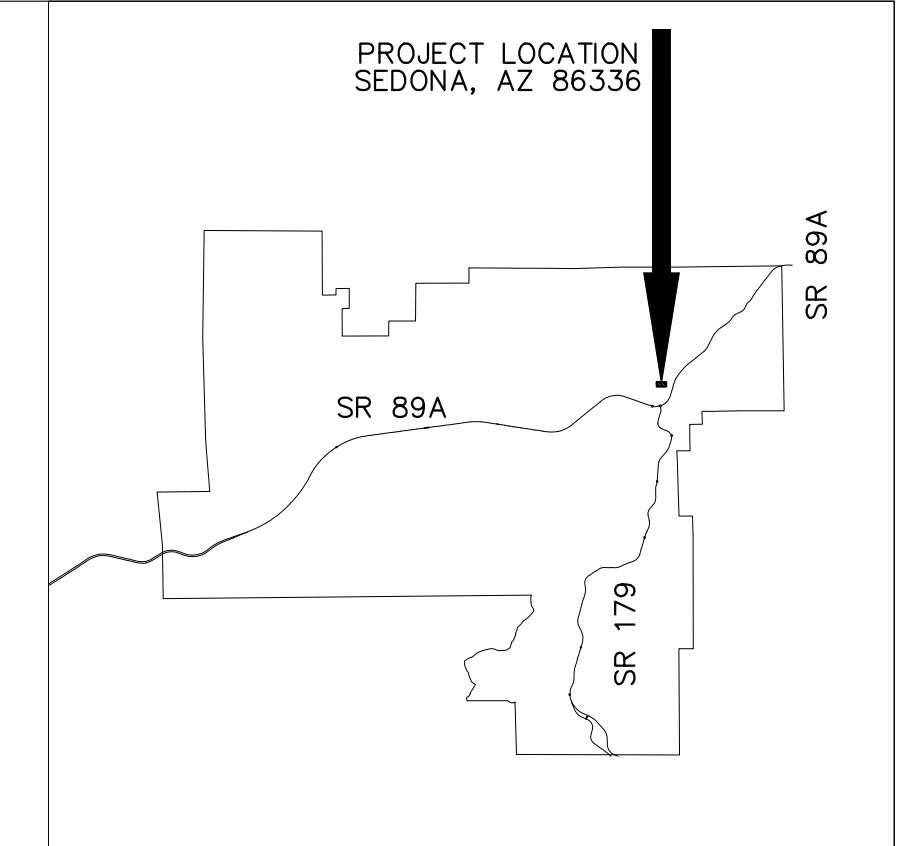


UPTOWN SEDONA PARKING GARAGE

LOCATED IN A PORTION OF SECTION 07, TOWNSHIP 17 NORTH,
RANGE 6 EAST, Q1A AND SALT RIVER MERIDIAN,
COCONINO COUNTY, ARIZONA.



CONTACT INFORMATION

OWNER CITY OF SEDONA
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
(928)204-7111
J. ANDY DICKEY, P.E.
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

MAYOR SANDY MORIARTY

VICE MAYOR SCOTT JABLOW

CITY COUNCIL KATHY KINSELLA
HOLLI PLOOG
JON THOMPSON
TOM LAMKIN
JESSICA WILLIAMSON

CITY MANAGER KAREN OSBURN

LANDSCAPE ARCHITECT KIMLEY-HORN & ASSOCIATES, INC.
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TUCSON, AZ 85705
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REBECA.FIELD@KIMLEY-HORN.COM

ENGINEER KIMLEY-HORN & ASSOCIATES, INC.
ANDREW BAIRD, P.E.
201 W MONTEZUMA ST, SUITE 206
PRESCOTT, AZ 86301
(928) 458-7121
ANDREW.BAIRD@KIMLEY-HORN.COM

RECORD DRAWING STATEMENT

I HEREBY STATE, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE GENERAL CONTRACTOR AND OTHERS, THAT THE WORK ON SHEETS 1 THROUGH 05, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THESE CONSTRUCTION PLANS, SPECIFICATIONS, INCLUDING CHANGES AND REVISIONS.

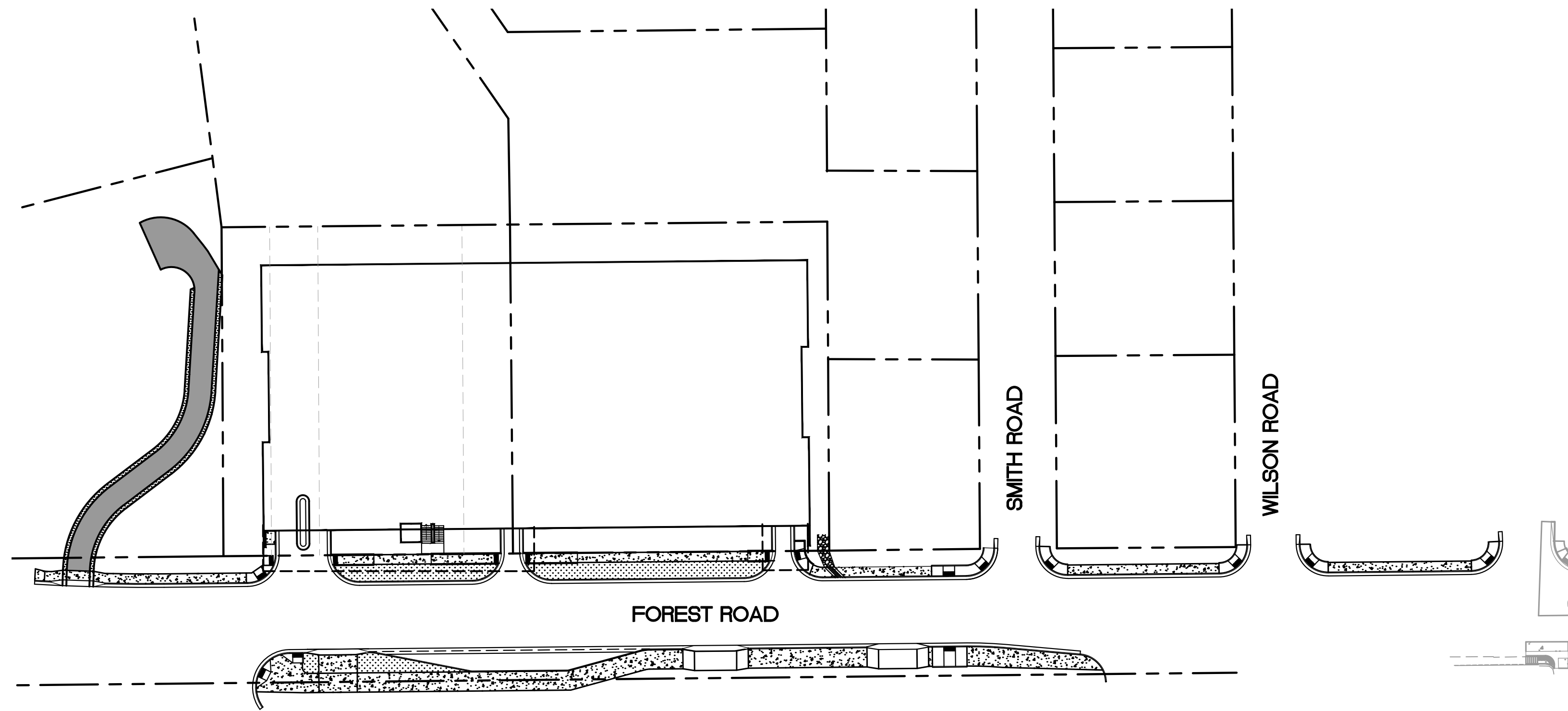
REGISTERED LAND SURVEYOR/ENGINEER _____ DATE _____

REGISTRATION NUMBER _____ EXPIRATION DATE _____



NOTICE OF EXTENDED PAYMENT PROVISION

(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



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17	IRRIGATION DETAILS	IRO2
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UTILITY COORDINATION BLOCK

<input type="checkbox"/>	ARIZONA PUBLIC SERVICE	MATT HERRERA COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	ARIZONA WATER COMPANY	CASEY GOFF COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	SUDDEN LINK	JASON QUINLAN COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	UNISOURCE	ROB JUSTUS COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	CENTURY LINK	ANDRE HATCHER COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____
<input type="checkbox"/>	SEDONA SEWER	ROXANNE HOLLAND COMPANY REPRESENTATIVE CONTACTED	RECEIVED: _____



PZ21-00003 (DEV) Uptown Parking Garage

Symbol	Revisions	Date	Appr.	Designed by: DLP	Date: 04/26/2022	 ENGINEER A. BAIRD PE NO. 48841, DATE 04/22	 © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 201 NORTH MONTEZUMA SUITE 206 PRESCOTT ARIZONA, 86301 PHONE: 928-458-7121 WWW.KIMLEY-HORN.COM	 CITY OF SEDONA PUBLIC WORKS DEPARTMENT 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 928-204-7111	UPTOWN SEDONA PARKING GARAGE COVER SHEET	SHEET ID CV01
				Drawn by: ALD	Scale: N/A					SHEET NO. 01 OF 19
				Checked by: JRW	Project Code: 091885001					

K:\PRS_Roadway\091885001-Uptown Sedona Parking Garage\CAD\PlanSheets\CV01.dwg

GENERAL NOTES:

- ALL STRUCTURES ARE DESIGNED TO ACT AS A STRUCTURAL UNIT UPON COMPLETION. CONTRACTOR SHALL DESIGN AND PROVIDE NECESSARY BRACING, TEMPORARY SUPPORTS, AND SHORING TO RESIST FORCES ON THE STRUCTURE DURING CONSTRUCTION.
- VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO STARTING WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING WORK.
- CONTRACTOR SHALL EXERCISE EXTREME CARE DURING THE EXCAVATION AND CONSTRUCTION FOR NEW STRUCTURE TO AVOID DAMAGE TO EXISTING STRUCTURES AND EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS REQUIRED TO FACILITATE CONSTRUCTION OF THE WORK AND ENSURING THE SAFETY, STABILITY AND INTEGRITY OF ADJACENT STRUCTURES AND FACILITIES.
- THE ENGINEER SHALL BE NOTIFIED A MINIMUM OF 24 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- ANY WORK PERFORMED WITHOUT THE KNOWLEDGE AND APPROVAL BY THE ENGINEER AND/OR ALL WORK MATERIAL NOT IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS (NEW AND EXISTING) HAVE BEEN SWEEPED CLEAN OF ALL DIRT AND DEBRIS.
- ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE, ARE NOT VERIFIED BY THE ENGINEER, AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. PAYMENT WILL BE BASED ON BID SCHEDULE ITEMS. THE CONTRACTOR SHALL NOT BE RELIEVED OF HIS RESPONSIBILITY FOR INDEPENDENTLY ESTIMATING WORK QUANTITIES PRIOR TO BIDDING.
- BACKFILL COMPACTION SHALL BE PER MAG 301, UNLESS OTHERWISE NOTED. SUBGRADE PREPARATION SHALL MEET THE PROJECT STANDARD SPECIFICATION.
- REMOVAL OF STRUCTURES AND OBSTRUCTIONS AS NECESSARY TO COMPLETE THE WORK, OTHER THAN SPECIALLY SCHEDULED IN THE BID, IS INCIDENTAL TO THE CONTRACT. NO SEPARATE MEASUREMENT OF PAYMENT FOR UNSCHEDULED REMOVAL ITEMS WILL BE MADE.
- CONSTRUCTION STAKING SHALL BE BY THE CONTRACTOR'S SURVEYOR WITH CONTROL PROVIDED BY THE DESIGN ENGINEER WHO STAMPED THE PLANS.
- THE CITY OF SEDONA MAY ORDER ANY OR ALL WORKMANSHIP AND MATERIALS TO BE TESTED ACCORDING TO APPLICABLE STANDARDS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL REWORK AND/OR REMOVAL AND REPLACEMENT OF ALL MATERIALS AND/OR WORKMANSHIP REPRESENTED BY A FAILING TEST.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS OF TESTING AND QUALITY ASSURANCE/QUALITY CONTROL AS DELINEATED IN THE CITY'S PROJECT SPECIFICATIONS. THE COST OF TESTING IS INCIDENTAL TO EACH ITEM OF WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COST OF ANY CITY INSPECTION AND CITY INSPECTION TIME IF THE CONTRACTOR'S WORK IS BEING PERFORMED IN OVERTIME, AT NIGHT, OR ON WEEKENDS.
- APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE. TESTING AND EVALUATION MAY CONTINUE UNTIL WRITTEN FINAL ACCEPTANCE OF A COMPLETE AND WORKABLE UNIT.
- THE CITY OF SEDONA MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN ITS JUDGEMENT, PROGRESS IS UNSATISFACTORY, WORK BEING DONE IS UNAUTHORIZED OR DEFECTIVE, WEATHER CONDITIONS ARE UNSUITABLE, OR THERE IS A DANGER TO THE PUBLIC HEALTH OR SAFETY.
- CLEARING AND GRUBBING IS CONSIDERED INCIDENTAL TO THE WORK UNLESS SEPARATELY IDENTIFIED IN THE BID SCHEDULE. NO SEPARATE MEASUREMENT OR PAYMENT FOR CLEARING, GRUBBING, AND TREE REMOVAL WILL BE MADE. THE SITE SHALL BE REMOVED AND DISPOSED OF ALL EXCAVATION AND EMBANKMENTS. FILLS SHALL FIRST BE CLEARED OF STUMPS, TRASH, WEEDS, RUBBISH, AND LOOSE BOULDERS. THE CONTRACTOR MUST SATISFY HIMSELF REGARDING THE CHARACTER AND AMOUNT OF LOAM, CLAY, SAND, QUICKSAND, HARDPAN, GRAVEL, ROCK, WATER, AND ALL OTHER MATERIAL TO BE ENCOUNTERED AND WORK TO BE PERFORMED.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON FIELD DATA AND MAP RECORDS. THE CONTRACTOR SHALL CONTACT 1-800-STAKE-IT PRIOR TO ANY CONSTRUCTION ACTIVITY TO VERIFY THE ACTUAL LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL DETERMINE WHICH UTILITIES DO NOT PARTICIPATE IN 1-800-STAKE-IT AND CONTACT THEM DIRECTLY TO VERIFY THE LOCATION OF THOSE UTILITIES. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR'S OPERATION SHALL BE REPORTED TO THE UTILITY OWNER IMMEDIATELY AND REPAIRED OR REPLACED AT NO COST TO THE CITY. IN CASES WHEN THE EXISTING UTILITIES ARE NOT AS DEPICTED ON THE PLANS SOME MINOR DEVIATION TO THE PROPOSED ALIGNMENT MAY BE ALLOWED TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN UTILITIES. ANY PROPOSED TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN UTILITIES. ANY PROPOSED TO CHANGES TO THE ALIGNMENT MUST BE SUBMITTED TO THE CITY'S REPRESENTATIVE FOR REVIEW. NO CHANGES WILL BE ALLOWED WITHOUT PRIOR APPROVAL.
- CONTRACTOR SHALL OBTAIN ANY ADDITIONAL TEMPORARY EASEMENTS OR USE AGREEMENTS THAT ARE DEEMED NECESSARY FOR CONSTRUCTION AT NO ADDITIONAL COST TO THE CITY. COPIES OF ALL CONTRACTOR OBTAINED EASEMENTS AND USE AGREEMENTS SHALL BE PROVIDED TO THE CITY'S REPRESENTATIVE PRIOR TO THE UTILIZATION OF THE SITE.
- THE CONTRACTOR SHALL GRADE AND RESURFACE ALL AREAS DISTURBED BY CONSTRUCTION, INCLUDING LANDSCAPE ROCK, IN ACCORDANCE WITH THE SPECIFICATIONS AND TO A CONDITION EQUAL TO, OR BETTER THAN, THE PRE-CONSTRUCTION CONDITION.
- THE CONTRACTOR SHALL PROTECT ALL CONCRETE STRUCTURES TO REMAIN. ALL CONCRETE REPLACEMENT SHALL BE FROM JOINT TO JOINT (WALLS, SIDEWALK) AND SHALL BE REPLACED WITH 4000 PSI CONCRETE. ALL DAMAGED CONCRETE PANELS MUST BE REPLACED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL NOTES CONTINUED:

