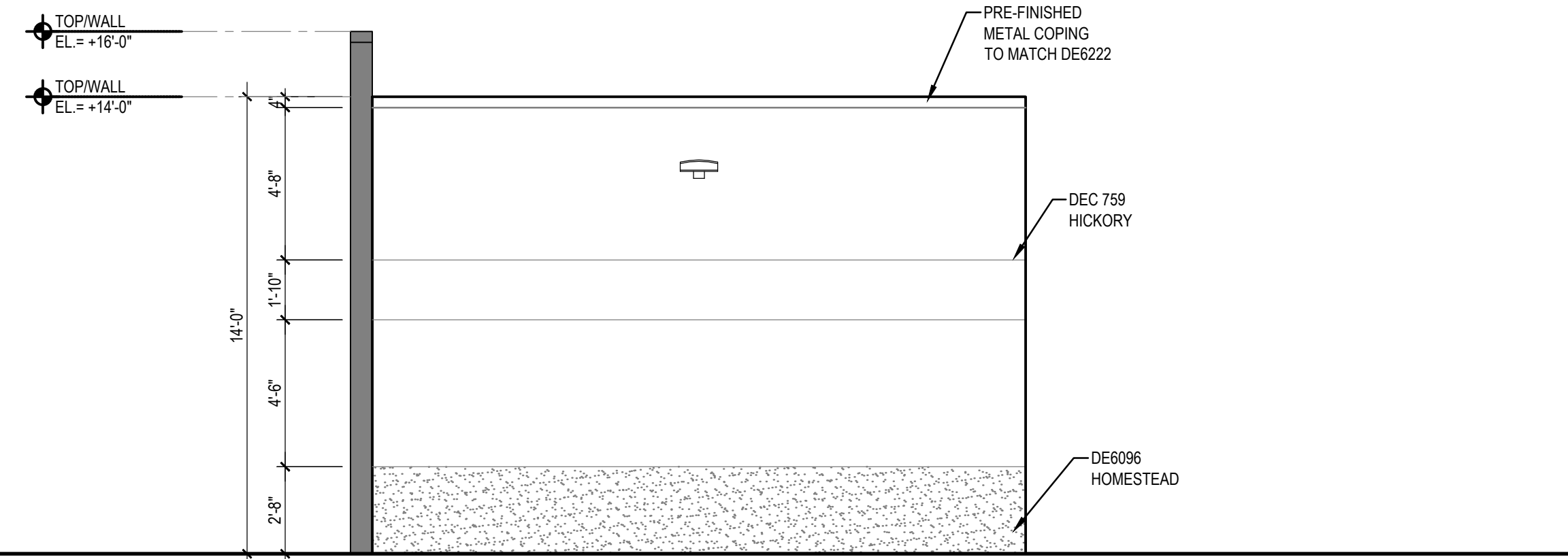
SHEET
A2



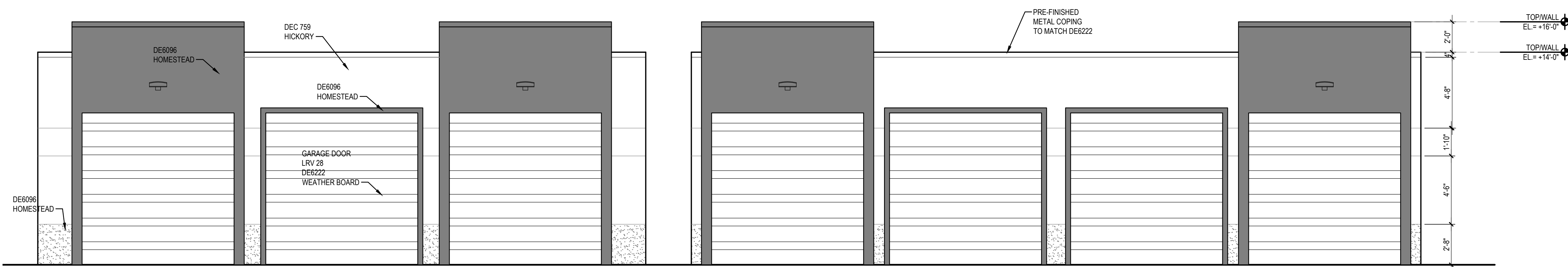
④ material & equipment storage south (30% glazing)
 SCALE: 1/4"=1'-0"



③ equipment storage east
 SCALE: 1/4"=1'-0"



② material storage west
 SCALE: 1/4"=1'-0"



① equipment & material storage north
 SCALE: 1/4"=1'-0"



⑥ warehouse building
yard elevation

SCALE: N.T.S.



⑤ storage building elevations
yard elevation

SCALE: N.T.S.



④ white bear road
facing east

SCALE: N.T.S.



③ road runner dr
facing south

SCALE: N.T.S.



② corner of white bear and
road runner dr

SCALE: N.T.S.



① facility birds eye view
southeast corner

SCALE: N.T.S.



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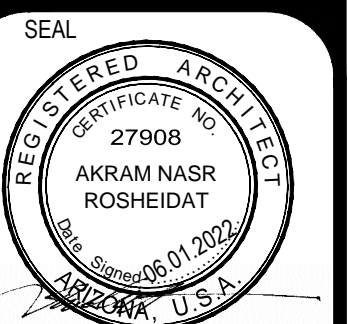
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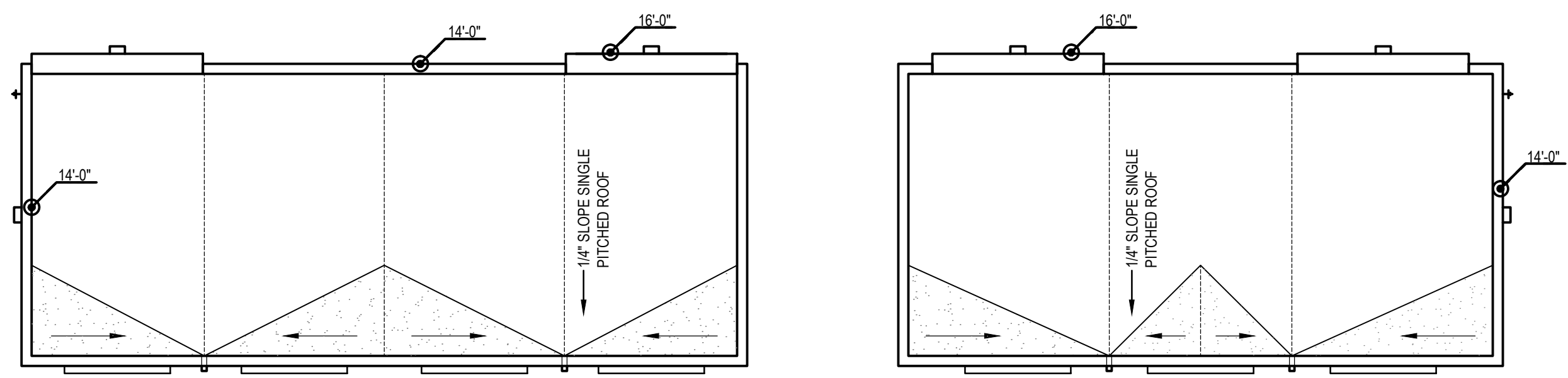
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**colored
building elevations**

