

# ARIZONA WATER COMPANY

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April 12, 2022

Cari Meyer  
Senior Planner, City of Sedona  
Department of Community Development  
102 Roadrunner Drive  
Sedona, AZ 86336

Re: Letter of Intent for Construction of a Domestic Water Supply Well, Warehouse, Equipment and Material Storage, and Vehicle Parking

Dear Ms. Meyer:

Arizona Water Company (Company) has provided domestic water service to the community of Sedona, Arizona since 1961. Growth in the Company's West Sedona pressure zone has created the need for an additional domestic water supply well (new well) to satisfy current and future demands. Additionally, the Company's Rainbow Well No. 6, which is located in the west Sedona pressure zone at 3225 West State Route 89A, was constructed in 1947, is over 73 years old, is reaching the end of its useful service life and requires replacement. The Rainbow Well No. 6 site is 0.03 acres in size which does not provide adequate space to drill a replacement well on the site or expand the existing arsenic removal facility.

The Company has entered into an agreement for the purchase of two adjacent parcels of land totaling 1.05 acres (Property) which is a portion of Lot 1, Roadrunner Rancho subdivision (Yavapai County APN 408-02-108F and 408-02-108H) and is located at the Northwest corner of White Bear Road and Roadrunner Drive. The proposed well site is zoned M2 - Mixed Office Use and is currently undeveloped. The Company is purchasing and will combine the Property to construct and operate a new well, warehouse, enclosed equipment and material storage areas, and overnight Company service vehicle parking (see enclosed Site Plan and Bird's Eye View Rendering).

The Company intends to develop the Property as a "Public Utility, Major" use which is defined in City of Sedona (City) Land Development Code (LDC) Section 9.4.E and an allowed use within the M2 zoning district as indicated in City's LDC Section 3.2.E with City's Conditional Use Permit (CUP) approval in compliance with the City's LDC Section 8.4.B. and City's Development Review approval in compliance with City's LDC Section 8.4.A(2) (see enclosed LDC Compliance document).

The Property is approximately 450-feet west of the Company's existing Southwest Center well site located at the intersection of Cardinal Lane and Sinagua Drive. The Southwest Center

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well site contains one of the Company's largest producing wells and the close proximity of the Property significantly increases the potential to construct a well that produces a sufficient supply of water.

The Southwest Center well site also contains an existing arsenic removal facility (ARF), existing warehouse, and equipment and material storage areas. In 2015, the Company was required to construct an ARF on the Southwest Center well site to treat water from the existing well to comply with Safe Drinking Water Act (SDWA) requirements. Constructing the ARF significantly reduced the area that the Company has to store equipment and to keep an adequate inventory of water distribution system materials.

The Company expects the Property's new well will require an ARF to comply with SDWA requirements. The close proximity of the Property to the Southwest Center well site will allow the Company to expand the existing ARF at the Southwest Center well site for centralized treatment of water from both sites. However, constructing the ARF expansion at the Southwest Center well site will require removal of the existing warehouse, and equipment and material storage areas. Therefore, the Company is proposing to construct a replacement warehouse, and enclosed equipment and material storage areas at the Property.

The Company intends to drill a 1,000-foot deep by 18-inch diameter steel cased well on the Property in January 2023. Well drilling will occur twenty-four hours a day, seven days a week for approximately 60 to 75 days, followed by well development and well pump testing which will occur twenty-four hours a day for approximately 30 days. During the well drilling phase of this project, the Company intends to mitigate the negative effects on surrounding residents in the following manner:

- The well drilling contractor will install and maintain a 24-foot tall sound attenuation barrier on the Property throughout the duration of the drilling operation. The contractor will provide motorized equipment with "Whisper Quiet" muffler technology on the drill rig and as many other pieces of motorized equipment as are available. Large trucks (i.e. tractor trailer, dump trucks) bringing equipment and materials to and from the Property will do so only between the hours of 6:00 a.m. and 10:00 p.m. unless their use is required in an emergency.
- The well drilling contractor will shield night time work lights and direct the lights downward to mitigate light trespass on surrounding properties.
- The Company will post a "Hot Line" sign on the Property with phone numbers for surrounding residents to ask questions and express concerns. An afterhours voice message system for complaints and concerns left after normal business hours will also be available to surrounding residents. The Company will work closely with the well drilling contractor to reasonably resolve complaints or concerns from surrounding residents. The Company will be proactive with surrounding residents to reasonably mitigate the negative effects during the construction phases of this project. The Company can resolve complaints and concerns individually with the surrounding

resident, or the Company can hold a public meeting with surrounding residents if the situation dictates.

After the well drilling, well development and well test pumping phase is complete, the Company intends to construct the following facilities during daylight hours for approximately 270 days:

- Construct a 40-feet x 80-feet (WxL), 3,200 square feet warehouse building.
- Construct a 20-feet x 48-feet (WxL), 960 square feet enclosed equipment storage building.
- Construct a 20-feet x 40-feet (WxL), 800 square feet enclosed material storage building.
- Construct electric utility service facilities, electric service entrance section and site electrical equipment.
- Construct an 8-feet tall perimeter wall/fence with drive through gates. The perimeter wall/fence will consist of solid stucco block wall along the interior property lines and wrought iron fence with stucco block columns along White Bear Road and Roadrunner Drive.
- Construct grading and drainage, asphalt access driveway, a twenty one space open parking area and site ground cover.
- Install a mix of thirteen 24-inch box Rocky Mountain Juniper trees and 24-inch box Locust 'Purple Robe' trees, and a mix of thirty nine shrubs along with an automatic irrigation system and decomposed granite ground cover at the Property frontage along White Bear Road and Roadrunner Drive.

After the warehouse, storage buildings and related site improvement construction phase is complete, the Company intends to install pumping equipment in the new well and construct the following related facilities during daylight hours for approximately 270 days:

- Demolish and remove the existing warehouse, and equipment and material storage areas at the Southwest Center well site.
- Construct a 12-inch diameter transmission water main along White Bear Road, Roadrunner Drive and Cardinal Lane to connect the new well to the planned ARF expansion at the Southwest Center well site.
- Construct an ARF expansion at the Southwest Center well site for treatment of raw water from the new well to comply with SDWA requirements.

Beginning with drilling the new well in January 2023, the Company anticipates an approximate 24 month total duration to complete all construction phases of the project.

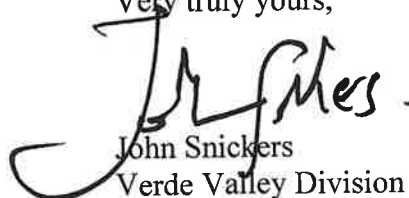
Use of the completed facilities on the Property by Company employees is during normal business hours between 6:00 a.m. and 5:00 p.m. Monday through Friday. All Company employee use of this facility is transient. Approximately 15 Company employees will access the

Property during normal business hours on a daily basis. Company employees will arrive at the Property to retrieve their assigned service vehicle, load necessary work equipment and materials, attend weekly safety meetings, and leave the facility to perform their assigned work orders within the water service area. The service vehicle is returned to the Property at the end of the day for overnight parking. On-call employees will use the facility outside of normal business hours while responding to emergency water service area events such as water leaks and operational issues. These emergency events may occur one to three times a week.

Relocating the warehouse, and equipment and material storage area use from the nearby Southwest Center well site to the Property will result in a minimal increase in vehicular traffic. The minimal increase in traffic is due to Company employees returning their assigned Company service vehicles to the Property at the end of the day for overnight parking.

Growth in the Company's west Sedona pressure zone and aging infrastructure has created the need for a new well to satisfy current and future demands. Additionally, because the Company was required to construct an ARF at the Southwest Center well site in 2015, the equipment and material storage areas are significantly reduced. Constructing an ARF expansion to treat water from the new well will completely eliminate the existing warehouse and storage areas. Therefore, construction of a replacement warehouse, and equipment and material storage areas at the Property is required prior to constructing the ARF expansion at the Southwest Center well site. The Company respectfully requests the City issue CUP approval and Development Review approval in compliance with the City's LDC for the construction of a new well, warehouse building, equipment and material storage buildings, and overnight Company service vehicle parking on the Property to insure the community of Sedona continues to receive the highest level of water service and fire protection.

Very truly yours,



John Snickers  
Verde Valley Division Manager  
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jpk  
Enclosures

**ARIZONA WATER COMPANY PUBLIC UTILITY FACILITY**

**CONDITIONAL USE PERMIT AND DEVELOPMENT REVIEW PACKAGE**

**SEDONA LAND DEVELOPMENT CODE COMPLIANCE**

**MAY 2022**



**Table of Contents**

1 Article 1 – General Provisions ..... 1

    Owner/Developer Name ..... 2

    1.1 Title and Effective Date..... 2

    1.2 Purpose..... 3

    1.3 Authority, Applicability and Jurisdiction..... 4

    1.4 Interpretation and Conflicting Provisions ..... 4

    1.5 Transition from Prior Regulations..... 4

    1.6 Non-Conformities..... 4

    1.7 Enforcement..... 4

2 Article 2 – Zoning Districts ..... 5

3 Article 3 - Use Regulations..... 7

    3.1 Purpose..... 7

    3.2 Table of Allowed Uses ..... 7

    3.3 Use Specific Standards ..... 7

    3.4 Accessories Uses and Standards ..... 7

    3.5 Temporary Uses ad Structures ..... 7

4 Article 4 – Wireless Communication Facilities ..... 8

5 Article 5 – Development Standards..... 9

    5.1 Purpose..... 9

    5.2 Applicability ..... 9

    5.3 Grading and Drainage..... 9

        5.3.1 General Standards ..... 9

        5.3.2 Storm Drainage Facilities ..... 10

    5.4 Access, Connectivity and Circulation ..... 12

        5.4.1 Purpose..... 12



|       |  |    |
|-------|--|----|
| 5.4.2 | Applicability.....                           | 12 |
| 5.4.3 | Circulation Plan Required.....               | 12 |
| 5.4.4 | Street Connectivity.....                     | 13 |
| 5.4.5 | Driveways and Access .....                   | 13 |
| 5.4.6 | Visibility Triangles .....                   | 13 |
| 5.4.7 | Cross Access Between Adjacent Uses.....      | 13 |
| 5.4.8 | Pedestrian and Bicycle Circulation .....     | 13 |
| 5.5   | Off Street Parking and Loading.....          | 13 |
| 5.6   | Landscaping, Buffering and Screening .....   | 14 |
| 5.6.1 | Purpose.....                                 | 14 |
| 5.6.2 | Applicability.....                           | 15 |
| 5.6.3 | Landscaping and Buffering.....               | 15 |
| 5.6.4 | Screening.....                               | 19 |
| 5.6.5 | Fences and Walls .....                       | 20 |
| 5.7   | Site and Building Design.....                | 20 |
| 5.7.1 | Purpose.....                                 | 20 |
| 5.7.2 | Applicability.....                           | 21 |
| 5.7.3 | Review of Building and Site Compliance ..... | 21 |
| 5.7.4 | Site Design .....                            | 21 |
| 5.7.5 | Building Placement and Orientation .....     | 24 |
| 5.7.6 | Building Design.....                         | 24 |
| 5.8   | Exterior Lighting.....                       | 33 |
| 5.9   | Public Art.....                              | 33 |
| 6     | Article 6 - Signs.....                       | 34 |
| 7     | Article 7 - Subdivisions.....                | 35 |



8 Article 8 – Administration and Procedure .....36  
9 Article 9 - Rules of Construction and Definition .....37

**List of Tables**

Table 1-1 Location and Ownership Information ..... 2  
Table 2-1 Requirements and Applicability to the Site ..... 5  
Table 3-1 Table of Allowed Uses .....7  
Table 5-1 Site Access Requirements and Design Criteria .....13  
Table 5-2 Minimum Plant Specifications .....17

**List of Figures**

Figure 1-1 Vicinity Plan..... 1  
Figure 5-1 – Existing Site Contours and Drainage Pattern.....10  
Figure 5-2 Proposed Drainage Pattern.....11  
Figure 5-4 Material and Storage Building Elevations.....28  
Figure 5-5 Building Rendering.....30  
Figure 5-6 Exterior Building Colors.....31  
Figure 5-7 Building Color Scheme .....32





# 1 ARTICLE 1 – GENERAL PROVISIONS

Arizona Water Company (company) intends to develop this Property as a “Public Utility, Major” use. This project will provide a new domestic water supply well to satisfy current and future demands, and new warehouse and enclosed storage areas to replace the existing warehouse and storage areas at the Company’s Southwest Center well site located on Cardinal Lane approximately 450-feet east of this property

Sections:

|      |  |
|------|--|
| 1.1. | Title and Effective Date                   |
| 1.2. | Purpose                                    |
| 1.3. | Authority, Applicability, and Jurisdiction |
| 1.4. | Interpretation and Conflicting Provisions  |
| 1.5. | Transition from Prior Regulations          |
| 1.6. | Nonconformities                            |
| 1.7. | Enforcement                                |

The selected property is located at the intersection of White Bear Rd and Roadrunner Dr as shown in Figure 1-1 Vicinity Plan below.