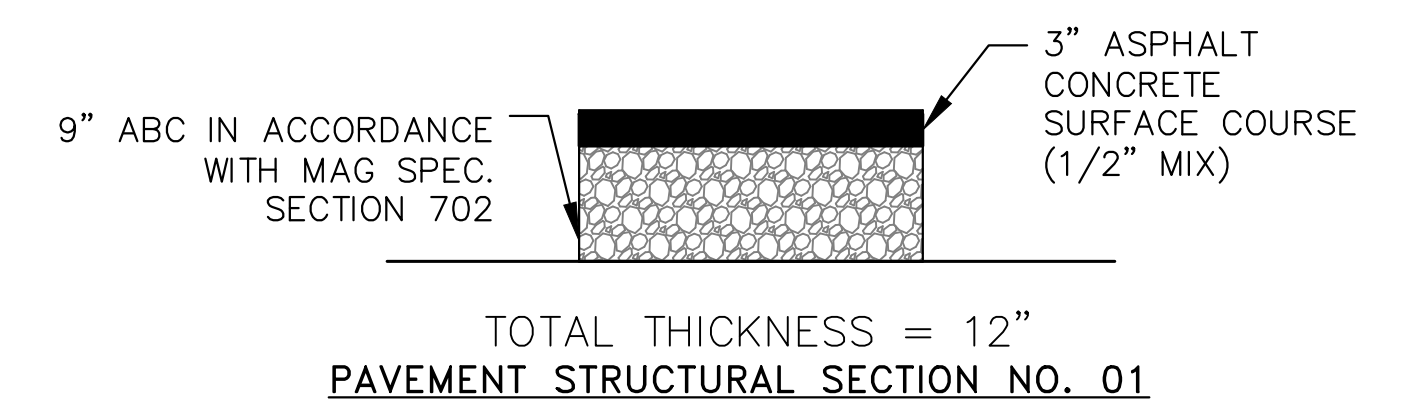
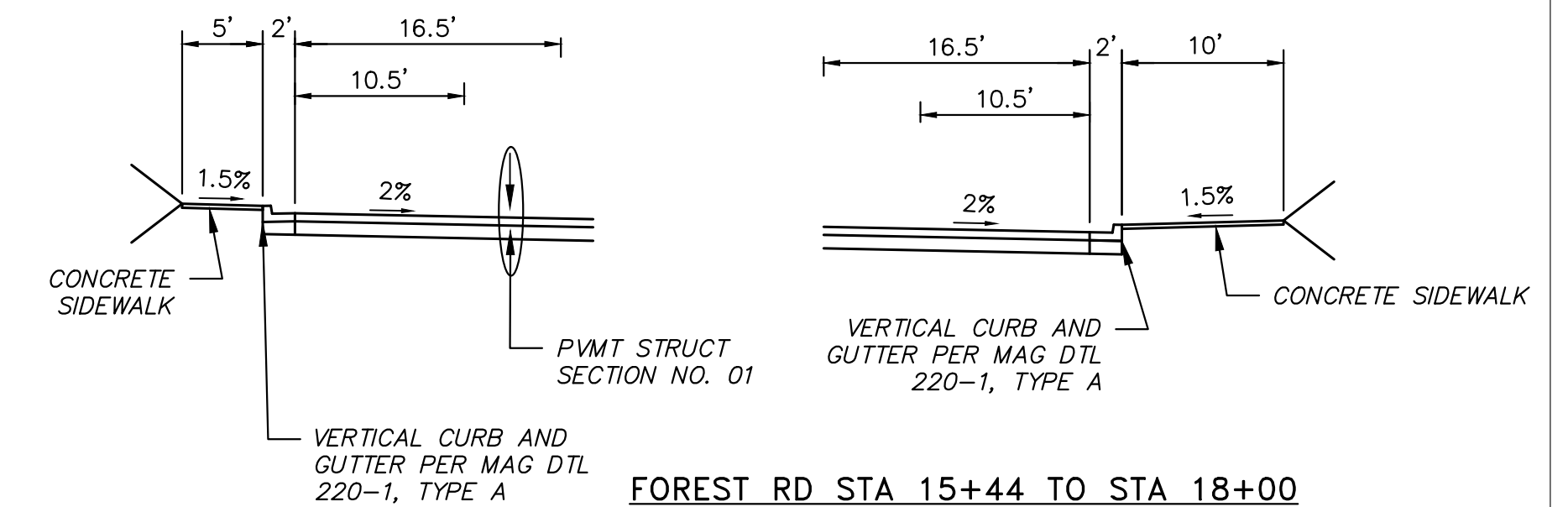
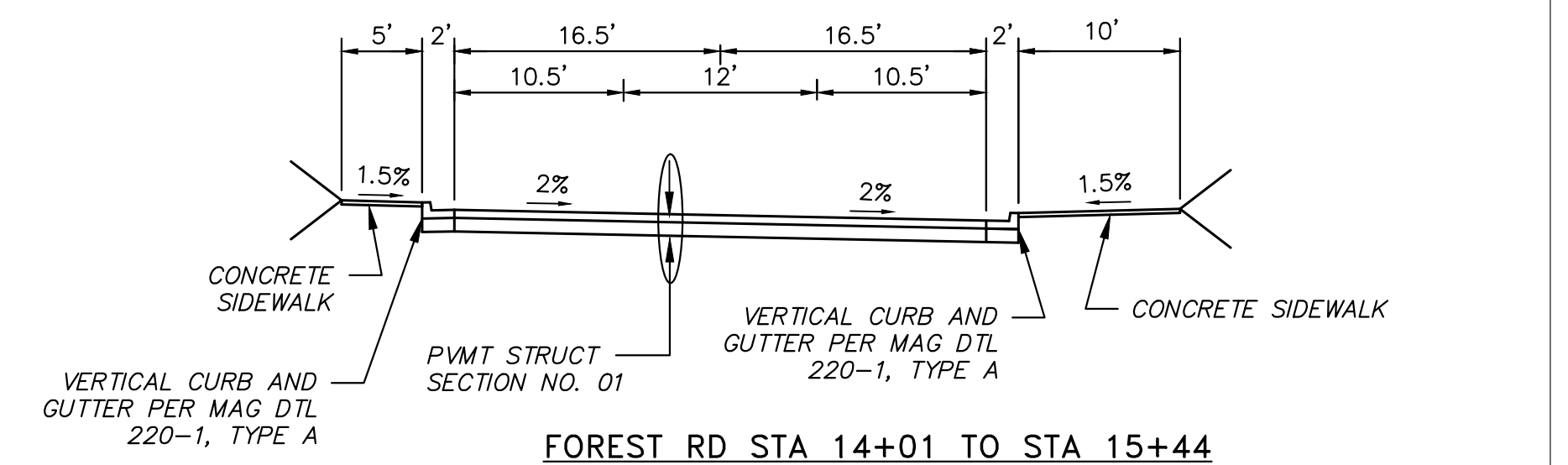
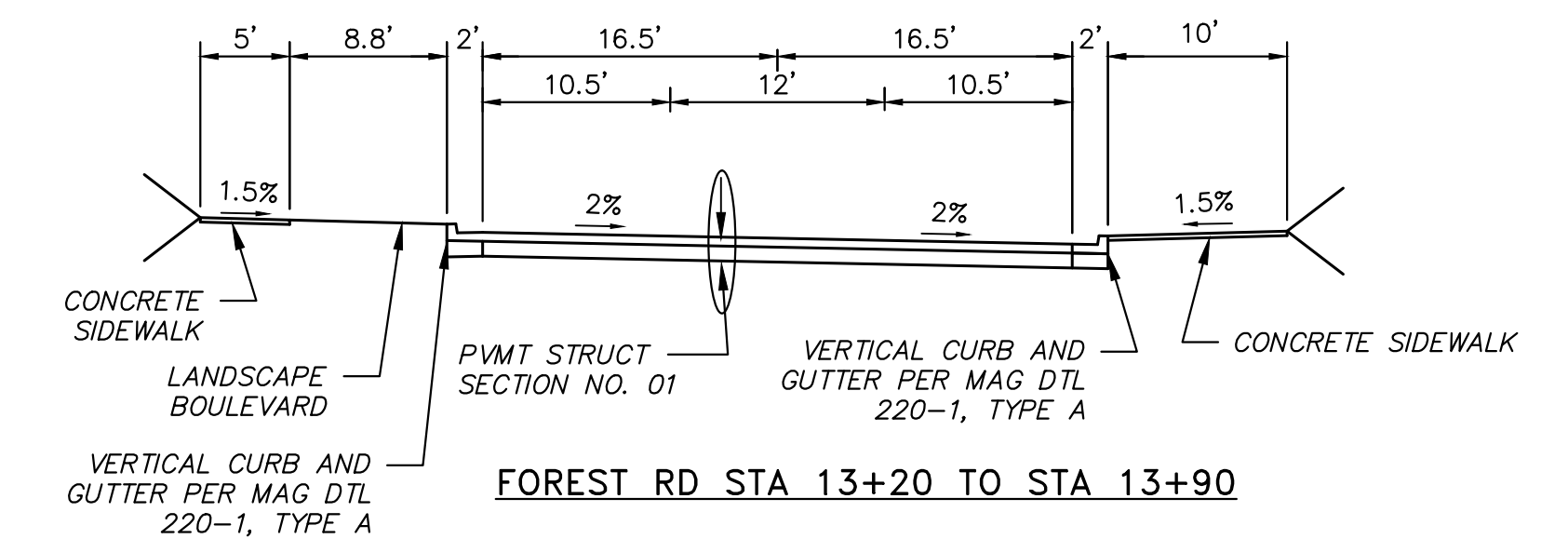
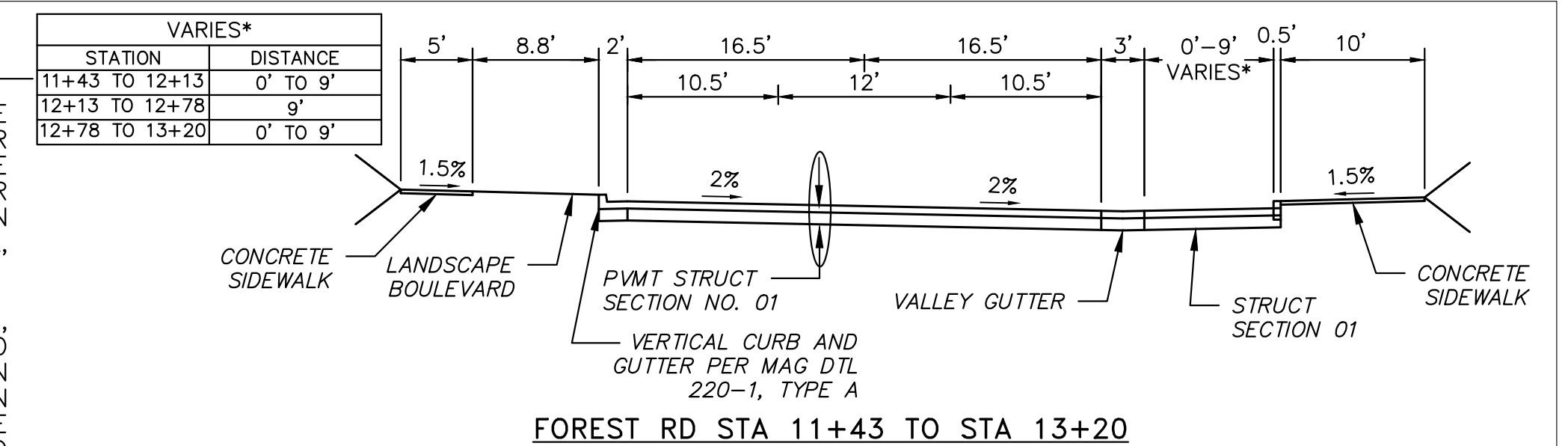
- THE CONTRACTOR SHALL PROVIDE PROTECTION TO PREVENT UNDERMINING OR DAMAGING THE STRUCTURAL INTEGRITY OF ALL FENCES, RETAINING WALLS, STREET SIGNS, OTHER UTILITY POLES, OR OTHER PRIVATE OR PUBLIC IMPROVEMENTS WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNING UTILITY AS NECESSARY TO PROVIDE TEMPORARY SUPPORT, OR PROTECTION DURING CONSTRUCTION WORK, AND SHALL NEATLY REMOVE AND PROMPTLY REPLACE NON UTILITY IMPROVEMENTS WITHOUT UNDUE DISRUPTION. THE COST OF ALL SUCH PROTECTION, REMOVAL, AND REPLACEMENT REQUIRED TO COMPLETE THE PROJECT SHALL BE SUBSIDIARY TO OTHER BID ITEMS.
- THE CONTRACTOR SHALL REMOVE ALL FENCING, ASPHALT AND CONCRETE ROADS AND DRIVEWAYS, CURB AND GUTTER, RIP-RAP, DRAINAGE CULVERTS AND ASSOCIATED APPURTENANCES AS REQUIRED FOR CONSTRUCTION PURPOSES. ALL ITEMS DAMAGED OR REMOVED SHALL BE RESTORED IN ACCORDANCE WITH THE SPECIFICATION TO A CONDITION EQUAL TO, OR BETTER THAN, THEIR CONDITION PRIOR TO THE START OF THE PROJECT. ITEMS OF WORK NOT SPECIFICALLY INCLUDED IN THE MEASUREMENTS AND PAYMENT SECTION OF THE SPECIFICATIONS SHALL BE CONSIDERED SUBSIDIARY TO OTHER BID ITEMS AND SHALL NOT BE PAID FOR SEPARATELY.
- IT IS NOT THE INTENTION OF THE NOTES TO SUPERSEDE ANY FEDERAL, STATE OR LOCAL LAWS, REGULATIONS AND/OR ORDINANCES; THEY SHALL GOVERN IN ALL INSTANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SHOW A GOOD FAITH EFFORT AND TO PROTECT ALL EXISTING UTILITY TIES AND STRUCTURES AND TO ABIDE BY ALL FEDERAL, STATE AND LOCAL LAWS AND ORDINANCES IN THIS RESPECT.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS ON PRIVATE PROPERTY. ALL ITEMS DAMAGED OR REMOVED SHALL BE RESTORED IN ACCORDANCE WITH THE SPECIFICATION TO A CONDITION EQUAL TO, OR BETTER THAN, THEIR CONDITION PRIOR TO THE START OF THE PROJECT.
- PROPERTY LINES SHOWN ON DRAWINGS ARE APPROXIMATE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS AS WELL AS THE LATEST ADDITION OF MAG STANDARDS AND DETAILS AND THE PROJECT SPECIFICATIONS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY SPEEDIE AND ASSOCIATES DATED MARCH 31, 2021.
- UNLESS OTHERWISE INDICATED, CURBING AND WALKWAY SHALL UTILIZE "SEDONA RED" COLORED CONCRETE (SEDONA RED COLORATION AS MANUFACTURED BY HANSEN CONCRETE, COTTONWOOD, AZ).
- PRIOR TO CLEARING AND GRUBBING ACTIVITIES, THE CONTRACTOR SHALL STAKE THE LIMITS OF CUT AND FILL SLOPES (I.E. CONSTRUCTION LIMITS) AND COORDINATE A SITE WALK WITH THE CITY TO IDENTIFY TREE AND OTHER VEGETATION WITHIN CUT AND FILL LIMITS THAT CAN BE REASONABLY PROTECTED IN PLACE. SUCH VEGETATION SHALL BE FLAGGED FOR PRESERVATION.

ACRONYM/ABBREVIATION

AB	AGGREGATE BASE	H	HEIGHT	RT	RIGHT
ABC	AGGREGATE BASE COURSE	INV	INVERT	R	RADIUS
AC	ASPHALTIC CONCRETE	LI	LANDSCAPE ISLAND	R/W	RIGHT-OF-WAY
BP	BEGIN PROJECT	LT	LEFT	RDWY	ROADWAY
BW	BOTTOM OF WALL	LF	LINEAR FEET	SHT	SHEET
C	CONCRETE	M.A.G.	MARICOPA ASSOCIATION OF GOVERNMENTS	SM	SURVEY MARKER
CL	CENTERLINE	MH	MANHOLE	SS	SANITARY SEWER
CONST	CONSTRUCTION	MIN	MINIMUM	ST	STREET
COMM	COMMUNICATION	N	NORTHING	STA	STATION
DET	DETAIL	NO	NORTHING	STD	STANDARD
DP	DRIVE PATH	P	PAVEMENT	STRUCT	STRUCTURAL
E	EASTING	PC	POINT OF CURVE	SW	SIDEWALK
EA	EACH	PCC	PORTLAND CEMENT CONCRETE	TBC	TOP OF CURB
ELEV	ELEVATION	PI	POINT OF INTERSECTION	TELE	TELEPHONE
EP	END PROJECT	POB	POINT OF BEGINNING	TEMP	TEMPORARY
EXIST	EXISTING	POE	POINT OF ENDING	TOP	TOP OF PIPE
FC	FACE OF CURB	PT	POINT OF TANGENT	TW	TOP OF WALL
FH	FIRE HYDRANT			TSW	TOP OF SEAT WALL
FL	FLOW LINE			TYP	TYPICAL
FT.	FEET				

LEGEND:

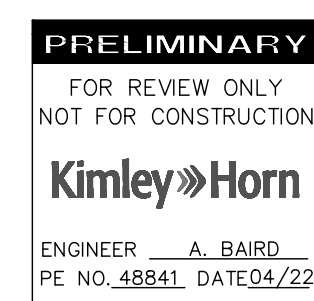
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	EXISTING WATER RISER		PROPOSED GUTTER LINE
	EXISTING WATER VALVE		EXISTING CONTOUR
	EXISTING FIRE HYDRANT		PROPOSED CONTOUR
	EXISTING SANITARY SEWER MANHOLE		EXISTING STORM DRAIN
	EXISTING STORM DRAIN INLET		PROPOSED STORM DRAIN
	EXISTING STORM DRAIN MANHOLE		LIMITS OF DISTURBANCE
	EXISTING ELECTRIC POLE		FLOW LINE
	EXISTING LIGHT POST		EXISTING SANITARY SEWER LINE
	EXISTING SIGN		EXISTING COMMUNICATION LINE
	EXISTING TELEPHONE RISER		EXISTING GAS LINE
	SURVEY BENCHMARK		EXISTING FIBER OPTIC LINE
	EXISTING ELECTRIC METER		EXISTING BUILDING OVERHANG
	EXISTING IRRIGATION VALVE		PROPERTY LINE, R.O.W.
			EXISTING WATER LINE



NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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Symbol	Revisions	Date	Appr.	Designed by: DLP	Date: 04/26/2022
				Drawn by: ALD	Scale: N/A
				Checked by: JRW	Project Code: 091885001



Kimley-Horn
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201 NORTH MONTEZUMA SUITE 206 PRESCOTT ARIZONA, 86301
PHONE: 928-458-7121
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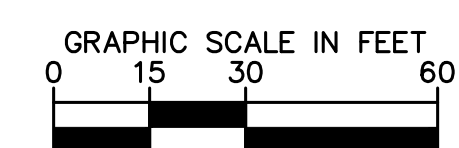
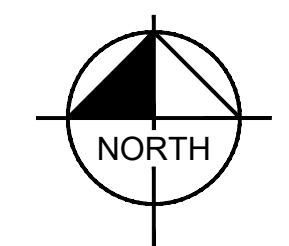
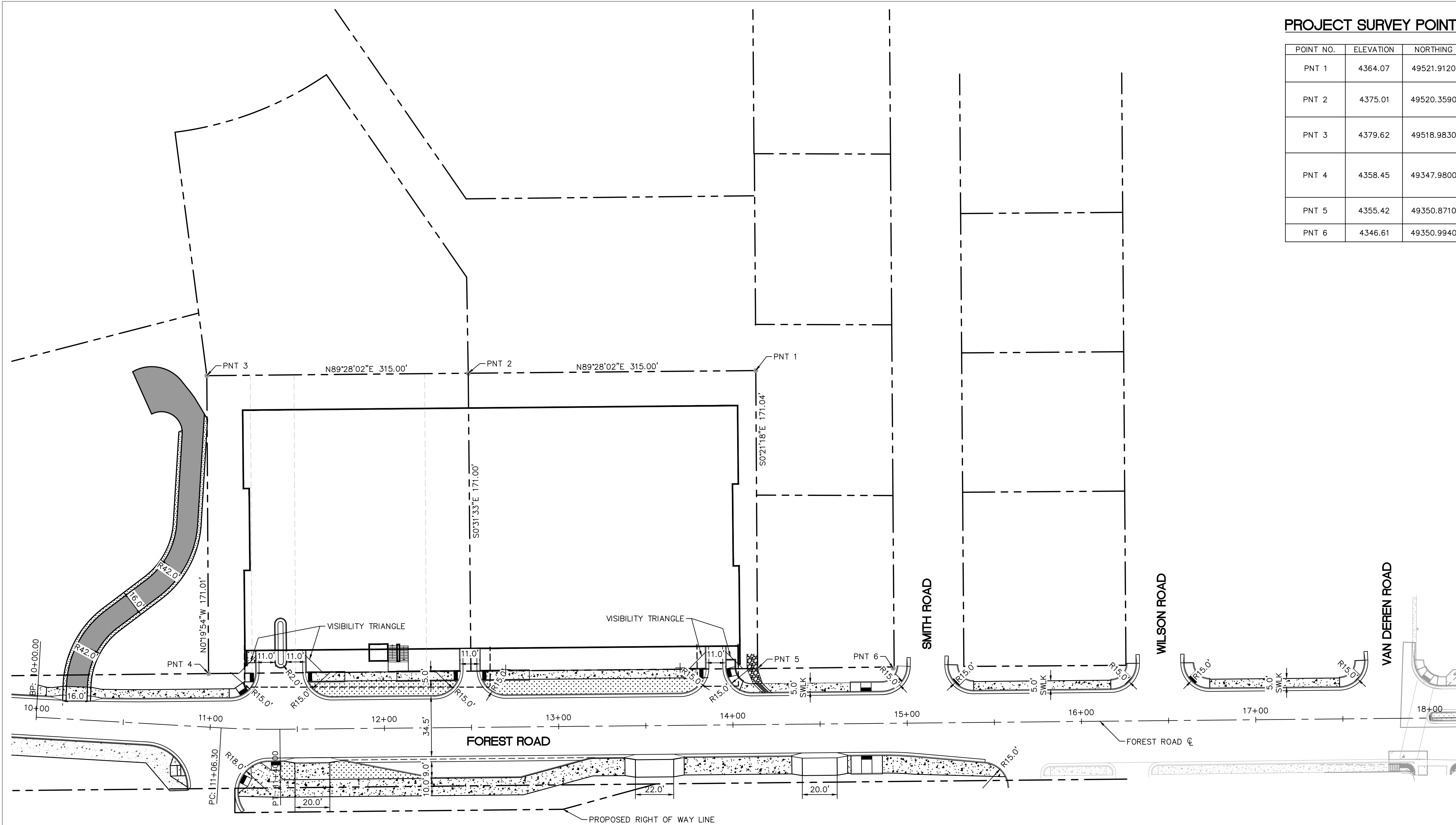
CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

UPTOWN SEDONA
PARKING GARAGE
GENERAL NOTES AND
TYPICAL SECTIONS

SHEET ID GN01
SHEET NO. 02 OF 19

PROJECT SURVEY POINTS

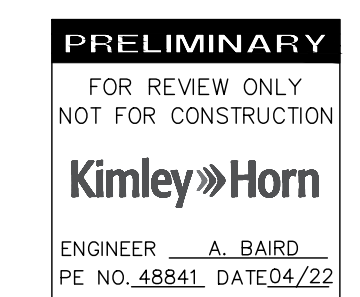
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PNT 2	4375.01	49520.3590	60865.5290	RB FD. 1/2 IN. W/ WIRED TAG MKD. FOUND MON. RLS 32224
PNT 3	4379.62	49518.9830	60715.5460	RB FD. 1/2 IN. W/ WIRED TAG MKD. FOUND MON. RLS 32224
PNT 4	4358.45	49347.9800	60716.5360	RB FD 1/2 IN. UP 5 INS. W/ TAG WIRED ON MKD. FNDMON 32224
PNT 5	4355.42	49350.8710	61031.5920	RB FD. 1/2 IN UP 6 INS. NO CAP
PNT 6	4346.61	49350.9940	61109.3980	OP FD. 3/4 IN. W/ NO MARKS



NOTICE OF EXTENDED PAYMENT PROVISION
 (PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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Symbol	Revisions	Date	Appr.	Designed by:	Date:
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				ALD	1"=30'
				Checked by:	Project Code:
				JRW	091885001



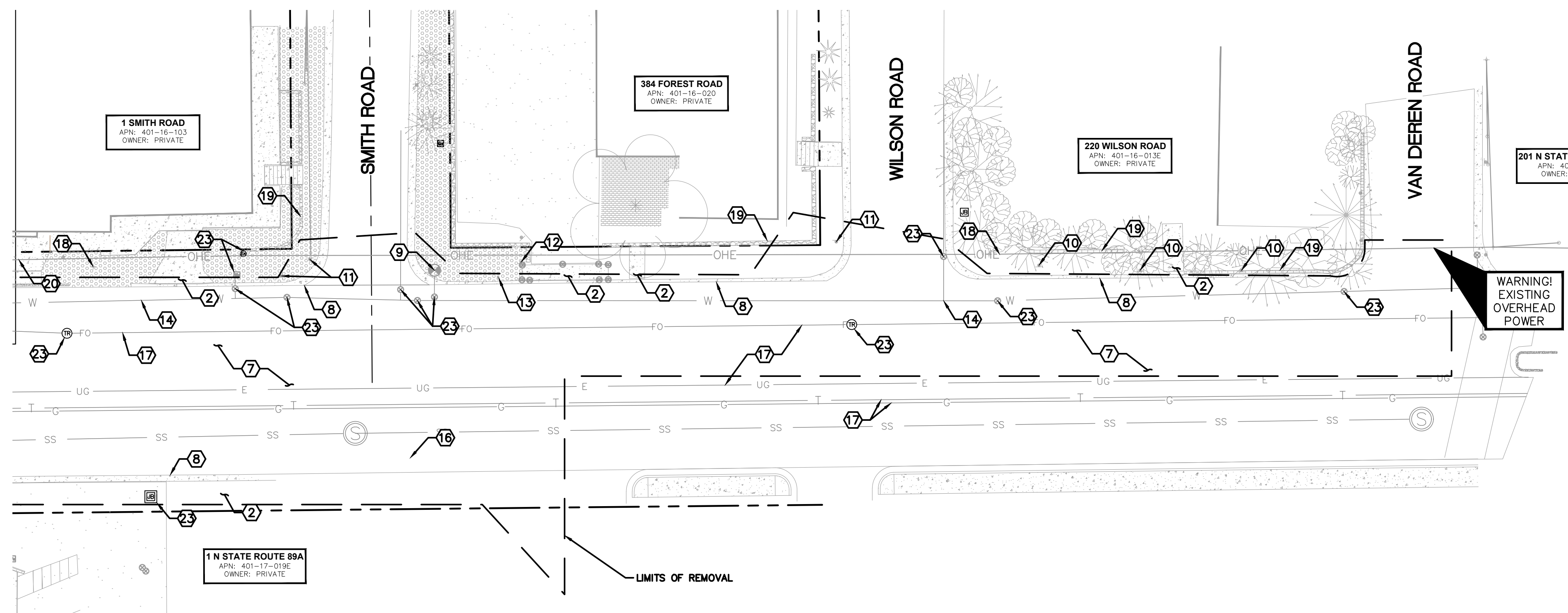
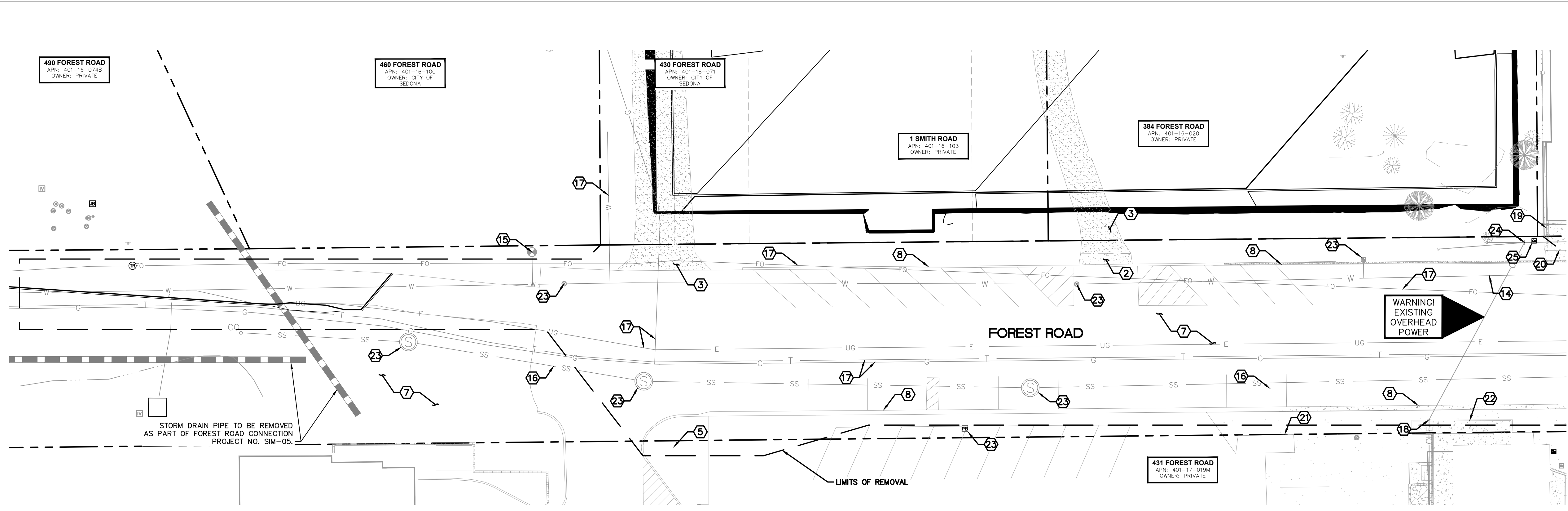
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CITY OF SEDONA
 PUBLIC WORKS DEPARTMENT
 102 ROADRUNNER DRIVE
 SEDONA, ARIZONA 86336
 928-204-7111

UPTOWN SEDONA
 PARKING GARAGE
 GEOMETRIC CONTROL

SHEET ID
 GC01
SHEET NO.
 03 OF 19



REMOVAL NOTES	
NO.	DESCRIPTION
2	REMOVE AND DISPOSE OF EXISTING CONCRETE.
3	REMOVE AND DISPOSE OF AGGREGATE SURFACING.
5	REMOVE AND DISPOSE OF EXISTING TREE.
7	REMOVE AND DISPOSE OF EXISTING ASPHALT PAVEMENT.
8	REMOVE AND DISPOSE OF EXISTING CONCRETE CURB.
9	REMOVE AND RESET EXISTING FIRE HYDRANT.
10	REMOVE EXISTING STREET SIGN.
11	REMOVE AND RESET EXISTING STREET SIGN.
12	REMOVE AND RESET EXISTING PRIVATE SIGN.
13	REMOVE AND RESET EXISTING MAILBOX.
14	PROTECT IN PLACE EXISTING WATER MAIN.
15	PROTECT IN PLACE EXISTING FIRE HYDRANT.
16	PROTECT IN PLACE EXISTING SANITARY MAIN.
17	PROTECT IN PLACE EXISTING PRIVATE UTILITIES.
18	PROTECT IN PLACE EXISTING UTILITY POLE.
19	PROTECT IN PLACE EXISTING WALL.
20	PROTECT IN PLACE EXISTING LOADING BLOCK.
21	PROTECT IN PLACE EXISTING LANDSCAPE PLANTER.
22	PROTECT IN PLACE EXISTING STRUCTURE.
23	ADJUST EXISTING UTILITY APPURTENANCE TO FINISHED GRADE.
24	RELOCATE EXISTING POWER POLE
25	RELOCATE EXISTING GAS METER

- GENERAL NOTE**
- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON PLANS.
 - CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED IN THE PLANS.
 - ANY EXISTING FEATURE THAT IS DAMAGED DURING CONSTRUCTION OR DEMOLITION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL VERIFY AND LOCATED ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND PROTECT THEM IN PLACE UNLESS OTHERWISE NOTED ON THE PLANS.
 - ALL WATER, SEWER, AND STORM DRAIN PIPE AND STRUCTURES TO REMAIN IN PLACE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL REFER TO THE DRY UTILITY COMPANY PLANS FOR THE EXTENT AND LIMITS OF DEMOLITION OF THE EXISTING DRY UTILITIES. CONTRACTOR SHALL COORDINATE ALL ASSOCIATED WORK WITH EACH UTILITY COMPANY.