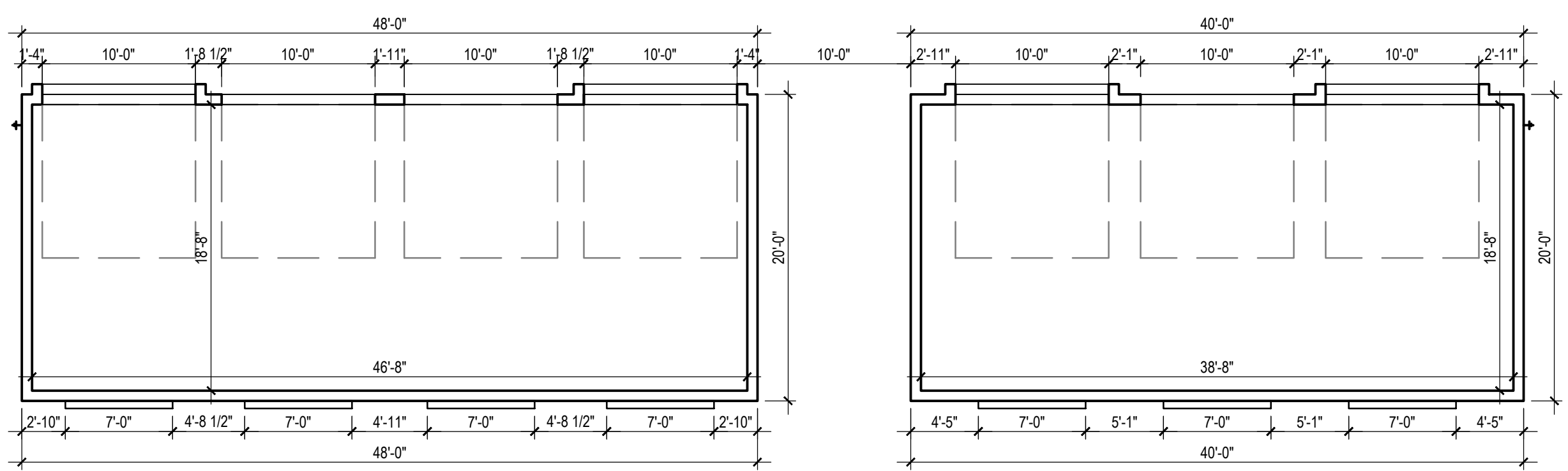


SHEET
A2.1

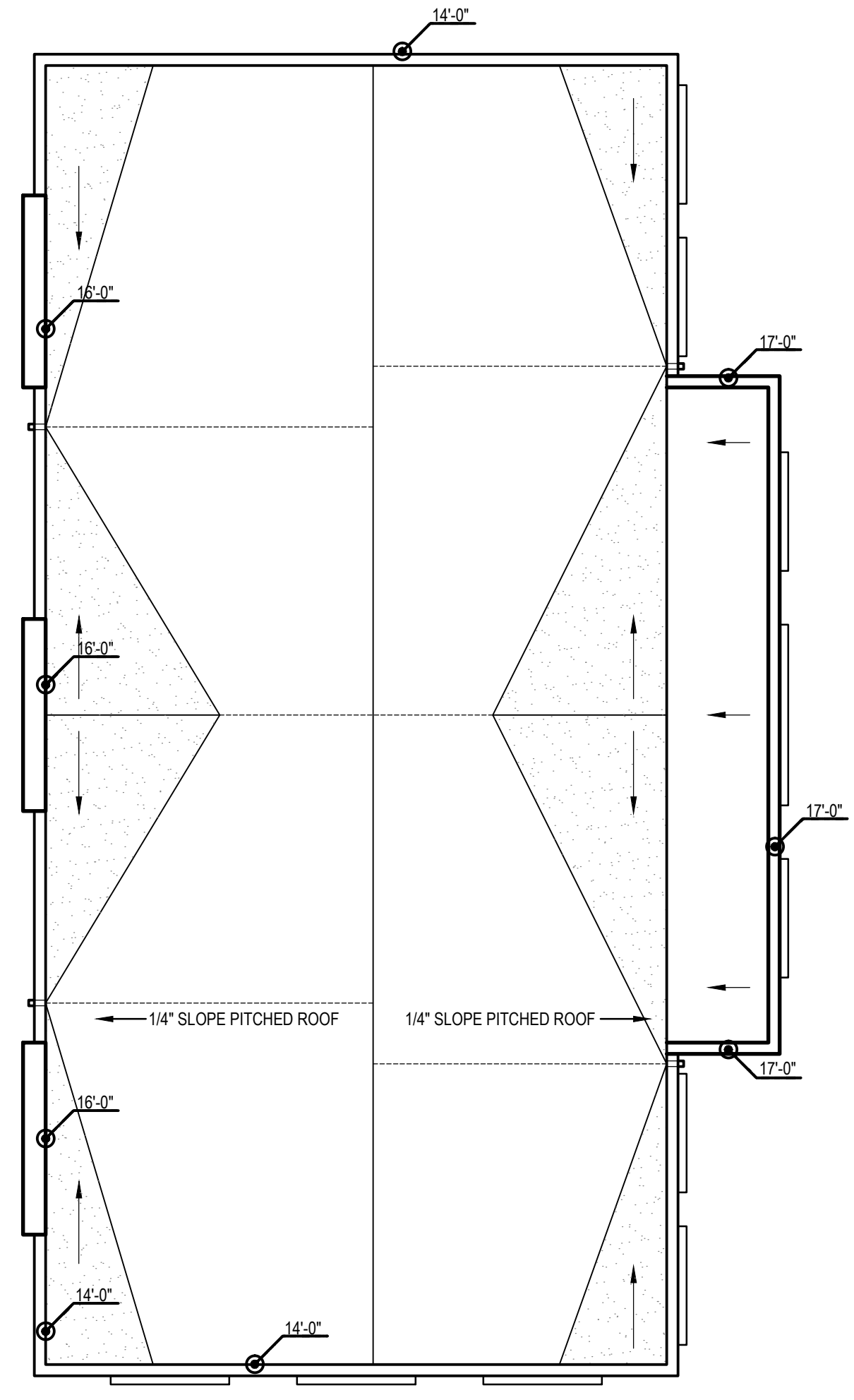
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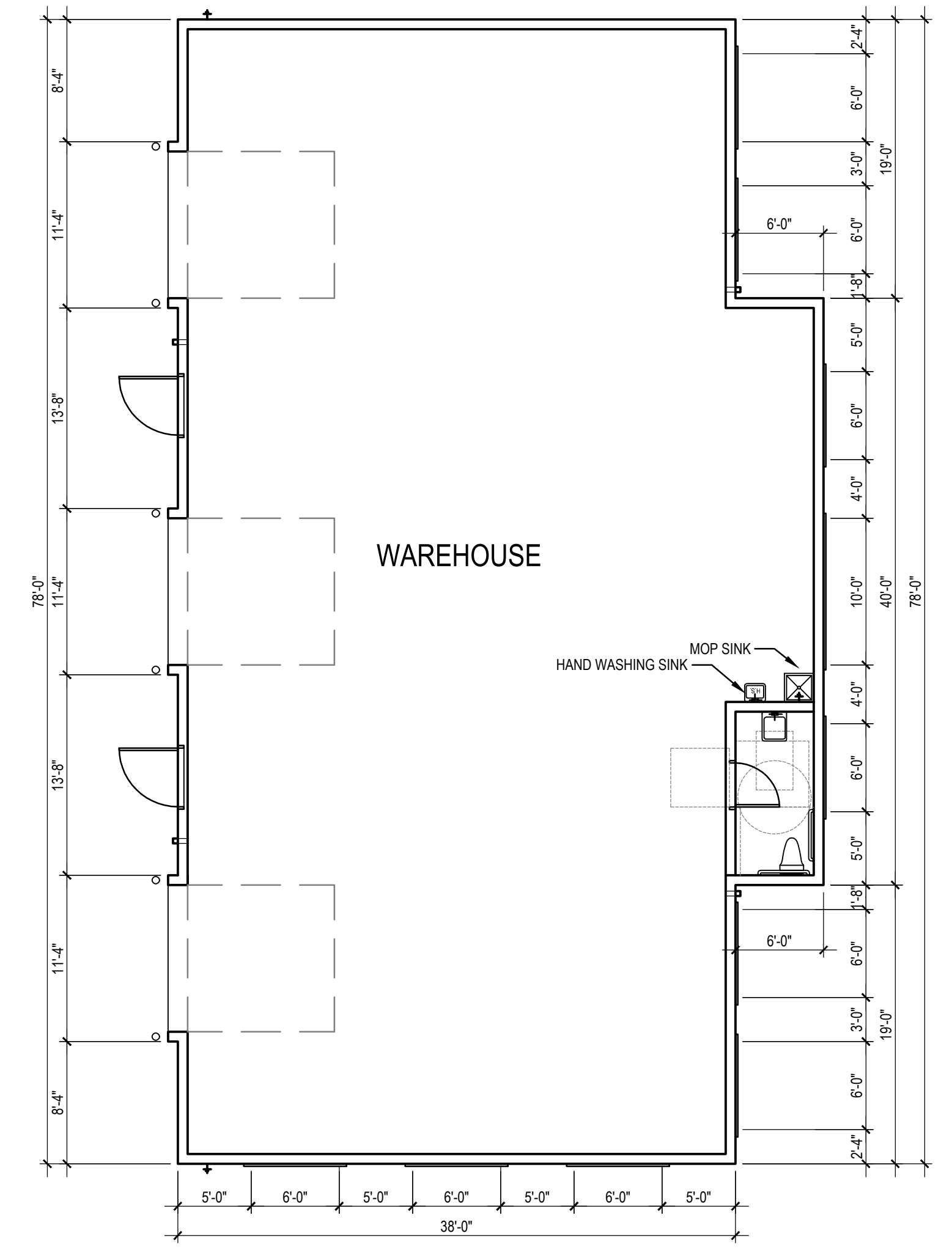
④ storage building roof plan
SCALE: 1/4"=1'-0" N



③ storage building floor plan
SCALE: 1/4"=1'-0" N



② warehouse building roof plan
