

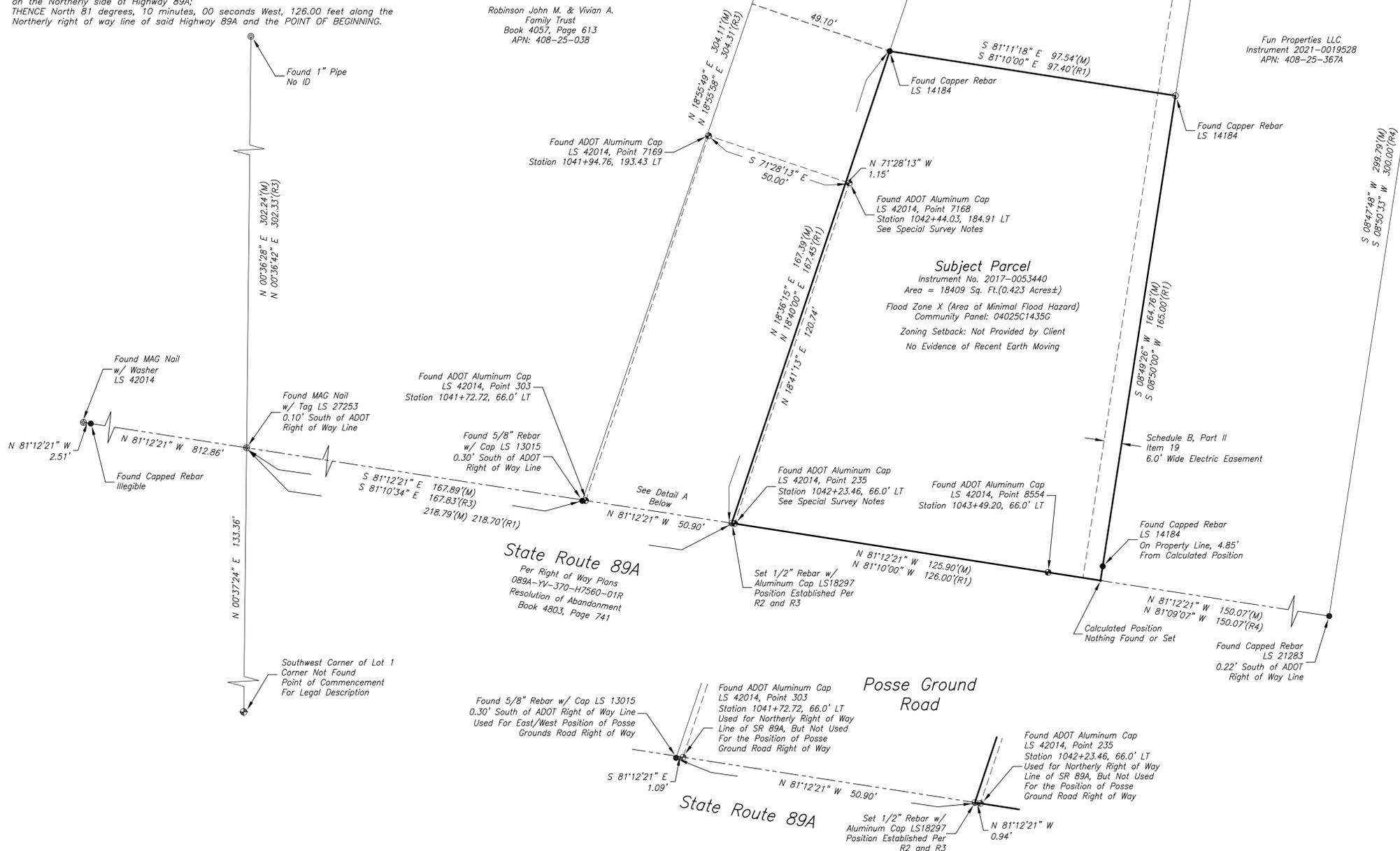
Project Location

Legal Description:

Referenced in the commitment for title insurance issued by Stewart Title Guaranty Company, File No. 154677EW, with a commitment date of June 23, 2021 at 7:30 AM.

EXHIBIT "A"

Description for a portion of Lot 1 and Lot 2 of Section 12, Township 17 North, Range 5 East of the Gila and Salt River Base and Meridian, Yavapai County, Arizona, more particularly described as follows:
To find the TRUE POINT OF BEGINNING begin at the Southwest corner of Lot 1 of said Section 12;
THENCE North 00 degrees, 39 minutes, 00 seconds East, 133.36 feet to a point on the Northerly right of way line of Highway 89A;
THENCE South 81 degrees, 10 minutes, 00 seconds East, 218.70 feet along said Northerly right of way line of Highway 89A to the Southwest corner of the McFadden property and the TRUE POINT OF BEGINNING;
THENCE North 18 degrees, 40 minutes, 00 seconds East, 167.45 feet along the East side of Posse Ground Road; THENCE South 81 degrees, 10 minutes, 00 seconds East, 97.40 feet;
THENCE South 08 degrees, 50 minutes, 00 seconds West, 165.00 feet to a point on the Northerly side of Highway 89A;
THENCE North 81 degrees, 10 minutes, 00 seconds West, 126.00 feet along the Northerly right of way line of said Highway 89A and the POINT OF BEGINNING.



Survey Notes:
Field measurements used to prepare this plot were made during July, 2021.

Basis of Bearing and/or Coordinates:
All dimensions shown on this plot are measured and based on the following projection information.
Linear Unit: International Foot
Geodetic Datum: North American Datum of 1983(NAD83)
Projection: Sedona Low Distortion Projection (Transverse Mercator)
Latitude of Grid Origin: N 34°44'00"
Longitude of Grid Origin: W 111°48'00"
Northing at Grid Origin: 50000,000 ft.
Easting at Grid Origin: 0,000 ft.
Combined Scale Factor = 1.000206
Vertical Datum: NAVD 88
Geoid Model = GEOID18
The basis of bearings is true geodetic north. Grid bearings shown hereon do not equal geodetic bearings due to meridian convergence. All bearings shown are grid bearings.

This survey was conducted using GPS referenced to the National Spatial Reference System. Coordinates for GPS control points were derived using the National Geodetic Survey's, Online Positioning User Service (OPUS) REF FRAME: NAD_83(2011)(EPOCH:2010.0000).

The following documents were referred to during the course of the survey and preparation of this plot:
R1) Warranty Deed, Instrument No. 2017-0053440
R2) Record of Survey, Book 123 of Land Surveys, Page 12
R3) Record of Survey, Book 74 of Land Surveys, Page 83
R3) Record of Survey, Book 198 of Land Surveys, Page 26

Field measurements included locations of readily visible surface appurtenances of underground utilities, and evidence of utilities on or above the surface of the surveyed property as observed in the process of conducting the fieldwork, which evidence may indicate utilities located on, over or beneath the surveyed property. No record as-built utility information was provided therefore none is shown hereon. No excavations or other direct determinations of underground utility locations were made.