- SHEET NOTES**
- REFER TO SHEET 14 FOR ADDITIONAL INFORMATION ON LANDSCAPE AND IRRIGATION REMOVALS.

NORTH

GRAPHIC SCALE IN FEET
0 10 20 40

Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stakes, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-8346) in Maricopa County; (602) 263-1100

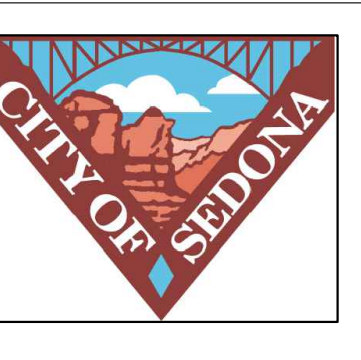
NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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				ALD	1"=20'
				Checked by:	Project Code:
				JRW	091885001

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ENGINEER A. BAIRD
PE NO. 48841, DATE 04/22

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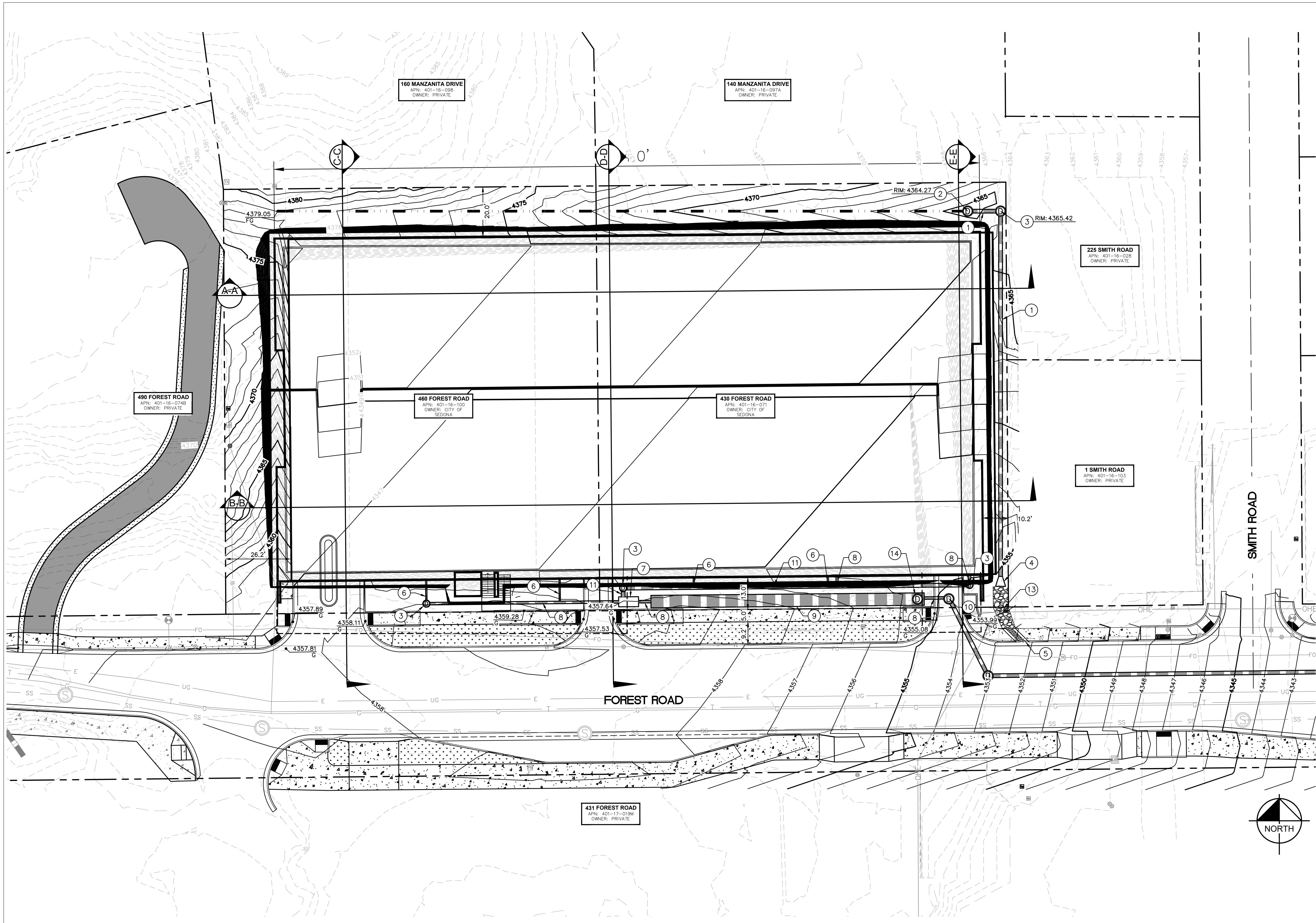


CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

UPTOWN SEDONA
PARKING GARAGE
DEMOLITION PLAN

SHEET ID
DM01
SHEET NO.
04 OF 19

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DRAINAGE NOTES	
NO.	DESCRIPTION
①	24" HDPE STORM DRAIN PIPE
②	NYLOPLAST MANHOLE WITH GRATE INLET
③	NYLOPLAST MANHOLE WITH SOLID COVER PER UPDATE
④	24" HDPE FLARED END SECTION
⑤	SIDEWALK SCUPPER PER MAG STD DTL 206-1
⑥	6" HDPE STORM DRAIN PIPE
⑦	SAND OIL SEPARATOR PER MANUFACTURER'S RECOMMENDATIONS
⑧	12" HDPE STORM DRAIN PIPE
⑨	84" HDPE STORM DRAIN PIPE
⑩	NYLOPLAST MANHOLE WITH WEIR STRUCTURE PER DETAIL
⑪	18" HDPE STORM DRAIN PIPE
⑫	STORM DRAIN MANHOLE PER MAG STD DTL 520, 522 AND 30" CAST IRON MANHOLE FRAME AND COVER PER MAG STD DTL 423-2
⑬	INSTALL RIPRAP DRAINAGE SWALE D50=9" 18" THICK OVER EROSION CONTROL FABRIC PER MAG SPECIFICATIONS 220 AND 703.
⑭	INSTALL MANHOLE RISER WITH LIFT GATE FOR MAINTENANCE ACCESS

EARTHWORK:
 CUT: 3,950 CY
 FILL: 0 CY
 NET: 3,950 CY (EXPORT)

NOTE:
 THE QUANTITIES LISTED ABOVE ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATION OF THE QUANTITIES INVOLVED AND BASE HIS ESTIMATE ON HIS OWN QUANTITIES.

THE QUANTITY SHOWN ABOVE IS A SURFACE TO SURFACE COMPARISON. SEPARATE QUANTITIES WERE NOT CALCULATED FOR OVERBURDEN AND ROCK EXCAVATION. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT INCLUDED IN THE SPECIAL PROVISION.

CONSTRUCTION WILL DISTURB MORE THAN 1 ACRE AND IS THEREFORE REQUIRED TO OBTAIN AN AZPDES PERMIT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FILING NOI, NOT AND FOR DEVELOPING, FILING, AND UPDATING THE STORM WATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT.

GENERAL NOTE

- ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRATE (G), FINISHED FLOOR (FF), TOP OF FOOTING (TF), BOTTOM OF WALL (BW), TOP OF WALL (TW), OR SIDEWALK (SW) UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL USE SPOT ELEVATIONS, PROPOSED CONTOURS, AND SLOPES TO ESTABLISH GRADES.
- SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.
- ALL FILL SLOPES SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
- ALL STATION AND OFFSET LABELS ARE BASED ON THE FOREST ROAD CENTERLINE ALIGNMENT.

SHEET NOTES

- REFER TO SHEET 04 FOR DEMOLITION PLANS.
- REFER TO SHEET 03 FOR GEOMETRIC CONTROL.
- REFER TO SHEETS 06 & 07 FOR STORM DRAIN PLAN AND PROFILES.
- REFER TO SHEET 14 FOR LANDSCAPE PLANS.

GRAPHIC SCALE IN FEET
 0 10 20 40

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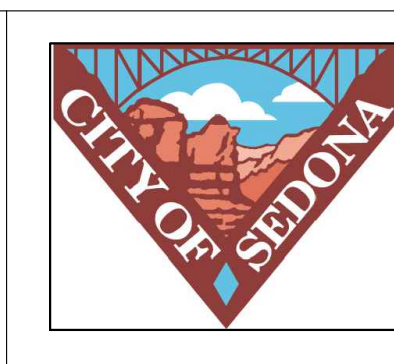
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ENGINEER A. BAIRD
 PE NO. 48841, DATE 04/22

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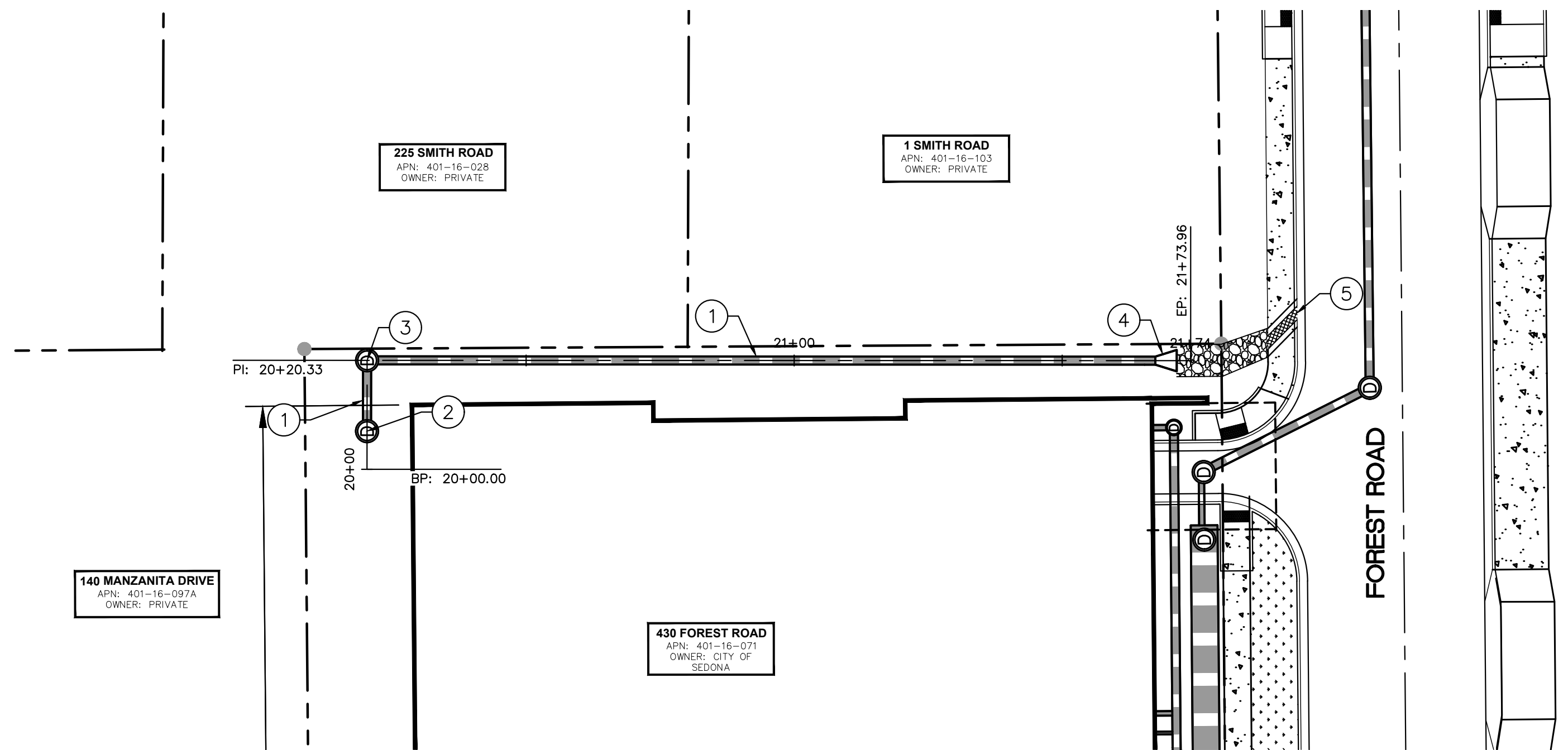
CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
 102 ROADRUNNER DRIVE
 SEDONA, ARIZONA 86336
 928-204-7111

UPTOWN SEDONA
PARKING GARAGE
GRADING AND DRAINAGE
PLAN

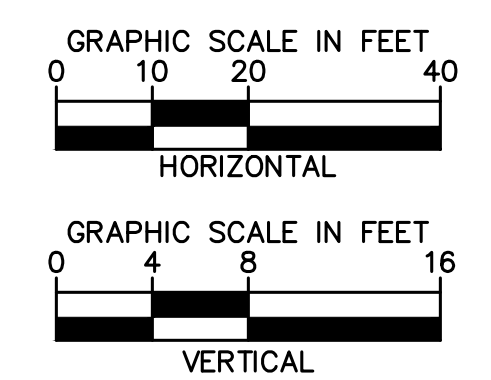
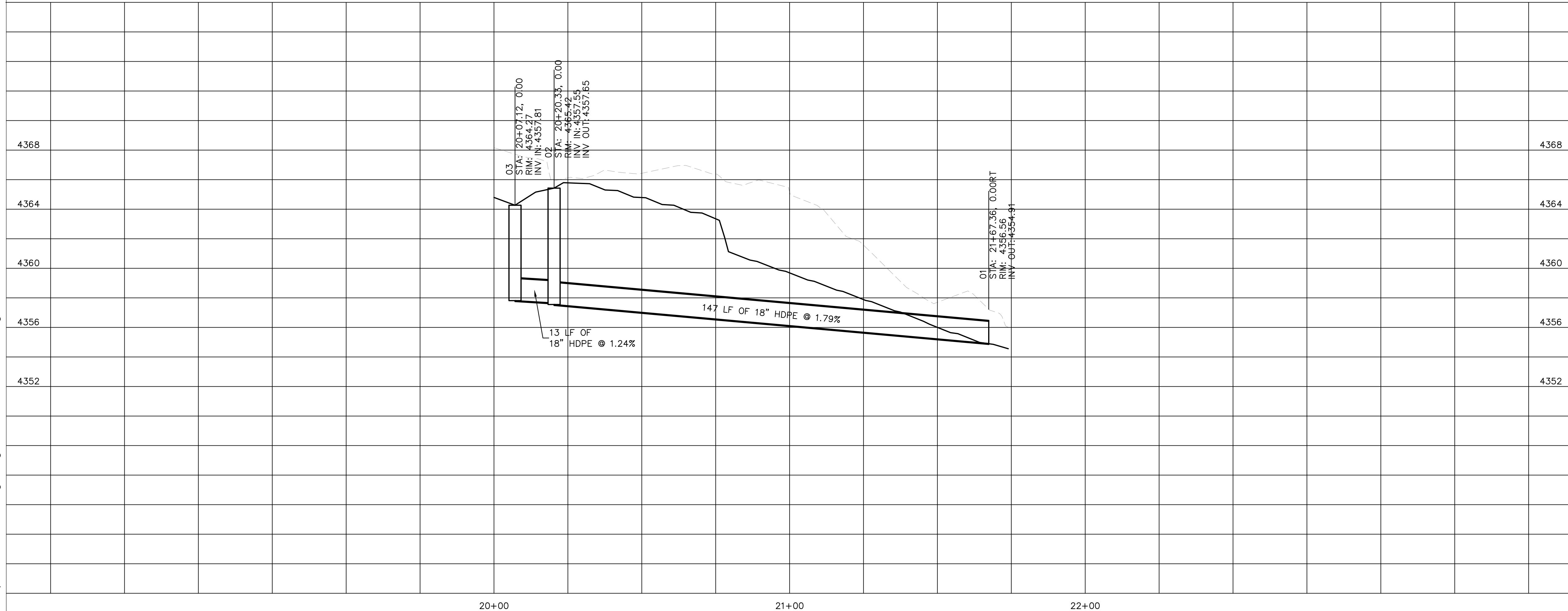
SHEET ID
 GD01

SHEET NO.
 05 OF 19

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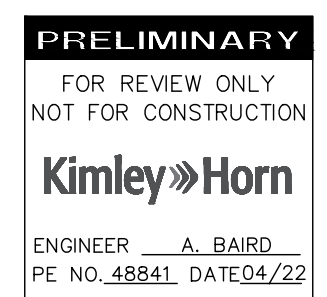
DRAINAGE NOTES	
NO.	DESCRIPTION
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②	NYLOPLAST MANHOLE WITH GRATE INLET
③	NYLOPLAST MANHOLE WITH SOLID COVER PER UPDATE
④	24" HDPE FLARED END SECTION
⑤	SIDEWALK SCUPPER PER MAG STD DTL 206-1