SCALE: 1/4"=1'-0" N



① warehouse building floor plan
SCALE: 1/4"=1'-0" N

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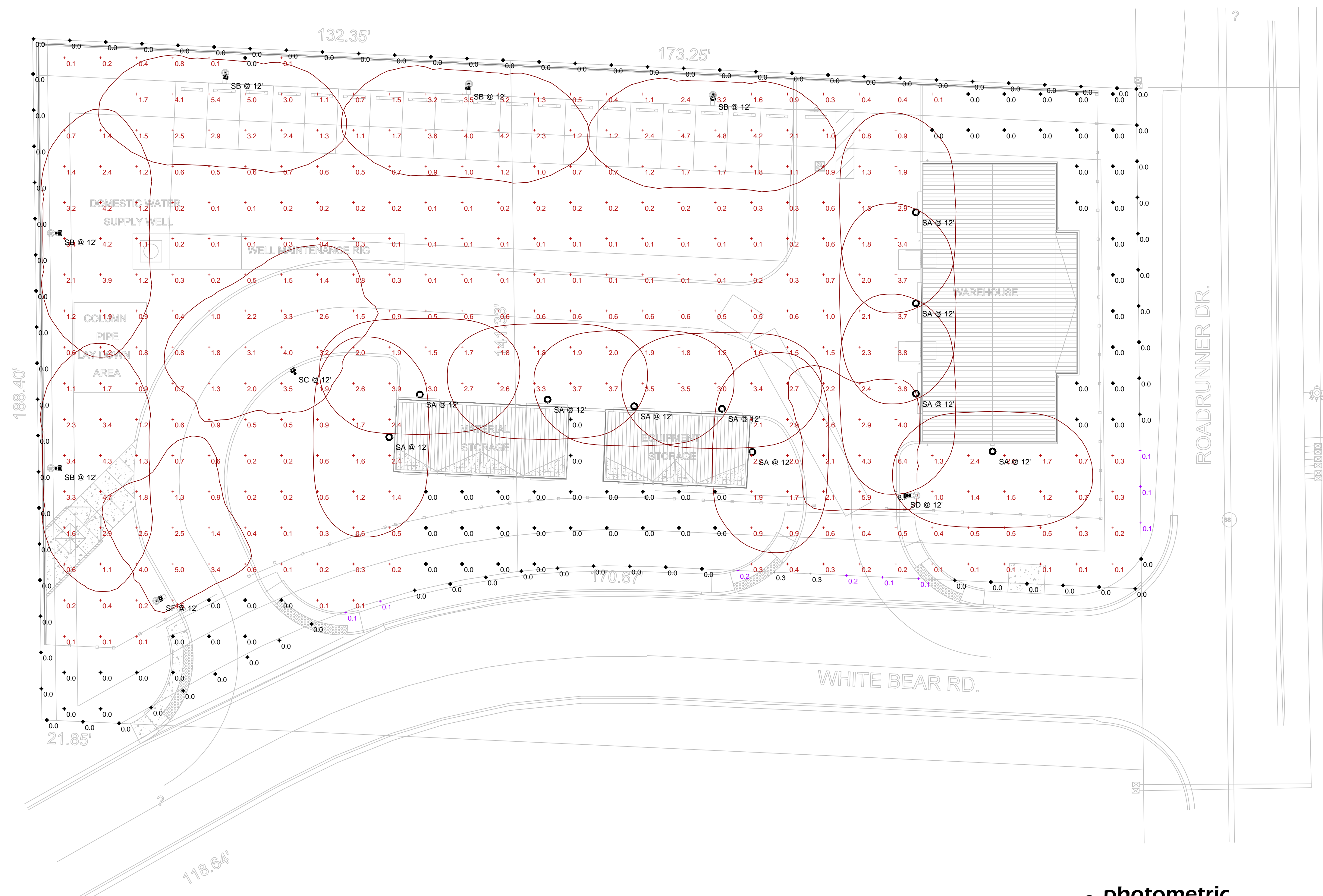
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 REGISTERED ARCHITECT
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 06/01/2022
 PHOENIX, U.S.A.