Figure 1-1 Vicinity Plan



The property will include the following facilities:

- Domestic Water Supply Well
- 3200 SQ.FT. Warehouse Building
- 960 SQ.FT. Equipment Storage
- 800 SQ.FT. Enclosed Material Storage



The property ownership details are tabulated below:

*Table 1-1- Location and Ownership Information*

| <b>Owner/Developer Name.</b>  | <b>Arizona Water Company</b>  |
|---|---|
| Assessor's Parcel Number(s)/Address.  | 408-02-108F &<br>408-02-108H<br>135 Roadrunner Dr, Sedona, AZ 86336 |
| City, County, State Highway and local streets within 3 miles of the subdivision, or the area to be served by the drainage improvements. | City of Sedona, Yavapi County<br>Arizona 89A                        |
| Township, range, section, ¼ sections.   | T17N R05E   |
| Major drainageways and facilities.  | Unnamed wash along west property boundary                           |
| Names of surrounding developments.  | Roadrunner Rancho<br>Arroyo Seco Townhomes                          |
| Site Area   | 0.55 Acres + 0.55 Acres   |

Based on these facilities, we anticipate that this project must comply with the Sedona Land Development Code (SLDC) and will require a Conditional Use Permit.

This document is intended to show that the project design is in full compliance with the SLDC which includes the following Articles:

- Article 1                      General Provisions
- Article 2                      Zoning Districts
- Article 3                      Use Regulations
- Article 4                      Wireless Communications Facilities
- Article 5                      Development Standards
- Article 6                      Signs
- Article 7                      Subdivision
- Article 8                      Administration and Procedures
- Article 9                      Rules of Construction and Definitions

### 1.1 TITLE AND EFFECTIVE DATE

This requirement states that the SLDC became effective on December 14, 2018.



## 1.2 PURPOSE

| Code Requirement  | Design Features Compliance  |
|---|---|
| <p>The general purpose of this Code is to promote public health, safety, and welfare by providing appropriate and reasonable controls for the <i>DEVELOPMENT</i> and use of lands in Sedona, while also protecting the rights of property owners. This Code also is intended to:</p>                          | <p>This project’s main objective is to construct public water utility infrastructure to promote and protect public health, safety, and welfare. The project provides reasonable controls to limit impact on native land and restore preconstruction conditions.</p>                                       |
| <ul style="list-style-type: none"> <li>- Implement the policies, goals, and strategies adopted by the City of Sedona, including those set forth in the Sedona Community Plan and other adopted plans;</li> </ul>  | <p>This project is in compliance with this requirement as shown in the subsequent sections.</p>   |
| <ul style="list-style-type: none"> <li>- Establish and apply <i>ZONING DISTRICTS</i> guided by the Sedona Community Plan that regulate the location, height, bulk, and size of <i>BUILDINGS</i>; provide for a variety of housing types; reduce congestion; and prevent the overcrowding of land;</li> </ul>  | <p>This project is in compliance with Sedona Community Plan with respect to location, bulk and size of buildings, limiting congestion, and preventing overcrowding. The proposed building is smaller than the building size allowed by the SLDC and the setbacks are well within the required limits.</p> |
| <ul style="list-style-type: none"> <li>- Safeguard and enhance the appearance and quality of <i>DEVELOPMENT</i> in Sedona;</li> </ul>   | <p>The proposed building appearance and landscape uses Sedona native material and vegetation and complies with the general look of the area.</p>  |
| <ul style="list-style-type: none"> <li>- Facilitate the adequate provision of <i>TRANSPORTATION</i>, water, schools, parks, and other public infrastructure requirements; and</li> </ul>  | <p>The proposed facility has minimal impact on transportation, will enhance the water supply and services and has no impacts on schools, parks, and other public infrastructure</p>   |
| <ul style="list-style-type: none"> <li>- Sensitively fit the <i>BUILT</i> environment into the natural environment with minimal disturbance to Sedona’s natural ecosystem by promoting planning, design, and <i>DEVELOPMENT</i> that:</li> </ul>  |   |
| <ul style="list-style-type: none"> <li>• Is compatible with, preserves, and enhances sensitive natural areas such as steep <i>SLOPES</i>, <i>FLOODPLAINS</i>, <i>WATERCOURSES</i>, <i>DRAINAGE WAYS</i>, and ridge lines; and natural topographic features such as rock outcrops and <i>TREES</i>;</li> </ul> | <p>The proposed facility will have no impact on water courses, drainage ways, ridge lines, and natural topographic features. Any trees removed during construction will be replaced.</p>  |
| <ul style="list-style-type: none"> <li>• Clusters dwellings and other structures to help save larger areas of open space and preserving natural terrain, minimizing public infrastructure costs, and preventing public safety hazards;</li> </ul>   | <p>The project is designed with the intent of clustering the buildings together, the only separation is fire access. In addition, it will preserve the natural terrain, minimize public infrastructure costs and prevent public safety hazards.</p>   |



| Code Requirement   | Design Features Compliance  |
|--|---|
| <ul style="list-style-type: none"> <li>Minimizes adverse visual impacts on view corridors and takes advantage of the natural terrain, as well as provides for public safety and human enjoyment;</li> </ul>  | <p>The proposed facility will be located on grade and the building is situated on the street side to have minimal view into the site and takes advantage of the Site and Building Design, Building Articulation section and preserves public safety and human enjoyment</p> |
| <ul style="list-style-type: none"> <li>Minimizes construction of building pads in sensitive areas and steep slopes;</li> </ul>   | <p>No steep slopes or sensitive areas on site</p>   |
| <ul style="list-style-type: none"> <li>Encourages the placement of roads and driveways so that they follow natural topography wherever possible and minimize cutting and grading; and</li> </ul>   | <p>Driveway is kept at a minimum and follows natural grades.</p>  |
| <ul style="list-style-type: none"> <li>Promotes building designs and construction practices that are sustainable, provide for solar or other alternate energy systems and are adaptable to multiple uses for extended building life cycles.</li> </ul> | <p>Building designs and practices use latest applicable energy saving devices and are selected to provide long building life cycle.</p>   |

### 1.3 AUTHORITY, APPLICABILITY AND JURISDICTION

We acknowledge that:

- The City of Sedona has authority under the Arizona Constitution,
- This code applies to all lands, buildings, structures and uses within the City of Sedona, and
- We acknowledge the compliance requirements, severability, and zoning map.

### 1.4 INTERPRETATION AND CONFLICTING PROVISIONS

We have reviewed and acknowledged the requirements of this article.

### 1.5 TRANSITION FROM PRIOR REGULATIONS

We have reviewed and acknowledged the requirements of this article. This article mainly applies to permits already issued. This is not applicable to this application.

### 1.6 NON-CONFORMITIES

We have reviewed and acknowledged the requirements of this article. This article mainly applies to existing improvements and is not applicable to this application.

### 1.7 ENFORCEMENT

We have reviewed and acknowledged the requirements of this article.



## 2 ARTICLE 2 – ZONING DISTRICTS

Based on the zoning map, the project parcel is zoned as M2 which is detailed under paragraph 2.12. As stated in SLDC, “The M2 district is intended to accommodate primarily office, supporting commercial and service uses, and limited higher-density residential uses. The M2 district also provides community, educational, lodging, and commercial uses and incidental or accessory uses. Development in the M2 district may include limited auto-oriented uses and development patterns but is primarily intended to provide a walkable and active streetscape and be compatible with surrounding residential development.”

The M2 requirements are shown in the table below, which shows how this Public Utility Facility project complies with these requirements.

|       |  |
|-------|--|
| 2.1.  | Zoning Districts, Generally                  |
| 2.2.  | RS-70: Large Lot Single-Family Residential   |
| 2.3.  | RS-33: Large Lot Single-Family Residential   |
| 2.4.  | RS-18: Single-Family Residential             |
| 2.5.  | RS-10: Single-Family Residential             |
| 2.6.  | RS-6: Single-Family Residential              |
| 2.7.  | RMH: Single-Family and Manufactured Home     |
| 2.8.  | RM-1: Medium-Density Multifamily             |
| 2.9.  | RM-2: Medium-High Density Multifamily        |
| 2.10. | RM-3: High-Density Multifamily               |
| 2.11. | M1: Mixed-Use Neighborhood                   |
| 2.12. | M2: Mixed-Use Office                         |
| 2.13. | M3: Mixed-Use Activity Center                |
| 2.14. | CO: Commercial                               |
| 2.15. | IN: Light Industrial                         |
| 2.16. | L: Lodging                                   |
| 2.17. | CF: Community Facilities                     |
| 2.18. | OS: Open Space                               |
| 2.19. | NF: National Forest                          |
| 2.20. | OC: Oak Creek Heritage Area                  |
| 2.21. | PD: Planned Development District             |
| 2.22. | Overlay Districts                            |
| 2.23. | Summary Tables of Lot and Building Standards |
| 2.24. | Measurements and Exceptions                  |

Table 2.1 – M2 Requirements and Applicability to the Site

|                           | M2 requirement  | Value  | Proposed Development (1.10-acre site)   | Difference   |
|---------------------------|-----------------|--|---|--|
| <b>Lot Standards</b>      |                 |  |   |  |
| <b>A</b>                  | Width (min)     | 60 ft  |   |  |
|                           | Area (Minimum)  | 10,000 sft   | 47,916 sft  | 37,916 sft   |
| <b>Setbacks (minimum)</b> |                 |  |   |  |
| <b>B</b>                  | Front           | 10 ft  | 20 feet<br>(Along Whitebear)  | 10 additional feet   |
| <b>C</b>                  | Side            | 10 ft  | 16'-10" west of east property line  | 7 additional feet  |
| <b>D</b>                  | Rear            | 20 ft  | 20 feet   | Meets minimum  |
| <b>Height</b>             |                 |  |   |  |
|                           | Building Height | 40 feet measured vertically from the highest parapet or roof ridge to the natural or finish grade at the lowest point adjacent to the building exterior, | 14 feet top of parapet on both buildings, 16 feet at overhead doors. Utilizes paint colors with a Light Reflectance Value (LRV) of 38% or less as the alternate standard. | 24 feet lower than maximum allowable with use of alternate standards (LRV less than 38%) |



|                            | <b>M2 requirement</b> | <b>Value</b>  | <b>Proposed Development<br/>(1.10-acre site)</b> | <b>Difference</b>                                |
|----------------------------|-----------------------|---|--|--|
|                            |                       | excluding posts and masonry piers supporting decks or patios. |  |  |
| <b>Impervious Coverage</b> |                       |   |  |  |
|                            | Building Coverage     | 60 Percent<br>(28,749.6 square feet)                          | 4,960 square feet<br>(10.3%)                     | 23,789.6 square feet less than maximum allowable |
|                            | Total Coverage        | 80 Percent  |  |  |



### 3 ARTICLE 3 - USE REGULATIONS

#### 3.1 PURPOSE

This Section identifies the land uses allowed in Sedona’s zoning districts and establishes standards that apply to certain uses with unique characteristics or impacts, which is applicable to this project.

|      |  |
|------|--|
| 3.1. | Purpose and Organization of this Article |
| 3.2. | Table of Allowed Uses                    |
| 3.3. | Use-Specific Standards                   |
| 3.4. | Accessory Uses and Structures            |
| 3.5. | Temporary Uses and Structures            |

#### 3.2 TABLE OF ALLOWED USES

The Table of Allowed Uses (shown below) clearly shows that M-2 allows for a Public Utility with a Conditional Use Permit.