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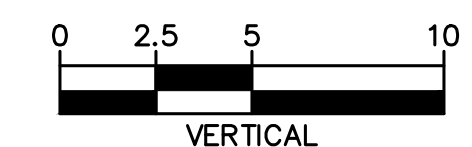
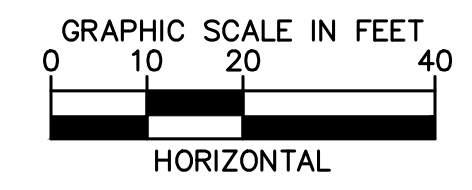
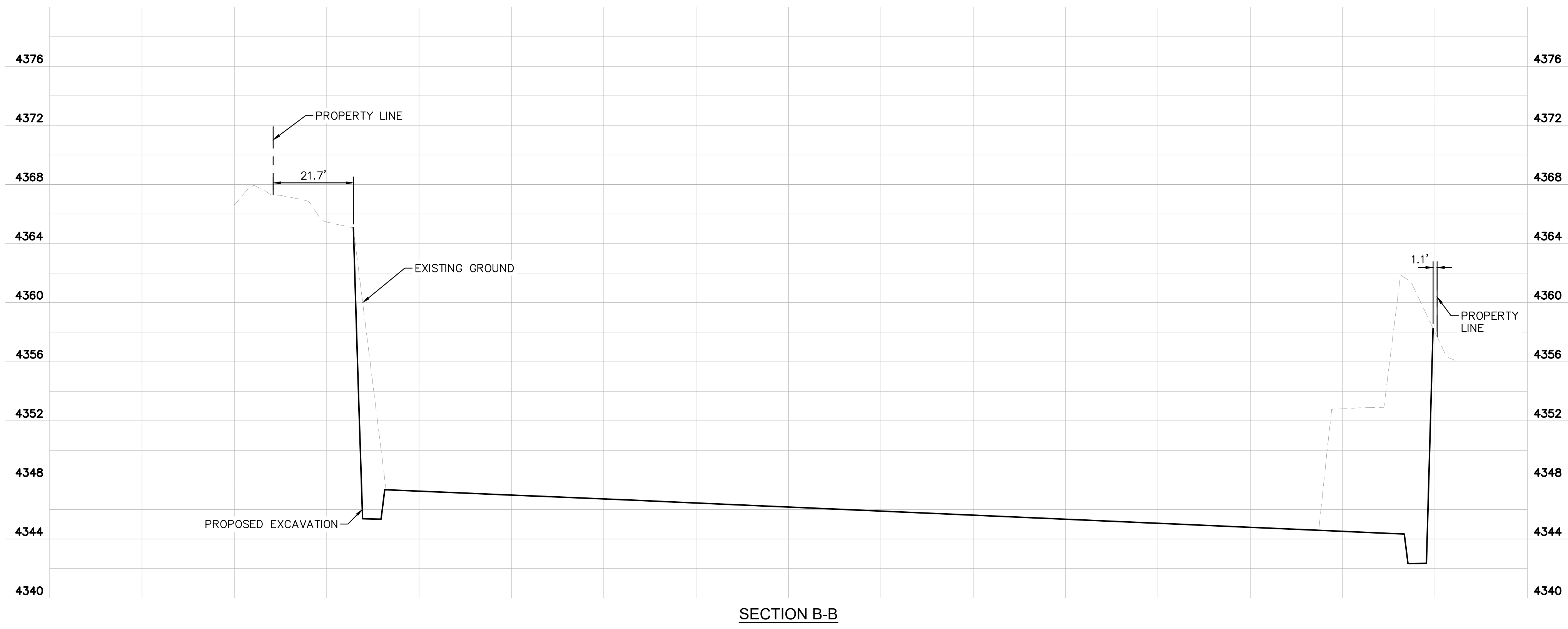
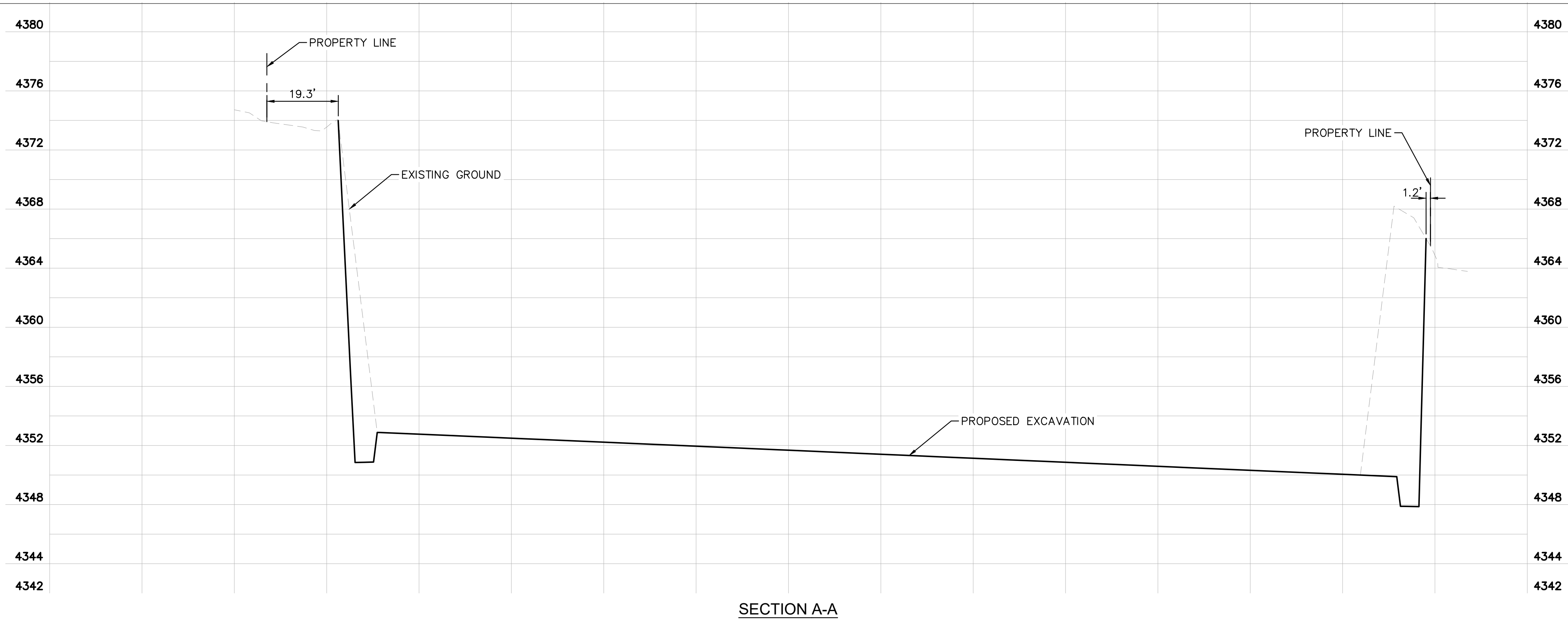


CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
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 SEDONA, ARIZONA 86336
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UPTOWN SEDONA
PARKING GARAGE
STORM DRAIN PLAN

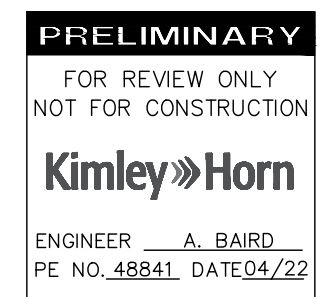
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SHEET NO. 06 OF 19

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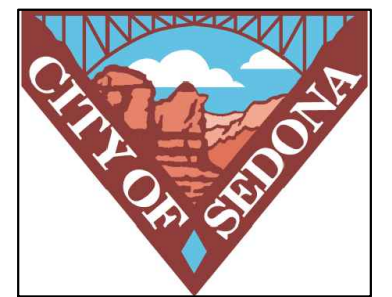


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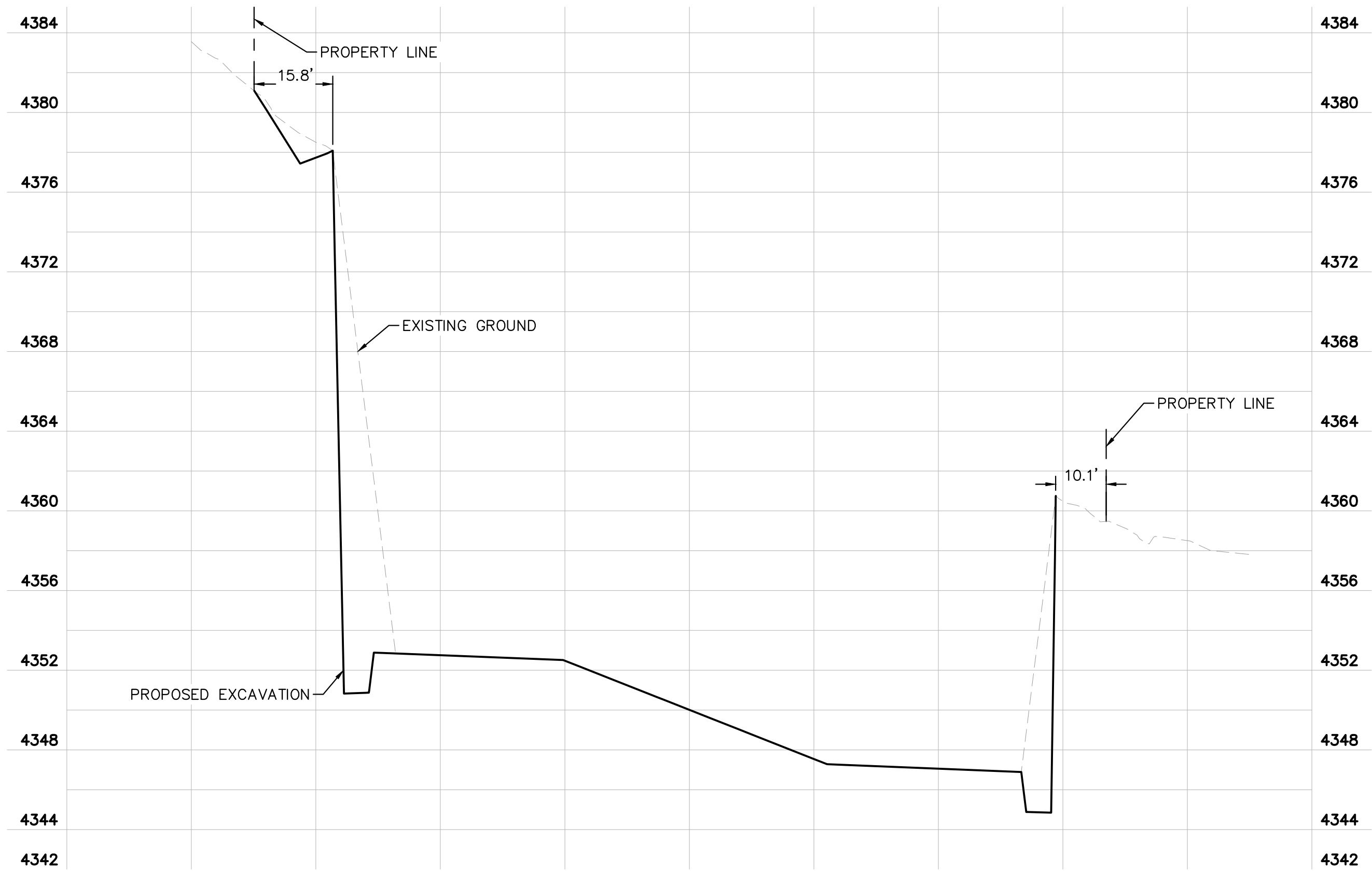


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928-204-7111

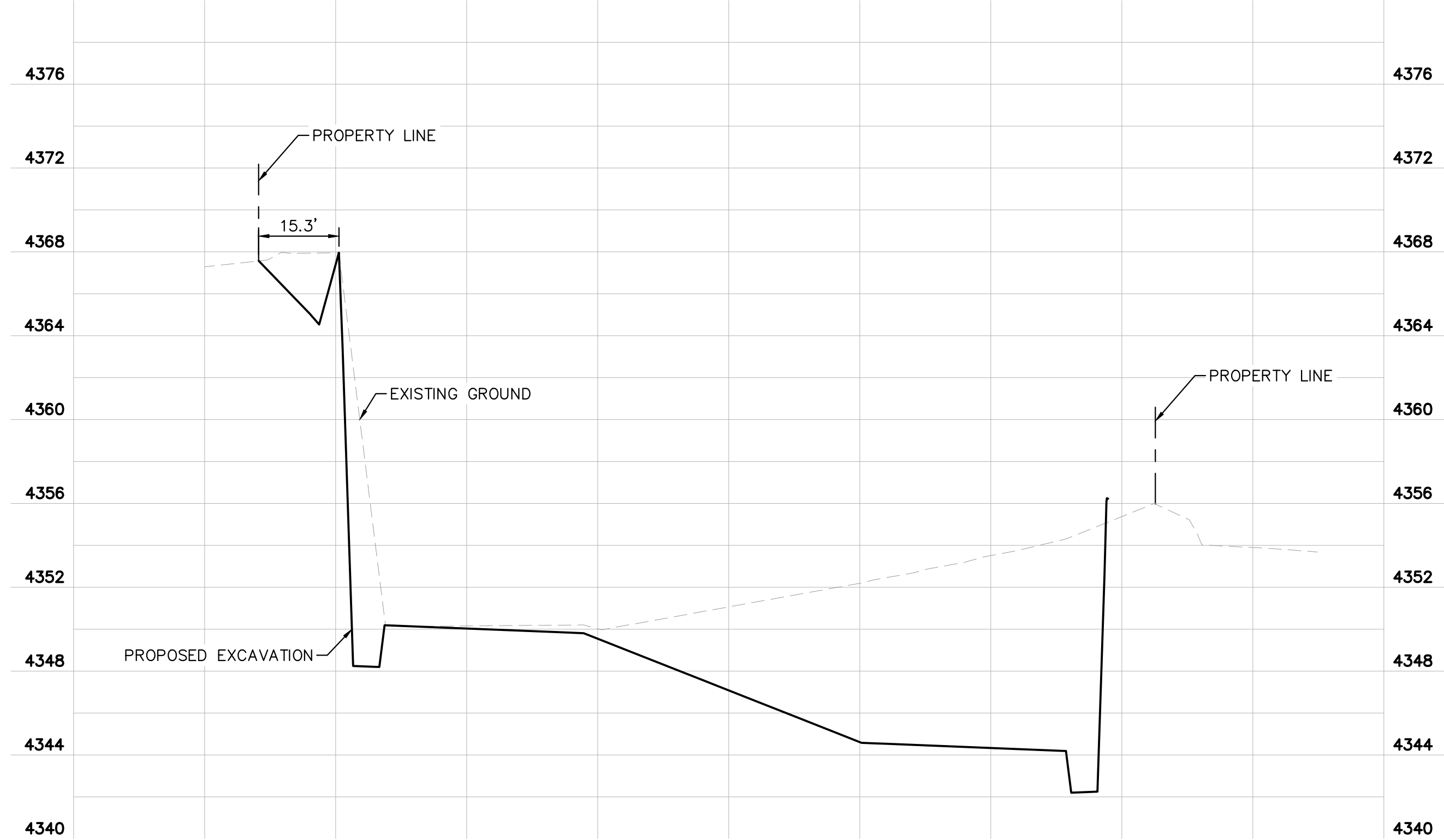
UPTOWN SEDONA
PARKING GARAGE
SECTION VIEWS

SHEET ID
SC02
SHEET NO.
08 OF 19

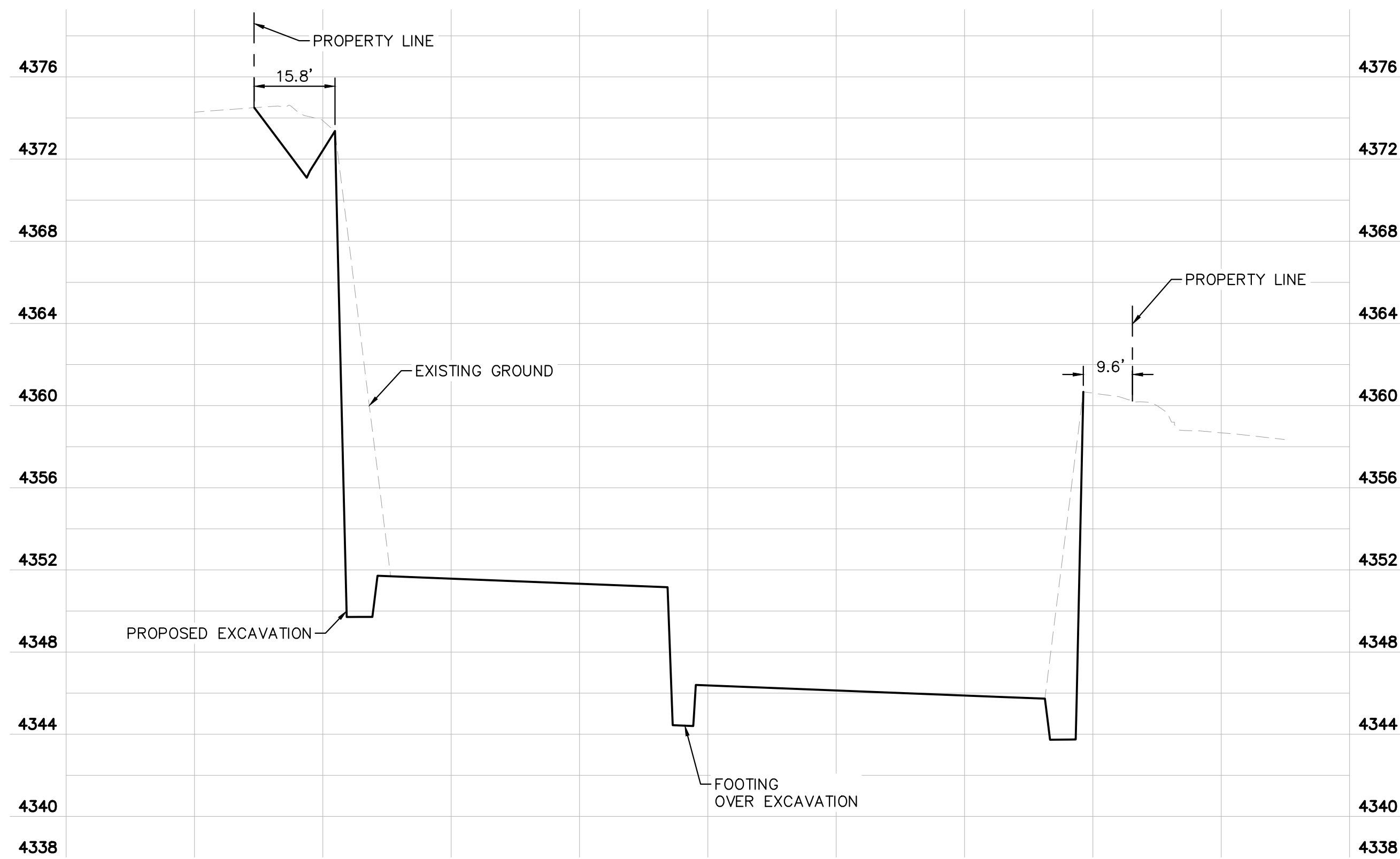
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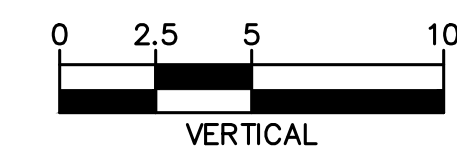
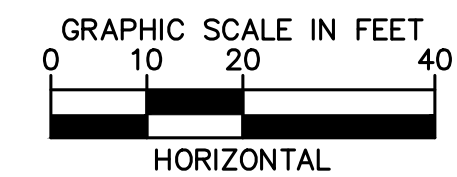
SECTION C-C



SECTION E-E

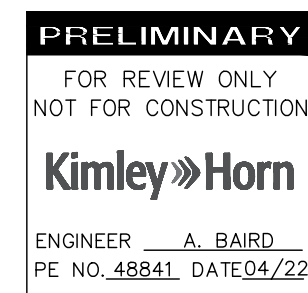


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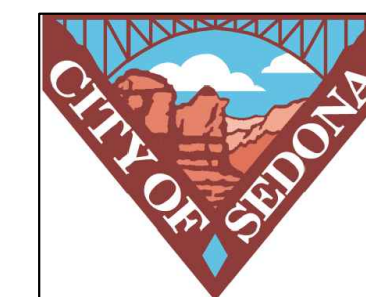


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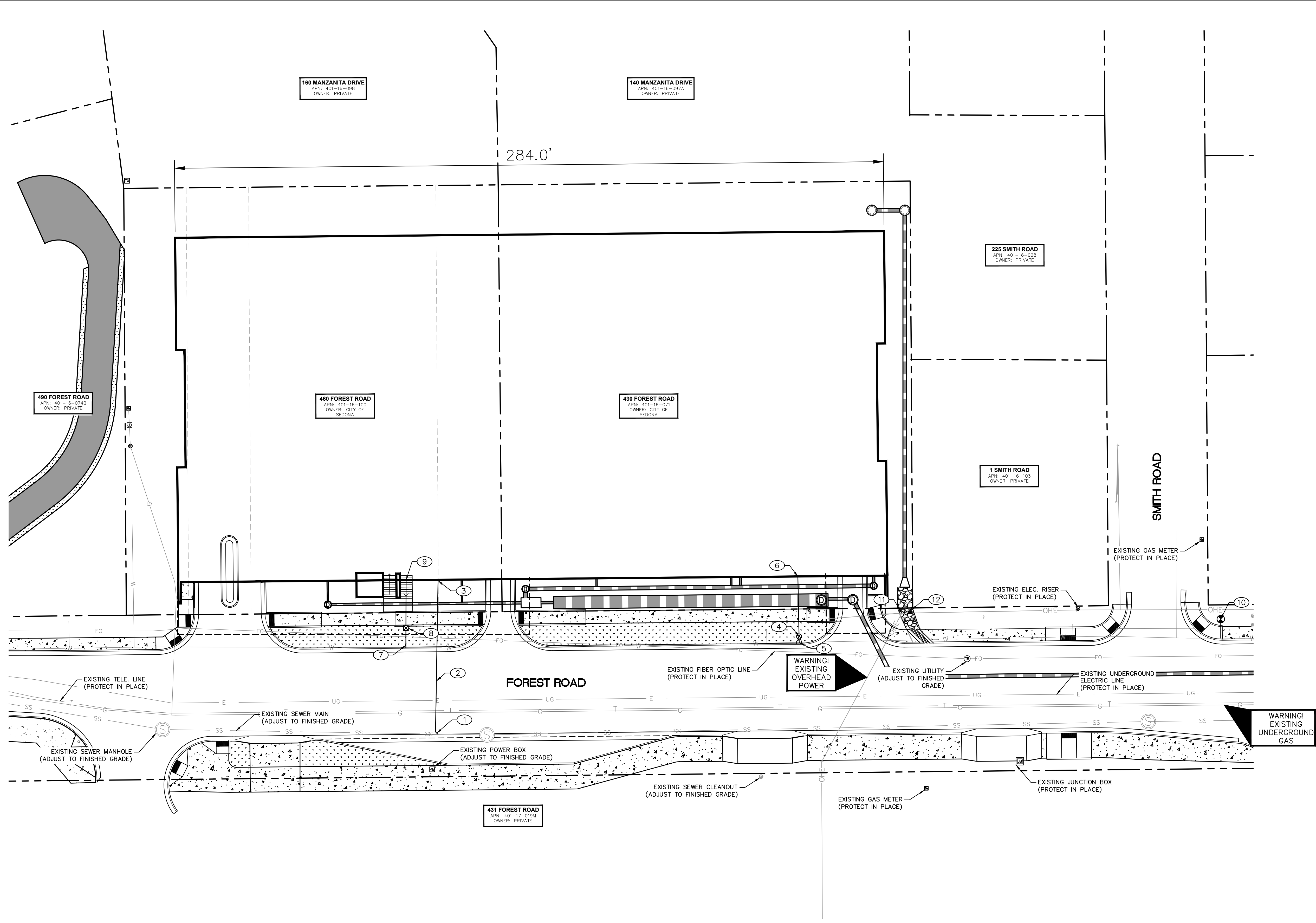


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102 ROADRUNNER DRIVE
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UPTOWN SEDONA
PARKING GARAGE
SECTION VIEWS

SHEET ID
SC02
SHEET NO.
09 OF 19

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UTILITY NOTES	
NO.	DESCRIPTION
①	CONNECT TO EXISTING SANITARY SEWER MAIN.
②	4" SANITARY SEWER SERVICE PER MAG STD DTL 440-1.
③	CONNECT TO BUILDING SANITARY SEWER, REFER TO PLUMBING PLANS.
④	6" VALVE BOX AND COVER PER ARIZONA WATER COMPANY REQUIREMENTS.
⑤	6" CLASS 350 DIP FIRE LINE PER ARIZONA WATER COMPANY REQUIREMENTS.
⑥	CONNECT TO BUILDING FIRE LINE, REFER TO PLUMBING PLANS.
⑦	1" WATER SERVICE CONNECTION PER ARIZONA WATER COMPANY REQUIREMENTS.
⑧	1" WATER METER AND BOX PER ARIZONA WATER COMPANY REQUIREMENTS.
⑨	CONNECT TO BUILDING WATER SERVICE LINE, REFER TO PLUMBING PLANS.
⑩	RESET FIRE HYDRANT PER MAG STD DTL XXX AND ARIZONA WATER COMPANY REQUIREMENTS.
⑪	RELOCATE EXISTING POWER POLE. COORDINATE WITH UTILITY OWNER.
⑫	RELOCATE EXISTING GAS METER. COORDINATE WITH UTILITY OWNER.

PRIVATE UTILITY NOTES

1. PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY ROUTING ARE SHOWN FOR TRENCHING, CONDUIT, AND BACKFILL ESTIMATION. COORDINATE WITH UTILITY OWNER ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.