SHEET
A3

APN: 408-02-108F

APN: 408-02-108H



1 photometric

SCALE: 1-1/2"=1'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Lumen Multiplier	Light Loss Factor	Total Lamp Lumens	Wattage
○	SA	10	ANP Lighting	8182001 P03ILD4D T3 27K <ARM STYLE> <FINISH>	20"DIA. FULL CUTOFF WALL MOUNTED LED LUMINAIRE (LENS @ 12)	LED 2700K	3633	0.75	0.91	2725	28.23
□	SB	5	Litonia Lighting	DSX0 LED P2 27K CR1 70 BLC MVOLT / sss 9.5' pole with 2.5' base	DSX0 LED P2 30K BLC MVOLT	LED 2700K (ADJUSTED .97 FROM 3000K FILE)	4572	0.97	0.91	4434	49
□	SC	1	Litonia Lighting	DSX0 LED P2 27K CR1 70 TFTM MVOLT HS/ sss 9.5' pole with 2.5' base	DSX0 LED P2 30K TFTM MVOLT with housingshield	LED 2700K (ADJUSTED .97 FROM 3000K FILE)	4353	0.97	0.91	4223	49
□	SD	1	Litonia Lighting	DSX0 LED P2 27K CR1 70 LCCO MVOLT / sss 9.5' pole with 2.5' base	DSX0 LED P2 30K LCCO MVOLT	LED 2700K (ADJUSTED .97 FROM 3000K FILE)	3402	0.97	0.91	3300	49
□	SF	1	Litonia Lighting	DSX0 LED P2 27K CR1 70 RCCO MVOLT / sss 9.5' pole with 2.5' base	DSX0 LED P2 30K RCCO MVOLT	LED 2700K (ADJUSTED .97 FROM 3000K FILE)	3402	0.97	0.91	3300	49

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC ON SITE @ GRADE	+	1.2 fc	8.7 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A

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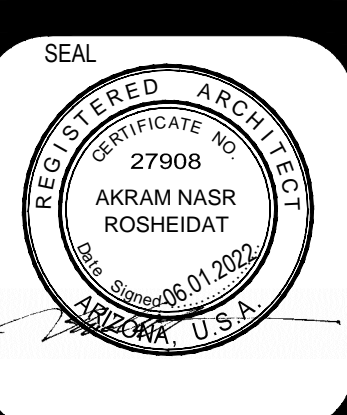
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 Sedona, AZ - 86336

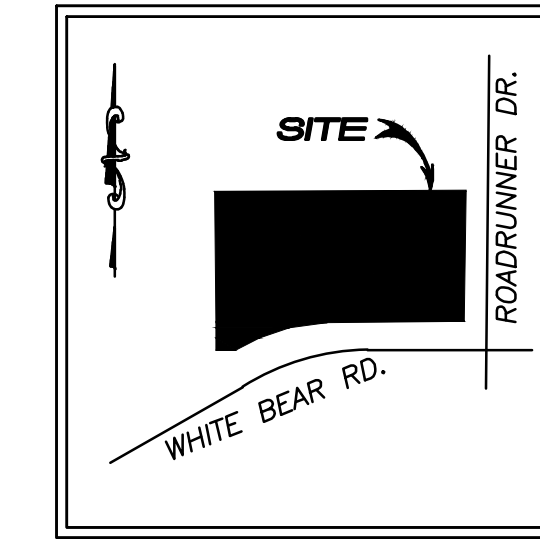
REVISIONS
 02.16.2022
 CITY COMMENTS

DATE ISSUED
 DRAWN BY
 CHECKED BY
 SHEET DESCRIPTION
photometrics



SHEET
A4

ALTA/NSPS LAND TITLE SURVEY FOR A PORTION OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA.



VICINITY MAP

RECORD OWNER:

FOR PARCEL 1 AND 2:
WHITE BEAR PROFESSIONAL PLAZA LLC.
PO BOX 3670
SEDONA, AZ 86340-3670

ASSESSOR PARCEL NUMBERS:

PARCEL 2 (WEST): 408-02-108F
PARCEL 1 (EAST): 408-02-108H

REFERENCE DATA:

THE FOLLOWING INFORMATION WAS REVIEWED DURING THE COURSE OF THIS SURVEY:
(R) SUBJECT PARCEL DESCRIPTION PER TITLE REPORTS
(R1) FINAL PLAT PER BK. 13, MAP OF PLATS PG. 24
(R2) RESULTS OF SURVEY PER BK. 11, OF LAND SURVEY PG. 3
(R3) RESULTS OF SURVEY PER BK. 94, OF PG. 41
(R4) RESULTS OF SURVEY PER BK. 8, OF PG. 61

PARCEL ADDRESS

PARCELS 1 AND 2:
135 ROADRUNNER DR.
SEDONA, AZ,

PARCEL AREA:

PARCEL 1: 0.55 ACRES (C)
PARCEL 2: 0.50 ACRES (R3)
COMBINED: 0.95 ACRES± (C)
(GROSS)

PARCEL USE:

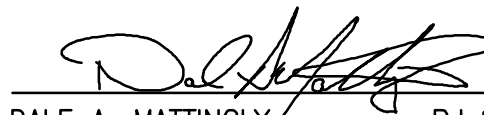
THE PARCEL IS CURRENTLY UNIMPROVED

CERTIFICATION:

TO: ARIZONA WATER COMPANY, WHITE BEAR PROFESSIONAL PLAZA, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, FIRST AMERICAN TITLE INSURANCE COMPANY AND PIONEER TITLE AGENCY INC.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7(a), 7(b1), 8, 11, 13, 16 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 08/18/20.