**Table 3.1**  
**Table of Allowed Uses**  
 P = permitted C = conditional use permit required A = accessory Blank Cell = use prohibited

|   | Residential   |       |       |       |      |     |      |      |      |    | Non-Residential |    |    |    |   | Other |    |    | Use-Specific Standards |
|---|---|-------|-------|-------|------|-----|------|------|------|----|-----------------|----|----|----|---|-------|----|----|------------------------|
|   | RS-70   | RS-55 | RS-18 | RS-10 | RS-6 | RMH | RM-1 | RM-2 | RM-3 | M1 | M2              | M3 | CO | IN | L | CF    | OS | OC |                        |
| <b>Public and Semi-Public Utility Uses</b>  |   |       |       |       |      |     |      |      |      |    |                 |    |    |    |   |       |    |    |                        |
| <u>Flood Control Facility</u>               | P   | P     | P     | P     | P    | P   | P    | P    | P    | P  | P               | P  | P  | P  | P | P     | C  | C  |                        |
| <u>Public Utility, Major</u>                | C   | C     | C     | C     | C    | C   | C    | C    | C    | C  | C               | C  | C  | P  | C | P     |    |    |                        |
| <u>Public Utility, Minor</u>                | P   | P     | P     | P     | P    | P   | P    | P    | P    | P  | P               | P  | P  | P  | P | P     | C  | C  |                        |
| <u>Water Storage Tank</u>                   | C   | C     | C     | C     | C    | C   | C    | C    | C    | C  | C               | C  | C  | C  | C | P     | C  | C  |                        |
| <b>Wireless Telecommunications Facility</b> | <i>See Article 4: Wireless Communication Facilities</i> |       |       |       |      |     |      |      |      |    |                 |    |    |    |   |       |    |    |                        |

#### 3.3 USE SPECIFIC STANDARDS

Based on direction from Karen Osburn (City Manager, Community Development Director) in a letter dated August 19, 2021 “the proposed facility would fall under the “Public Utility, Major” definition, which requires approval of a Conditional Use Permit (CUP) in the M2 zoning district.”.

#### 3.4 ACCESSORIES USES AND STANDARDS

There is nothing specific to Domestic Water Supply Well mentioned under this Section.

#### 3.5 TEMPORARY USES AD STRUCTURES

There is nothing specific to Domestic Water Supply Well mentioned under this Section.



## 4 ARTICLE 4 – WIRELESS COMMUNICATION FACILITIES

This article is not applicable to this project.





## 5 ARTICLE 5 – DEVELOPMENT STANDARDS

### 5.1 PURPOSE

This article includes standards that regulate the physical layout and design of developments within Sedona to ensure the protection of health, welfare, safety, and quality of life. These standards address the physical relationship between developments and adjacent properties, public streets, neighborhoods, and the natural environment, in order to implement the Sedona Community Plan vision for a more attractive, efficient, and livable community.

The proposed project is designed to comply with all these purposes. The buildings on site are placed behind a 20' deep landscape buffer from the south and a 10' buffer from the east. This is done to meet the intent of the physical relationship between the development and the adjacent properties. The visible structures are designed with a low profile and small footprint and with structural characteristics such as shape and color to minimize impacting the line of sight and with an appearance that will blend in with the surrounding residential aspect of the area.

Sections:

- 5.1. Purpose
- 5.2. Applicability
- 5.3. Grading and Drainage
- 5.4. Access, Connectivity, and Circulation
- 5.5. Off-Street Parking and Loading
- 5.6. Landscaping, Buffering, and Screening
- 5.7. Site and Building Design
- 5.8. Exterior Lighting
- 5.9. Public Art

### 5.2 APPLICABILITY

This Section is applicable because it applies to all new development construction.

### 5.3 GRADING AND DRAINAGE

#### 5.3.1 GENERAL STANDARDS

##### 5.3.1.1 Grading and Slope Protection

The proper control of sedimentation and management of soil erosion on construction sites is very important in Sedona. The recommended erosion and sedimentation control practices are included in the project technical specifications including:

- Preservation of existing trees and natural vegetation on the site where feasible.
- Installation of perimeter fencing using, for example, silt fences that are trenched in and backfilled.
- Rock dams or straw bales are specified in concentrated flow locations (ditches or swales).
- Use of erosion control blankets or straw mulch is specified if needed.
- Use of rip rap on steep slopes is specified.
- Placement of crushed rock or gravel on job site access driveways to control mud and dirt on public roads.



Proposed On-site grading and drainage patterns are shown on the On-site Drainage Exhibit located in Appendix A. This plan shows the basins and drainage patterns specific to this phase of the project will adhere to City Land Development Code §5.6.C.

### 5.3.2 STORM DRAINAGE FACILITIES

The Site does not have any major drainage areas directly impacting the Site as shown on the Offsite Drainage Map, below. Runoff from north and northwest watersheds are conveyed south of the Project by an existing drainage swale along Roadrunner Drive and by an existing Wash running north to south along the west boundary of the Site. There is a small contributing drainage area (Watershed "C") immediately to the north discharging runoff to the northwest boundary of the Site. The subsequent paragraphs provide a brief description of watershed "C": . This flow pattern will be preserved per City Land Development Code §5.3.D.



May 10, 2022 8:23am V:\Projects\2021\11-1135 White Bear\Civil\Construction Documents\Design\Drainage\Profile Map.dwg

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**AWC WHITE BEAR**  
 SEDONA, ARIZONA  
**FIGURE 3: OFFSITE DRAINAGE MAP**

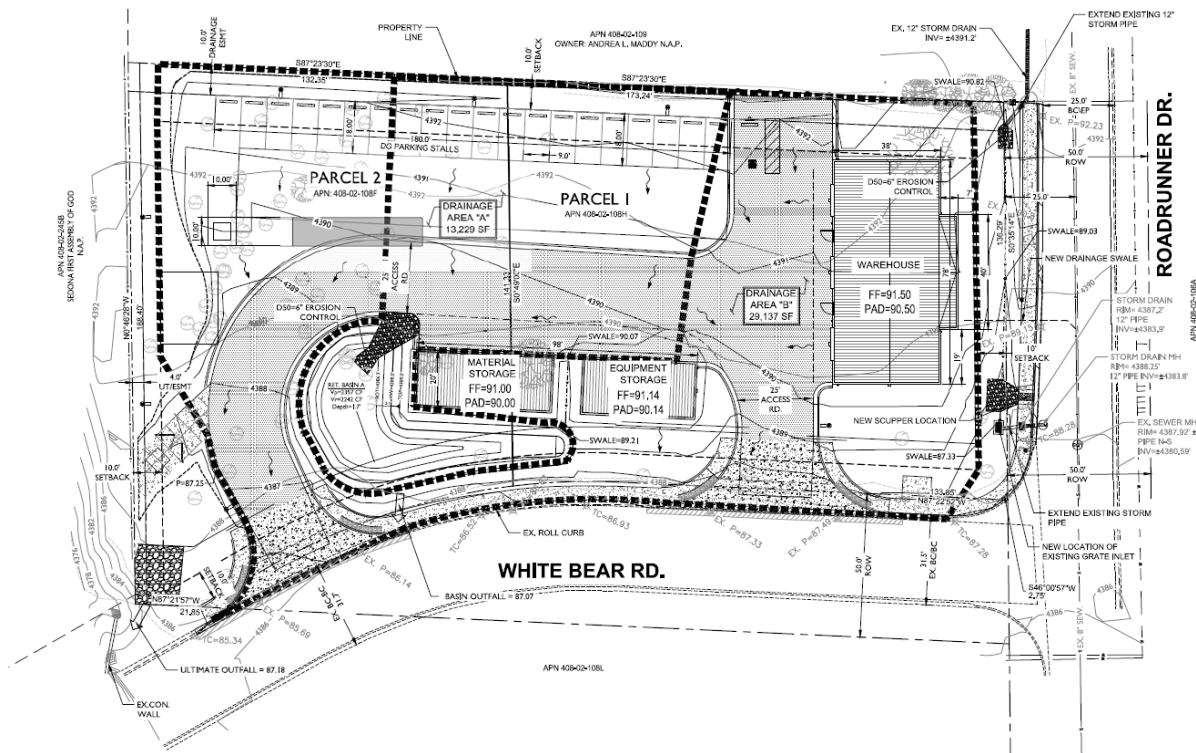
---

JOB NO  
 16-264  
 SHEET  
 1  
 OF 1



Figure 5- shows the proposed drainage pattern. Due to the small offsite flow rate, no diversion channel is proposed for the Site. The offsite flows are expected to spread-out and sheet flow across the Site to continue its existing pattern south of the Project. Offsite flows will not be retained onsite.

Figure 5-2 Proposed Drainage Pattern



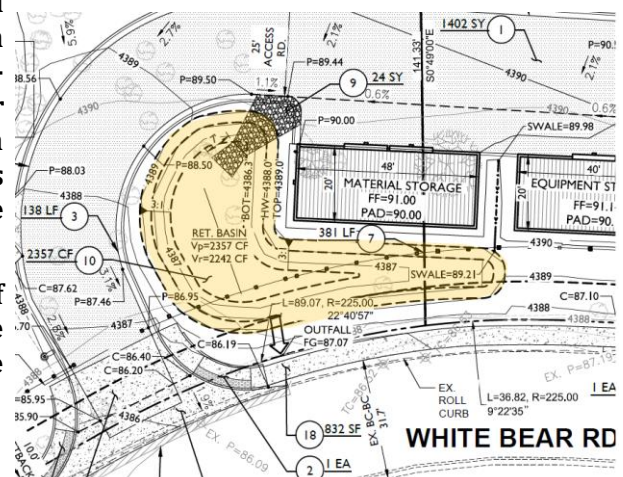
### 5.3.2.1 Detention Basins

Sedona Design Review, Engineering and Administrative Manual require all retention basins to drain their volume from the 100-year, 2-hour storm event within a 12- hour period. Percolation rates for the project area were found in the National Resources Conservation Service (NRCS) and were multiplied by a 50% safety factor.

The basin located in the south west section of the site and is designed to blend in with the finished contours and to integrate with the landscaping scheme.

#### RETENTION BASIN

3:1 SIDE SLOPE, DEPTH PER PLAN





## 5.4 ACCESS, CONNECTIVITY AND CIRCULATION

### 5.4.1 PURPOSE

Successful site planning requires the arrangement of outdoor spaces and buildings in ways intended to create attractive and functional spaces for people's relaxation, business, or pleasure. As stated in the City's guidelines, site designs should respond to local contextual influences and to the design and layout of adjoining developments. Applicable elements in this project that are coordinated with adjacent sites include:

| SLDC Requirements  | Project Design Features   |
|--|---|
| - Shared driveways for accessing adjoining streets   | The proposed design uses a new driveway to access the site.   |
| - Linkages/continuation of open space systems  | The landscape buffers proposed will connect from the north east corner of the site on Road Runner Drive, and continue down to white bear as it links to the landscape west of the site. |
| - Perimeter open space and landscape buffer zones to blend in with the surrounding properties. | 20' landscape buffer is proposed with the use of native vegetation matching the surrounding properties.   |
| - Areas and access for refuse collection   | The refuse container is stored in a enclosed solid wall with solid gates and will not be visible from the public areas.   |
| - Drainage and detention facilities  | The drainage and detention facilities are minimal and are designed to take advantage of the site's natural drainage.  |
| - Shared utility easements.  | The project doesn't require a separate or additional utility easement.  |

### 5.4.2 APPLICABILITY

SLDC states that this Section shall apply to all developments.

### 5.4.3 CIRCULATION PLAN REQUIRED

The traffic to the water facility will be limited to Company operation staff vehicles. All use at this facility is transient and during normal business hours (6:00am – 5:00pm) M-F. Approximately 15 company employees will access the property during the previously stated hours on a daily basis. Company employees will arrive at the property to retrieve their assigned service vehicle, load necessary work equipment and materials, attend weekly safety meetings, and leave the facility to perform their assigned work orders within the water service area. The service vehicle is returned to the property at the end of the day for overnight parking. On-call employees will use the facility outside of normal business hours when responding to emergency water service area events such as water leaks and operational issues.



**5.4.4 STREET CONNECTIVITY**

Access to the site is planned to and Whitebear Road only.

Construction traffic during construction will be provided from Whitebear.

**5.4.5 DRIVEWAYS AND ACCESS**

Vehicular ingress, egress, internal traffic circulation, off street parking facilities, loading and service areas, and solid waste collection facilities are designed to promote public safety and convenience.

The new driveway accessing the site from southeast will be the main site access. This is directly from Whitebear rd. Table 5-1 presents the site access requirements and design criteria.

*Table 5-1 Site Access Requirements and Design Criteria*

| Parameter                     | Value  |
|-------------------------------|--|
| Design Code                   | Land Development Code of the City of Sedona                            |
| Design Vehicle (Fire Truck)   | WB-50  |
| Access Driveway Width         | 20 feet minimum; 30 feet maximum                                       |
| Site Access Road Construction | Match existing street construction per City approved R.O.W. standards. |

**5.4.6 VISIBILITY TRIANGLES**

This requirement is implemented on the property corner using a 30'x30' visibility triangle was used where no visual obstruction higher than 36" above curb grade was placed, or with a 10'x10' at both sides of the entrance and exit road to the site.

**5.4.7 CROSS ACCESS BETWEEN ADJACENT USES**

This requirement is not applicable to this project because the site is not adjacent to commercial sites.

**5.4.8 PEDESTRIAN AND BICYCLE CIRCULATION**

A 5' sidewalk is proposed on the south and east sides of the site facing the street. The sidewalk on the east ends at the property on the north and the sidewalk to the south ends at the southwest corner of the property.

**5.5 OFF STREET PARKING AND LOADING**

All parking and loading will be provided within the site and visually screened through building/site walls and landscaping, there is no off-street car parking/loading.