Documents used to prepare this survey were referenced in the Commitment for Title Insurance issued by Stewart Title Guaranty Company, File No. 154677EW, with a Commitment date of June 23, 2021 at 7:30 AM.
The following listing of Schedule B - Section 2 exceptions are from the above stated Commitment for Title Insurance. No attempt was made to resolve discrepancies if any, in easement documents. No attempt was made to research recorded or unrecorded easements, other than those listed in Schedule B - Section 2 exceptions of the above stated commitment for title insurance.

Following are the Schedule B - Section 2 exceptions listed:
Item No. - Instrument Type; Recording reference; Status for this survey.

- Item 1 Not Survey Related.
- Items 2 to 5 - Deleted Intentionally in the Commitment.
- Items 6 to 7 - Not Survey Related.
- Item 8 - Deleted Intentionally in the Commitment.
- Items 9 to 10 - Not Survey Related.
- Items 11 to 12 - Deleted Intentionally in the Commitment.
- Item 13 - Easement(s) for telephone lines and incidental purposes; Book 517, Page 90 of Official Records; This instrument describes an easement 40' in width centered on a telephone line which existed in the vicinity of the Subject Parcel in 1967. The location map attached is to this instrument is illegible and therefore the easement is not plottable and Not Shown Hereon.
- Item 14 - Easement(s) for road and incidental purposes; Book 519, Page 520 of Official Records. This instrument describes a right of way 66' in width for an existing roadway as shown on an attached map. The map does not specify which roadway the easement applies to therefore the easement is Not Shown Hereon.
- Item 15 - Easement(s) for road and incidental purposes; Book 521, Page 521 of Official Records. This instrument describes a right of way 24' in width for an existing roadway as shown on an attached map. The map does not specify which roadway the easement applies to, however other recorded instruments indicate that this is the original easement for Posse Ground Road. Records indicate that the 24' is the easterly portion of the current 50' wide right of way with an additional 36' taken from the parcel on the west side of the right of way. The easement is Shown Hereon.
- Item 16 - Easement for sign and incidental purposes; Book 524, Page 377 of Official Records; This instrument describes an easement for a sign that existed in the vicinity of the subject parcel in 1967; Not Shown Hereon.
- Item 17 - Easement for highway and incidental purposes; Recorded in Book 520 of Surveys, Page 585; This instrument describes an easement for SR89A in the SE1/4 of Section 12; The document is somewhat illegible and not plottable. This easement has been superseded by current SR89A right of way; Not Shown Hereon.
- Item 18 - Deleted Intentionally in the Commitment.
- Item 19 - Easement(s) for electric lines and incidental purposes; Book 811, Page 650 of Official Records; This instrument describes an easement for electric lines 6' in width along the easterly boundary of the Subject Parcel. Shown Hereon.
- Item 20 - Easement(s) for electric lines and incidental purposes; Book 1351, Page 182 of Official Records; Blanket easement, not definable; Not Shown Hereon.
- Item 21 - Easement(s) for electric lines and incidental purposes; Book 1351, Page 321 of Official Records; Blanket easement, not definable; Not Shown Hereon.
- Items 22 to 25 - Deleted Intentionally in the Commitment.

Special Survey Note: Arizona Department of Transportation through the resolution of abandonment recorded in Book 4803, Page 741 transferred the right of way for SR89A in the vicinity of the Subject Parcel to the City of Sedona. The abandonment however did not reference the most current set of right of way plans. The most current right of way plans referenced hereon shows what appears to be ADOT right of way projecting into the Posse Ground Road right of way. The ADOT right of way projecting into the Posse Ground Road right of way overlaps the Subject Parcel's westerly line per the R1 deed by ~1.0'. It is unclear as to the underlying rights of the portion of the Posse Ground Road shown on the ADOT right of way plans. It's our opinion that the deed for the Subject Parcel is senior and correct and takes precedence over the monumentation set by ADOT in this location.

Certification:
To Durban Development and Stewart Title Guaranty Company: This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 8, 9, 11(a), 13, 15, and 17 of Table A thereof. The fieldwork was completed on February 17th, 2021.

John A. Luckow
Date

ALTA/NSPS Land Title Survey
Located in the South Half of Section 12, Township 17 North, Range 5 East, Gila & Salt River Baseline & Meridian, Yavapai County, Arizona

Client: Durban Development
Address: 80 Posse Ground Road
Sedona, AZ
APN: 408-25-038R



ARIZONA SURVEYING



Arizona Surveying, Inc
1843 W. Heavenly Ct
Flagstaff, AZ 86001
John Luckow, RLS
Tel: (928) 607-7092



JOB NO: 21-38
DRAWN BY: JS/BL
DATE: 7-27-2021
SCALE: 1" = 20'
REVISIONS:

SHEET 1 OF 3

ALTA/NSPS Land Title Survey

Located in The South Half of Section 12, Township 17 North, Range 5 East, Gila & Salt River Baseline & Meridian, Yavapai County, Arizona

Client: Durban Development
Address: 80 Posse Ground Road
Sedona, AZ
APN: 408-25-038R



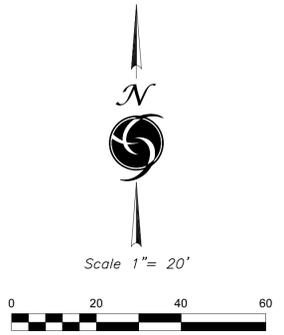
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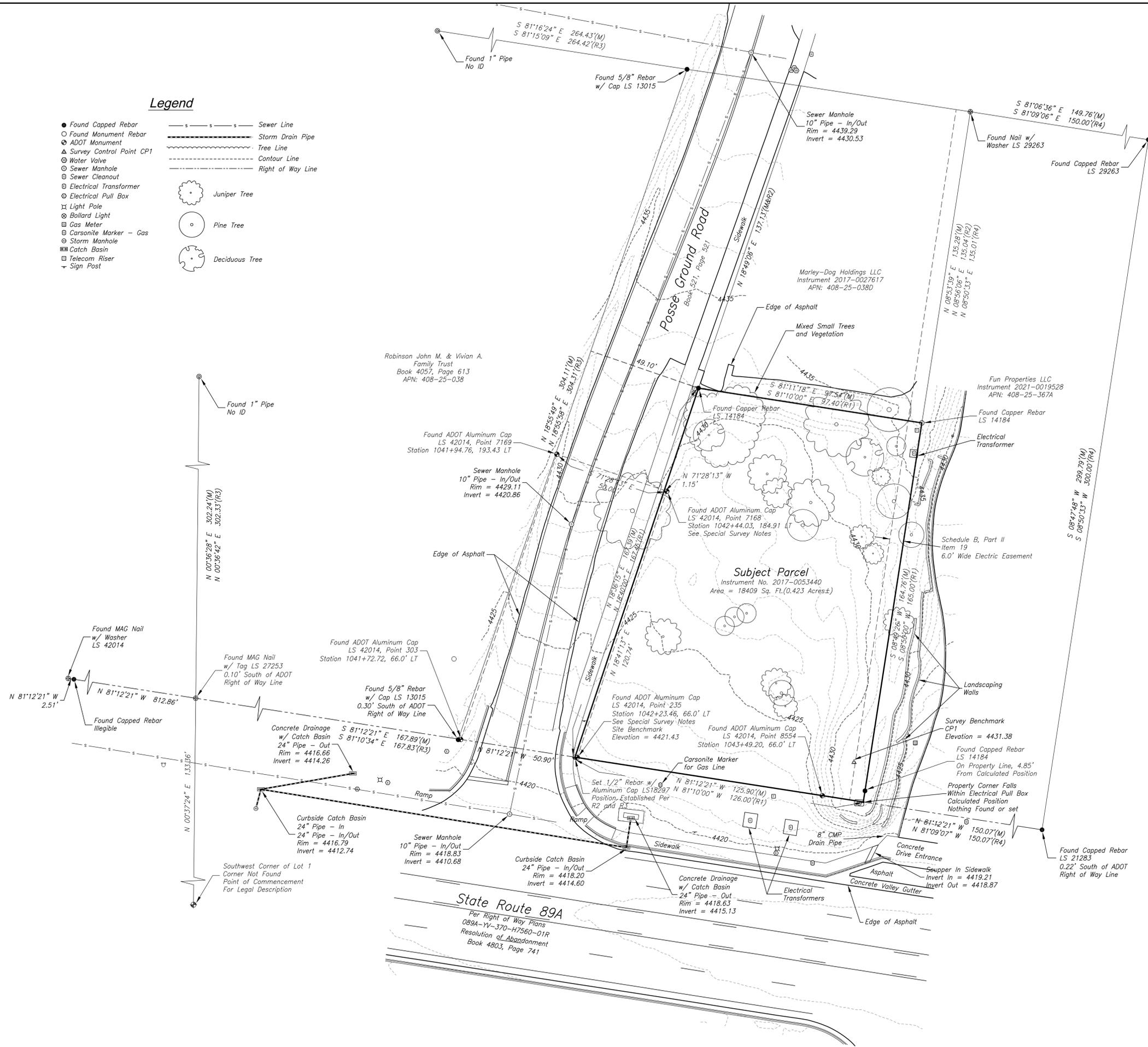