DATE OF PLAT OR MAP: 08/30/20


 DALE A. MATTINGLY R.L.S. #36888
 (DALE@BLACKMOUNTAINSURVEYING.COM)



NOTES:

1. THIS SURVEY IS BASED ON COMMITMENT FOR TITLE INSURANCE ISSUED BY PIONEER TITLE AGENCY FOR FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO 91300494-913-106. DATED: JULY 22, 2020 AT 7:30 AM.
2. THE SURVEYOR'S REVIEW OF DOCUMENTS REFERENCED IN THE TITLE REPORT AS SCHEDULE "B" ITEMS IS LIMITED TO THE SURVEYOR'S SCOPE-OF-SERVICES AS IDENTIFIED IN THE CERTIFICATION HEREON. ADDITIONALLY THE SURVEYOR'S SCOPE-OF-SERVICES IS LIMITED TO PROVIDING SERVICES IN A MANNER CONSISTENT WITH THE DEGREE OF CARE AND SKILL ORDINARILY EXERCISED BY MEMBERS OF THE SAME PROFESSION CURRENTLY PRACTICING UNDER SIMILAR CONDITIONS. SCHEDULE "B" ITEM DOCUMENTS MAY CONTAIN ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY WHICH THE SURVEYOR IS NOT QUALIFIED TO INTERPRET AND/OR ARE NOT WITHIN THE SURVEYOR'S SCOPE-OF-SERVICES. IT IS RECOMMENDED THAT INTERESTED AND AFFECTED PARTIES OBTAIN CONSULTATION WITH QUALIFIED LEGAL COUNSEL RELATIVE TO THE INTERPRETATION OF ALL SCHEDULE "B" DOCUMENTS REFERENCED IN THE TITLE REPORT.
3. THIS PROPERTY MAYBE SUBJECT TO OTHER EASEMENTS OF RECORD WHICH ARE NOT SHOWN HEREON.
4. ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.
5. RELATIVE TO ALTA/NSPS "OPTIONAL TABLE A" ITEM 11, THE LOCATION OF UTILITIES AS DEPICTED HEREON IS BASED ON RECOVERABLE FIELD LOCATED SURFACE FEATURES OF THOSE UTILITIES. NO EXCAVATIONS WERE MADE TO LOCATE BURIED UTILITIES DURING THE PROGRESS OF OR FOR THE PURPOSE OF THIS SURVEY. A REQUEST FOR UTILITY MAPS WAS MADE TO THE OPERATING AGENCIES IN THE AREA AND APPLICABLE MAPS, WHICH WERE RECEIVED PRIOR TO THIS VERSION OF THIS SURVEY, ARE SHOWN HEREON.
6. RELATIVE TO ALTA/NSPS "OPTIONAL TABLE A" ITEM 16, THE SURVEYOR DID NOT NOTICE ANY RECENT EARTH MOVING ACTIVITY DURING THE COURSE OF THIS SURVEY HOWEVER THE SURVEYOR IS NOT AN EXPERT IN MAKING THIS DETERMINATION. CONCERNED PARTIES SHOULD SEEK A TRAINED, QUALIFIED PROFESSIONAL REGARDING THIS MATTER.
7. RELATIVE TO ALTA/NSPS "OPTIONAL TABLE A" ITEM 19, NO OFFSITE EASEMENT PROVIDED
8. ELEVATION CONTOUR INTERVALS ARE 1.00 FOOT
9. NO BUILDINGS OBSERVED

SCHEDULE B EXCEPTIONS:

- AS PROVIDED IN THE REPORT OF TITLE REFERENCED HEREON, SCHEDULE B EXCEPTIONS 1 THROUGH 10 AND 15 ARE OUTSIDE THE SCOPE OF THIS SURVEY
- 11) EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES ARE SET FORTH ON THE RECORDED PLAT OF SAID SUBDIVISION. (AFFECTS PARCEL 1 AND PARCEL 2 AND IS SHOWN HEREON)
 - 12) MATTERS SHOWN ON SURVEY: RECORDED IN BOOK 11 OF LAND SURVEYS PAGE 3 (AFFECTS PARCEL 1 AND PARCEL 2 AND IS SHOWN HEREON)
 - 13) THE FOLLOWING MATTER(S) DISCLOSED BY SURVEY OF SAID LAND: RECORDED IN BOOK 8 OF LAND SURVEYS PAGE 61.
 - a. MATERIAL DISCREPANCY IN THE RELATIONSHIP OF THE FRONT AND REAR CORNERS OF LOT 1 AND 2, ROADRUNNER RANCHO. (ITEM IS RELATED TO PARCEL 1 AND PARCEL 2 BUT DOES NOT AFFECT THE PARCELS BASED ON THE RESULTS OF SURVEY RECORDED IN BK. 94, OF LAND SURVEYS PG. 41.)
 - 14) RESTRICTIONS, CONDITIONS AND COVENANTS, OMITTING, IF ANY, FROM THE ABOVE, ANY RESTRICTIONS BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL STATUS OR NATIONAL ORIGIN CONTAINED IN INSTRUMENT.
 - RECORDED IN BOOK 491 OF OFFICIAL RECORDS PAGE 479
 - RECORDED IN BOOK 704 OF OFFICIAL RECORDS PAGE 451
 - RECORDED IN BOOK 1054 OF OFFICIAL RECORDS PAGE 440
 - RECORDED IN BOOK 1083 OF OFFICIAL RECORDS PAGE 133
 - AND AS SHOWN ON THE RECORDED PLAT OF SAID SUBDIVISION.
 (DOCUMENTS ARE BLANKET IN NATURE AND AFFECT BOTH PARCELS BUT DO NOT CONTAIN PLOTTABLE GEOMETRIC DATA).