2 bicycle racks are provided at the entrance to the property on a concrete pad, well lit by a light pole. The pad is off to the north of the sidewalk and does not interfere with pedestrian traffic and is protected from vehicular traffic conflicts.



## 5.6 LANDSCAPING, BUFFERING, AND SCREENING

### 5.6.1 PURPOSE

The City recognizes landscaping, buffering, and screening as important components that contribute to Sedona’s sense of place by:

| SLDC Requirements  | Project Design Features   |
|--|---|
| <ul style="list-style-type: none"> <li>- Blending the built and natural environments to ensure the natural landscape remains the dominant feature of the City;</li> </ul>  | <p>The project includes landscape vegetation that blends with the surrounding areas. The proposed project is placed beyond the required set back to allow for increased landscape buffer adjacent to both streets of the site. About 17’ from the property line on Roadrunner and 20’ from the property line on Whitebear Rd.</p> |
| <ul style="list-style-type: none"> <li>- Preserving the natural landscape and ensuring the use of native plants and trees to retain the unique character of Sedona’s landscape;</li> </ul>   | <p>See above.</p>   |
| <ul style="list-style-type: none"> <li>- Conserving water resources by using sustainable design and maintenance techniques and native and/or adapted plant species that are low water-use and regionally appropriate;</li> </ul>   | <p>Native and adaptive plants and trees that comply with the City of Sedona’s list have been selected and will be used.</p>   |
| <ul style="list-style-type: none"> <li>- Realizing the environmental benefits of landscaping such as: storm water retention and infiltration, recharging groundwater, retaining soil moisture, preventing erosion, and mitigating air quality, water pollution, dust, noise, heat, and glare;</li> </ul> | <p>The landscaped areas are maximized.</p>  |
| <ul style="list-style-type: none"> <li>- Improving the appearance of development to protect and enhance public and private investments and property values;</li> </ul>   | <p>The project is screened with architectural walls and landscaping. The building design is enhanced with architectural articulation.</p>   |
| <ul style="list-style-type: none"> <li>- Establishing an attractive streetscape that contributes to the character and appearance of the City; and</li> </ul>   | <p>The building and landscaping features support the character and appearance of the City.</p>  |
| <ul style="list-style-type: none"> <li>- Providing screening to minimize the visual impacts of some types of facilities, structures, and equipment.</li> </ul>   | <p>The proposed building is shifted away from the setback to maximize the landscaping.</p>  |



### 5.6.2 *APPLICABILITY*

This Section of the SLDC is applicable since the project is a new development. The design includes a native plant salvage plan and a landscaping plan.

### 5.6.3 *LANDSCAPING AND BUFFERING*

#### 5.6.3.1 General Landscaping Standards

The landscape and site design for the project meets and exceeds the Development Standards found in Article 5 of the SLDC, and the approval criteria listed in §5.6.C of the Land Development Code. As described below in this section, proposed improvements meet the following specific standards and criteria:

- The proposed development is carefully integrated into the natural environment through site placement and orientation, the selection of materials, and the massing and heights of structures.
- A dedicated landscape buffer is placed to separate the property from the public streets, all plant materials selected are native with 5 different species.
- Additional landscape trees are added to the site to provide a visual buffer between the building and parking area from the neighbor to the north.

#### 5.6.3.1.1 *Site Area Landscaping*

As recommended in this Section, the part of the site not used for buildings, parking, driveways, walkways, or utilities is kept in its natural state, reclaimed to its natural state, or landscaped pursuant to the standards in this Section. Required landscaped areas will be planted at a minimum rate of one tree and three shrubs per 400 square feet, per this Section.

The proposed landscape for the development will restore the site to and enhance natural condition through a careful and deliberate revegetation process. The landscape will:

1. Preserve and enhance the natural environment and aesthetic qualities of the city by restoring the site with native vegetation.
2. Preserve and enhance the appearance, character, and value of surrounding properties by not intruding on them visually or competing with view corridors.
3. Minimize the visual impacts of developed parking areas by keeping them inside the property and screened with architectural site walls and native vegetation.
4. Promote water conservation through the exclusive use of native and low water-use plant species (SLDC §5.6.C(1))

Native vegetation is used to:

1. Soften building mass
2. Provide continuity in the landscape between adjacent development and undisturbed areas
3. Complement the visual effect of the building
4. Provide continuity in the landscape from the street
5. Promote energy conservation through shade and cooling of the building
6. Minimize heat island effect through the evapotranspiration process



### **5.6.3.1.2 Landscape Materials**

The proposed landscaping for the development is intended to restore the existing landscape to an enhanced natural condition that is indistinguishable from the surrounding landscape in form, color, species, etc. The landscape will be enhanced in the sense that species endemic to the area will be planted in locations and massing to provide maximum screening per SLDC §5.6.C.

Additional details of the landscape plan and plant palette are included in the Landscape Drawings Sheet.

#### **5.6.3.1.2.1 Native Plant Species**

All native plants will be used for this project, which complies with the SLDA requirement that a minimum of 50 percent of the plants used are native species as identified in the Administrative Manual.

All plant specified in this project are native species.

#### **5.6.3.1.2.2 In the OC Zoning District**

Not applicable.

#### **5.6.3.1.2.3 Adaptive Plant Species**

Not required as the project is using native species.

#### **5.6.3.1.2.4 Nonnative and Nonadaptive Plant Species**

Nonnative and nonadaptive plant species are not proposed for this development.

#### **5.6.3.1.2.5 Artificial Plant Materials**

Artificial trees, shrubs, or plants are not used in this development.

#### **5.6.3.1.2.6 Ground Cover**

Loose ground covers are contained by a curb to contain the materials within the landscape area.

#### **5.6.3.1.2.7 Landscape Variety**

Vegetation shown on the landscape plan were selected to comply with the following criteria and standards:

1. Even though the development site is smaller than 5,000 square feet, a minimum of five different plant species are used in the site landscape plan; and
2. No one plant species comprise more than 50 percent of the quantity of required landscape materials.

#### **5.6.3.1.2.8 Minimum Plant Specifications**

All vegetation installed will satisfy the requirements of this Section to meet the following minimum size requirements at the time of planting:





*Table 5-2 Minimum Plant Specifications  
(SLDC §5.6.C - Table 5-4)*

| <b>Plant Type</b> | <b>Minimum size Required Per SLDC</b> | <b>Project Specifications</b> |
|-------------------|---------------------------------------|-------------------------------|
| Evergreen trees   | 8 feet tall                           | 9                             |
| Deciduous trees   | 2-inch caliper                        | 9                             |
| Shrubs            | 2 feet tall                           | 39                            |

**5.6.3.1.2.9 Protecting Visibility Triangles**

No large trees have been placed within the visibility triangles and no visual obstruction higher than 36” above curb grade.

**5.6.3.1.2.10 Protection from Vehicles**

All landscaped areas are protected from vehicular encroachment by curbs located two feet outside the landscaped area, with openings to accommodate surface collection of storm water runoff.

**5.6.3.1.2.11 Coordinated Development**

Not applicable.

**5.6.3.1.2.12 Existing Vegetation Credit and Bonus**

Not applicable.

**5.6.3.1.2.13 Planting Near Utilities**

The development landscaping plan was developed to comply with the following criteria listed in the SLDC:

1. Trees and shrubs are not planted in utility easements.
2. Trees are not planted within 10 feet of the centerline of a sewer or water line.
3. Conflict is not expected between trees located in this development and Arizona Public Service (APS) overhead facilities.
4. Not used.
5. No ground mounted utilities and therefore no screening is required.

**5.6.3.1.2.14 Storm Water Management Features**

To avoid erosions to side-slopes due to flows into the retention basin, rip-rap have been sized using the Isbash equation for bank protection on straight channels with mild curvature (Maricopa Drainage Design Manual, equation 6.34).

**5.6.3.1.2.15 Water Conservation**

Lawn or turf area are not used on this development.

**5.6.3.1.2.16 Water Features**

Water features are not used on this development.

**5.6.3.2 Minimum Landscaping Required**



### *5.6.3.2.1 Street Frontage Landscaping*

#### **5.6.3.2.1.1 Frontage Landscaping**

20' landscape buffer proposed at front access to the site. Other areas within the front and exterior side back area that is not occupied by improvements associated with the primary use is landscaped.

#### **5.6.3.2.1.2 Parking Lot Screening Adjacent to a Street Frontage**

Not Applicable.

#### **5.6.3.2.1.3 Landscaping in a Public Right-of-Way**

Not Applicable.

### *5.6.3.2.2 Parking Lot Landscaping*

Not Applicable.

#### **5.6.3.2.2.1 Parking Lot Screening Adjacent to a Residential Zoning District**

This development complies with parking requirements associated with a single residential home property; where a solid wall or fence no less than six feet in height is specified, therefore, this Section is not applicable. An 8' solid block wall stuccoed to blend with the surrounding colors is specified.

#### **5.6.3.2.2.2 Parking Lot Islands**

The designated private parking lot is located at the rear setback area and contains 20 spaces, and therefore does not require islands. However, three additional trees have been placed within the setback to provide shade for the cars and to act as a visual buffer to the north neighbor.

### **5.6.3.3 Minimum Rear and Side Lot Buffers Required**

Additional landscaping was designated to buffer the north neighbor, and along the two main streets. The building has also been designed similar to the architecture of the city development offices across the street.

### **5.6.3.4 Landscape Area Use and Maintenance**

#### *5.6.3.4.1 Landscape Area Use*

##### **5.6.3.4.1.1 Parking**

The site is developed such that the proposed landscape areas are not accessible to vehicular access and cannot be used for this purpose.

##### **5.6.3.4.1.2 Structures and Fixtures Features Allowed in Landscaped Area**

Only curbs are used and are provided to protect vegetation. All other trees are outside site walls.

##### *5.6.3.4.2 Installation*

We understand the requirement to complete and pass a site inspection by a City official that verifies the site complies with the standards in this Section 5.6.

If needed, we will provide surety acceptable to the City and equal to 125 percent of the total cost of landscaping improvements in accordance with a written estimate, prepared by the project landscape architect or other landscape designer, based on the approved landscaping plan. A signed conditional Certificate of Occupancy agreement with the City shall accompany the surety and estimate.



#### *5.6.3.4.3 Landscape Irrigation*

All required landscaped areas are provided with a permanent and adequate means of underground irrigation. The project uses a dedicated irrigation water supply line equipped with an irrigation timer and control valves that feed buried irrigation lines.

#### *5.6.3.4.4 Landscape Maintenance*

The owner is aware of the maintenance requirements.

#### *5.6.3.5 Tree Preservation and Protection*

There are no trees that will be protected or preserved during the construction of this project. Trees will be used throughout the site to soften the lines of the building and structures and to blend it with the surrounding natural terrain. The proposed tree plan will meet or exceed all requirements outlined in §5.6.C(5).

##### *5.6.3.5.1 Plan Required*

As required, a site development plan, a tree removal/salvage plan, a grading plan, and a landscape plan have been developed and are submitted with this application.

##### *5.6.3.5.2 Tree Removal Plan Requirements*

The tree removal plan is developed to comply with the criterion listed in this Section and states the following:

1. The tree is located in an area where structures or improvements will be placed and non-removal would unreasonably restrict the economically beneficial use of the lot or parcel

##### *5.6.3.5.3 Tree Protection During Construction Activities*

Not Applicable.

##### *5.6.3.5.4 Tree Replacement Required*

Not Applicable.

##### *5.6.3.5.5 Disposal of Removed Trees*

Trees that are cut down and other debris will be removed from the site within two weeks as required in this Section and included in the project specifications and contractual terms.

#### *5.6.4 SCREENING*

##### *5.6.4.1 Roof-Mounted Mechanical Equipment*

Not Applicable.

##### *5.6.4.2 Ground-Mounted Mechanical Equipment*

Not Applicable.

##### *5.6.4.3 Loading, Service, and Refuse Areas*

Outdoor refuse area is screened from view by an 8' solid wall that matches the building colors, the access gate to is not facing the public side, but the gates will be solid metal matching the adjacent buildings.



5.6.4.4 Outdoor Storage Areas

Not Applicable.

5.6.5 FENCES AND WALLS

The site design will include property perimeter fencing. Under §5.6.E.4.a. of the City Land Development Code, wall and fences up to eight feet are allowed for a public utility. The rear fence is 7'-4" solid block wall finished with stucco to match building colors. The two street sides are made of wrought iron fence with an incremental application of blocked columns that are stucco and paint to match the walls and buildings. Both shall be architecturally compatible with principal buildings in terms of materials, colors, and design.