JOB NO: 21-38
DRAWN BY: JS/BL
DATE: 7-27-2021
SCALE: 1" = 20'
REVISIONS:



Legend

- Found Capped Rebar
 - Found Monument Rebar
 - ⊙ ADOT Monument
 - ▲ Survey Control Point CP1
 - ⊕ Water Valve
 - ⊙ Sewer Manhole
 - ⊙ Sewer Cleanout
 - ⊙ Electrical Transformer
 - ⊙ Electrical Pull Box
 - ⊕ Light Pole
 - ⊕ Bollard Light
 - ⊕ Gas Meter
 - ⊕ Carsonite Marker - Gas
 - ⊕ Storm Manhole
 - ⊕ Catch Basin
 - ⊕ Telecom Riser
 - ⊕ Sign Post
- Sewer Line
 - Storm Drain Pipe
 - Tree Line
 - Contour Line
 - Right of Way Line
- ⊙ Juniper Tree
 - ⊙ Pine Tree
 - ⊙ Deciduous Tree



State Route 89A
Per Right of Way Plans
089A-YV-370-H7560-01R
Resolution of Abandonment
Book 4803, Page 741

ALTA/NSPS Land Title Survey

Located in The South Half of Section 12, Township 17 North, Range 5 East, Gila & Salt River Baseline & Meridian, Yavapai County, Arizona

Client: Urban Development
Address: 80 Posse Ground Road
Sedona, AZ
APN: 408-25-038R



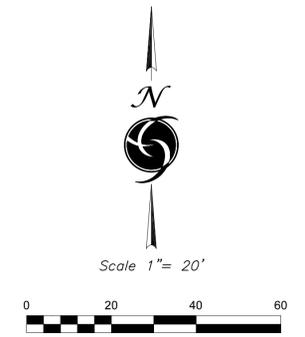
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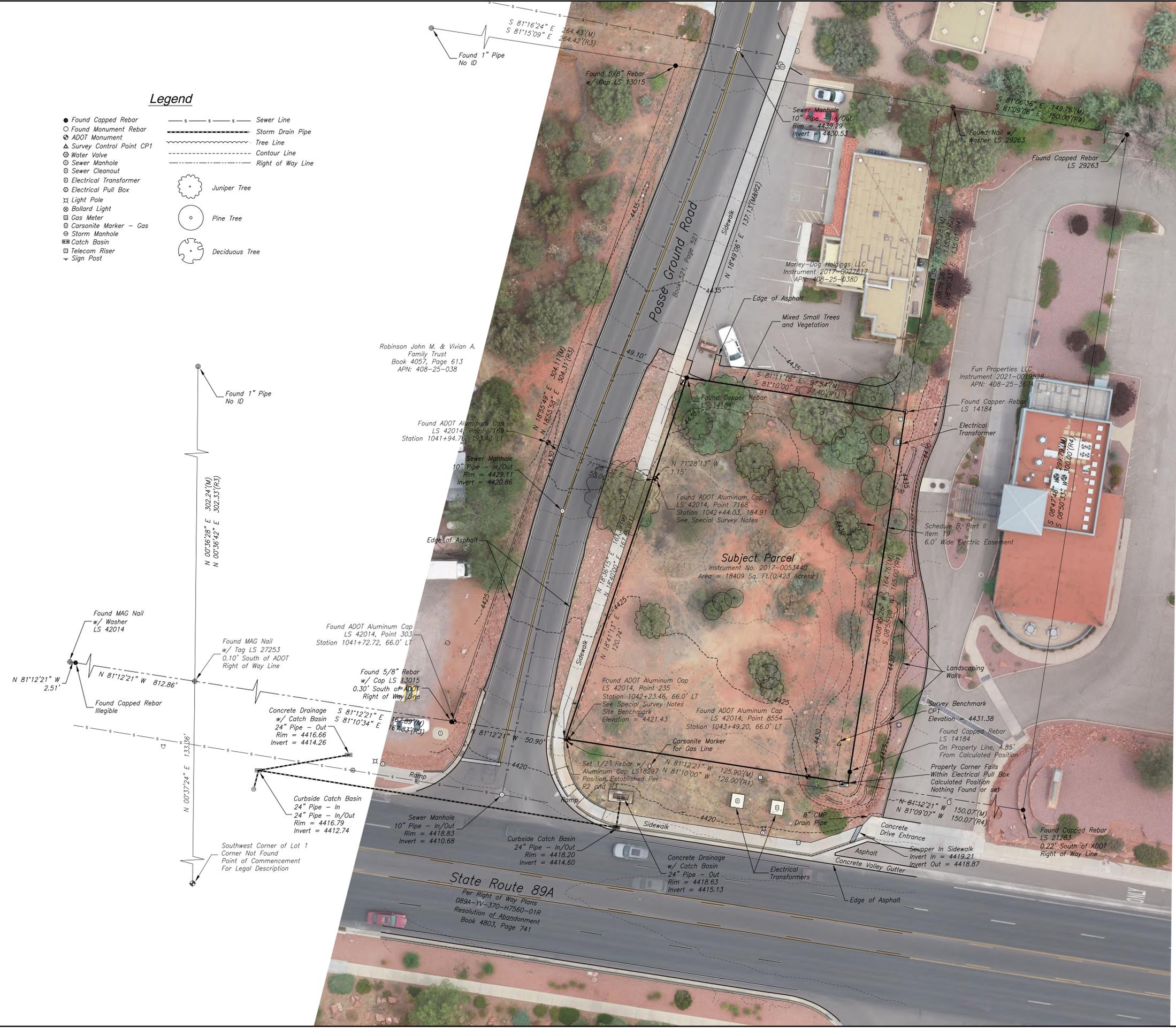