FLOOD ZONE

BASED ON THE FLOOD INSURANCE RATE MAP NO. 04025C1430G, WITH AN EFFECTIVE DATE OF 9/3/2010, THE PROPERTY SITS WITHIN FLOOD ZONE "X"; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

VERTICAL BENCHMARK:

(PRIMARY) CITY OF SEDONA BENCHMARK NO. 61, A 3.5 INCH BRASS DISK IN A HEADWALL STAMPED "Z 492 1982" (ON SITE) IS A 5/8" REBAR WITH A YELLOW PLASTIC CAP STAMPED RLS 13015 WITH AN ELEVATION OF 4388.07

SUBJECT PARCEL DESCRIPTION:

PARCEL 1:

A PARCEL OF LAND LYING WITHIN LOT 1, ROADRUNNER RANCHO, AS RECORDED IN BOOK 13 OF MAPS AND PLATS, PAGE 24 AND BEING A PORTION OF A TRACT LABELED AS PARCEL A AS SHOWN ON A RESULTS OF SURVEY PLAT RECORDED IN BOOK 11 OF LAND SURVEYS, PAGE 3 (USED AS A BASIS OF BEARINGS FOR THIS DESCRIPTION) IN THE COUNTY RECORDER'S OFFICE, YAVAPAI COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID PARCEL A;

THENCE SOUTH 86°37'25" EAST ALONG THE NORTH LINE OF SAID PARCEL A, A DISTANCE OF 132.37 FEET TO A SET 5/8" REBAR WITH PLASTIC CAP STAMPED "SEC RLS 13015" AT THE TRUE POINT OF BEGINNING;

THENCE SOUTH 86°37'25" EAST 173.25 FEET TO THE NORTHEAST CORNER OF SAID PARCEL A;

THENCE SOUTH 00°12'37" WEST ALONG THE EAST LINE OF SAID PARCEL A, A DISTANCE OF 138.29 FEET TO A POINT OF INTERSECTION WITH THE NORTHERLY RIGHT OF WAY LINE OF WHITE BEAR ROAD (MONUMENT WILL BE SET AT THIS POINT AFTER CONSTRUCTION IS COMPLETE ON SAID ROAD);

THENCE NORTH 86°37'26" WEST ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 135.89 FEET (MONUMENT WILL BE SET AT THIS POINT AFTER CONSTRUCTION IS COMPLETE ON SAID ROAD) TO A POINT OF CURVATURE, THE CENTRAL POINT OF WHICH LIES SOUTH 03°22'34" WEST 225.00 FEET;

THENCE THROUGH A CENTRAL ANGLE OF 09°22'51" ALONG SAID RIGHT OF WAY LINE ON A CURVE TO THE LEFT AN ARC LENGTH OF 36.84 FEET (MONUMENT WILL BE SET AT THIS POINT AFTER CONSTRUCTION IS COMPLETE ON SAID ROAD);

THENCE NORTH A DISTANCE OF 141.34 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THE FOLLOWING:

THAT PORTION OF A PARCEL OF LAND AS DESCRIBED IN BOOK 3418, PAGES 78-81, RECORDS OF YAVAPAI COUNTY, ARIZONA LOCATED IN THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 10, MONUMENTED WITH A BLM BRASS CAPPED PIPE, FROM WHICH THE SOUTH QUARTER OF SAID SECTION 10, MONUMENTED WITH A STONE (AND BLM CAPPED PIPE), BEARS NORTH 89°41'47" WEST A DISTANCE OF 2634.28 FEET;

THENCE NORTH 89°41'47" WEST, TO THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 658.57 FEET;

THENCE NORTH 00°50'54" WEST, ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 10, A DISTANCE OF 406.48 FEET TO A POINT FALLING ON THE SOUTHWEST CORNER OF THE "WITT" PROPERTY AS DESCRIBED IN SAID BOOK 3418;

THENCE SOUTH 87°28'20" EAST, ALONG THE SOUTH LINE OF SAID TRACT, A DISTANCE OF 304.92 FEET TO A POINT FALLING ON THE WESTERLY RIGHT OF WAY OF ROADRUNNER DRIVE;

THENCE NORTH 00°38'17" WEST, ALONG SAID WESTERLY RIGHT OF WAY, A DISTANCE OF 50.08 FEET TO THE POINT OF INTERSECTION WITH THE NORTHERLY RIGHT OF WAY OF WHITE BEAR ROAD AND THE TRUE POINT OF BEGINNING;

THENCE NORTH 87°28'20" WEST, ALONG THE NORTHERLY RIGHT OF WAY OF WHITE BEAR ROAD, A DISTANCE OF 2.00 FEET;

THENCE NORTH 45°56'41" EAST, A DISTANCE OF 2.75 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY OF ROADRUNNER DRIVE;

THENCE SOUTH 00°38'37" EAST, ALONG THE WESTERLY RIGHT OF WAY OF ROADRUNNER DRIVE, A DISTANCE OF 2.00 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:

A PARCEL OF LAND LYING WITHIN LOT 1, ROADRUNNER RANCHO, AS RECORDED IN BOOK 13 OF MAPS AND PLATS, PAGE 24 AND BEING A PORTION OF A TRACT LABELED AS "PARCEL A" AS SHOWN ON A RESULTS OF SURVEY PLAT RECORDED IN BOOK 11 OF LAND SURVEYS, PAGE 3 (USED AS A BASIS OF BEARINGS FOR THIS DESCRIPTION) IN THE COUNTY RECORDER'S OFFICE, YAVAPAI COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID "PARCEL A";

THENCE NORTH A DISTANCE OF 188.41 FEET TO THE NORTHWEST CORNER OF SAID "PARCEL A";

THENCE SOUTH 86°37'25" EAST ALONG THE NORTH LINE OF SAID "PARCEL A" A DISTANCE OF 132.37 FEET TO A SET 5/8 INCH REBAR WITH PLASTIC CAP STAMPED "SEC RLS 13015";

THENCE SOUTH A DISTANCE OF 141.34 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF WHITE BEAR ROAD (MONUMENT WILL BE SET AT THIS POINT AFTER CONSTRUCTION IS COMPLETE ON SAID ROAD), SAID POINT BEING A NON-TANGENT POINT OF CURVATURE, THE CENTRAL POINT OF WHICH LIES SOUTH 06°00'17" EAST 225.00 FEET;

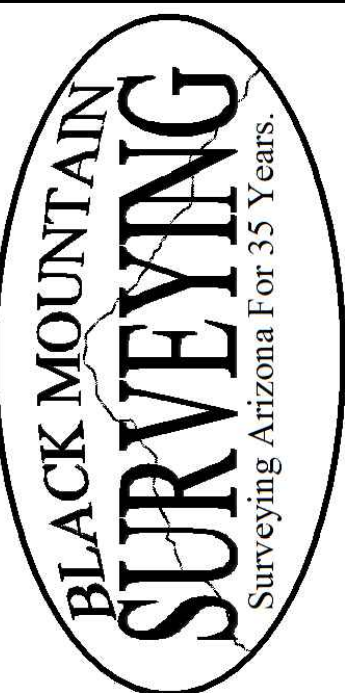
THENCE THROUGH A CENTRAL ANGLE OF 22°39'48" ALONG SAID RIGHT-OF-WAY LINE ON A CURVE TO THE LEFT IN A SOUTHWESTERLY DIRECTION AN ARC LENGTH OF 89.00 FEET (MONUMENT WILL BE SET AT THIS POINT AFTER CONSTRUCTION IS COMPLETE ON SAID ROAD);