5.7 SITE AND BUILDING DESIGN

5.7.1 PURPOSE

| SLDC Requirements  | Design Features  |
|--|--|
| <ul style="list-style-type: none"> <li>- Protect and enhance the character and quality of Sedona’s neighborhoods;</li> </ul>   | <p>The project visible structures use colors that meet Sedona color palettes, native to the site, and native plants. It is also set up to blend with the existing contours and minimize impact to the line of sight of the neighboring properties.</p>   |
| <ul style="list-style-type: none"> <li>- Protect and enhance the long-term market value of property within Sedona;</li> </ul>  | <p>The building is architecturally enhanced to blend in with the residential surroundings.</p>   |
| <ul style="list-style-type: none"> <li>- Enhance the human and pedestrian scale of new developments and ensure compatibility between residential neighborhoods and adjacent non-residential uses;</li> </ul>   | <p>a new ADA compatible 5'-0" sidewalk will be installed as part of this project, and beautified facades facing the street.</p>  |
| <ul style="list-style-type: none"> <li>- Mitigate negative visual impacts arising from the scale, bulk, and mass of large buildings and centers;</li> </ul>  | <p>The buildings will be obscured through heavy landscaping from both public streets. The building structures are in proportion with the adjacent residential structures.</p>  |
| <ul style="list-style-type: none"> <li>- Promote building designs and construction practices that are sustainable, provide for solar and other alternative energy systems and are adaptable to multiple uses for extended building life cycles;</li> </ul> | <p>Building designs and practices use latest applicable energy saving devices and are selected to provide long building life cycle.</p>  |
| <ul style="list-style-type: none"> <li>- Minimize negative impacts of on-site activities to adjacent uses; and</li> </ul>  | <p>The site use will have minimal traffic and noise emission. External lighting is controlled and complies with the dark sky ordinance.</p> <p>The mechanical and electrical equipment (pump and motor) will be specified to generate a noise level of less than 80 dba at 3 ft from equipment. The building walls and</p> |



| SLDC Requirements  | Design Features  |
|--|--|
|  | roofing system will be designed to reduce the noise levels between 30 and 35 dba at the property boundary. |
| <ul style="list-style-type: none"> <li>- Balance the community’s economic and aesthetic concerns. [Res. 2019-19 Exh. A, 10-8-19].</li> </ul> | The project adds sensible architectural enhancements to enhance community aesthetics.                      |

**5.7.2 APPLICABILITY**

Per the SLDC, the project shall comply with this Section.

**5.7.3 REVIEW OF BUILDING AND SITE COMPLIANCE**

**5.7.3.1 Coordination with Site Plan Review Process**

Review for compliance with the standards in this Section 5.7 shall occur at the time of site review and prior to issuance of a building permit.

**5.7.3.2 Site Analysis**

This project is anticipated to require major site plan review. A site plan was prepared and submitted and included a site analysis pursuant to this subsection 5.7.C(2) and the specifications in the Administrative Manual. The site analysis examined the site’s physical properties, amenities, unique attribute, character, and neighboring environment.

**5.7.4 SITE DESIGN**

**5.7.4.1 Intent**

SLDC standards list the following intent criteria:

| SLDC Requirements   | Design Features  |
|---|--|
| <ul style="list-style-type: none"> <li>- Ensure development relates to the physical characteristics of the site;</li> </ul>   | The buildings are placed as a buffer from visual access into the site, and relies on 18 trees that will aid in obscuring the buildings from the public.  |
| <ul style="list-style-type: none"> <li>- Ensure building scale, orientation, and design relates to the surrounding uses and streets and creates a cohesive visual identity and an attractive street scene;</li> </ul> | The building scale and orientation were developed with input from the City to create a cohesive visual identity, minimize impact to the line of sights, and maintain the relationship with the surrounding street. |
| <ul style="list-style-type: none"> <li>- Ensure site design for efficient pedestrian, bicycle, transit, and vehicular circulation patterns, and create a high-quality pedestrian environment;</li> </ul>              | The proposed project does not alter the existing conditions with respect to vehicular circulation patterns and pedestrian environment.   |



|  |   |
|--|---|
| <ul style="list-style-type: none"> <li>- Promote design environments built to human scale;</li> </ul>  | <p>The proposed buildings are set to a residential proportion and built to human scale.</p>   |
| <ul style="list-style-type: none"> <li>- Ensure delivery, trash, and loading facilities are located so as not to impede regular vehicular and pedestrian circulation and access routes; and</li> </ul> | <p>All trash collection and loading facilities are planned to be within the site and will not have any impact on the access street.</p> |
| <ul style="list-style-type: none"> <li>- Ensure safe and efficient access between buildings and parking areas.</li> </ul>  | <p>The buildings are connected with safe access road between them and the parking area.</p>   |

#### 5.7.4.2 Responsiveness to Natural Site Conditions and Context

Site design responds to the following standards:

##### 5.7.4.2.1 *General*

1. Building envelopes and areas of disturbance were selected on the basis of natural landforms, native vegetation and native mature trees, underlying geology, floodways and floodplains, drainage ways, and required setbacks. The project avoids any disturbance to any adjacent floodways and meets and exceeds the required setbacks.
2. Structures and access are located and designed to the existing contours of the site, The buildings are behind a landscape buffer and are covered with native landscaped areas. The northern end of the site is screened with solid block site walls and vegetation that blends with the surrounding contours and landscaping.

##### 5.7.4.2.2 *Retaining Walls*

Not applicable

##### 5.7.4.2.3 *Trees and Vegetation*

Trees and vegetation were maintained to provide a visual buffer wherever possible. Revegetation with native plant materials is included in the project as shown in the landscaping plans.

#### 5.7.4.3 Sensitive Area Protection in the OC Zoning District

This Section is not applicable to this project.

#### 5.7.4.4 Protection from Potential Hazards

The proposed site is designed in order to minimize disturbance to land surfaces. The perimeter contours are restored to preconstruction conditions as much as possible. Site storm water runoff will utilize designed drainage and detention facilities.

#### 5.7.4.5 Relationship to the Public Realm and Adjacent Developments

The site layout was planned with careful attention to the City of Sedona requirements, integration with the surrounding properties, and preserving the delicate nature in Sedona.



The specific elements listed in SLDC are itemized below:

| SLDC Requirements  | Design Features   |
|--|---|
| <ul style="list-style-type: none"> <li>- Development shall respect local development patterns and site features to the maximum extent practicable when such development patterns contribute to a unified visual appearance. Site designs shall respond to local contextual influences and to the design and layout of adjoining developments.</li> </ul> | <p>The proposed design is developed to blend with the surrounding residential, rural aspect of the area.</p>                            |
| <ul style="list-style-type: none"> <li>- Elements that shall be coordinated between adjacent sites to the maximum extent practicable include:</li> </ul>   | <p>The project features are coordinated to match the surrounding residential and commercial properties as detailed below:</p>           |
| <ul style="list-style-type: none"> <li>• Shared driveways for accessing adjoining streets;</li> </ul>  | <p>Not Applicable</p>   |
| <ul style="list-style-type: none"> <li>• Linkages of internal vehicular circulation systems;</li> </ul>  | <p>Not applicable.</p>  |
| <ul style="list-style-type: none"> <li>• Linkages of interior pedestrian systems;</li> </ul>   | <p>Not applicable.</p>  |
| <ul style="list-style-type: none"> <li>• Linkages/continuation of open space systems;</li> </ul>   | <p>Not applicable.</p>  |
| <ul style="list-style-type: none"> <li>• Perimeter open space and landscape buffer zones;</li> </ul>   | <p>The project will use all native vegetation to maintain the appearance of the site and screen the site from the surrounding area.</p> |
| <ul style="list-style-type: none"> <li>• Areas and access for refuse collection;</li> </ul>  | <p>Refuse container access is from within the site and is screen from public visual access.</p>   |
| <ul style="list-style-type: none"> <li>• Drainage and detention facilities; and</li> </ul>   | <p>Drainage and detention facilities are designed to comply with standards for runoff during a storm event.</p>                         |
| <ul style="list-style-type: none"> <li>• Linkages of any other networks and/or functional areas where a coordinated site design approach will benefit the cohesiveness of a larger area, such as shared utility easements.</li> </ul>  | <p>Not applicable.</p>  |

#### 5.7.4.6 Utilities

- A. The project includes water, sewer, and electric lines (12 KV or less). The utilities are kept underground. Transformers, pedestals, and other appurtenances normally associated with “underground” utility installations are located on the surface of the ground, as permitted by the SLDC.
- B. Temporary facilities are not required.
- C. As recommended by SLDC, wherever possible, underground utilities are located within or immediately adjacent to the disturbed areas of the project site (access road and driveway).



The areas disturbed for the installation of required utilities are located within existing disturbed areas or proposed driveway.

**5.7.5 BUILDING PLACEMENT AND ORIENTATION**

**5.7.5.1 Intent**

As intended by the SLDC, the project site plan and building design ensures that buildings' placements are parallel to the east and south frontage streets. Allowing a 10'-20' landscape buffer respectively consisting of trees and shrubs that visually and thermally enhance the pedestrian experience as well as utilizing the building form as a visual barrier into the property.

**5.7.5.2 Building Locations (Multi-Building Developments)**

Building separation is for operational purposes, non of the buildings are accessible to the public and do not fall under the criteria under 5.7E.S

**5.7.5.3 Building Separation (Commercial and Public/Semi-Public Buildings)**

A 10 foot separation has been indicated between the two buildings on the south. As the buildings are of a 20' side length.

**5.7.6 BUILDING DESIGN**

**5.7.6.1 Intent**

As stated in Section 5.7 Site and Building Design; the building design directly impacts the character and function of new development. The building design standards are in compliance with this section of the SLDC, as shown below:

| SLDC Requirements  | Design Features   |
|--|---|
| <ul style="list-style-type: none"> <li>- Ensure that new building design is sensitive to and compatible with the Sedona built and natural environment, which is achieved through compliance with this Code;</li> </ul> | <p>Texture of the blocks and integral color requirements are selected to match, to the greatest extent possible, the theme of the adjacent properties (City Land Development Code §5.7.F(3)). Preliminary selection includes:</p> <ul style="list-style-type: none"> <li>- Floor: sealed concrete slab</li> <li>- Exterior building walls: Pre-engineered metal building, with 3/4" stucco over vapor barrier over 1" rigid insulation</li> <li>- Interior walls: 2x6 steel stud walls insulated and painted both sides</li> <li>- Roof: foam roof on 1/2" exterior board on metal deck on steel bar joists with batt insulation and scrim</li> <li>- Doors: painted hollow metal doors + frames</li> </ul> |





| SLDC Requirements   | Design Features   |
|---|---|
|   | <ul style="list-style-type: none"> <li>- Windows: painted hollow metal frames with 1” insulated glass</li> <li>- Overhead doors: painted insulated steel doors</li> </ul>   |
| <ul style="list-style-type: none"> <li>- Ensure that multi-building or phased developments use compatible schemes of materials, colors, and architectural vocabulary to ensure consistency;</li> </ul>  | <p>All buildings are designed with the same scheme.</p>   |
| <ul style="list-style-type: none"> <li>- Ensure building materials are durable and have low-maintenance requirements in the semi-arid environment;</li> </ul>   | <p>The exterior walls are faced with stucco which is a durable building construction material and requires less maintenance than other siding materials.</p> <p>The roof material is selected to withstand a desert environment.</p>                              |
| <ul style="list-style-type: none"> <li>- Encourage sustainable development by limiting the amount of resources necessary to construct and operate buildings and by designing buildings to be adaptable for multiple uses;</li> </ul>                    | <p>The construction means are specified to be as efficient as possible. The buildings are equipped with LED lights and are properly insulated to provide the most efficient operation. The buildings can be used for other purposes, if needed in the future.</p> |
| <ul style="list-style-type: none"> <li>- Ensure that buildings are compatible in architectural style and proportionate to elements within the project site, adjacent and neighboring properties, and the area within which they are located.</li> </ul> | <p>The buildings are designed to have the look of adjacent properties. The texture of the stucco and colors are selected to match the theme of the adjacent properties (City Land Development Code §5.7.F(3)).</p>  |

### 5.7.6.2 Building Form

#### 5.7.6.2.1 Building Massing

As required by SLDC, in order to maximize the integration of the built environment with the natural environment, and to minimize the distractions of the built environment, all new development proposals should incorporate means of reducing the apparent size and bulk of buildings by complying with the standards in this subsection. The project complies with the requirements of the single family residential and the Commercial and Public/Semi-Public zoning districts.