GRAPHIC SCALE IN FEET
0 10 20 40

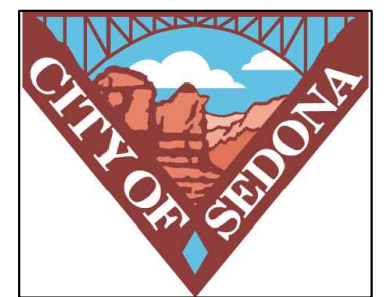
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In Maricopa County: (602) 293-1100

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PE NO. 48841, DATE 04/22

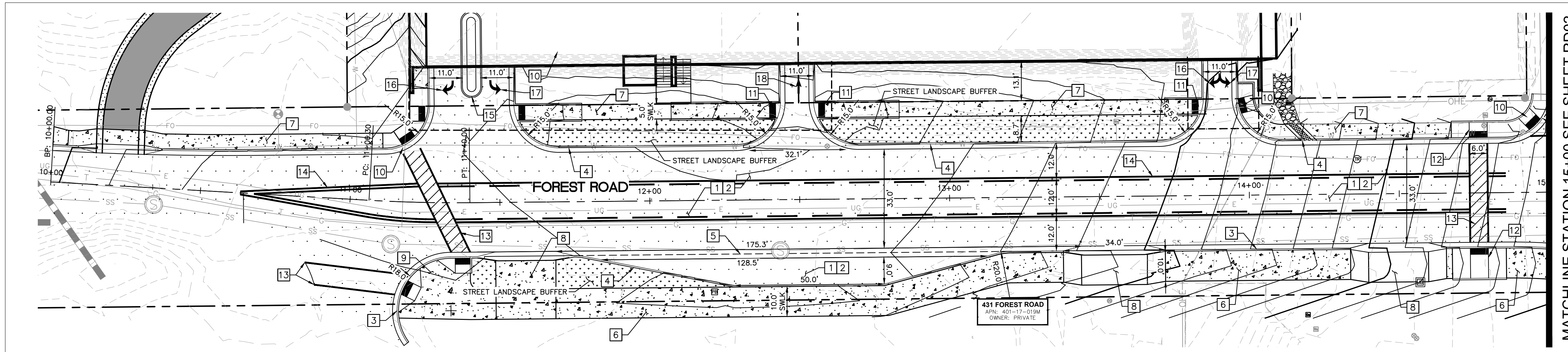
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928-204-7111

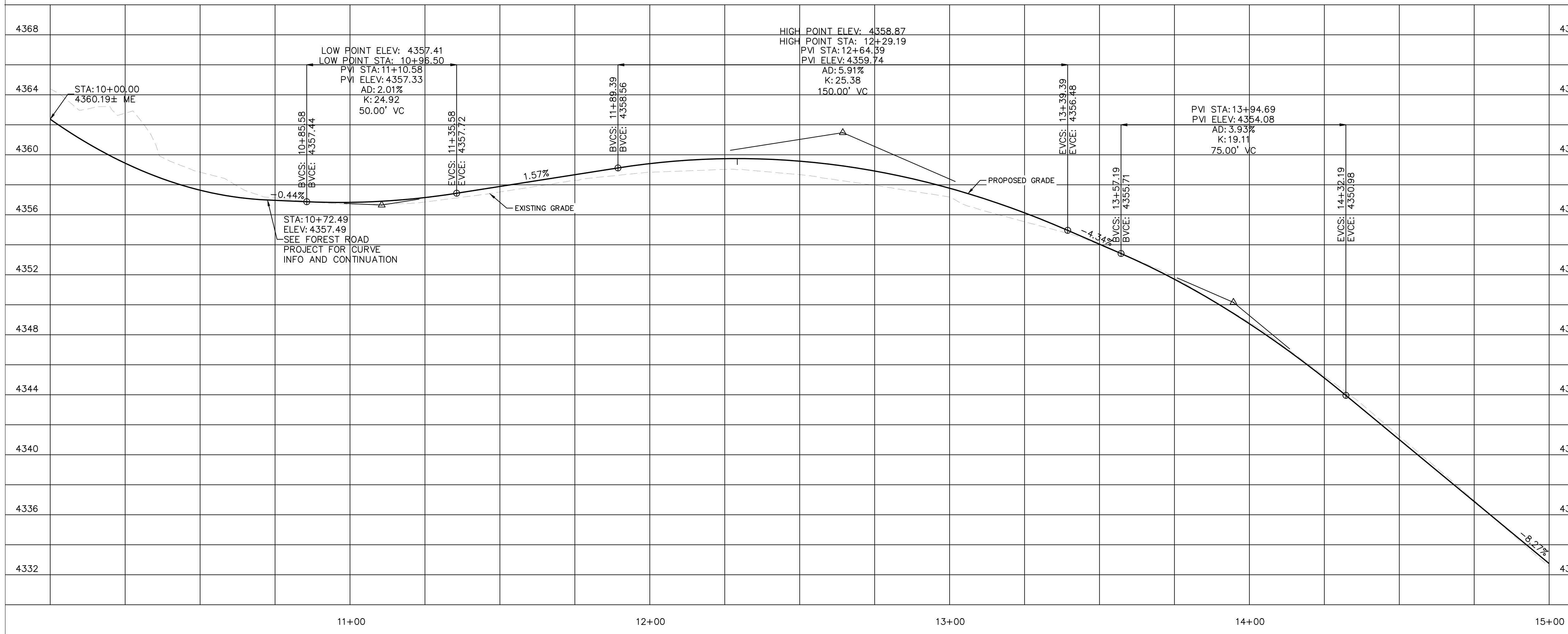
UPTOWN SEDONA
PARKING GARAGE
UTILITY PLAN

SHEET ID
UT01
SHEET NO.
10 OF 19



MATCHLINE STATION 15+00 SEE SHEET RD02

ROADWAY NOTES	
NO.	DESCRIPTION
1	AC PAVEMENT PER STRUCTURAL SECTION NO. 1 ON SHEET.
2	AGGREGATE SURFACE COURSE, 4" THICK.
3	CONCRETE VERTICAL CURB AND GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
4	CONCRETE SINGLE CURB PER MAG STD DTL 222 TYPE 'A'.
5	CONCRETE VALLEY GUTTER PER MAG STD DTL 240.
6	CONCRETE SHARED USE PATH PER MAG STD DTL 230, WIDTH SHOWN ON PLANS.
7	CONCRETE SIDEWALK PER MAG STD DTL 230, WIDTH SHOWN ON PLANS.
8	CONCRETE DRIVEWAY 9" THICK, CLASS A CONCRETE.
9	CONCRETE RADIAL CURB RAMP PER MAG STD DTL 238-3.
10	CONCRETE RADIAL PARALLEL CURB RAMP PER MAG STD DTL 236-5.
11	CONCRETE PERPENDICULAR CURB RAMP PER MAG STD DTL 238-1.
12	CONCRETE PARALLEL CURB RAMP PER MAG STD DTL 238-3.
13	12" SOLID WHITE STRIPE PER ADOT STD DTL M-2.
14	4" SOLID YELLOW LINE, 4" BROKEN YELLOW LINE WITH A 10' LINE SEGMENT AND A 30' GAP.
15	CONCRETE ROLL CURB AND GUTTER PER MAG STD DTL 220-1, TYPE 'D'.
16	RIGHT ARROW PER ADOT STD DTL M-10 AND M-11
17	LEFT ARROW PER ADOT STD DTL M-10 AND M-11
18	PAINTED ARROW PER ADOT STD DTL M-10 AND M-11



GRAPHIC SCALE IN FEET

HORIZONTAL: 0 10 20 40

GRAPHIC SCALE IN FEET

VERTICAL: 0 4 8 16

NORTH

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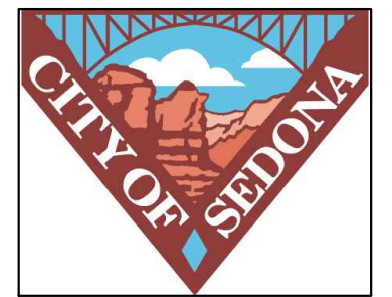
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ENGINEER A. BAIRD
PE NO. 48841, DATED 04/22

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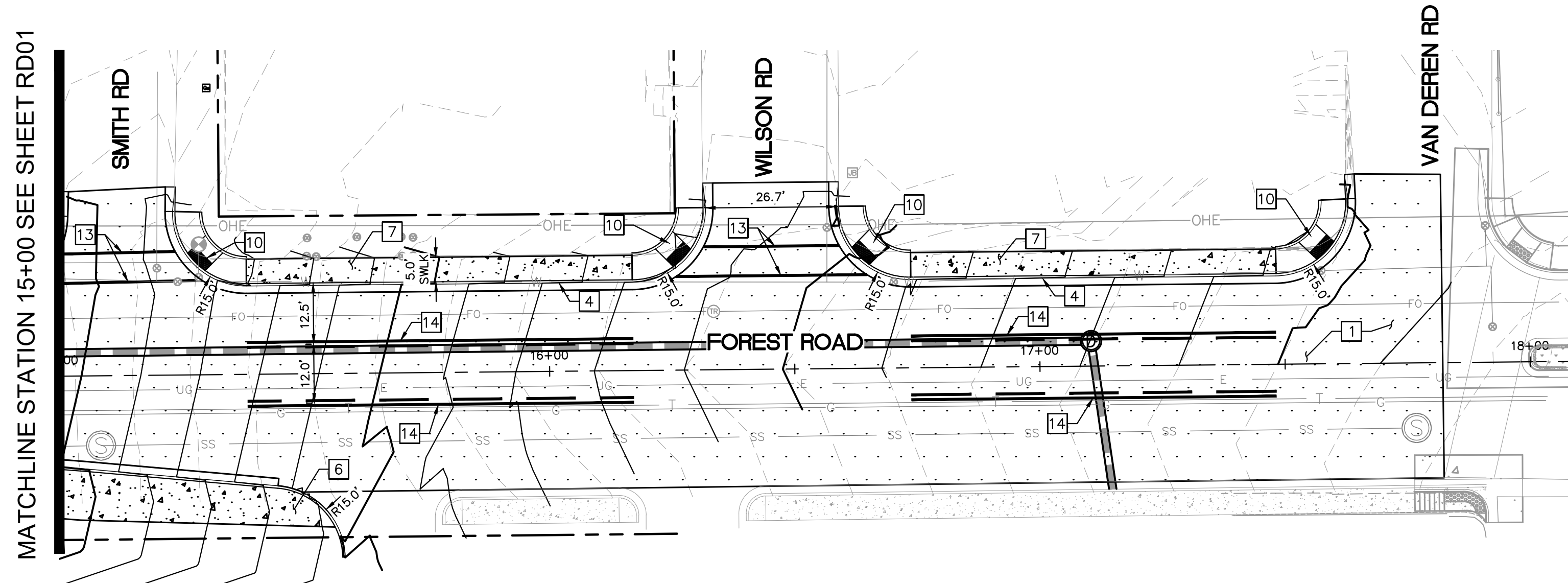
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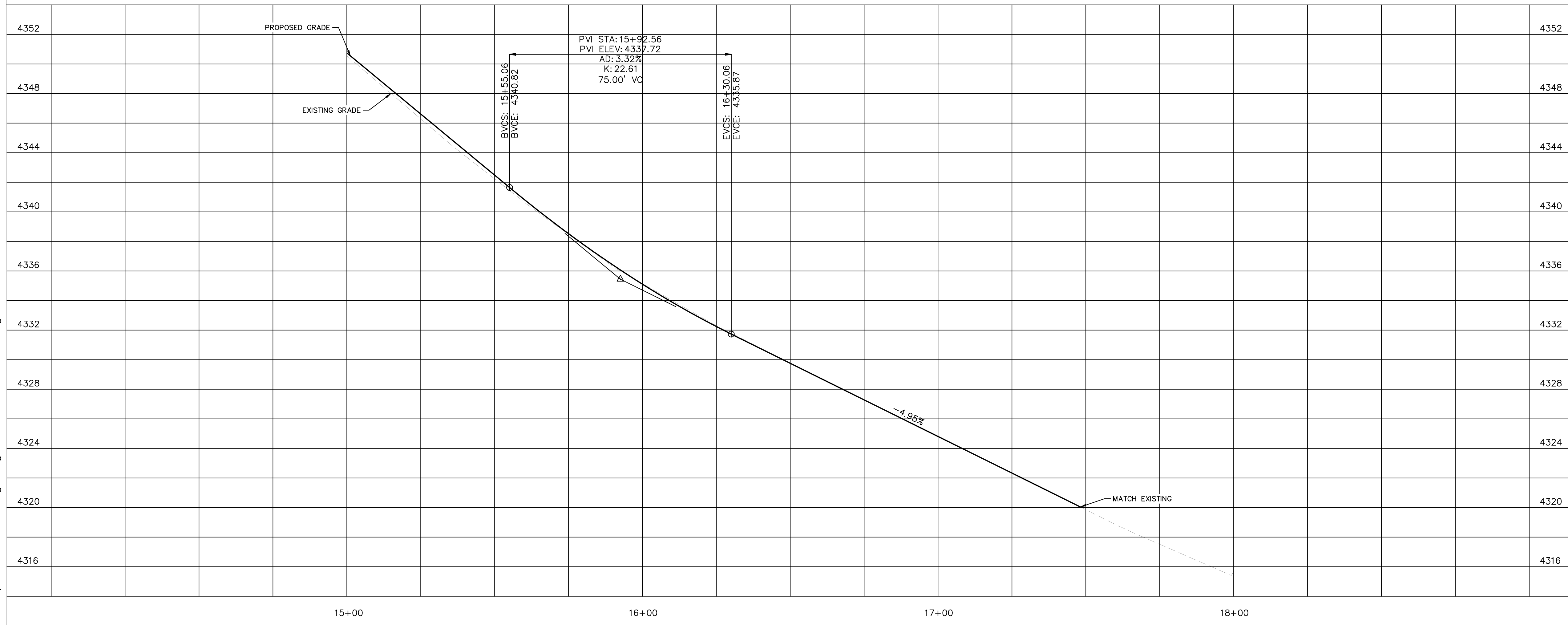
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102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

UPTOWN SEDONA
PARKING GARAGE
ROADWAY PLAN
STA 10+50 TO STA 15+00

SHEET ID
RD01
SHEET NO.
11 OF 19



ROADWAY NOTES	
NO.	DESCRIPTION
1	AC PAVEMENT PER STRUCTURAL SECTION NO. 1 ON SHEET.
4	CONCRETE VERTICAL CURB AND GUTTER PER MAG STD DTL 220-1, TYPE 'A'.
6	CONCRETE SHARED USE PATH PER MAG STD DTL 230, WIDTH SHOWN ON PLANS.
7	CONCRETE SIDEWALK PER MAG STD DTL 230, WIDTH SHOWN ON PLANS.
10	CONCRETE RADIAL PARALLEL CURB RAMP PER MAG STD DTL 236-5.
13	12" SOLID WHITE STRIPE PER ADOT STD DTL M-2.
14	4" SOLID YELLOW LINE, 4" BROKEN YELLOW LINE WITH A 10' LINE SEGMENT AND A 30' GAP.



GRAPHIC SCALE IN FEET
 0 10 20 40
 HORIZONTAL

GRAPHIC SCALE IN FEET
 0 4 8 16
 VERTICAL

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UPTOWN SEDONA
PARKING GARAGE
 ROADWAY PLAN
 STA 15+00 TO 18+00

SHEET ID
 RD02
SHEET NO.
 12 OF 19

GENERAL LANDSCAPE NOTES

- ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
- SITE GRADING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
- CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT, MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED STANDARDS, AND FREE OF ANY BRUISES, CUTS OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AT NO ADDITIONAL COST TO THE CLIENT.
- INSTALL ALL CANOPY TREES WITH A MINIMUM OF 5 FT. SEPARATION FROM ALL UTILITIES, UNLESS A ROOT BARRIER IS UTILIZED.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE ROOT BALLS WHICH SETTLE BELOW GRADE, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, FERTILIZING, WEEDING, MOVING, EDGING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. MAINTENANCE PERIOD SHALL BE TWO (2) YEARS BEGINNING FROM DATE OF ACCEPTED FINAL COMPLETION.
- ROCK MULCH: ALL AREAS LABELED ROCK MULCH ON THE PLANS ARE TO BE APPROVED BY OWNER. 2" MINIMUM DEPTH THROUGHOUT ENTIRE PROJECT. FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1" BELOW TOP OF CURB OR SIDEWALK.

MAINTENANCE REQUIREMENTS

- THE LANDSCAPE MAINTENANCE AND WARRANTY PERIOD SHALL BE SEVEN HUNDRED AND THIRTY (730) CONSECUTIVE CALENDAR DAYS. THE TIME PERIOD SHALL BEGIN AFTER WRITTEN NOTICE FROM THE PROJECT ENGINEER OF SUBSTANTIAL COMPLETION OF THE LANDSCAPE PORTION OF THE PROJECT AND WHEN THE ENGINEER IS ASSURED THAT THE WORK CAN BE PERFORMED IN A CONTINUOUS AND CONSISTENT MANNER WITHOUT RESTRICTING THE USE OF ANY FACILITIES BY THE TRAVELING PUBLIC.
- THE CONTRACTOR SHALL SUBMIT A WORK SCHEDULE OF OPERATIONS FOR APPROVAL BY THE ENGINEER AND CITY OF SEDONA STAFF. THE WORK SCHEDULE SHALL INCLUDE CONTACT INFORMATION FOR THOSE RESPONSIBLE FOR MAINTENANCE.
- PLANT MATERIALS NOT SURVIVING SHALL BE REPLACED WITHIN 30 DAYS OF ITS DEMISE.

PLANT LEGEND

DECIDUOUS TREES			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	CHILOPSIS LINEARIS 'HOPE'* HOPE DESERT WILLOW	5	2" CAL MIN.
EVERGREEN TREES			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	JUNIPERUS ARIZONICA* REDBERRY JUNIPER	23	8' HT MIN.
	JUNIPERUS SCOPULORUM* ROCKY MOUNTAIN JUNIPER	10	8' HT MIN.
SHRUBS/GROUNDCOVERS			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	ASCLEPIAS TUBEROSA BUTTERFLY MILKWEED	32	1 GAL.
	BOUTELOUA GRACILIS 'BLONDE AMBITION' 'BLONDE AMBITION' BLUE GRAMA	61	1 GAL.
	GUTIERREZIA SAROTHRAE* SNAKEWEED	58	1 GAL.
	MELAMPIDIUM LEUCANTHUM BLACKFOOT DAISY	31	1 GAL.
	NOLINA MICROCARPA* BEAR GRASS	22	5 GAL.
	RHUS TRILOBATA* THREE-LEAF SUMAC	18	2' HT MIN.
SITE			
SYMBOL	NAME	QUANTITY	
	1"-3" ROCK MULCH, COLOR TBD	16,094 SQ FT	

*NATIVE PLANT FROM THE CITY OF SEDONA APPROVED PLANT LIST

PLANTING REQUIREMENTS

TOTAL LANDSCAPE AREA:
16,094 SQ FT

NATIVE SPECIES REQUIREMENTS:
A MINIMUM OF 50% OF THE SPECIES SHALL BE NATIVE.

TREE REQUIREMENTS:
1 TREE REQUIRED PER 400 SQ FT
TREES REQUIRED: 41
TREES PROVIDED: 41

PERCENT OF NATIVE PLANTS PROVIDED:
52% NATIVE PLANTS PROVIDED

SHRUB REQUIREMENTS:
3 SHRUBS REQUIRED PER 400 SQ FT
SHRUBS REQUIRED: 120
SHRUBS PROVIDED: 219

IRRIGATION NOTES

- CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALL IRRIGATION SYSTEM COMPONENTS AND HAVE THE LAYOUT AND COMPONENTS APPROVED BY CITY OF SEDONA STAFF PRIOR TO STARTING INSTALLATION.
- ALL PIPING AND WIRING PLACED UNDER PAVED AREAS SHALL BE SLEEVED PER PLAN DETAILS. SLEEVE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE START OF ANY PAVING OPERATIONS (SEE ENGINEERING PLANS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, TESTING, MAINTAINING, REPAIRING, AND OPERATING A COMPLETE AND FULLY FUNCTIONAL IRRIGATION SYSTEM INCLUDING ALL LATERAL PIPING AND FITTINGS AS SPECIFIED AND AS DETAILED, WHETHER OR NOT PIPING IS SHOWN ON THE PLANS.
- ANY SUBSTITUTIONS OR OMISSIONS OF IRRIGATION COMPONENTS AND EQUIPMENT MUST BE APPROVED IN WRITING BY CITY OF SEDONA STAFF PRIOR TO STARTING INSTALLATION.
- CONTRACTOR TO FIELD VERIFY ALL WATER PRESSURE AND FLOWS PRIOR TO INSTALLATION OF SYSTEM. IF INSUFFICIENT PRESSURE IS ENCOUNTERED, NOTIFY OWNER IMMEDIATELY.
- ALL EXISTING IRRIGATION COMPONENTS SHALL BE MAINTAINED IN CURRENT WORKING CONDITION. ALL EXISTING PLANTS SHALL CONTINUE RECEIVING IRRIGATION DURING CONSTRUCTION ACTIVITIES.