THENCE SOUTH 61°20'34" WEST ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 29.64 FEET TO A POINT OF INTERSECTION WITH THE SOUTH LINE OF "PARCEL A" (MONUMENT WILL BE SET AT THIS POINT AFTER CONSTRUCTION IS COMPLETE ON SAID ROAD);

THENCE NORTH 86°37'25" WEST 21.77 FEET TO THE PONT OF BEGINNING.

ALTA/NSPS LAND TITLE SURVEY
FOR A PORTION OF THE SOUTH EAST QUARTER
OF SECTION 10, TOWNSHIP 17 N , RANGE 5 E
YAVAPAI COUNTY, ARIZONA

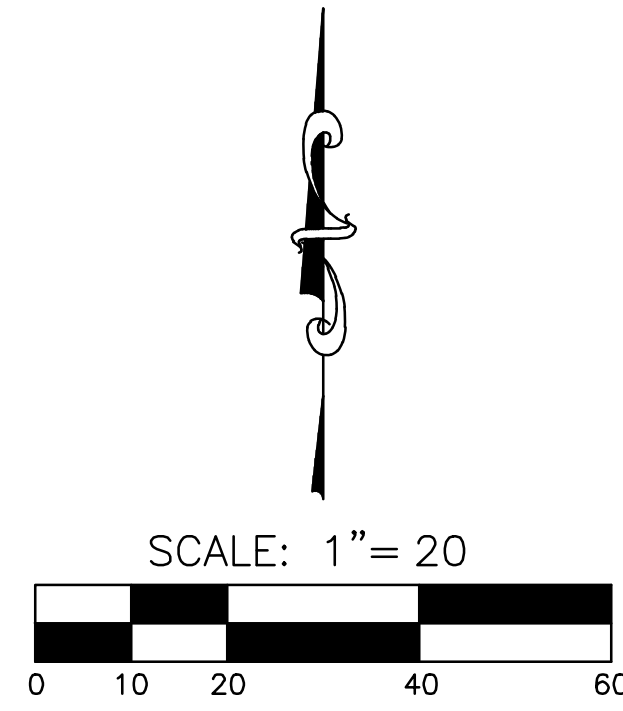
BLACK MOUNTAIN SURVEYING
17308 WEST WOODROW LANE, SURPRISE, ARIZONA, 85388
WWW.BLACKMOUNTAINSURVEYING.COM
SURVEYING ARIZONA FOR 35 YEARS



DRAWN BY: JRM
CHECKED BY: DAM
JOB # 20048
DATE: 08/30/20

REVISED:
ALTA/NSPS SURVEY

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VERTICAL BENCHMARK:

(PRIMARY) CITY OF SEDONA BENCHMARK NO. 61, A 3.5 INCH BRASS DISK IN A HEADWALL STAMPED "Z 492 1982"
 (ON SITE) 5 / 8 INCH REBAR WITH A 1.25 INCH PLASTIC CAP STAMPED SEC 13015, FLUSH. ELEVATION = 4388.07'

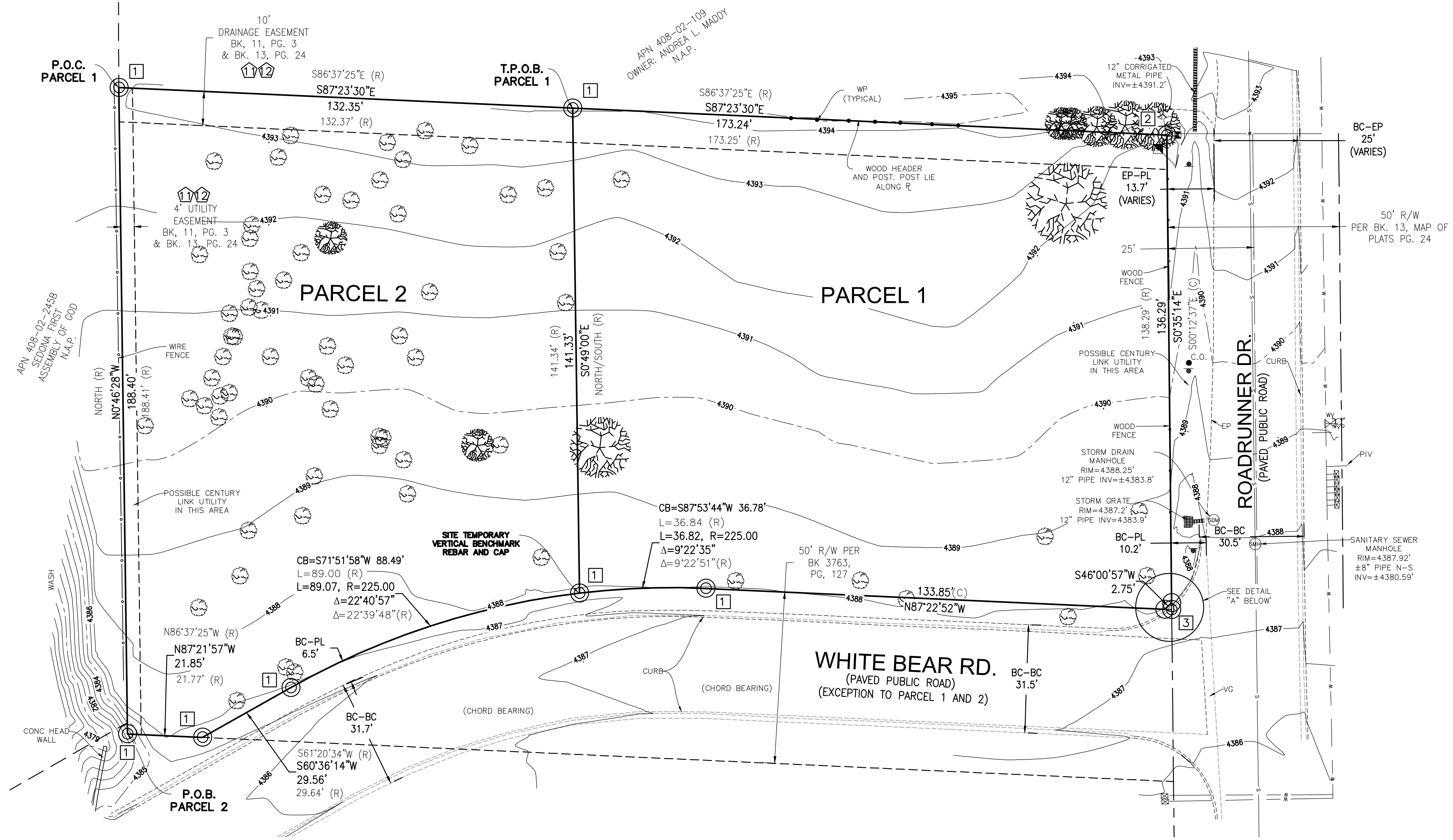
MONUMENT NOTES:

ALL MONUMENTS LISTED BELOW WERE ACCEPTED UNLESS OTHERWISE NOTED.