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DRAWN BY: JS/BL
DATE: 7-27-2021
SCALE: 1" = 20'
REVISIONS:



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 - ⊙ ADOT Monument
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 - ⊙ Sewer Cleanout
 - ⊙ Electrical Transformer
 - ⊙ Electrical Pull Box
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State Route 89A
Per Right of Way Plans
089A-YV-370-H7560-01R
Resolution of Abandonment
Book 4803, Page 741

Subject Parcel
Instrument No. 2017-0053440
Area = 18409 Sq. Ft.(0.423 Acres±)

Robinson John M. & Vivian A.
Family Trust
Book 4057, Page 613
APN: 408-25-038

Fun Properties LLC
Instrument 2021-0019528
APN: 408-25-367A

Marley-Dog Holdings LLC
Instrument 2017-0027617
APN: 408-25-038D

Found 1" Pipe
No ID

Found 1" Pipe
No ID

Found MAG Nail
w/ Washer
LS 42014

Found Capped Rebar
Illegible

Curbside Catch Basin
24" Pipe - In/Out
Rim = 4416.79
Invert = 4412.74

Southwest Corner of Lot 1
Corner Not Found
Point of Commencement
For Legal Description

Found ADOT Aluminum Cap
LS 42014, Point 303
Station 1041+72.72, 66.0' LT

Concrete Drainage
w/ Catch Basin
24" Pipe - Out
Rim = 4416.66
Invert = 4414.26

Sewer Manhole
10" Pipe - In/Out
Rim = 4418.83
Invert = 4410.68

Curbside Catch Basin
24" Pipe - In/Out
Rim = 4418.20
Invert = 4414.60

Found ADOT Aluminum Cap
LS 42014, Point 7169
Station 1041+94.76, 193.43' LT

Sewer Manhole
10" Pipe - In/Out
Rim = 4429.11
Invert = 4420.86

Found ADOT Aluminum Cap
LS 42014, Point 303
Station 1041+72.72, 66.0' LT

Found 5/8" Rebar
w/ Cap LS 13015
0.30' South of ADOT
Right of Way Line

Found ADOT Aluminum Cap
LS 42014, Point 235
Station 1042+23.46, 66.0' LT
See Special Survey Notes

Found ADOT Aluminum Cap
LS 42014, Point 8554
Station 1043+49.20, 66.0' LT

Found ADOT Aluminum Cap
LS 42014, Point 235
Station 1042+23.46, 66.0' LT
See Special Survey Notes

Found ADOT Aluminum Cap
LS 42014, Point 8554
Station 1043+49.20, 66.0' LT

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LS 42014, Point 8554
Station 1043+49.20, 66.0' LT

Found ADOT Aluminum Cap
LS 42014, Point 8554
Station 1043+49.20, 66.0' LT

Found Copper Rebar
LS 14184

Found ADOT Aluminum Cap
LS 42014, Point 7168
Station 1042+44.03, 184.91' LT
See Special Survey Notes

Found ADOT Aluminum Cap
LS 42014, Point 235
Station 1042+23.46, 66.0' LT
See Special Survey Notes

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LS 42014, Point 8554
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Station 1043+49.20, 66.0' LT

ALTA/NSPS LAND TITLE AND TOPOGRAPHICAL SURVEY

PORION OF LOT 1 AND LOT 2 OF SECTION 12, T. 17N, R. 5E,
G. & S.R.M., YAVAPAI COUNTY, ARIZONA.

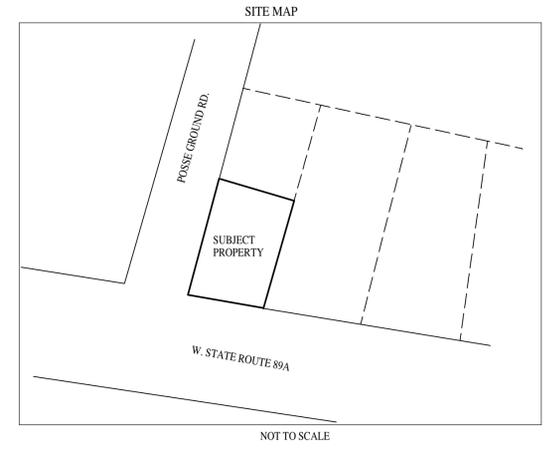
PARCEL #408-28-038R

SCALE: 1"=20'
DATE: 04/28/2021

(R)=EMPIRE WEST TITLE AGENCY
FILE NO. 78003
(R1)= BK. 4186, PG. 324
(M)=MEASURED
(C)=CALCULATED
(P.S.)= PREVIOUS SURVEY

TOPOGRAPHICAL DATA IS FROM A SURVEY DONE ON
JANUARY 14, 2013. NO ATTEMPT WAS MADE TO UPDATE
THE DATA.