##### 5.7.6.2.1.1 Single-Family Residential

| SLDC Requirements   | Design Features  |
|---|--|
| <p>All single-family residential buildings and structures shall be composed of multiple visual building masses based on the following requirements:</p> | <p>The project design includes three separate buildings that are connected by an access road. The buildings are also designed with wall articulation, change in parapet heights, stucco pop outs, and window shapes.</p> |



| SLDC Requirements   | Design Features  |
|---|--|
| <ul style="list-style-type: none"> <li>- All single-family residential buildings or structures over 1,000 square feet but under 2,000 square feet in gross floor area shall be composed of at least two visual building masses of differing heights and at least two visual building masses of differing planes.</li> </ul> | <p>While not a single-family residence, the larger building area is 3,200 sft. Two visual building masses are proposed which comply with this requirement.</p> |
| <ul style="list-style-type: none"> <li>- All single-family residential buildings or structures 2,000 square feet or greater in gross floor area shall be composed of at least three visual building masses of differing heights and at least three visual building masses of differing planes.</li> </ul>                   | <p>Not applicable.</p>   |
| <p>Such visual building masses shall:</p>   |  |
| <ul style="list-style-type: none"> <li>- Vary in height vertically by a minimum of two feet from any adjacent mass or masses;</li> </ul>  | <p>The larger building on the east of the property is 3 ft higher than the mass to its west</p>  |
| <ul style="list-style-type: none"> <li>- Be 100 square feet minimum; and</li> </ul>   | <p>Each building is over 100 sft.</p>  |
| <ul style="list-style-type: none"> <li>- Have a minimum width and depth of six feet.</li> </ul>   | <p>The additional mass is 6' wide and 40' long.</p>  |
| <ul style="list-style-type: none"> <li>- An upper story that is recessed by a minimum depth of six feet shall qualify as a visual building mass.</li> </ul>   | <p>Not applicable. The buildings are single story.</p>   |
| <ul style="list-style-type: none"> <li>- Depth and width dimensions shall be measured perpendicular to each other.</li> </ul>   | <p>In compliance.</p>  |

**5.7.6.2.1.2 Multifamily Residential**

Not Applicable.

**5.7.6.2.1.3 Commercial and Public/Semi-Public**

The SLDC states that all commercial and public/semi-public buildings or structures 2,500 square feet or greater in gross floor area \ shall be composed of at least three visual building masses of differing heights and planes.

Because this is a private facility and has no public/semi-public buildings or structures and contains only light industrial per 2.15. buildings with private access this section is not applicable.

**5.7.6.2.1.4 Building Mass Orientation**

As recommended in the SLDC, for buildings within 50 feet of a public or private street, right-of-way or easement, building masses must be oriented toward the street.

This project complies with this requirement.

**5.7.6.2.1.5 Massing Purposes**



Structures on the same property with a maximum wall-to-wall separation of five feet shall be considered one structure for massing purposes when evaluating massing requirements.

This condition is not applicable to this project. The two buildings on the south are 10 ft apart.

#### *5.7.6.2.2 Building Proportions and Scale*

##### **5.7.6.2.2.1 Vertical Elements**

Taller buildings or portions of a building shall be located internally to a site or structure so that buildings step down in height as they reach the edges of the site or structure.

The proposed buildings are internal to the site.

##### **5.7.6.2.2.2 Height Transitions**

A new building that applies alternate standards in the area adjacent to an existing residence (Section 2.24.E(4), *Alternate Height Standards*) and has a height that exceeds that of an adjacent existing residential building by 10 feet or more shall provide a transition

This requirement does not apply since the proposed building height does not exceed the adjacent building height by 10 ft or more.

Where one building abuts another, the new development shall incorporate a minimum of three design elements to show elements of “continuous connection” to neighboring buildings. Elements shall include, but are not limited to, common parapet heights, covered walkway fascias, similar building materials, and similar building forms.

This requirement does not apply since the proposed buildings do not abut to each other.

#### *5.7.6.2.3 Building Articulation*

Per SLDC, this requirement does not apply to Single-Family and Duplex Residential zoned buildings, however the project is designed as three separate buildings. This reduces unrelieved planes by dividing façades into a series of smaller components.

##### **5.7.6.2.3.1 Horizontal Articulation**

Each building elevation, regardless of exterior wall plane setback or the location of interior, shall incorporate one or more additional elements per SLDC §5.7F(2)C.a

Additionally, the building elevation includes horizontal articulation as follow:

1. Projections and recessions,
2. Elevation reveals (all orientations)
3. Stucco Pop outs at Doors, Overhead Doors, and Windows
4. Indicated bays for overhead entrances
5. Change of wall planes varying from 1’ – 6’
6. Change in color and banding around all buildings; and
7. For nonresidential buildings, SLDC requires one or more articulation elements. The building design meets this requirement.



### 5.7.6.2.3.2 Vertical Articulation

Following Sedona’s Architectural guidelines and vertical articulation as defined in the Land Development Code §5.7.F(2), the building mass is broken up as much as possible to minimize the scale of the building, separating the building from the public through a landscaped green belt. This has the added advantage of achieving a more articulated building mass.

Buildings are designed to include a clearly identifiable base, body, and top., with horizontal reveals separating these components. In addition, the building base will strong connection with the ground and site using base architectural banding. All base colors are darker than upper-level colors.

### 5.7.6.2.3.3 Unrelieved Building Plane (Commercial and Public/Semi-Public Buildings)

SLDC requires that no exterior wall of a building or structure shall have an unrelieved building plane that exceeds 800 square feet in area. The proposed building area exceeds the 800 square feet limit, but the building walls include relieved planes, and has a change of building materials, as shown in the following figure.

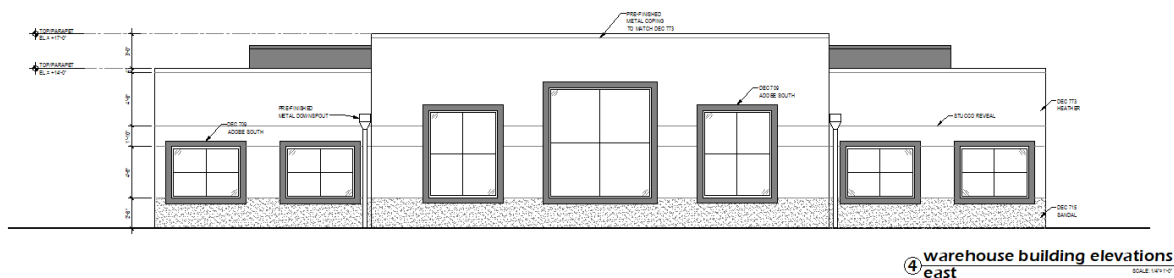


Figure -3 Warehouse Elevation

### 5.7.6.2.3.4 Varied Facades

As recommended by the SLDC, the spacing of elements in façades is varied rather than repetitive, with a high priority placed on the three-dimensional interplay of light and shadow. The elevation above illustrates the use of various vertical elements.

### 5.7.6.2.3.5 Transparency (Windows, Doors, and Openings)

This Section applies to facades facing a public street or other public area such as a plaza, park, or sidewalk. This project faces a two public roads, in main building on the east is 1,180 SQ.FT. and is made up of 390 SQ.FT. (33% glazing), the south buildings are 650 SQ.FT. with 200SQ.FT. (30% glazing) and 540 SQ.FT. with 180 SQ.FT. (33% glazing) in all instances the total window area meet or exceed the 30% minimum requirement.



Figure 3-4 Material and Storage Building Elevations



### 5.7.6.2.3.6 Roofline Variation

As recommended in the SLDC, the roofline silhouette of buildings shall be varied in order to reduce the visual impact of line and form contrast with the natural environment. To reduce the visual impact of roof mass, no roofline along any building elevation shall exceed 50 feet in length without a visual variation that incorporates:

1. Projections, recessions, dormers that alter the vertical or horizontal plane of the roof by at least two feet;
2. Change in roof height of at least two feet; or
3. Distinct parapet designs and cornice treatments.

As illustrated in the elevations above, the roof line changes in height by two feet to create a distinct parapet design.

### 5.7.6.2.4 Building Length (Multifamily Residential and Lodging Uses)

This Section does not apply since this project is not a multifamily residential and lodging use.

## 5.7.6.3 Architectural Style and Character

### 5.7.6.3.1 Compatibility

As recommended by SLDC, the building shall be designed to be compatible with the predominant architectural design of the community and the surrounding area. As can be seen in the rendering on the next page, the project meets this requirement.

(below: existing city development offices across the street on road runner drive)





(below: proposed exterior design facing the street)

(left: elevation on white bear road, right: elevation on road runner drive, across from the image above).

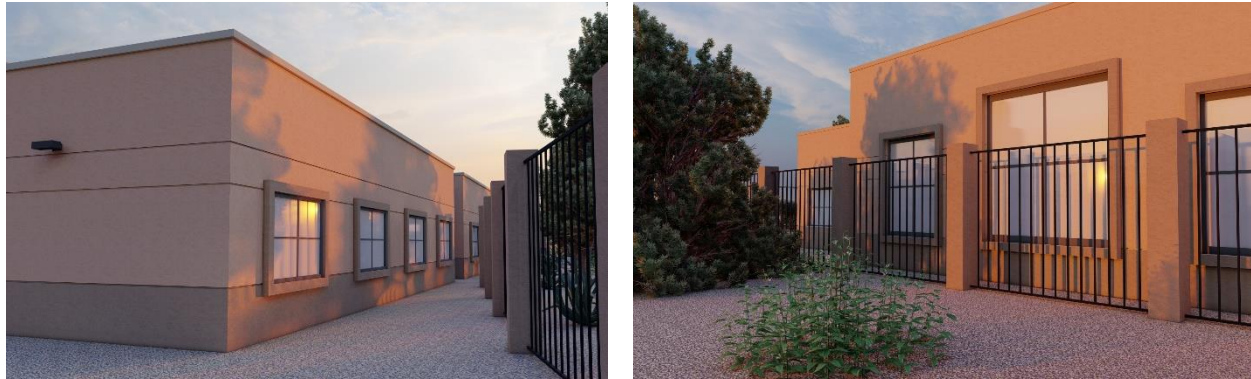


Figure 5-4 Building Rendering

#### 5.7.6.3.2 *Building Design as Signage*

As stated in SLDC, §5.7.F(3)b elevations and/or elements used to comply with these standards shall not function as signs. As depicted in the elevation drawings and images above, the project design doesn't show any signage.

#### 5.7.6.3.3 *Comprehensive and Unified Design*

1. In compliance with this Section, the primary architectural theme is used around the entire building. This includes the accent stucco design, stepped parapets, plant material, stucco material, and colors.
2. All building façades facing public streets are designed with a similar level of design detail, patterning, and finish. Blank walls void of architectural detailing are not included since they are not permitted.
3. Accessory structures (solid block wall and wrought iron fence) are designed and finished to complement the principal structure through the use of the same colors, materials, textures, shape, and architectural style.

#### 5.7.6.3.4 *OC Zoning District Historic Resources*

Not Applicable.

#### 5.7.6.4 *Building Materials*

##### 5.7.6.4.1 *Exterior Materials Generally*

As recommended by SLDC, with respect to all materials that are used on the exterior of structure, the following apply:

1. Mirrored or reflective surfaces or any treatments that change transparent or semi-transparent windows into mirrored surfaces are not used. Tinted windows are acceptable and are used in this project.
2. Metallic surfaces (overhead doors and hollow metal doors) are treated to reduce reflections.



#### 5.7.6.4.2 Prohibited Exterior Finishes

SLDC lists the prohibited material. The project uses none of the prohibited materials.

#### 5.7.6.5 Building Color

##### 5.7.6.5.1 Intent

The color contrast of structures with the natural dark green of the vegetation and rust reds of the red rocks and soils is a concern with respect to reducing visual impacts of the built environment and trying to blend it with the natural environment. The purpose of this subsection is to ensure that structures, walls, garage doors, roofs, fences, or other large exposed surface areas blend with the surrounding natural environment without calling undue attention to the development. The requirements of this subsection do not apply to structures with a Historic Landmark designation; however, colors for historic landmarks must be approved by the Historic Preservation Commission pursuant to subsection 8.7.B.

##### 5.7.6.5.2 Requirements

###### 5.7.6.5.2.1 Hue

Exterior building materials and colors shall match or enhance the tone of the surrounding landscape to the maximum extent practicable. As shown in the Figure below, the proposed design is in compliance with this requirement.





### 5.7.6.5.2.2 Light Reflectance Value and Chroma

Per SLDC, since the building is less than 5,000 square feet, the materials and colors used shall not exceed 38 percent light reflectance values (LRV) and Munsell value of 7 (Per table 5.7 Maximum LRV and Munsell Values).

Figure 5-5 below show the color scheme:



Figure 5-6 Building Color Scheme

### 5.7.6.5.2.3 Evaluation of Color

The applicant is submitting the color sample with corresponding LRV and chroma value for every color used on the subject buildings and structures for your consideration.