- 1 FOUND A 5/8 INCH REBAR WITH A 1.25 INCH PLASTIC CAP STAMPED, SEC. 13015, PER (R3), FLUSH.
- 2 FOUND A 3/8 INCH REBAR PER (R3) FLUSH, WITH A BRASS TAG STAMPED, SEC. 40829
- 3 FOUND A "PK" NAIL IN CONCRETE, PER (R3), TAG MISSING.

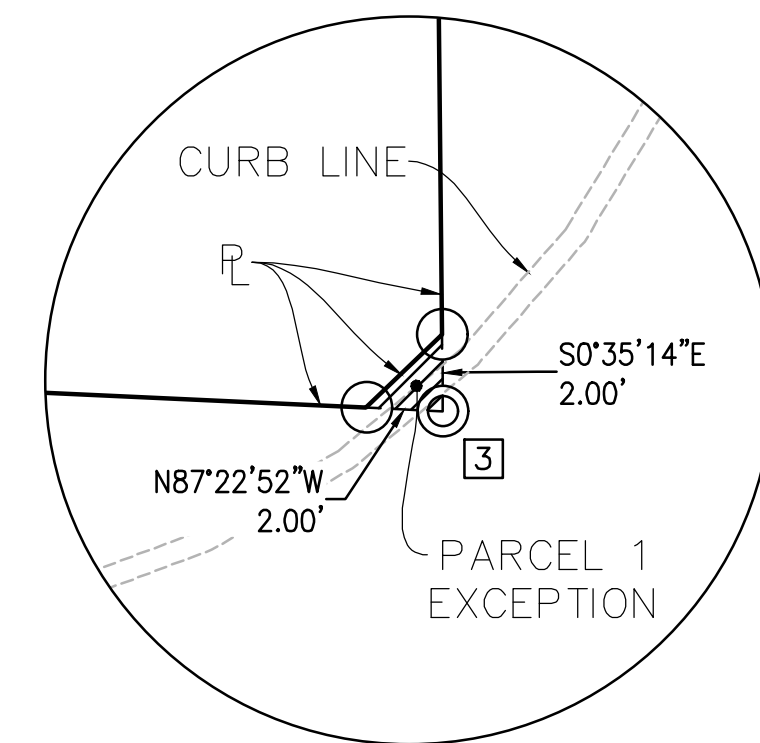
LEGEND

- ESMT= EASEMENT
- R/W= RIGHT OF WAY
- Y.C.R.= YAVAPAI COUNTY RECORDER
- VG= VALLEY GUTTER
- BC= BACK OF CURB
- EP= EDGE OF PAVEMENT
- DOC= DOCUMENT
- NO= NUMBER
- PG= PAGE
- CB= CHORD BEARING
- P.O.C.= POINT OF COMMENCEMENT
- T.P.O.B.= TRUE POINT OF COMMENCEMENT
- P.L.= PROPERTY LINE
- C= CALCULATED
- R= RECORDED
- M= MEASURED
- P.I.V.= POST INDICATOR VALVE
- ⊙= TREE
- ⊙= CACTUS
- 1= SURVEY MONUMENT NUMBER, MONUMENT AS DESCRIBED
- ⊙= WATER METER OR IRRIGATION CONTROL VALVE
- ⊙= SIGN
- = LOT LINE
- = MONUMENT LINE
- = RIGHT OF WAY LINE
- = BLUE-STAKED WATER LINE
- = BLUE-STAKED GAS
- = GAS
- = SEWER LINE
- = ADJACENT PROPERTY LINE
- ⊙= SURVEY MONUMENT AS NOTED
- ⊙= TELCO-COMMUNICATION RISER
- ⊙= FIRE HYDRANT
- ⊙= STORM DRAIN MANHOLE
- ⊙= GAS LINE MARKER
- ⊙= SANITARY SEWER MANHOLE
- ⊙= SEWER CLEAN OUT
- ⊙= CALCULATED POSITION, NOTHING FOUND OR SET
- ⊙= GAS METER
- =

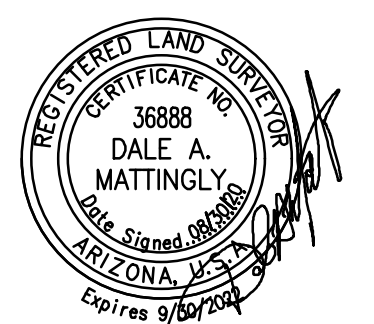


BASIS OF BEARING:

IS THE NORTH LINE OF THE SUBJECT PARCELS SHOWN HEREON AS S 87°23'30" E

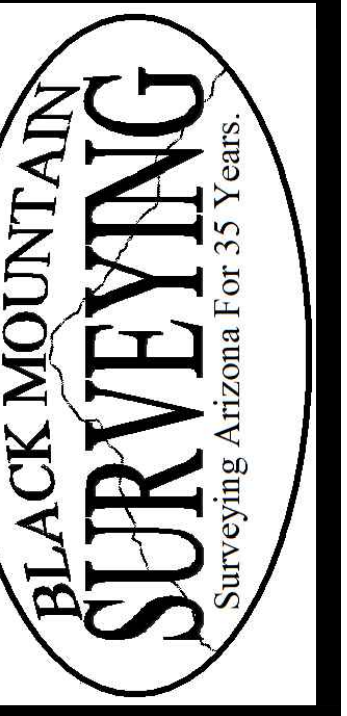


DETAIL "A"
NOT TO SCALE



ALTANSPPS LAND TITLE SURVEY
 FOR A PORTION OF THE SOUTHEAST QUARTER
 OF SECTION 10, TOWNSHIP 17 N, RANGE 5 E
 YAVAPAI COUNTY, ARIZONA

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