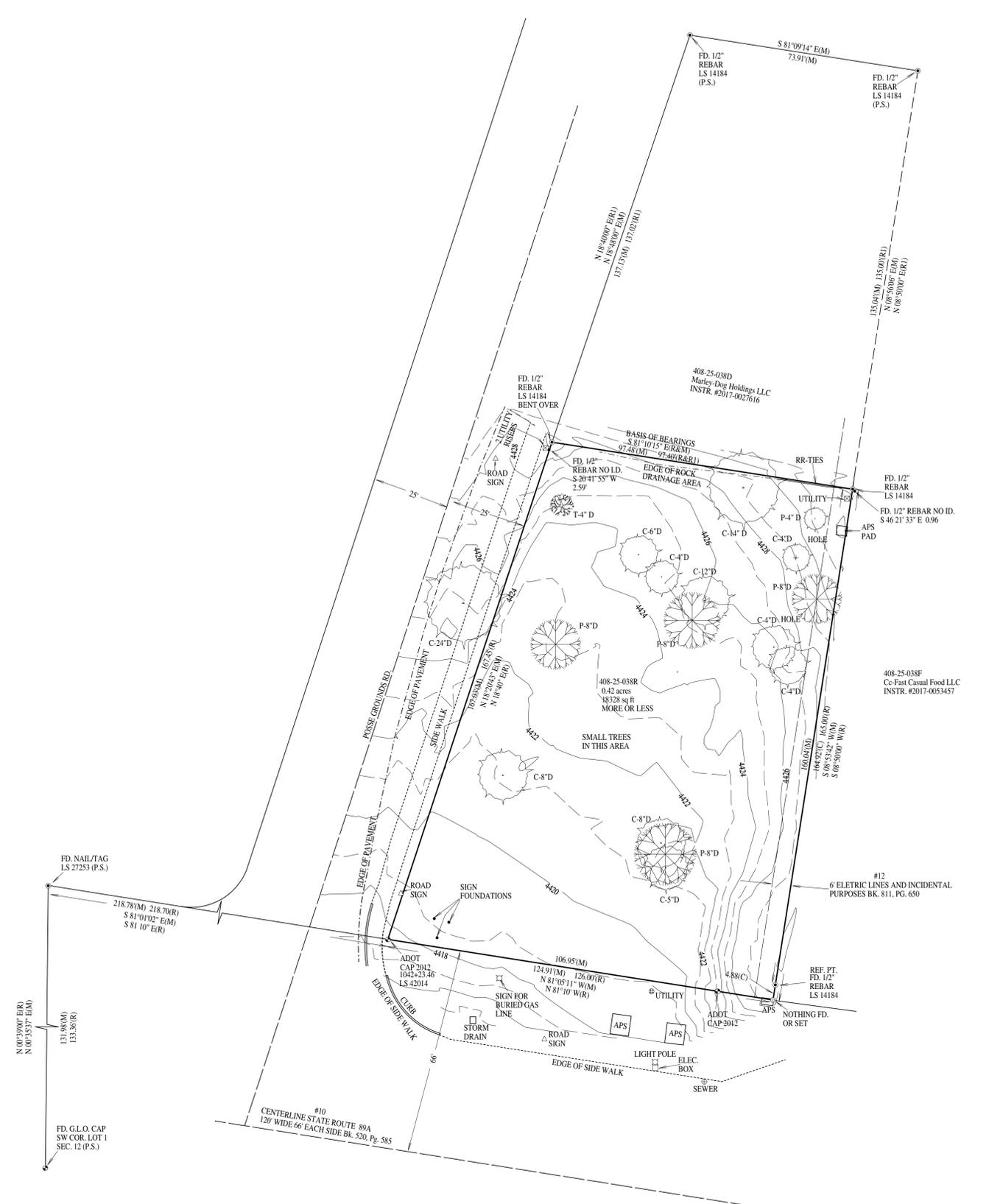
CONTOUR INTERVALS:
MAJOR=2 FT.
MINOR= 1 FT.
CONTOURS ARE FROM GPS MEASUREMENTS
AND NOT TIED TO ANY PARTICULAR DATUM.



SCHEDULE B EXCEPTION NOTES:

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company:

- A. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the Effective Date but prior to the date the proposed Insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment.
1. Water rights, claims or title to water, whether or not shown by the public records.
2. Reservations or exceptions in Patents, or in Acts authorizing the issuance thereof.
3. Liabilities and Obligations imposed upon said land by reason of its inclusion within water, improvement, fire or other districts or associations, if any.
4. Taxes for the second half of 2017, (The second half is due March 1, 2018 and is delinquent May 1, 2018).
5. Any action by the County Assessor and/or Treasurer, altering the current or prior tax assessment, subsequent to the date of the Policy of Title Insurance.
6. Easement(s) for telephone lines and incidental purposes, recorded in Book 517, page 90 of Official Records.
7. Easement(s) for road and incidental purposes, recorded in Book 519, page 520 of Official Records.
8. Easement(s) for sign and incidental purposes, recorded in Book 524, page 377 of Official Records.
9. Easement(s) for sign and incidental purposes, recorded in Book 524, page 377 of Official Records.
10. Easement(s) for highway and incidental purposes, recorded in Book 520, page 585 of Official Records.
11. Easement(s) for water main and incidental purposes, recorded in Book 638, page 768 of Official Records.
12. Easement(s) for electric lines and incidental purposes, recorded in Book 811, page 650 of Official Records.
13. Easement(s) for electric lines and incidental purposes, recorded in Book 1351, page 182 of Official Records.
14. Easement(s) for electric lines and incidental purposes, recorded in Book 1351, page 321 of Official Records.
15. All matters as set forth in recorded Disclosure for Territory in the vicinity of Sedona Public Airport.
16. Matters as shown on survey recorded in Book 175 of Land Surveys, page(s) 36.
17. Matters as shown on survey recorded in Book 183 of Land Surveys, page(s) 94.



THIS PLAT IS SUBJECT TO ALL CONDITIONS, RESERVATIONS, AND OTHER ITEMS OF PUBLIC RECORD ON THIS 28th DAY OF APRIL, 2021.

THIS PLAT DOES NOT PURPORT TO VERIFY THE OWNERSHIP OF ANY PROPERTY SHOWN OR INVOLVED IN THIS SURVEY. ANY EASEMENTS OR OTHER ENCUMBRANCES SHOULD BE DETERMINED BY A TITLE SEARCH.

SURVEYOR'S CERTIFICATE: THIS RESULTS OF SURVEY MAP AND THE FIELD SURVEY ON WHICH IT IS BASED WERE CONDUCTED DURING THE MONTH OF APRIL, 2021, UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE STANDARDS GOVERNING THE CREATION OF LAND SURVEY BOUNDARIES WITHIN THE STATE OF ARIZONA AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

- SURVEYOR'S NOTES:
1. THE WORD CERTIFY AS SHOWN OR USED HEREON MEANS AN EXPRESSION OR PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
2. THE INTENT OF THIS SURVEY IS TO PROVIDE A ALTA/NSPS SURVEY OF THE REFERENCED PROPERTY.
3. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
4. GROSS LAND AREA, 0.42 ACRES, 18328 SQ.FT. MORE OR LESS.

NOTE: TREES AS SHOWN ON THIS PLAT AND ACCOMPANYING DIGITIZED FILE ARE FOR GRAPHIC REFERENCE. CANOPY DISTANCES ARE AVERAGED FOR EACH TREE. PLEASE NOTIFY SURVEYOR FOR SPECIFIC TREE LOCATION OF ANY TREE FOR CONSTRUCTION PURPOSES AT NO ADDITIONAL CHARGE.

THIS PDF FILE IS NOT TO BE USED FOR DESIGN OR CONSTRUCTION PURPOSES. IT IS A GRAPHIC REPRESENTATION OF THE ORIGINAL PLAT. CONTACT SURVEYOR FOR AN ORIGINAL HARD COPY OR DWG FILE FOR DESIGN WORK.

- TABLE A ITEMS
1. Monuments placed or a reference monument or witness to the corner at all major corners of the boundary of the property, unless already marked or referenced by existing monuments or witnesses in close proximity to the corner. SEE PLAT.
4. Gross land area (and other areas if specified by the client). SEE PLAT.
7. Exterior dimensions of all buildings at ground level. 7.1 exterior footprint of all buildings at ground level. No buildings observed.
8. Substantial features observed in the process of conducting the fieldwork (in addition to the improvements and features required pursuant to Section 5 above) (e.g., parking lots, billboards, signs, swimming pools, landscaped areas, substantial areas of refuse). SEE PLAT.
9. Number and type (e.g., disabled, motorcycle, regular and other marked specialized types) of clearly identifiable parking spaces on surface parking areas, lots and in parking structures. Striping of clearly identifiable parking spaces on surface parking areas and lots. No parking spaces observed.
11. Location of utilities existing on or serving the surveyed property (observed evidence). SEE PLAT.
13. Names of adjoining owners according to current tax records. SEE PLAT.