## 5.8 EXTERIOR LIGHTING

Exterior lighting will be reserved to that necessary for operations and to protect life and safety- no decorative or ornamental lighting will be used. Facility area lighting will be provided for site security and safety with minimal impact on surrounding properties per City Land Development Code §5.8. A Lighting Plan and light fixture cut sheets are included in the drawing set. Lighting criteria for the site are as follows:

1. Specific lighting levels (indoors and outdoors) shall be per the latest published version of the Illuminating Engineering Society (IES) of North America Handbook.
2. Interior lighting will utilize LED, fluorescent, compact fluorescent, metal halide, and high intensity discharge and be high efficiency rated.
3. Exterior lighting will be “Dark Sky Compliant with photometric control, motion control, and/or hand/off/auto switches. The facility will utilize High Pressure Sodium HID or Metal, Halide HID lamps. Lamps are to be high efficiency rated.
4. Lighting for building entrances will be wall-mounted lighting fixtures.
5. Emergency lighting will either be in the form of separate, wall-mounted fixtures, or by the use of emergency battery packs and ballasts in-ceiling or wall-mounted lighting fixtures.

## 5.9 PUBLIC ART

Per SLDC, public art is required to be installed pursuant to this Section prior to the issuance of a Certificate of Occupancy for the following:

| SLDC Requirements  | Project Design Features   |
|--|---|
| - Development of any new mixed-use and/or nonresidential building, except for industrial uses, with 5,000 square feet of gross floor area or more;   | This project does not qualify under any of these descriptions and therefore the public art requirement is not applicable. |
| - Expansion of any mixed-use and/or nonresidential building, except for industrial uses, resulting in 2,500 square feet of gross floor area or more; |   |
| - Development of any new multifamily building(s) of 20 dwelling units or more; and   |   |
| - Expansion of any existing multifamily residential building(s) by 10 dwelling units or more.  |   |



## 6 ARTICLE 6 - SIGNS

This project will not require any signs except for a safety decal and a site address sign. Directional and directory signs are not needed. A monument, free standing sign is not required.



## 7 ARTICLE 7 - SUBDIVISIONS

This project is not a subdivision therefore this Article of the Code is not applicable.



## 8 ARTICLE 8 – ADMINISTRATION AND PROCEDURE

We are aware per this SLDC Article that this project will fall under the Conditional Use Permit review procedures per SLDC Table 8.1 and will require the following:

- Notifications – published, written, and posted
- Pre-Application Meeting
- Review and Decision Making - Bodies
  - o Staff - Review
  - o Historic Preservation Committee – not required since the project site is not within a historic preservation district
  - o Planning and Zoning – Review and Decision
  - o City Council – Appeal



## 9 ARTICLE 9 - RULES OF CONSTRUCTION AND DEFINITION

This project falls under Public Utility, Major per the definition provided in SLDC, Article 9

### **“Public Utility, Major**

A facility used to convert electric power, natural gas, telephone signals, cable/fiber optic communications, and water services from a form appropriate for transmission over long distances to a form appropriate for residential household or commercial use, or vice versa. This use includes but is not limited to: electric substations, natural gas regulator stations, telephone switching stations, water pressure control facilities, and sewage lift stations, regional storm water drainage facilities, and water and sewer treatment facilities. Major public utilities are of a size and scale found only in scattered sites throughout the City.”

# White Bear Water Supply Well and Warehouse Facility Project

## Community Outreach Report

Pursuant to the City of Sedona's Land Development Code requirement for "early and effective" outreach to residents near proposed development projects, Arizona Water Company (Arizona Water) hosted a meeting on February 10, 2022, at the Sedona Public Library, for residents of the area surrounding its proposed water supply well and warehouse project located at 135 Roadrunner Drive, at the corner of White Bear Road and Roadrunner Drive, directly across the street from the Sedona Civic Center.

Sedona Public Library is located at 3250 White Bear Rd, Sedona, AZ 86336, only a few blocks away from the proposed project site.

Arizona Water mailed notices to all residents and property owners within a 300 foot radius of the project site, as required by the Sedona Land Develop Code. In addition, we notified the president of the home owners' association representing owners at Arroyo Seco Townhomes. (List attached.)

Seven residents attended the meeting. Arizona Water made a presentation to the group about the project which pointed out the need for the project and many details, including a description of building locations on the site and renderings depicting the architectural style we have proposed.

We asked the attendees to fill out comment cards so we might have a record of their concerns. The printed cards were handed out to everyone, however none were returned.

Here are the generic concerns voiced during the meeting. We answered each question at the meeting. Our answer follows the question:

- Q. Will materials be stored outdoors?
- A. Materials will be stored in the warehouse and in the enclosed material storage building.

Q Will it be noisy?

A. The well uses a submersible pump, so there will be virtually no noise coming from the site after working hours. During working hours, Company service trucks will come and go during the day, and occasionally there will be deliveries.

Q. Can there be covered parking for service trucks?

A. We can analyze this idea. However, the service trucks are screened from view by the site perimeter fence and landscaping.

Q. The site is ugly

A. It's a warehouse and a well site. It complies with all applicable building standards, including landscaping and fencing. We are open to reasonable ideas for making the site more attractive.

Q. Proper zoning for the site.

A. We believe our proposed project fully complies with zoning and building code requirements.

Q. Plant trees along the outside of the north wall for additional screening of the site.

A. We can analyze this idea.

Q. Will there be vehicles parked on the street.

A. No.

Q. Will there be future treatment facilities constructed at the site.

A. No. We plan to construct an expansion to the existing arsenic removal facility at the Southwest Center site to treat water from the well.

Appendix 1 includes:

- a. A 300-foot radius map showing where notification is required.
- b. A list of all property owners within the radius, including mailing address. In addition it includes the name of the sole homeowners association in the area
- c. Sign-in sheets from the meeting

## Appendix 1





# Mailing List Page 1

White Bear address list  
1/12/2022

William Holman  
301 Palisades Dr S  
Sedona Az 86336

Andrea Maddy  
165 Roadrunner Dr  
Sedona Az 86336

Raymond Scott  
171 Roadrunner Dr  
Sedona Az 86336

Alternative to Meds  
40 Goodrow Ln  
Sedona Az 86336

Margaret L Jackson  
PO Box 2023  
Sedona Az 86336

Karen Gieske  
285 Roadrunner Dr  
Sedona Az 86336

Donald Senneville  
PO Box 2034  
Carefree Az 85377

William Kincaid  
345 Roadrunner Dr  
Sedona Az 86336

Piya Jacob  
375 Roadrunner Dr  
Sedona Az 86336

Michael/Rhonda Amadei  
380 Roadrunner Dr  
Sedona Az 86336

## Mailing List Page 2

Dennis Clegg  
340 Roadrunner Dr  
Sedona Az 86336

Scott Schrader  
300 Roadrunner Dr  
Sedona Az 86336

Harry P Stinespring  
910 E Oak St  
Lake in the Hills IL 60156

Carol M Peganoff  
252 Roadrunner Dr  
Sedona Az 86336

William Eaton  
PO Box 670  
Tempe Az 85280

John Mckinley  
5301 W Avenida Comba  
Tucson Az 85745

Lori Zellwanger  
160 Roadrunner Dr  
Sedona Az 86336

City of Sedona  
102 Roadrunner Dr  
Sedona Az 86336

1<sup>st</sup> Assembly of God  
3132 White Bear Rd  
Sedona Az 86336

Brierra Enterprises LLC  
70 Dry Creek Rd  
Sedona Az 86336

## Mailing List Page 3

10 Ranch House LLC  
10 Ranch House Cir  
Sedona Az 86336

Factor This LLC  
6120 E Via Estrella Ave  
Paradise Valley Az 85253

Lakeside Partners LTD  
6446 SR 179 STE 207A  
Sedona Az 86351

Kali Gajewski  
70 Dry Creek Rd  
Sedona Az 86336

Dry Creek North LLC  
160 Dry Creek Road  
Sedona Az 86336

Arroyo Seco Com Assn  
1600 W Broadway Rd STE200  
Tempe Az 85282

### LIST OF OWNERS

White Bear Professional Plaza LLC  
PO Box 3670  
Sedona Az 86340

Dry Creek Plaza LLC  
PO Box 4299  
Sedona Az 86340

Brierra Enterprises  
40 Columbia Dr  
Sedona Az 86336

Dry Creek North LLC  
1120 E 80<sup>th</sup> ST STE 211  
Bloomington Mn 55420







February 16, 2022

Cari Meyer, Planning Manager  
City of Sedona Community Development Department

**RE: PZ21-00021 (CUP, DEV)– Site Plan/Design Review  
Arizona Water Company, Public Utility Facility  
135 Road Runner Dr. Sedona AZ 86336**

Dear Mrs. Meyer

Below are your comments with responses.

### ***Review Comments***

---

#### **3. Letter of Intent (LOI)**

- a) The LOI must discuss how the project addresses the requirements of the LDC and any additional guidelines contained in the Manual. Please refer to specific sections of these documents in the LOI. See Manual Sections 1.1.D, 1.1.E(2), 1.1.H, 1.2.A(1)
- b) The majority of the LOI addresses the operational aspects of the proposal for the CUP. As this application is for both a CUP and a Development Review, add another section addressing Development Review requirements, such as height, setbacks, parking, site and building design, lighting, signs, etc.
- c) The LOI must discuss how the project meets the required findings for a Conditional Use Permit and Development Review application (LDC Section 8.3.E(5)).

*Response (a+b+c): updated LOI is enclosed in this package.*

- d) Clarify the location of “Rainbow Well No. 6” referred to in the LOI.

*Response: revised letter indicates the address of Rainbow Well No. 6*

- e) The lots will need to be combined for the proposed development.

*The Company is purchasing and will combine the Property to construct and operate a new well, warehouse, enclosed equipment and material storage areas, and overnight Company service vehicle parking (see enclosed Site Plan and Bird's Eye View Rendering).*

#### 4. Site Plans

- a) Move parking spaces further south. This will decrease the amount of pavement/DG surface and increase the buffer to the single-family house to the north.

*Response: Parking location is placed 10' away from the North setback. These spaces are situated in that location to allow for the well maintenance rig and for a two-way access for cars to park without being blocked in by the rig or blocking the rig from access to the supply well. This area is not paved and is situated beyond a 24' parking and maintenance access road north of the fire truck lane. See Sheet AS1.*

- b) Setbacks for the M2 district are 10 feet on the front and side setbacks and 20 feet on the rear. The plans show 10 feet from all property lines. Correct setbacks.

*Response: Setbacks have been corrected to reflect the required distances. This has not impacted the building location or other elements on site. See Sheet AS1 indicated a 20' setback from the rear, and 10' setback from the front and sides.*

- c) The fence line along White Bear Road is slightly different on the Site Plan vs. the Grading and Drainage Plan. Ensure all plans are consistent with each other.

*Response: The fence line has been corrected on both architectural and civil plans. See Sheet AS1 and Sheet 1 on the civil/engineering drawing.*

#### 5. Heights (LDC Section 2.24.E)

- a) On the site plan (or on a separate plan), provide a roof plan, showing all parapet heights in the same format as the contours. Clearly show natural contours in 1' increments and ensure contours continue through the footprint of each building.

*Response: parapet heights are indicated on sheets A1 and A2, additional heights have been added to the roof plans. See Sheet A3. 1 foot contours are visible on all site plans and continuous through the footprint of the building.*

#### 6. Access, Connectivity, and Circulation (LDC Section 5.4)

- a) Sidewalks are required on all street frontages (LDC Section 5.4.H(1)). Show sidewalks on plans.

*Response: a 5' sidewalk has been added to the east side of the property on Road Runner st. and towards the south on White Bear Rd. Per your request, these end at the site's property line, for potential of city to provide continuation in the future. See Sheet AS1, AS2, and Civil Sheet 1.*

#### 7. Parking (LDC Section 5.5)

- a) Bicycle parking (LDC Section 5.5.D(3)): 2 bicycle parking spaces are required. Show on plans.

*Response: 2 bicycle parking racks have been provided on the southeast corner of the property, this has been carefully placed to meet the requirements of LDC Section 5.5.D(3) – does not interfere with vehicular or pedestrian traffic, adjacent to the site entrance, on a leveled concrete pad. See sheet AS1 and AS2.*

#### 8. Landscaping, Buffering, and Screening (LDC Section 5.6)

- a) Provide calculation of total landscape area (square footage) and clearly show on plans which areas are included in calculation. Ensure the plant quantities proposed meet the requirement of 1 tree and 3 shrubs per 400 square feet. (LDC Section 5.6.C(1)a.2).