IRRIGATION LEGEND

SYMBOL	EQUIPMENT	SIZE	PRODUCT
	WATER METER – POTABLE	–	–
	CONTROLLER	TBD	CALSENSE
	BACKFLOW PREVENTER	1"	FEBCO 825Y
	PRESSURE REGULATOR	1"	SENNINGER PMR–35MF
	GATE VALVE	1"	NIBCO T–113–IR
	REMOTE CONTROL VALVE ASSEMBLY – DRIP ZONES	–	RAINBIRD–100–PESB
	MAINLINE	1"	PVC SCH 40
	TREE LATERAL LINE	3/4"	PVC SCH 40
	SHRUB LATERAL LINE	3/4"	PVC SCH 40
	SLEEVE UNDER STREET & PATHWAY	4"	PVC SCH 40
	END CAP AUTOMATIC FLUSHING COMPRESSION END PLUG		
NOT SHOWN	EMITTER ASSEMBLY MULTI–PORT; (1 GPH & 2 GPH)		RAINBIRD XBT–10–6, XBT–20–6; 1 PER TREE; SHRUBS WITH SAME FLOW RATE TO SHARE

NOTICE OF EXTENDED PAYMENT PROVISION

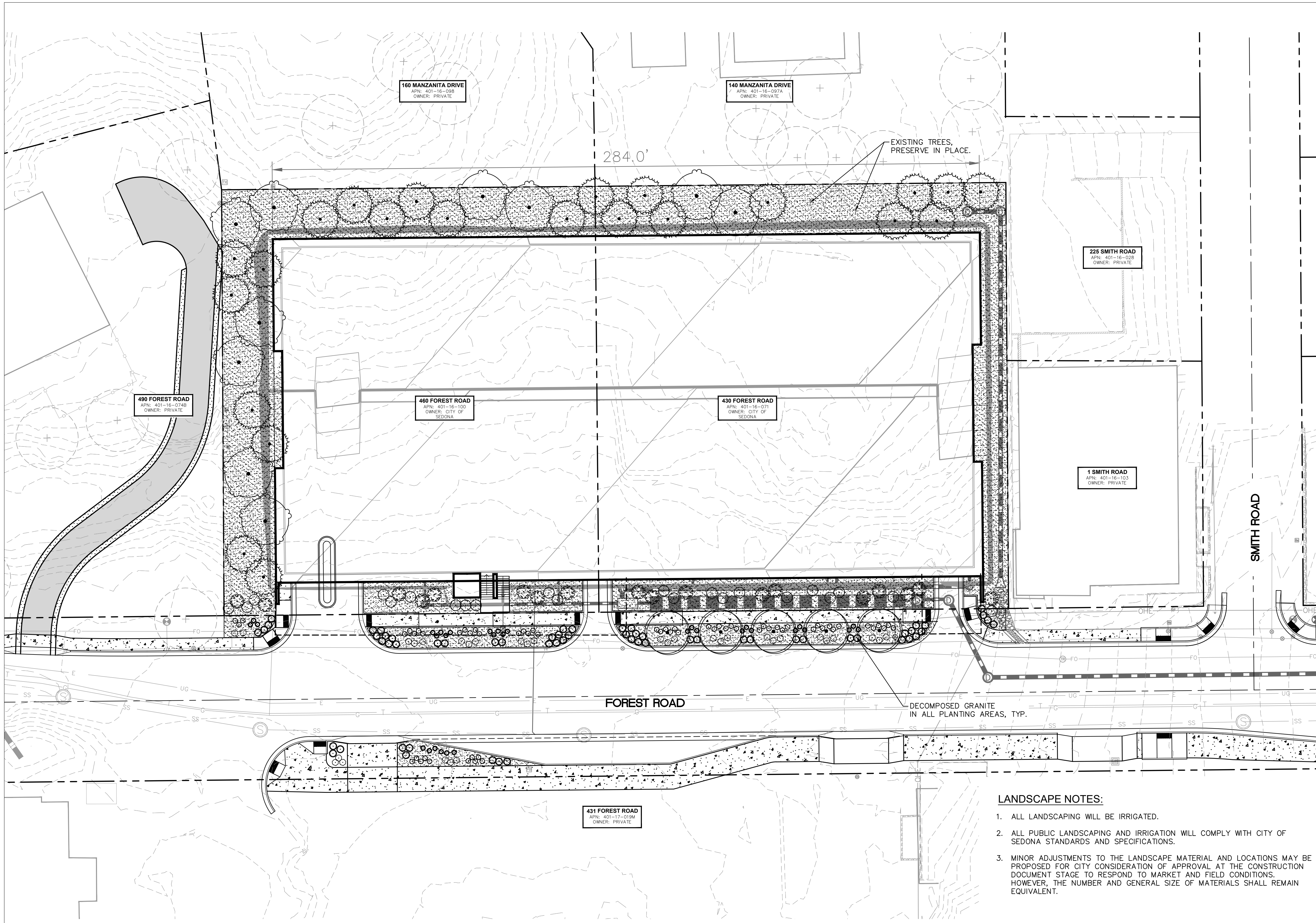
(PER ARS 32–1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



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Symbol	Revisions	Date	Appr.	Designed by: DLP	Date: 04/26/2022		<p>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 201 NORTH MONTEZUMA SUITE 206 PRESCOTT ARIZONA, 86301 PHONE: 928-458-7121 WWW.KIMLEY-HORN.COM</p>	<p>CITY OF SEDONA PUBLIC WORKS DEPARTMENT 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 928-204-7111</p>	UPTOWN SEDONA PARKING GARAGE	SHEET ID LS01
				Drawn by: ALD	Scale: N/A				LANDSCAPE NOTES	SHEET NO.
				Checked by: JRW	Project Code: 091885001					13 OF 19

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PLANTING LEGEND

DECIDUOUS TREES

SYMBOL BOTANICAL NAME
COMMON NAME

● CHILOPSIS LINEARIS 'HOPE'*
HOPE DESERT WILLOW

EVERGREEN TREES

SYMBOL BOTANICAL NAME
COMMON NAME

● JUNIPERUS ARIZONICA*
REDBERRY JUNIPER

● JUNIPERUS SCOPULORUM*
ROCKY MOUNTAIN JUNIPER

SHRUBS/GROUNDCOVERS

SYMBOL BOTANICAL NAME
COMMON NAME

○ ASCLEPIAS TUBEROSA
BUTTERFLY MILKWEED

○ BOUTELOUA GRACILIS 'BLONDE AMBITION'
'BLONDE AMBITION' BLUE GRAMA

○ GUTIERREZIA SAROTHRAE*
SNAKEWEED

○ MELAMPodium LEUCANTHUM
BLACKFOOT DAISY

○ NOLINA MICROCARPA*
BEAR GRASS

○ RHUS TRILOBATA*
THREE-LEAF SUMAC

SITE

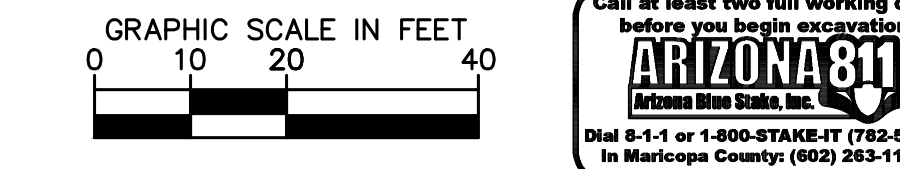
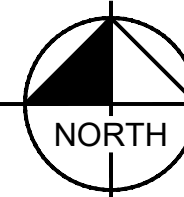
SYMBOL NAME

■ 1"-3" ROCK MULCH,
COLOR TBD

*NATIVE PLANT FROM THE CITY OF SEDONA APPROVED
PLANT LIST

LEGEND

- PROPERTY LINE
- - - PROPOSED FLOW LINE
- ROADWAY CENTERLINE
- 10 — PROPOSED MAJOR CONTOUR
- 10 — PROPOSED MINOR CONTOUR
- - - EXISTING MAJOR CONTOUR
- - - EXISTING MINOR CONTOUR



LANDSCAPE NOTES:

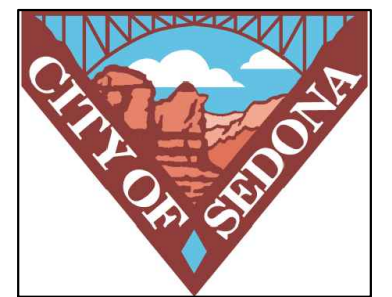
1. ALL LANDSCAPING WILL BE IRRIGATED.
2. ALL PUBLIC LANDSCAPING AND IRRIGATION WILL COMPLY WITH CITY OF SEDONA STANDARDS AND SPECIFICATIONS.
3. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION OF APPROVAL AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THE NUMBER AND GENERAL SIZE OF MATERIALS SHALL REMAIN EQUIVALENT.

NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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				DLP	04/26/2022
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				ALD	1"=20'
				Checked by:	Project Code:
				JRW	091885001

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Kimley»Horn
ENGINEER A. BAIRD
PE NO. 48841 DATE 04/22

Kimley»Horn
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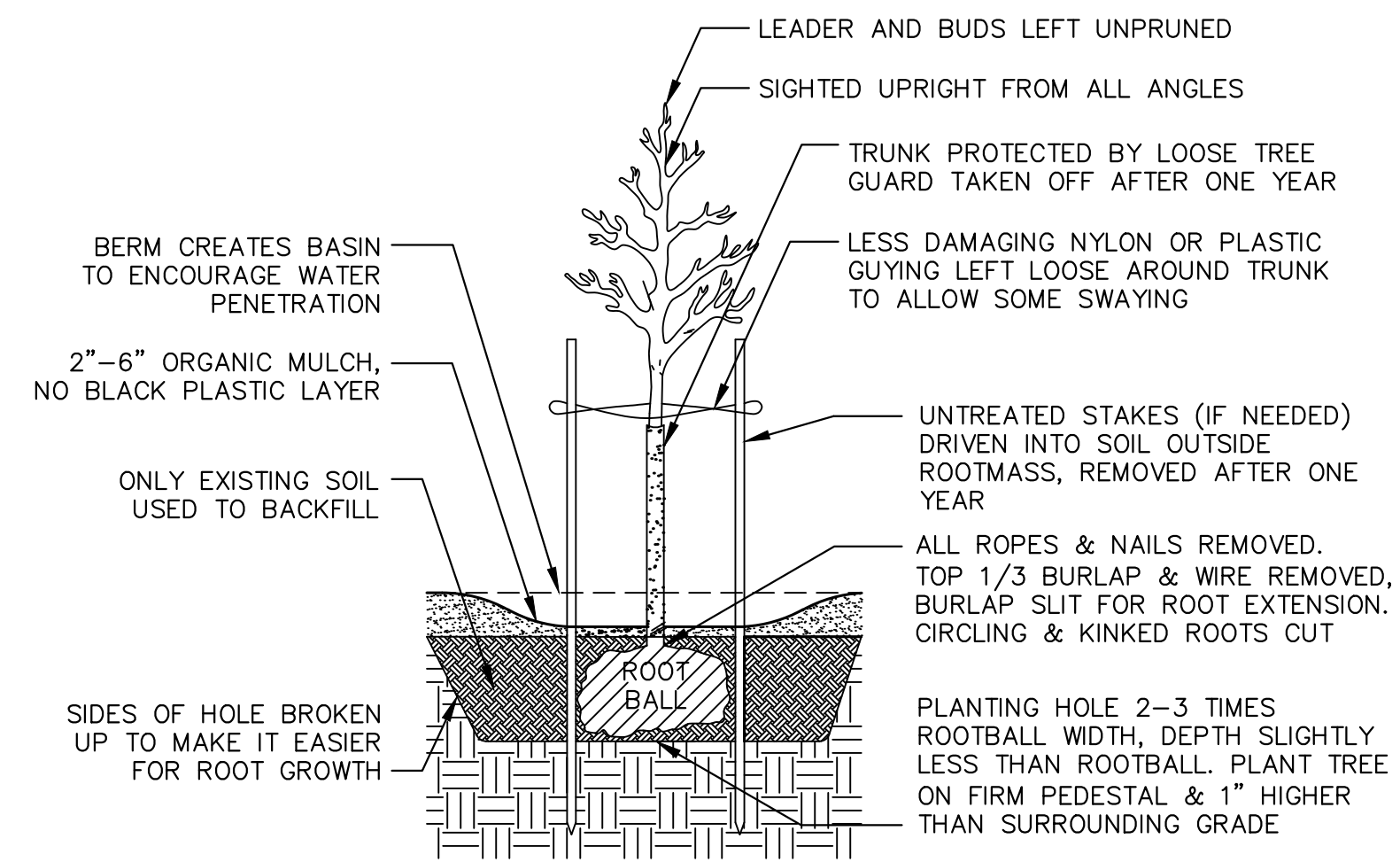


CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

UPTOWN SEDONA
PARKING GARAGE

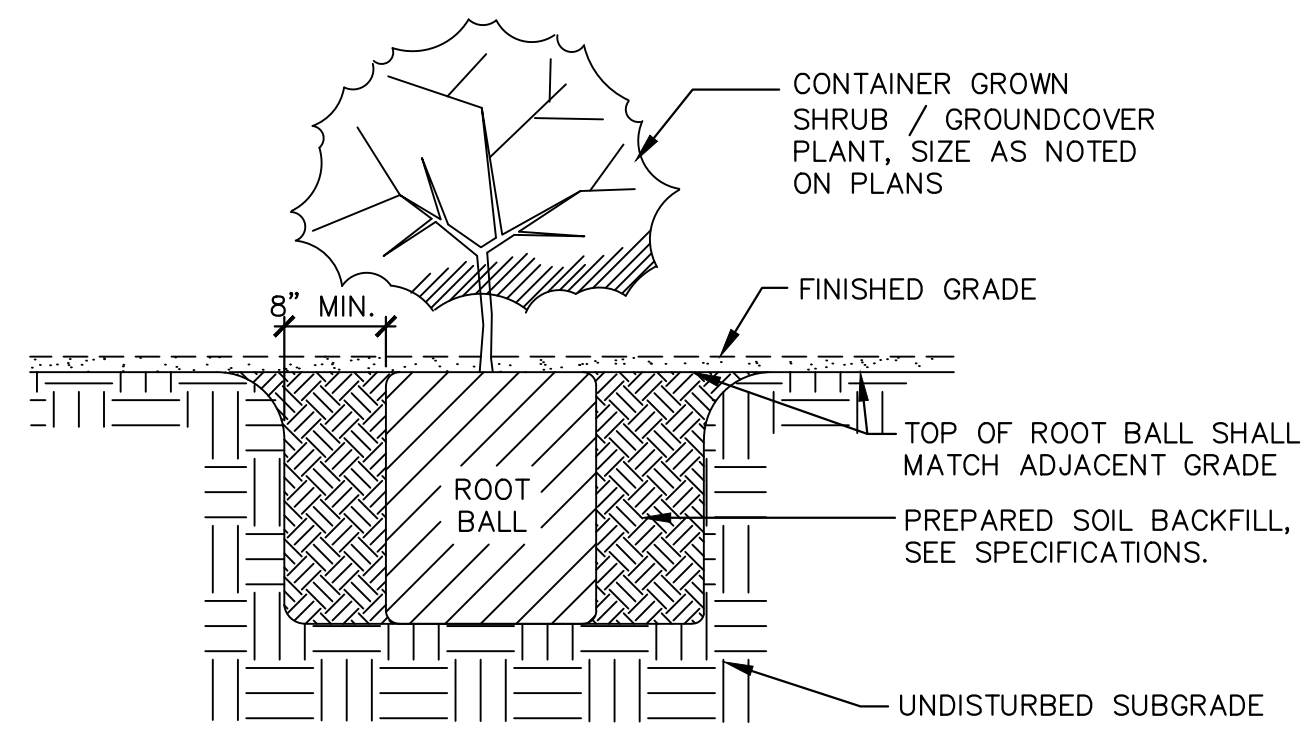
LANDSCAPE PLAN

SHEET ID
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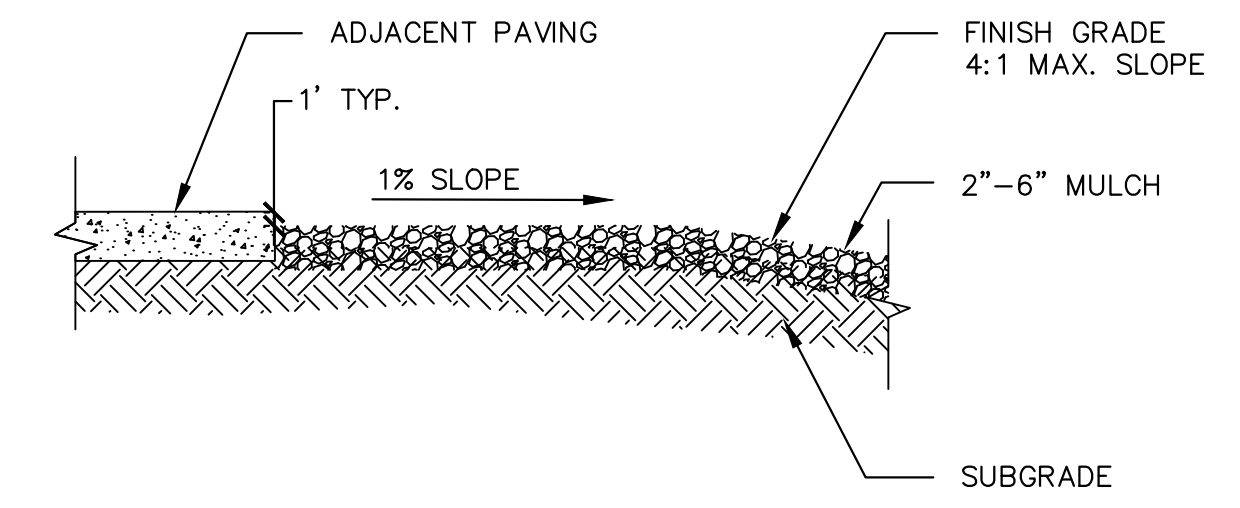


NOTES:
1. PRUNE ONLY DEAD, DAMAGED OR CROSSING BRANCHES THAT RUB.

1 TREE PLANTING NTS



2 SHRUB/GROUND COVER
PLANTING - 1, 5 & 15 GAL. SIZE NTS



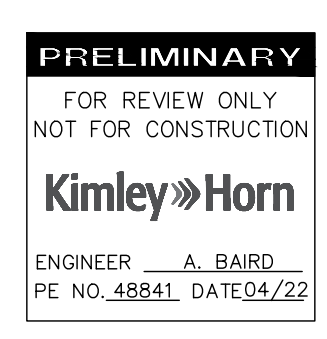
3 FINISH GRADE AT CURB AND PAVING NTS

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NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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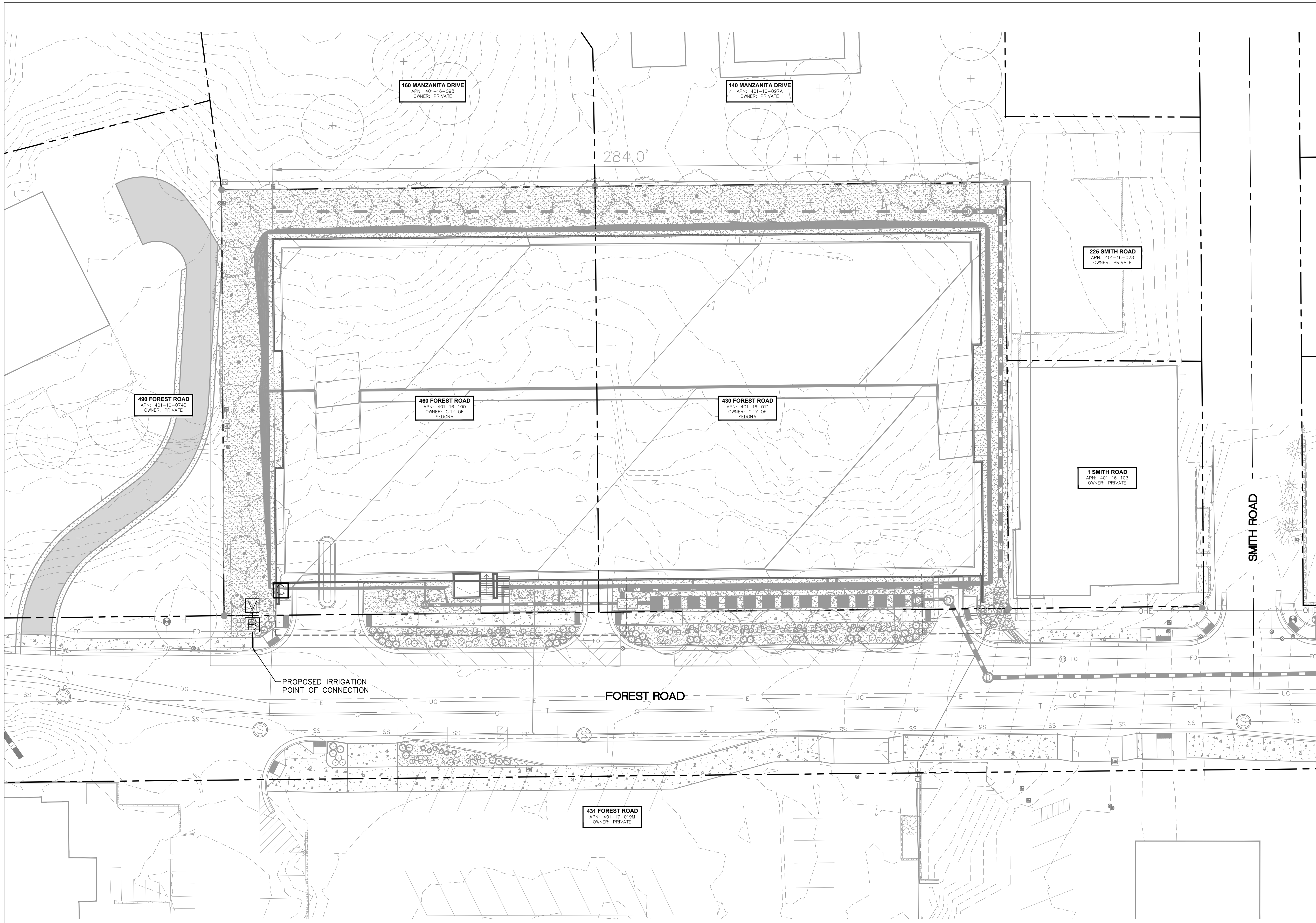


CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
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UPTOWN SEDONA
PARKING GARAGE
LANDSCAPE DETAILS

SHEET ID	LS03
SHEET NO.	15 OF 19

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IRRIGATION LEGEND	
SYMBOL	EQUIPMENT
	WATER METER - POTABLE
	CONTROLLER
	BACKFLOW PREVENTER
	PRESSURE REGULATOR
	GATE VALVE
	REMOTE CONTROL VALVE ASSEMBLY - DRIP ZONES
	MAINLINE
	TREE LATERAL LINE
	SHRUB LATERAL LINE
	SLEEVE UNDER STREET & PATHWAY
	END CAP
	AUTOMATIC FLUSHING
	COMPRESSION END PLUG
NOT SHOWN	EMITTER ASSEMBLY MULTI-PORT; (1 GPH & 2 GPH)

LEGEND:	
	PROPERTY LINE
	PROPOSED FLOW LINE
	ROADWAY CENTERLINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

NORTH

GRAPHIC SCALE IN FEET

Call at least two full working days before you begin excavation.