CERTIFICATION

To: Farshid Paydar, and Empire West Title Agency
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1.4, 7.8, 9.11 & 13 of Table A thereof. The fieldwork was completed on 04/26/2021. Date of Plat or Map: 04/28/2021

Timothy L. Hammes, RLS 29263



04/28/2021
HAMMES SURVEYING LLC
2100 VIA SILVERADO
CAMP VERDE, AZ 86322
(928) 282-5686 (928) 567-2833

SITE IMPROVEMENT PLANS TAKE-5 OIL CHANGE

80 POSSE GROUND ROAD
SEDONA, AZ 86336

PARCEL ID: 408-25-038R
ZONED: CO (COMMERCIAL)
SITE AREA: 0.43 AC



VICINITY MAP *NTS*



Peter Schoenauer

TIDEWATER ENGINEERING, INC.
200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 EMAIL: pete@tidewatereng.com

PROJECT CONTACT INFORMATION:

ENGINEER:

TIDEWATERENGINEERING, INC.
PETER SCHOENAUER, PE
200 PLANTATION CHASE
ST. SIMONS ISLAND, GA 31522
PHONE: (912) 268-2164
pete@tidewatereng.com

SURVEYOR:

ARIZONA SURVEYING, INC.
JOHN LUCKOW
1843 HEAVENLY COURT
FLAGSTAFF, AZ 86001
PHONE: (928) 607-7092
john.luckow@azscorp.com

DEVELOPER/PROPERTY OWNER:

SEDONA TAKE FIVE, LLC
STEPHEN KNUDSEN
106 FOSTER AVENUE
CHARLOTTE, NC 28203
PHONE: (704) 496-7120
stephen.knudsen@durbandevelopment.com

UTILITY PROVIDERS:

WATER: ARIZONA WATER
SEWER: CITY OF SEDONA
ELECTRIC: ARIZONA PUBLIC SERVICE (APS)
GAS: UNISOURCE ENERGY

| REV. | DATE | DESCRIPTION | BY: |
|------|---------|---|-----|
| 1 | 3-28-22 | revised per city of Sedona comments | PSS |
| 2 | 9-7-22 | add side walk and ADOT sheet w/ pipe plan and profile | PSS |
| | | | |
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TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
COVER SHEET

| SHEET INDEX | |
|-------------|---------------------------------|
| SHEET | DESCRIPTION |
| 1 | COVER SHEET |
| 2 | STANDARD NOTES |
| 3 | EXISTING CONDITIONS/DEMO PLAN |
| 4 | STAKING PLAN |
| 5 | GRADING AND DRAINAGE PLAN |
| 6 | EROSION CONTROL PLAN / DETAILS |
| 7 | UTILITY PLAN |
| 8 | SITE DETAILS 1 |
| 9 | DRAINAGE AND UTILITY DETAILS |
| 10 | UNDERGROUND DETENTION DETAILS 1 |
| 11 | UNDERGROUND DETENTION DETAILS 2 |
| 12 | ADOT PLAN AND PROFILE |

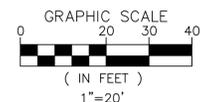
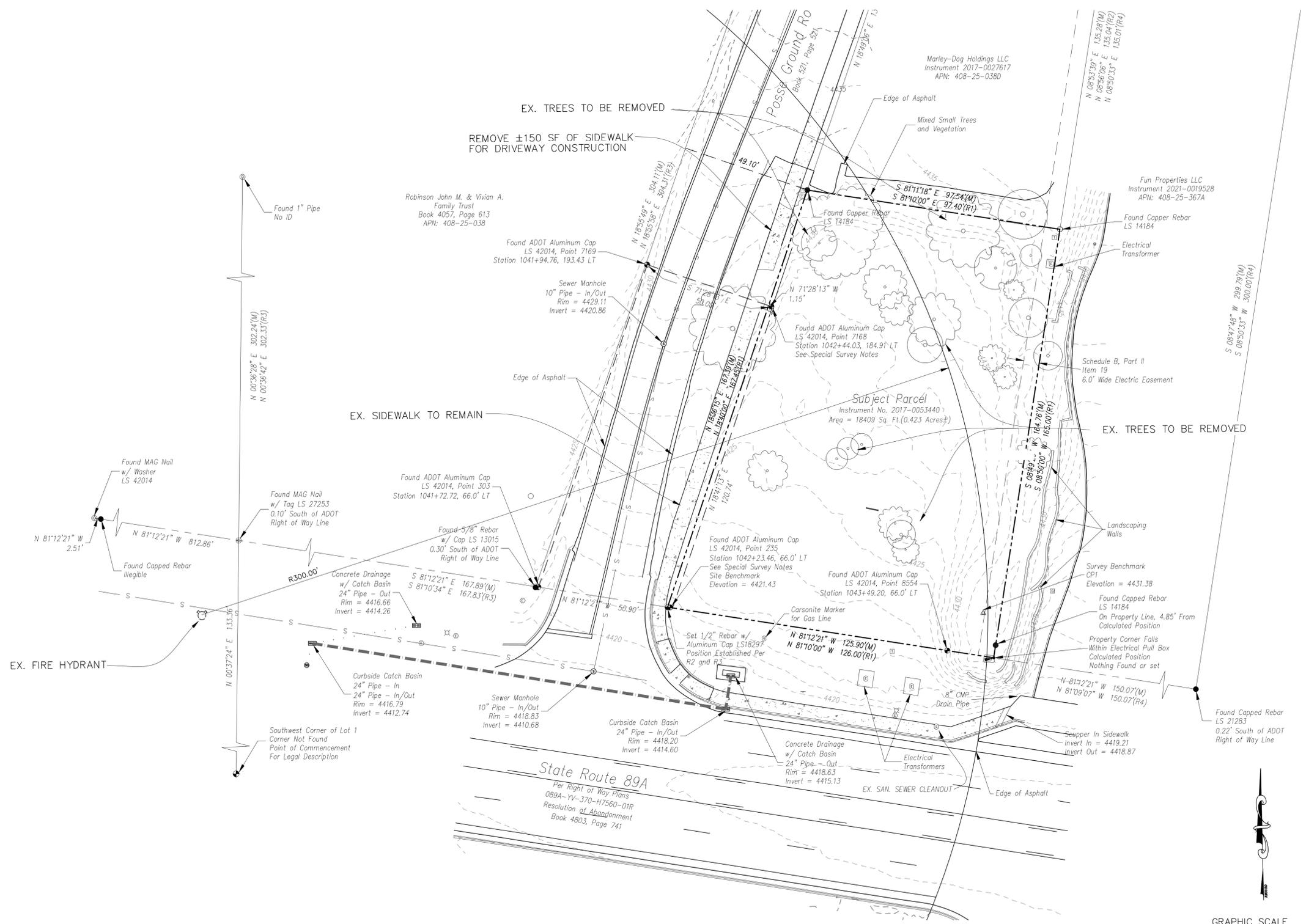
DRAWN: pss
APPROVED: pss
PROJ#: 21-041
SCALE: AS SHOWN
SHEET
1 OF 12





Peter Schoenauer

TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 EMAIL: peter@tidewatereng.com



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TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
EX. CONDITIONS/DEMOLITION PLAN