*Response: the site walls to the south have been placed 20' away from the property line to maximize the landscape buffer towards the street, and an additional 10' landscape buffer towards the street on the east side of the property. Trees at north property wall are additional and not part of the designated landscape areas. See Sheet AS2.*

*The total designated landscaped area = 400 SQFT (AREA ON WEST OF WEST GATE) + 2400 SQFT (AREA IN BETWEEN BOTH GATES) + 2400 SQFT EAST OF EAST GATE AND EAST SETBACK ON THE MAIN STREET)*

*TOTAL AREA = 5,200 / 400 (\* 5 PLANT SPECIES MIN.) =*

*13 TREES (5 additional trees added to create visual barrier from neighbor to the north)*

*39 SHRUBS*

b) Indicate whether there are any trees to be preserved and/or removed. If so, provide a tree removal plan and sizes of all trees to be preserved.

*Response: there are three mesquite trees on the site, none will be preserved on the property. Property will designate 5,200 square feet for new landscape per LDC.*

c) A 10 foot landscape buffer is required between the parking area and the single-family residential property to the north. Modify landscape plans to include this area. (LDC Section 5.6.C(2)b.1).

*Response: LDC Section 5.6.C(2)B.1. indicates two options, the first is to have a 10 foot landscape buffer or: a solid wall or fence no less than six feet in height. The proposed project has an 8' site wall on the north property line. See Sheet 1/AS1 for location and 3/AS1 that represents the elevation design of that wall.*

d) A minimum of 10% of the site area devoted to parking shall consist of landscape islands (LDC Section 5.6.C(2)b.2). Provide calculation of area within parking lot devoted to landscaping and clearly show on plans the area counting towards this requirement.

*Response: LDC Section 5.6.C(2)b.2 parking lot landscape islands exempts this requirement if the total parking spaces do not exceed 20 spaces. Sheet AS1 reflects this exemption, a total of 19 parking spaces + 1 ADA space are available on the property, bringing the total count to 20 total. Therefore, no landscape islands will be installed. However, there have been 3 trees designated north of the spaces to provide shading to the parking spaces and to create a landscape buffer towards the north. See Sheet AS2 for tree locations.*

e) Indicate location of mechanical equipment and screening method (LDC Section 5.6.D(1) for roof-mounted equipment or LDC Section 5.6.D(2) for ground-mounted equipment).

*Response: no mechanical equipment will be ground-mounted or roof-mounted, building will use interior fans and interior mobile air-conditioning. Sheet A3 shows the roof tops with no equipment.*

f) Indicate location of refuse/recycling areas and screening method (LDC Section 5.6.D(3)).

*Response: a refuse location was added to the property by the exit gate, placed at 45 degrees for ease of access, with a continuous solid wall (constructed with block and finished with stucco) and solid metal gate for screening purposes per indicated section. See sheet AS1 (southwest corner) for refuse location.*

## 9. Site and Building Design (LDC Section 5.7)

### a) Building Articulation (LDC Section 5.7.F(2)c)

i) Horizontal and Vertical Articulation: Review this section and ensure required articulation elements are included. The building requires a minimum of two horizontal articulation elements and appears to only have one (windows) Consider adding low planters/wall, or architectural veneer banding to the base of the buildings or awnings/canopies above the windows to provide the required articulation.

Response: per LDC Section 5.7.F(2)c one or more elements are required. However, all buildings include several articulation elements despite only one is required. See sheets AS1, A1, A1.1, A2, A2.1 and A3.

- Elevation reveals (all orientations) and stucco pop outs around all windows
- Indicated bays for overhead entrances
- Change of wall planes varying from 1' to 6' (east wall)
- 30% window to wall ratio
- Change in color with a darker stucco banding around the perimeter of all buildings.

ii) Unrelieved Building Plan: No exterior wall of a building may exceed 800 square feet. The south elevation of the storage building is 1,232 square feet. Redesign to incorporate recesses/offsets to ensure no building plane is more than 800 square feet.

Response: This storage building has been separated to two individual buildings that their building planes are 650 SQ.FT. and 540 SQ.FT. respectively.

iii) Transparency (Windows, Door, and Openings): Indicate percentage of windows and doorways on elevations. A minimum of 30% of the façade of each building facing a public street shall be windows/doorways.

Response: A minimum of 30% of the façade of each building facing a public street shall be windows/doorways.

iv) Roofline Variation: Rooflines are limited to 50 feet in length without a visual variation. The storage building is 88 feet long without a change in roofline. See this code section for what would qualify as a roofline variation.

Response: This storage building has been separated to two individual buildings that their building planes, the largest building of the 2 has a 48'-0" length of roofline, all overhead bays are 2' higher than the roof line. See elevation sheets A1 and A2 indicated the elevation variation as well as A3.

### b) Building Materials (LDC Section 5.7.F(4))

i) Provide samples of all building materials not proposed to be stuccoed/painted.

Response: all building materials are stuccoed and/or painted. There will be no additional material, wrought iron fence design is indicated on sheet 2/AS1 and 4/AS1 (photographs of design will be added to the sheets to indicated intent).

c) Building Color (LDC Section 5.7.F(5))

i) None of the color submitted are acceptable colors. The colors provided have LRVs ranging from 42% to 58%. The LDC has a maximum LRV allowance of 38%, with a chroma of 2. Higher chromas may be permitted if a lower LRV is proposed. Revise plans and submit compliant colors.

Response: all colors will be changed to reflect this requirement. See sheet A1.1 and A2.1 + physical samples provided.

ii) The elevations state the garage doors will have an LRV of 80. Garage doors are subject to the same exterior color requirements as the building, with a maximum LRV of 38%. Revise plans and submit a compliant color for the garage doors.

Response: all colors will be changed to reflect this requirement. See sheet A1.1 and A2.1 + physical samples provided.

**10. Exterior Lighting (LDC Section 5.8)**

a) Complete the City's Outdoor Lighting Application or provide all information from the application on the lighting sheet. This form can be found at the following link:

<https://www.sedonaaz.gov/home/showpublisheddocument/44952/637732617633670000>

Response: application filled out and included with project submittal.

b) The LDC permits a maximum of 70,000 lumens per acre. Ensure proposed lighting meets this requirement. It is not clear from the plans the total number of lumens proposed.

Response: Illumination report attached indicates the total number of lumens proposed is 60,243

c) The plans indicate parking lot lights with a height of 18 feet. A maximum height of 12 feet is permitted. Revise plans and lighting application. (LDC Section 5.8.G(1))

Response: light poles have been reduced to 12' to meet requirement, see light schedule on sheet A4 for update.

d) Provide fixture cut sheets for all proposed fixtures.

Response: fixture cut sheet included as part of this submittal

**11. Signs (LDC Article 6)** a) Indicate if signs are proposed to be used for this development. If so, submit a master sign plan for review.

Response: no building or monument sign will be constructed as part of this project.

**12. Citizen Participation Report (LDC Section 8.3.D)** a) The Citizen Participation Report must be provided prior to scheduling the public hearing for this project.

Response: Public meeting was taken on the following date:

When: Thursday, February 10, 2022 6:00 PM-9:00 PM (UTC-07:00) Arizona.

Where: Sedona Public Library - Si Birch Community Room (#100226)

Public Meeting Report is enclosed as part of this submittal.

### 13. Missing Application Materials

a) The following are required application materials that were not included in the submittal. Please review the Manual and ensure all required documents are provided. At a minimum, the following items are required:

i) Letters of Serviceability from all proposed utility connections – Manual Section 1.1.H(7)

Response: letters from following services are enclosed as part of this submittal:

- Wastewater Department
- UniSource Energy Services
- Century Link
- APS

ii) ALTA Survey completed within the past two (2) years showing all easements on the subject property – Manual Section 1.1.H(9)

Response: Alta survey submitted dated 08/30/20 and will be provided as part of this submittal.

### Engineering Comments

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**1. Please provide a preliminary drainage report. Stormwater detention shall be provided if the runoff increases by 1cfs or more.**

Response: Preliminary drainage report is enclosed as part of this submittal.

**2. Provide letters of serviceability for all utilities.**

Response: letters from following services are enclosed as part of this submittal:

- Wastewater Department
- UniSource Energy Services
- Century Link
- APS

**3. A 5' sidewalk along the frontages is required.**

Response: *a 5' sidewalk has been added to the east side of the property on Road Runner St. and towards the south on White Bear Rd. Per your request, these end at the site's property line, for potential of city to provide continuation in the future. See Sheet AS1, AS2, and Civil Sheet 1.*

**4. Please provide a geotechnical report.**

Response: Per Hanako Hueda on 02.17.2022 AWC will provide exploratory well drilling log.

Please let us know if you have any questions,  
Respectfully,



Akram Rosheidat, Architect



Mail:  
102 Roadrunner Dr.  
Sedona, AZ 86336

Site:  
7500 W. SR 89A  
Sedona, AZ 86336

(928) 204-2234  
sedonaaz.gov

FAX (928) 204-7137

Wastewater Department

March 4, 2022

Casey Goff  
Arizona Water Company  
65 Coffeepot Dr. Ste #7  
Sedona, AZ 86336

SUBJECT: WILL SERVE SEWER – 135 Roadrunner Dr.  
APN 408-02-108F & 408-02-108H

This letter is in response to your request regarding sewer service availability for the property referenced above.

This parcel has sewer availability, due to sewer being available adjacent to the point of access to the property, as defined in City Code section 13.15. The sewer main, located Roadrunner Drive, is an 8" gravity main. Currently, both parcels are being billed the sewer standby fee. However, depending on the scope and impact of the development proposal, adequate capacity may not be available. Available sewer capacity is on a first come-first served basis, and there are no guarantees of sewer capacity for this property until a development proposal is approved.

In conclusion, sewer service is available at 135 Roadrunner Dr. and, if adequate capacity is available at the time of development approval, sewer will be served by the city of Sedona. If you have any questions or concerns, please contact me at (928) 203-5069.

Sincerely,

A handwritten signature in blue ink, appearing to read "Roxanne Holland".

Roxanne Holland, PE  
Director of Wastewater

RH:ms

cc: J. Andy Dickey, Assistant City Manager/City Engineer (e-copy)  
Sandra Phillips, Assistant Director of Public Works (e-copy)  
Hanako Ueda, Assistant Engineer (e-copy)  
Sal Valenzuela, Chief Public Works Inspector (e-copy)  
Denise Breland, Accountant I (e-copy)  
Streets file: Roadrunner Dr.



March 15, 2022

To Whom It May Concern,

**Will Serve Letter (135 Roadrunner Dr)**

135 Roadrunner Dr. APN# 408-02-108F, has a gas main that borders the east property line next to the road that will be used to run any new gas service to the property.

At the time of construction, we will need to get an application filled out and then we can discuss construction requirements and costs associated.

If you have any more questions, please contact me at (928)203-1214.

Thank you,  
Taylor Mathe

Construction Planner

UniSource Energy Services  
500 S Willard Street  
Cottonwood, AZ 86336  
928-203-1295



CenturyLink Engineering  
500 S Calvary Way  
Cottonwood, AZ 86326

April 18, 2022

Casey Goff  
Water Distribution Superintendent  
65 Coffee Pot Dr, Ste #7  
Sedona, AZ 86336

RE: 135 Roadrunner Dr  
Sedona, AZ 86336

Jake,

The above mentioned property is located in a parcel located in Section 10, Township 17N and Range 5E in Yavapai County.

In response to your "Service Availability" request for the above mentioned property, this letter is to acknowledge, the property is within the CenturyLink serving territory.

The tariff Rates and Regulations prescribed for service for this location are on file with your State Utilities Commission, and may be examined at your CenturyLink Business Office.

Sincerely,

Armen McNerlin  
Lumen/CenturyLink Engineer  
500 S Calvary Way  
Cottonwood, AZ 86326  
office 928.634.2102  
cell 928.821.4609



1250 E. State Route 89A  
Cottonwood, AZ 86326

March 2, 2022

To: Arizona Water Co,

Regarding: 135 Roadrunner Rd. in Sedona, AZ. Yavapai APN 408-02-108F and 408-02-108H.

The above referenced project is located in Arizona Public Service Company's electric service area. As a matter of fact, this property is already being served by APS. The Company extends its lines in accordance with the "Conditions Governing Extensions of Electric Distribution Lines and Services," Schedule 3, and the "Terms and Conditions for the Sale of Electric Service," Schedule 1, on file with the Arizona Corporation Commission at the time we begin installation of the electric facilities. These Schedules are available on-line at [aps.com](http://aps.com).

Application for the Company's electric service often involves construction of new facilities for various distances and costs depending upon customer's location, load size and load characteristics. With such variations, it is necessary to establish conditions under which Arizona Public Service will extend its facilities.

Sincerely,

Patty G

Verde Control Desk  
928 646 8502  
[Verdecontroldesk@apsc.com](mailto:Verdecontroldesk@apsc.com)

Our Purpose: As Arizona stewards, we do what is right for the people and prosperity of our state.

Our Vision: Create a sustainable energy future for Arizona.

Our Mission: Serve our customers with clean, reliable and affordable energy.