ARIZONA 811

Arizona Blue State, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-8348)

In Maricopa County: (602) 263-1100

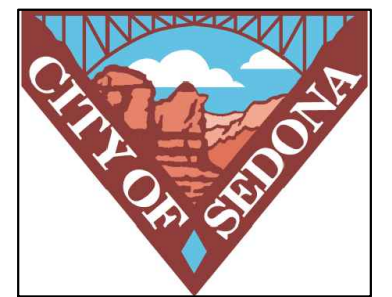
NOTICE OF EXTENDED PAYMENT PROVISION
 (PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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				DLP	04/26/2022
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 ENGINEER A. BAIRD
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CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
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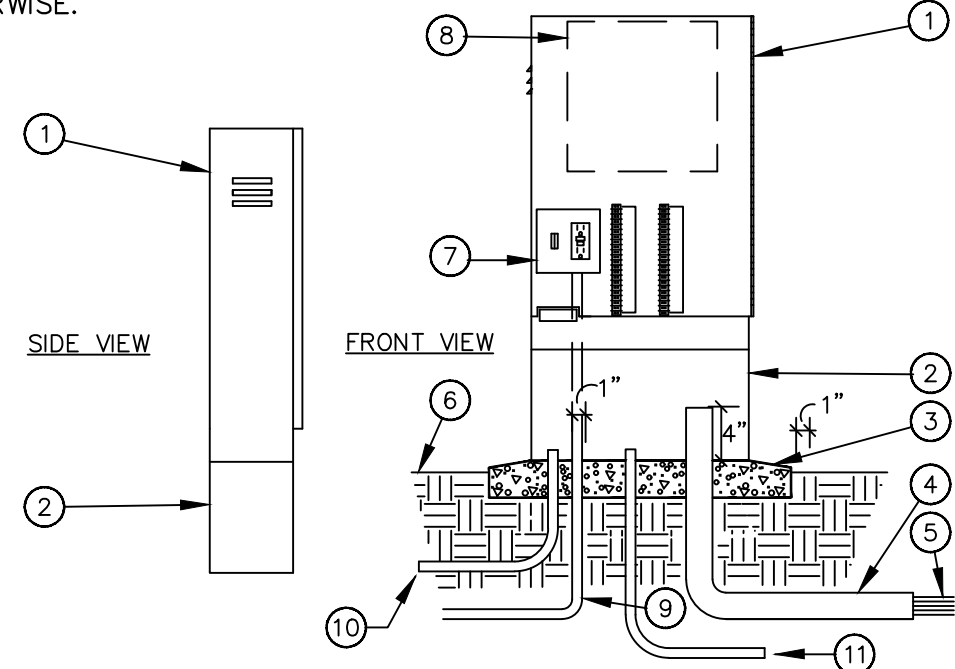
UPTOWN SEDONA
PARKING GARAGE

IRRIGATION PLAN

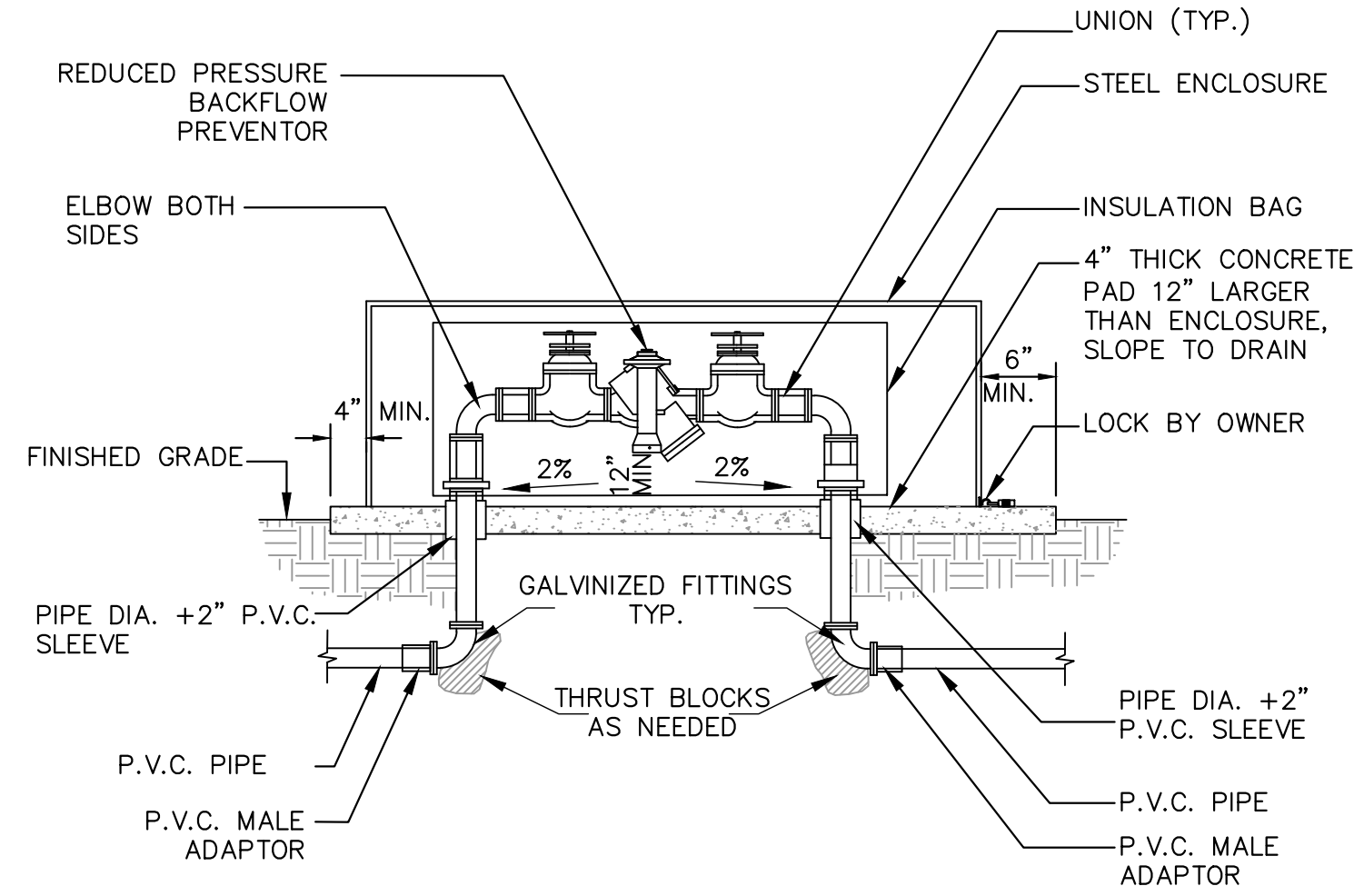
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LEGEND

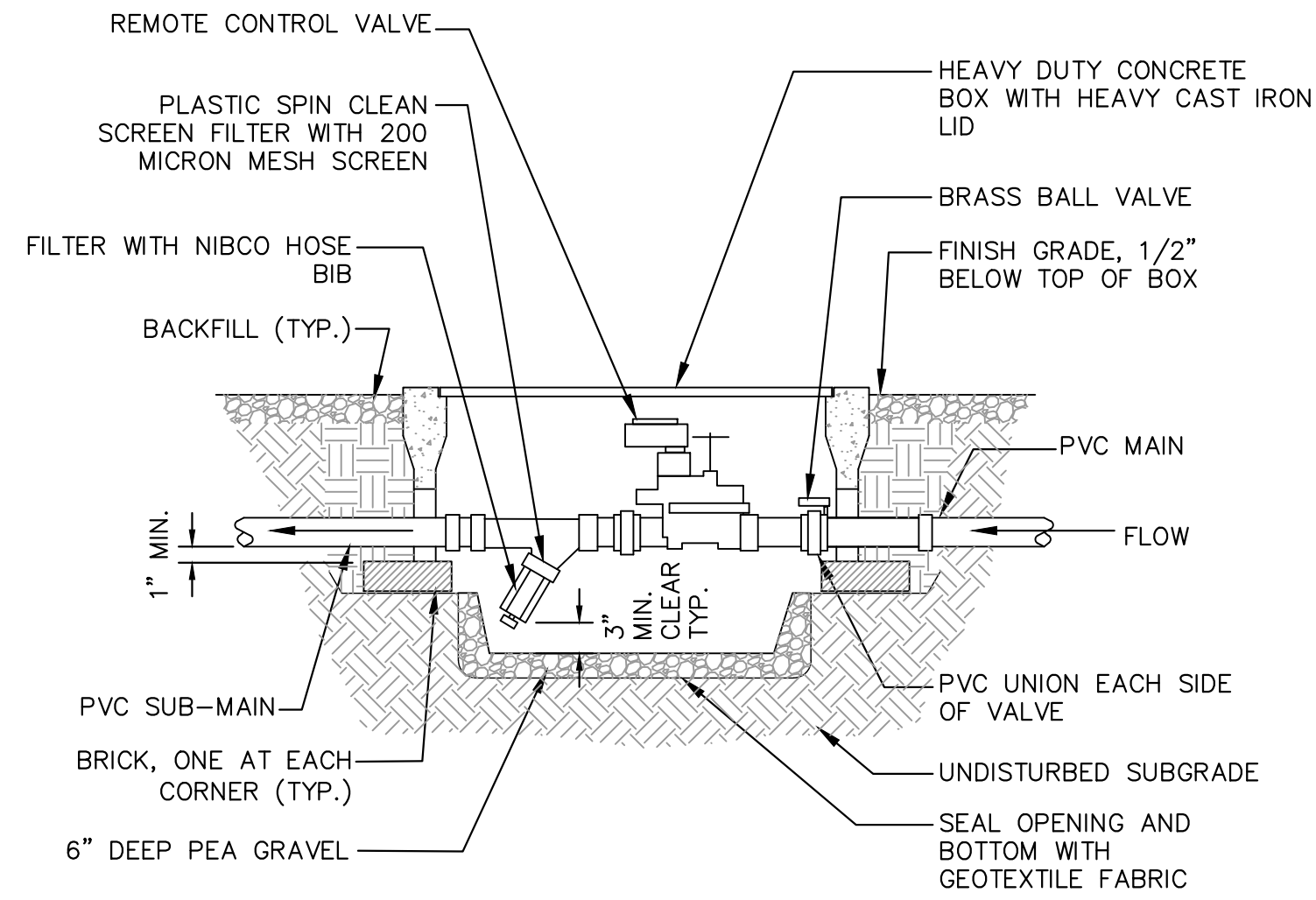
1. CONTROLLER ENCLOSURE.
2. PEDESTAL.
3. POURED CONCRETE BASE - 6" MIN. THICKNESS - EXTEND 6" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE WITH 1/2% SLOPE FOR DRAINAGE.
4. 2" PVC LONG SWEEP ELL FOR CONTROL WIRES - USE ONE SWEEP ELL PER 18 STATIONS.
5. DIRECT BURIAL CONTROL WIRES TO CONTROL VALVES.
6. FINISH GRADE
7. CONTROLLER SUB-ASSEMBLY (CSA) INCLUDES GFI & TERMINAL STRIPS WITH PLACARDS.
8. AUTOMATIC CONTROLLER.
9. 120-VOLT DEDICATED SERVICE POWER SUPPLY IN CONDUIT (3/4" MIN.)
10. 1 1/2" PVC LONG SWEEP ELL FOR GROUNDING WIRE.
11. 1" PVC LONG SWEEP ELL FOR COMMUNICATION WIRE, UNLESS SPECIFIED OTHERWISE.



1 PEDESTAL MOUNTED CONTROLLER NTS

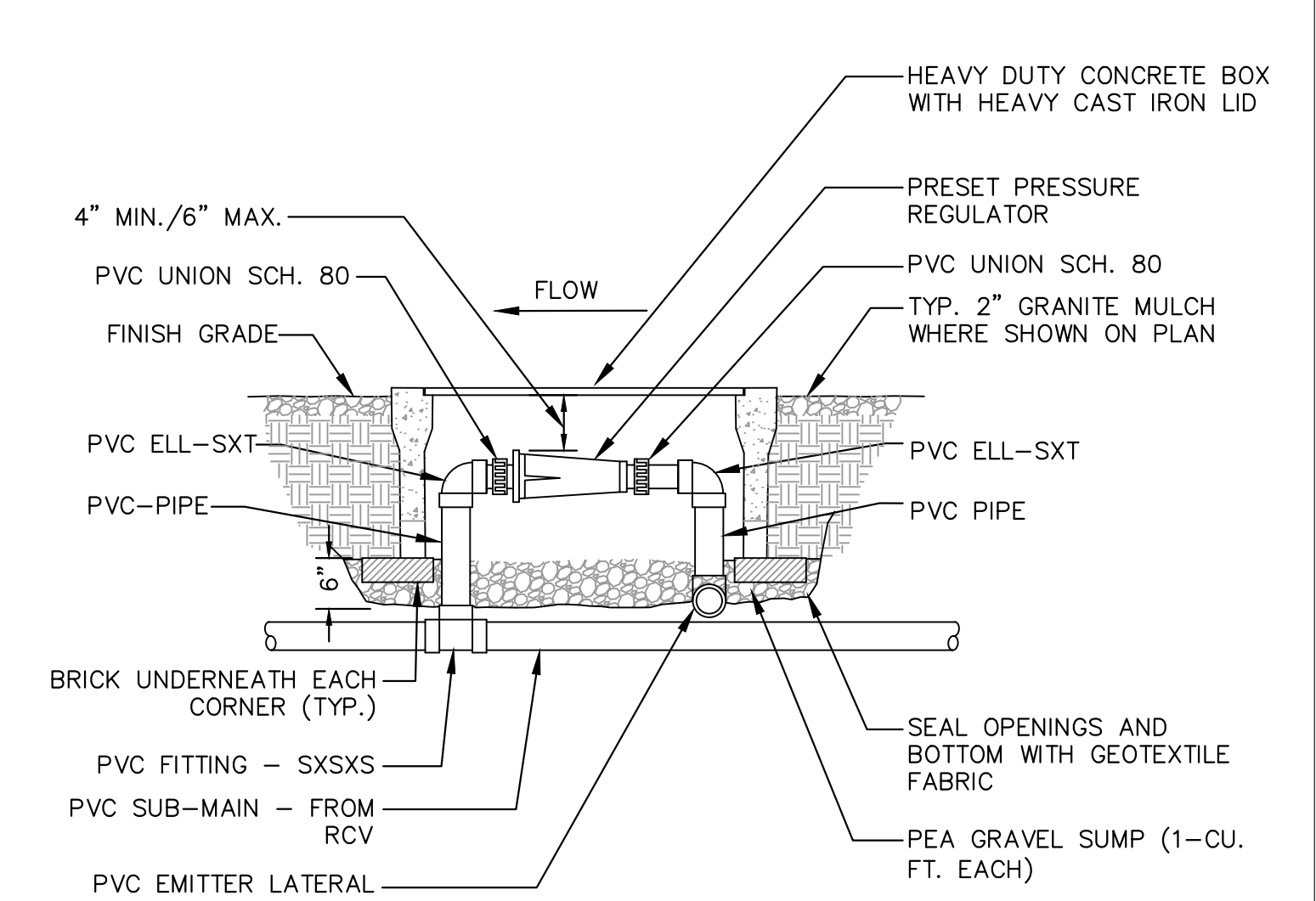


2 BACKFLOW PREVENTION UNIT - 1" NTS



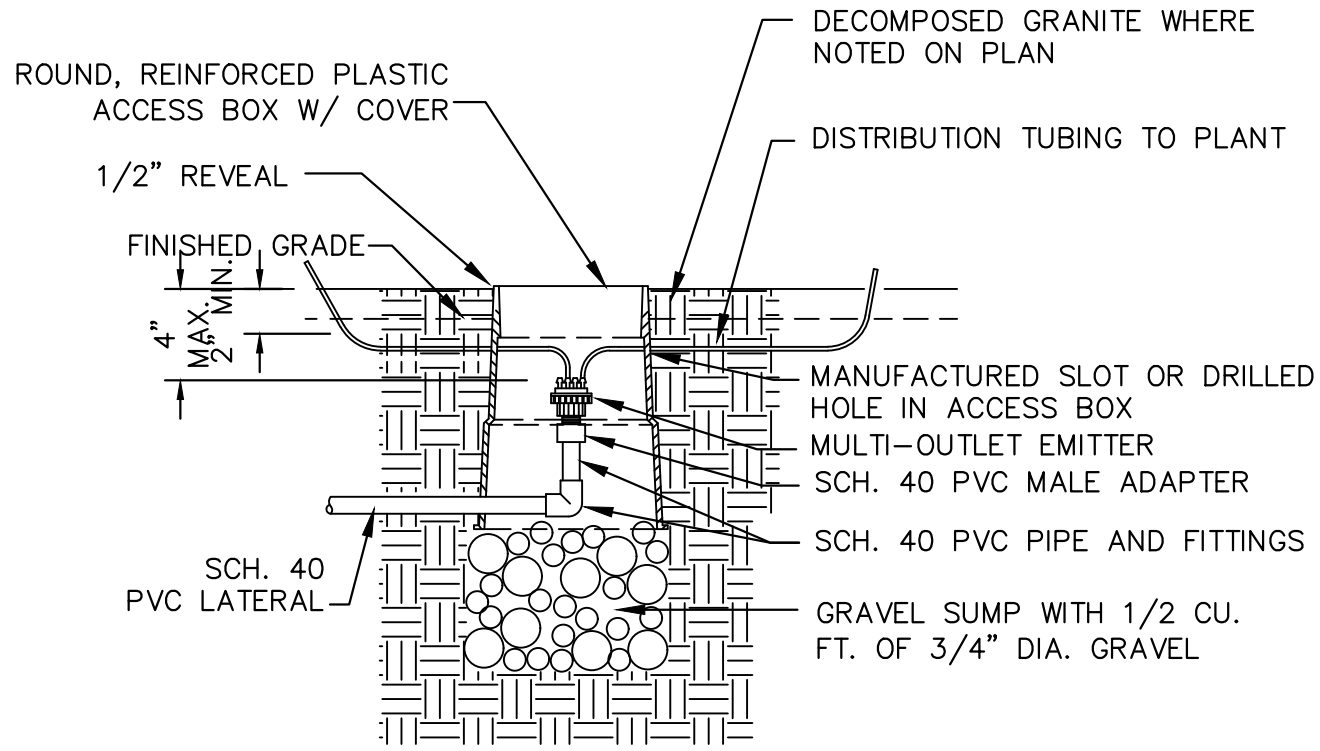
NOTES:
1. PROVIDE 2' FLEXIBLE HOSE WITH FILTER. INSTALL FILTER ON SIDE AT A SLIGHT DOWNWARD ANGLE.