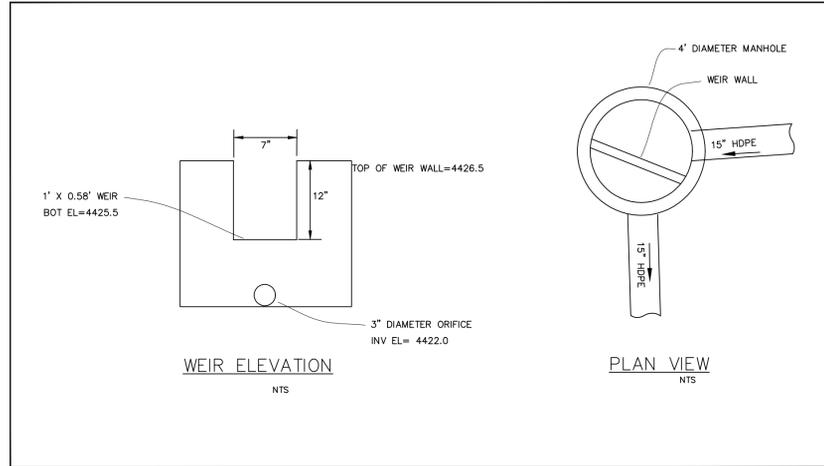
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 DATE:
 PROJ#: 21-041
 SCALE: AS SHOWN

SHEET
3 OF 12



Peter Schoenauer

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OUTLET CONTROL STRUCTURE

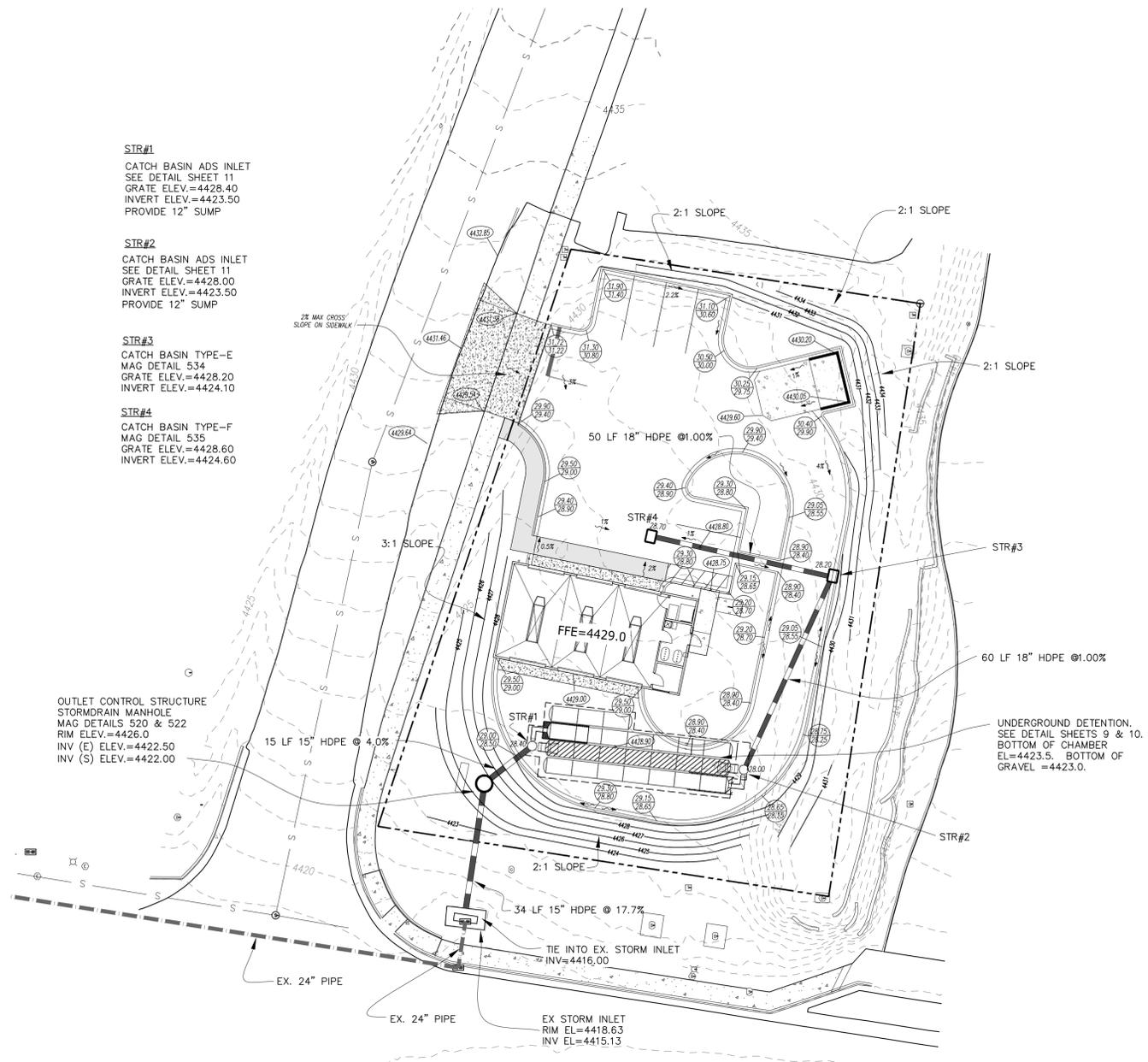
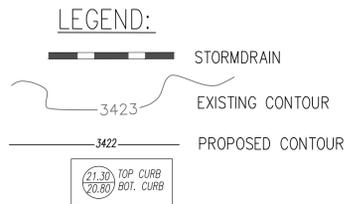
STR#1
 CATCH BASIN ADS INLET
 SEE DETAIL SHEET 11
 GRATE ELEV.=4428.40
 INVERT ELEV.=4423.50
 PROVIDE 12" SUMP

STR#2
 CATCH BASIN ADS INLET
 SEE DETAIL SHEET 11
 GRATE ELEV.=4428.00
 INVERT ELEV.=4423.50
 PROVIDE 12" SUMP

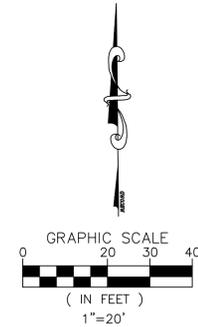
STR#3
 CATCH BASIN TYPE-E
 MAG DETAIL 534
 GRATE ELEV.=4428.20
 INVERT ELEV.=4424.10

STR#4
 CATCH BASIN TYPE-F
 MAG DETAIL 535
 GRATE ELEV.=4428.60
 INVERT ELEV.=4424.60

OUTLET CONTROL STRUCTURE
 STORMDRAIN MANHOLE
 MAG DETAILS 520 & 522
 RIM ELEV.=4426.0
 INV (E) ELEV.=4422.50
 INV (S) ELEV.=4422.00



UNDERGROUND DETENTION.
 SEE DETAIL SHEETS 9 & 10.
 BOTTOM OF CHAMBER
 EL=4423.5. BOTTOM OF
 GRAVEL =4423.0.