3 REMOTE CONTROL VALVE WITH FILTER NTS

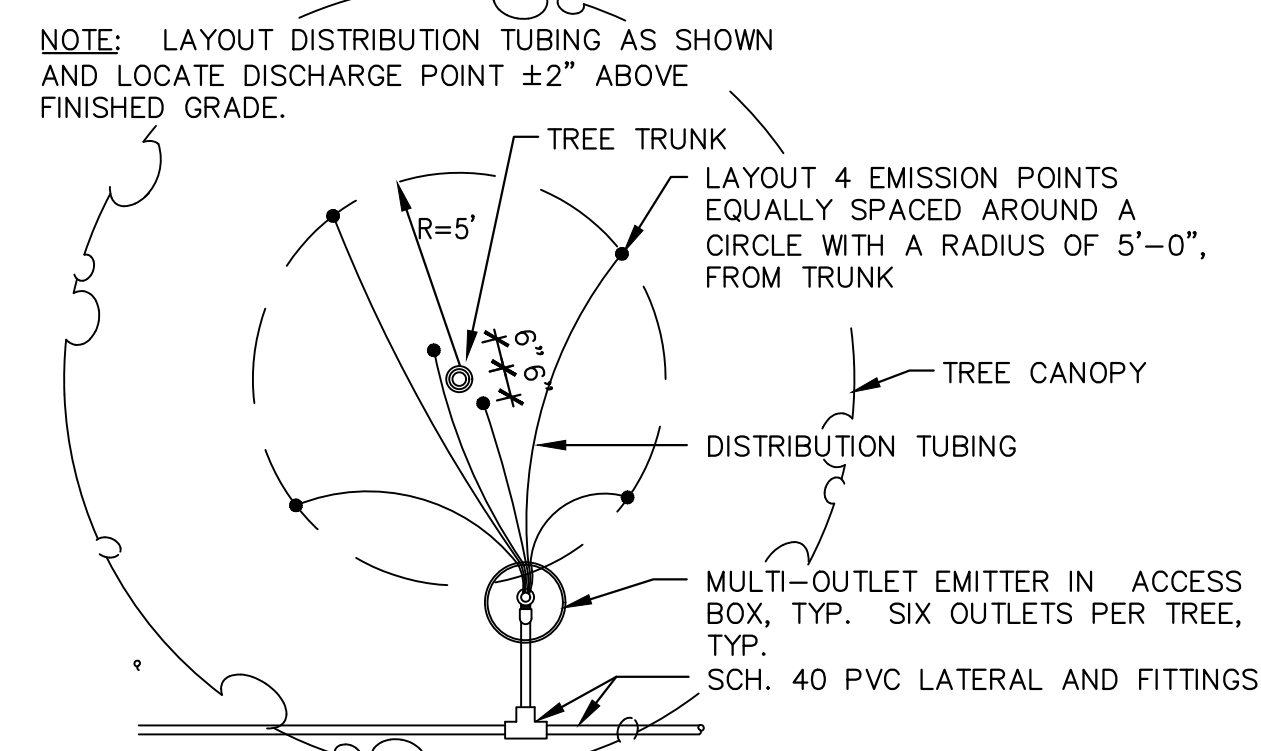


NOTES:
1. ALL PIPE SCH. 40 EXCEPT SCH. 80 UNIONS

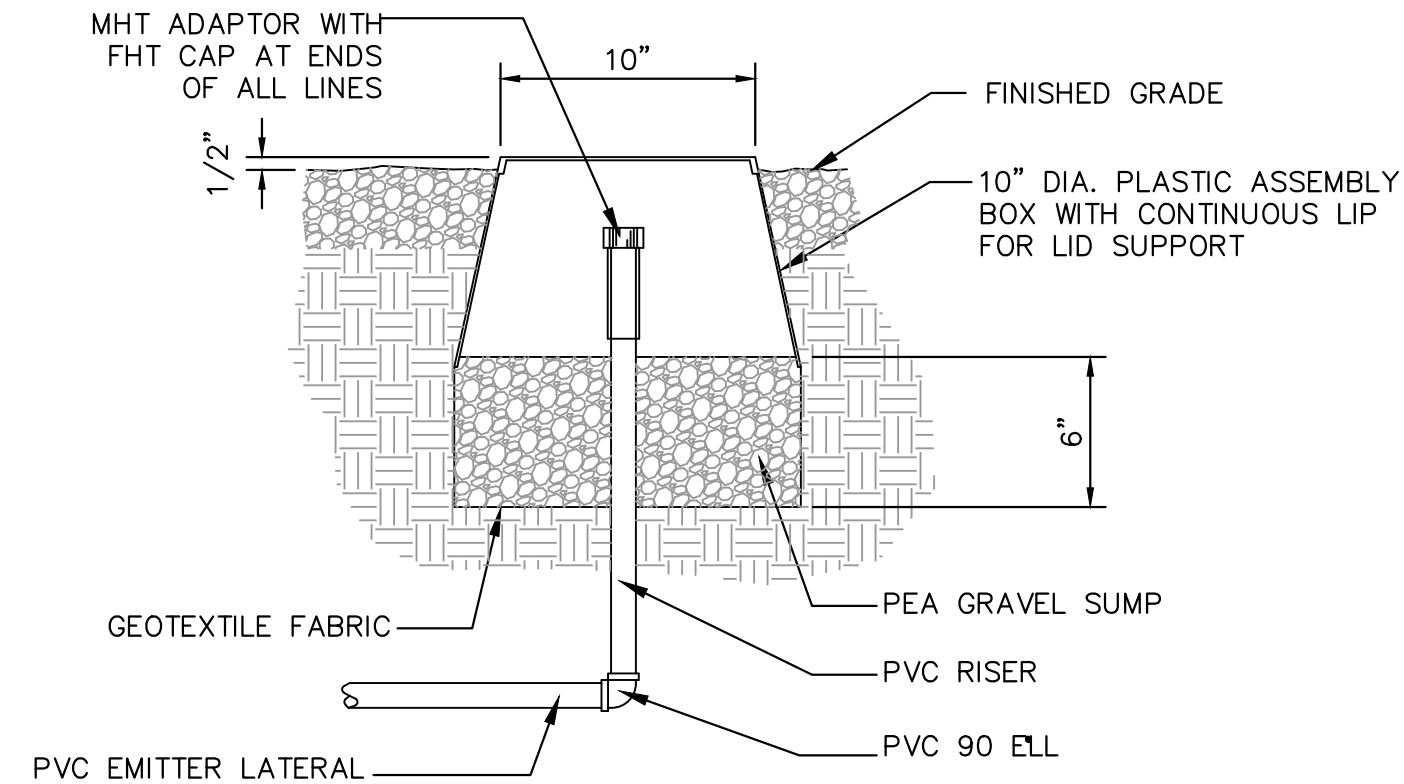
4 PRESSURE REGULATOR RISER NTS



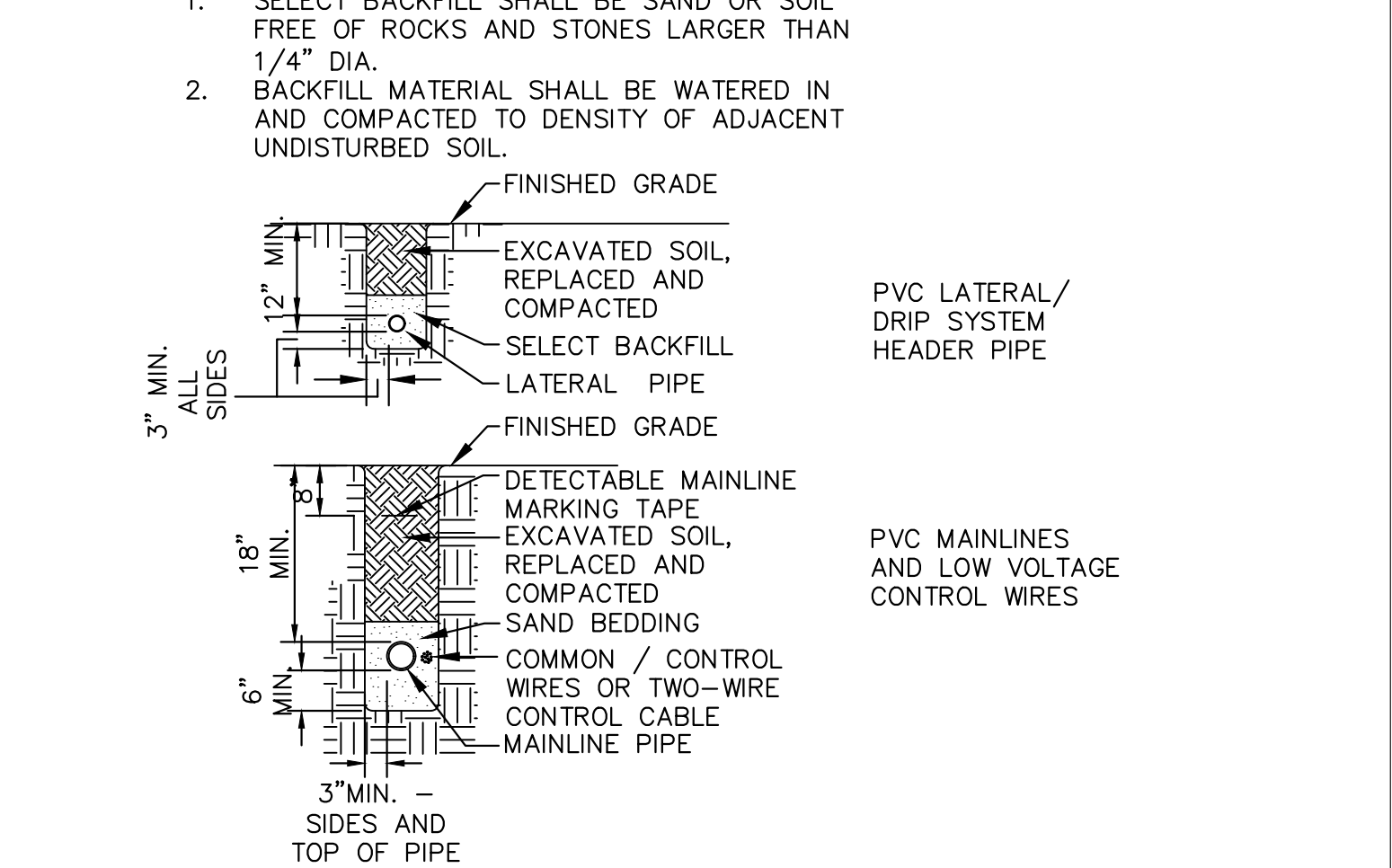
5 MULTI OUTLET EMITTER - SIX OUTLET NTS



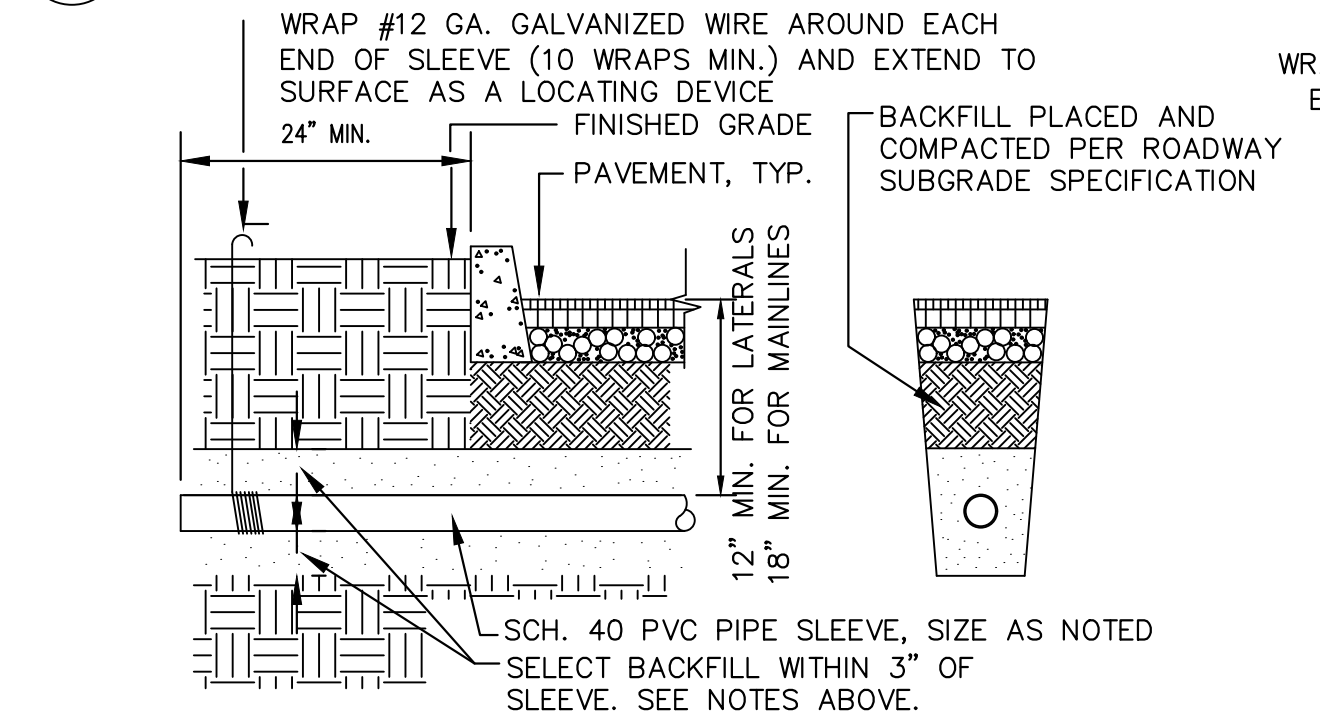
6 EMITTER DISTRIBUTION TUBING LAYOUT AND TREE - SIX OUTLET NTS



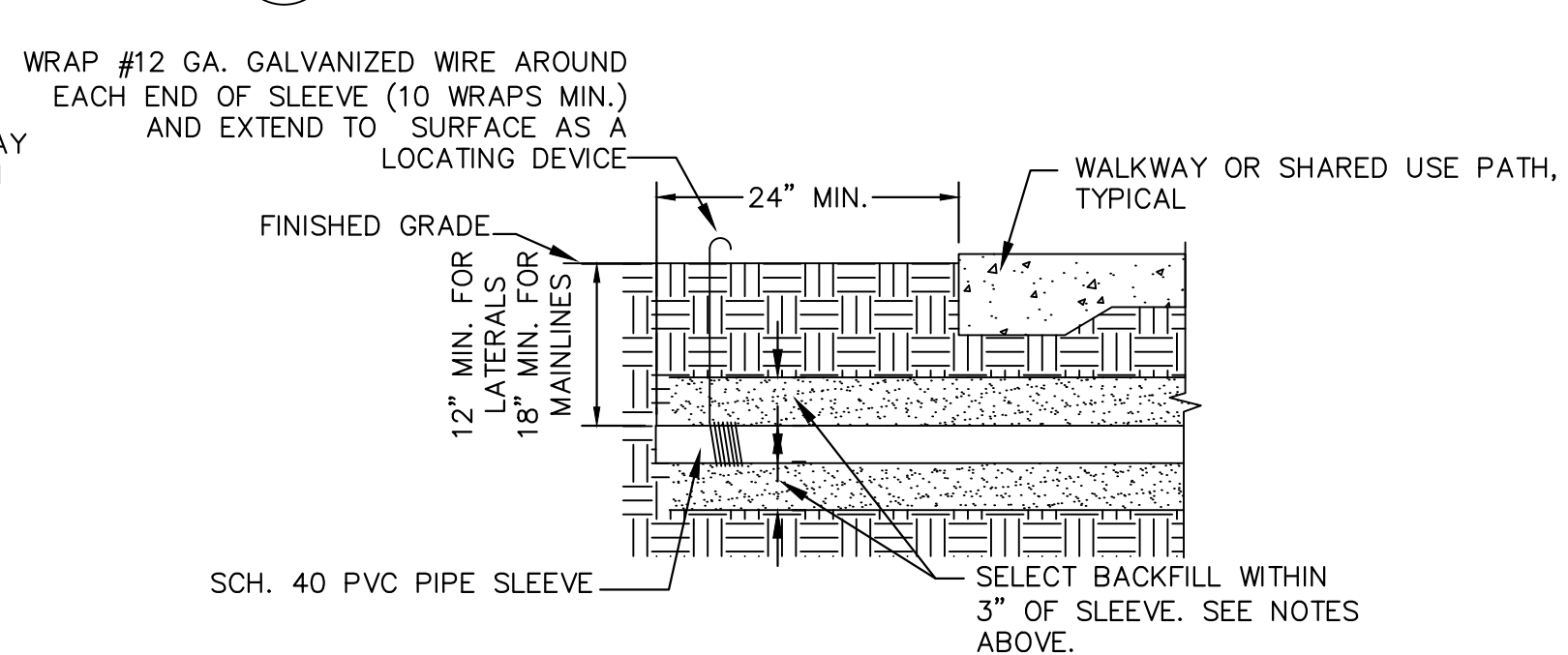
7 FLUSH END CAP (PVC LATERAL END CAP) NTS



8 PIPE TRENCHING AND BACKFILL MAINLINES, LATERALS, & MARKING TAPE NTS



9 SLEEVE UNDER STREET OR PARKING LOT NTS

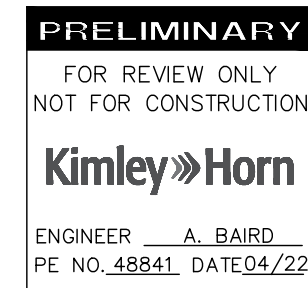


NOTES:
1. SLEEVES UNDER WALKWAYS SHALL BE SCHEDULE 40 PVC PIPE. SIZE SHALL BE AS NOTED ON PLANS.
2. BACKFILL WITHIN 3" OF SLEEVE SHALL BE FREE OF ROCKS AND STONES LARGER THAN 1/4" DIA. IF ROCK CANNOT BE REMOVED FROM EXCAVATED SOIL, PROVIDE CLEAN SAND BEDDING.

10 SLEEVE UNDER WALKWAY NTS

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Symbol	Revisions	Date	Appr.	Designed by:	Date:
				DLP	04/26/2022
				ALD	N/A
				JRW	091885001



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**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

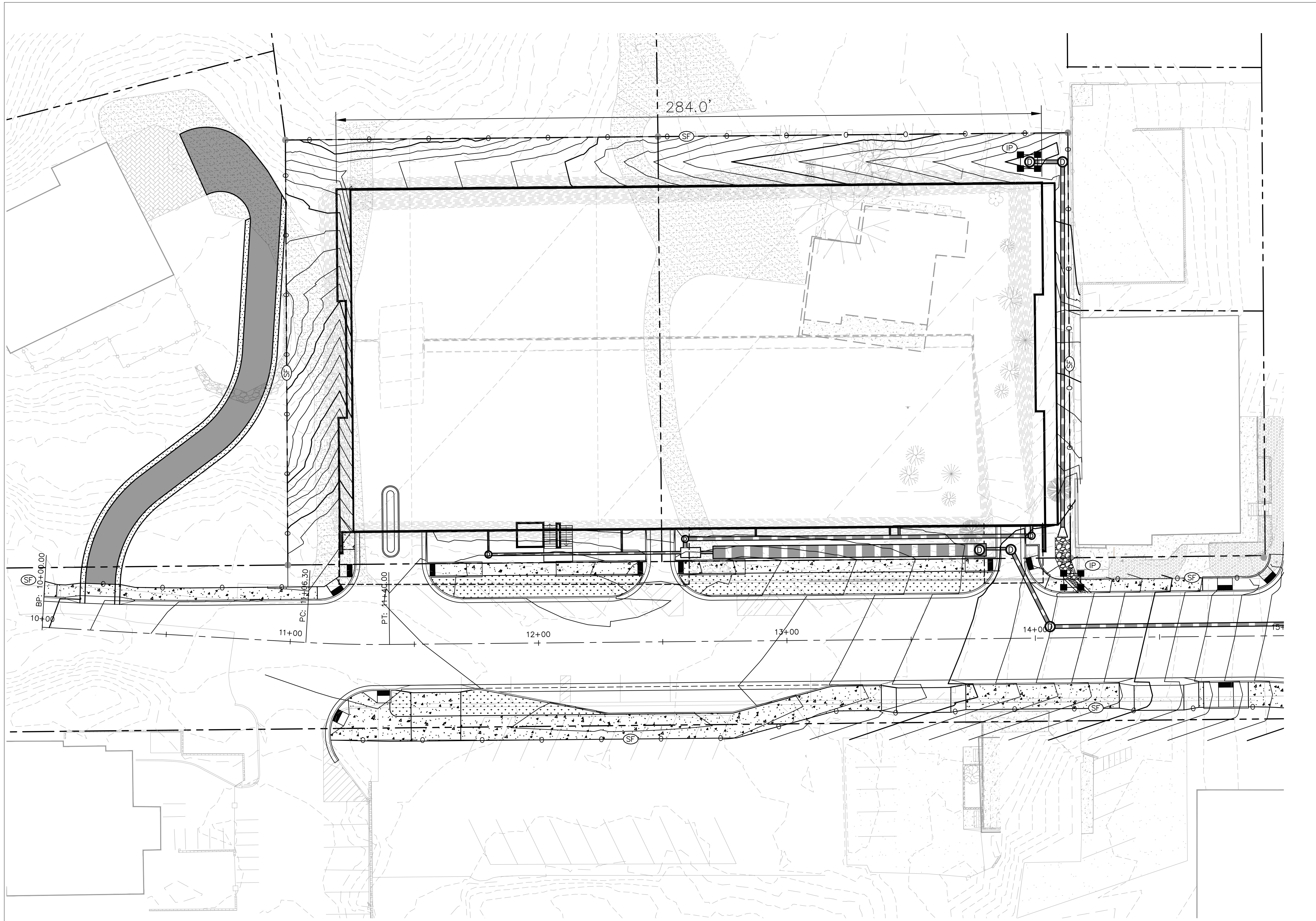
**UPTOWN SEDONA
PARKING GARAGE
IRRIGATION DETAILS**

**SHEET ID
IR02
SHEET NO.
17 OF 19**



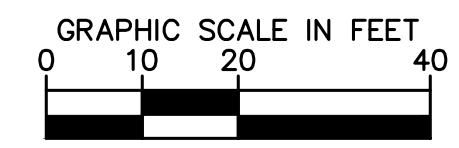
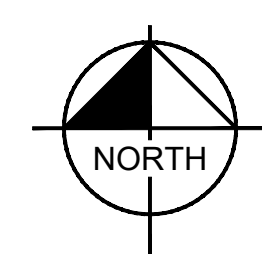
NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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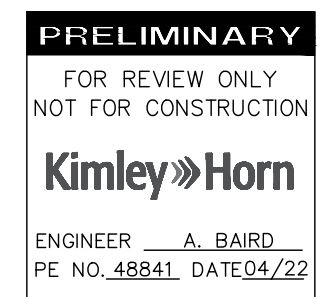
LEGEND

	IP	INLET PROTECTION PER BMP SPC-7
	SF	SILT FENCE PER BMP SPC-5

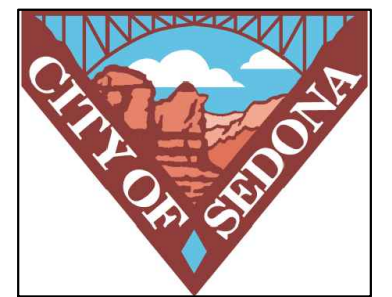


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Symbol	Revisions	Date	Appr.	Designed by:	Date:
				DLP	04/26/2022
				Drawn by:	Scale:
				ALD	1"=20'
				Checked by:	Project Code:
				JRW	091885001



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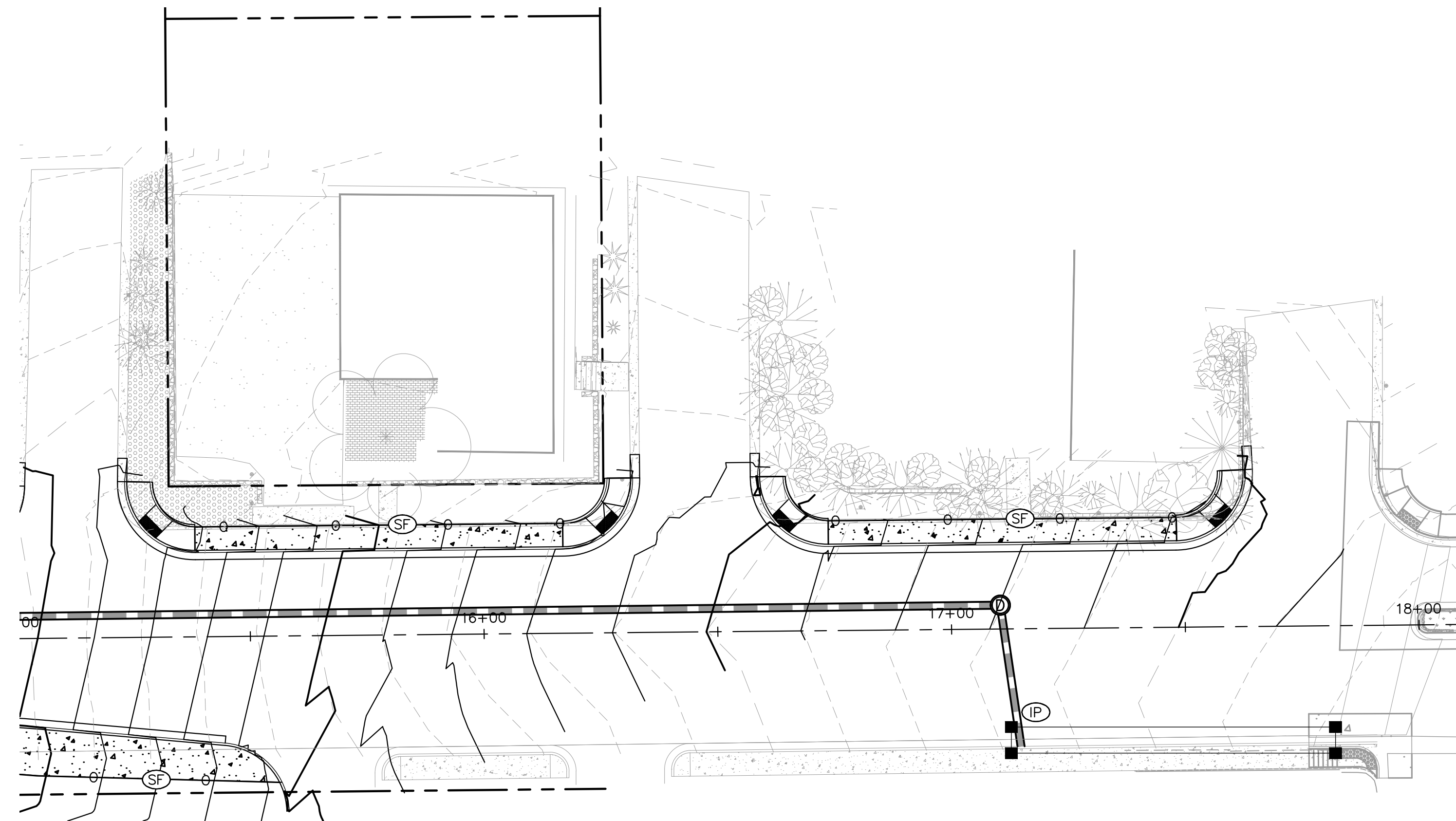


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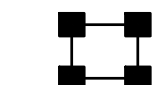

UPTOWN SEDONA
PARKING GARAGE
EROSION CONTROL PLAN

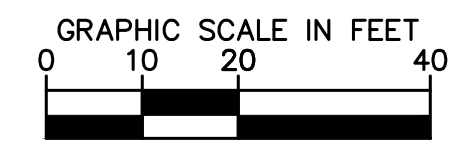
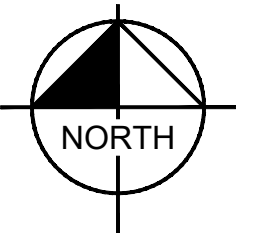
SHEET ID
 ER01
SHEET NO.
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LEGEND

-  INLET PROTECTION PER BMP SPC-7
-  SILT FENCE PER BMP SPC-5

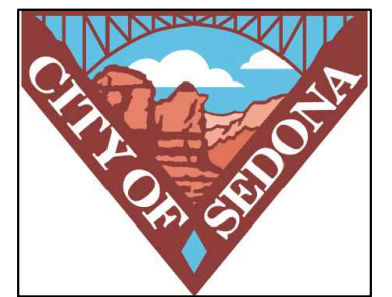


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				JRW	091885001

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 NOT FOR CONSTRUCTION
Kimley»Horn
 ENGINEER A. BAIRD
 PE NO. 48841 DATED 04/22

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UPTOWN SEDONA
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