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TAKE-5 OIL CHANGE
 80 POSSE HILL ROAD
 SEDONA, AZ 86336
 GRADING AND DRAINAGE PLAN

DRAWN: pss
 APPROVED: pss
 DATE:
 PROJ#: 21-041
 SCALE: AS SHOWN

SHEET
 5 OF 12

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.com



Peter Schoenauer

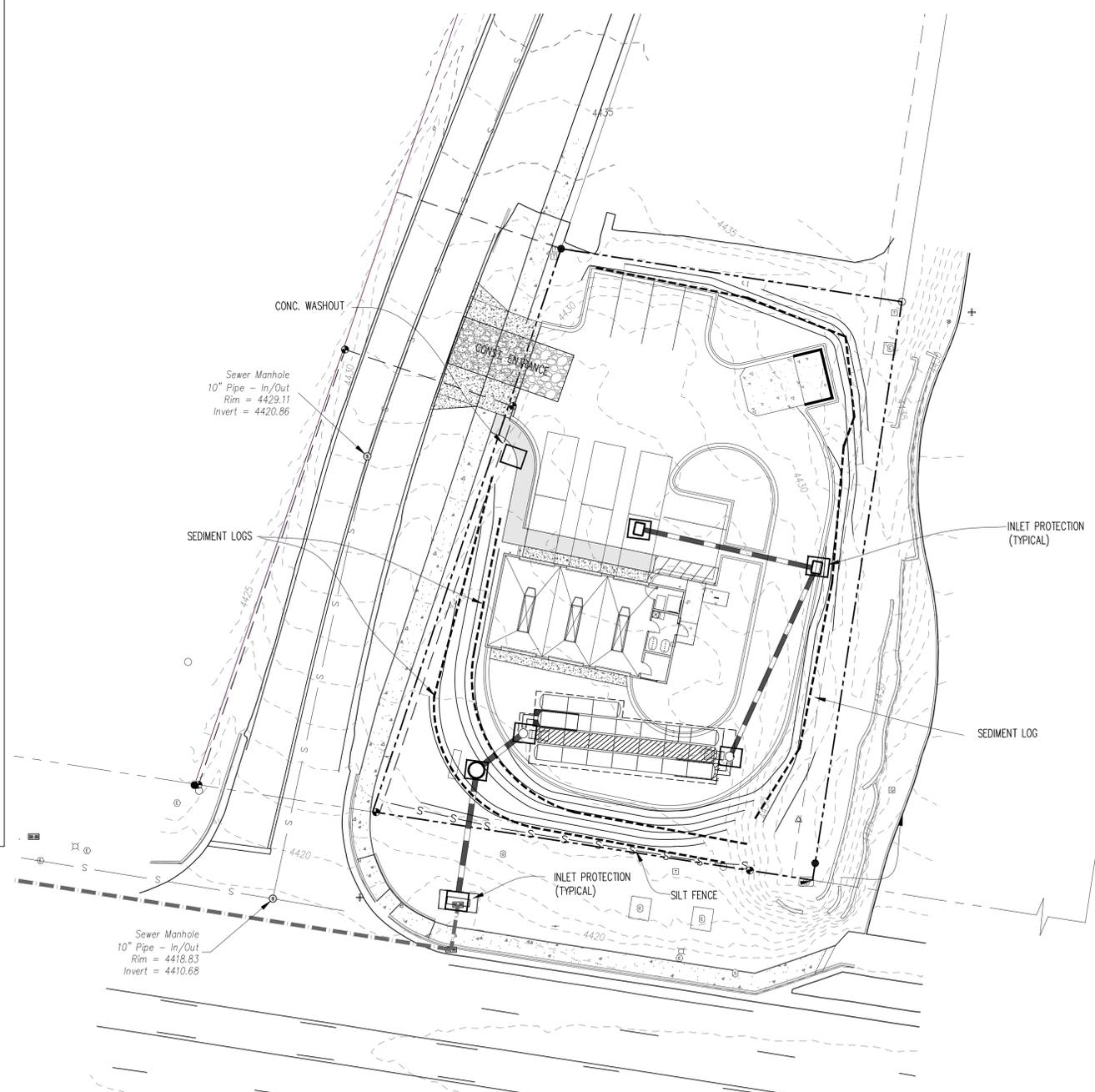
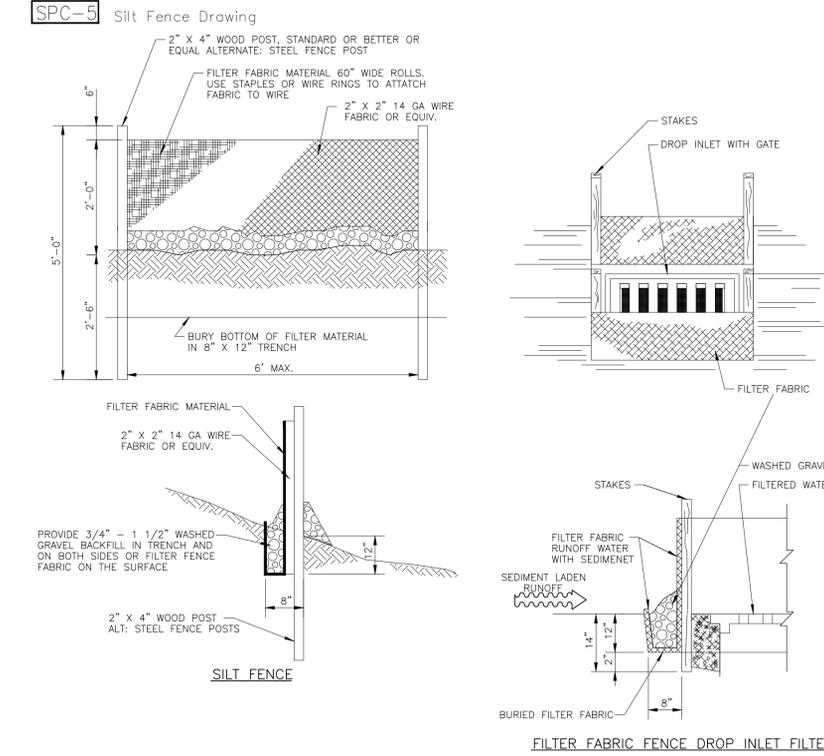
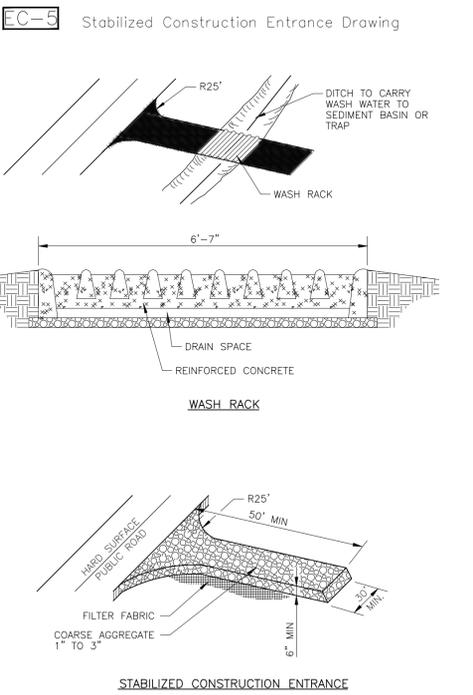
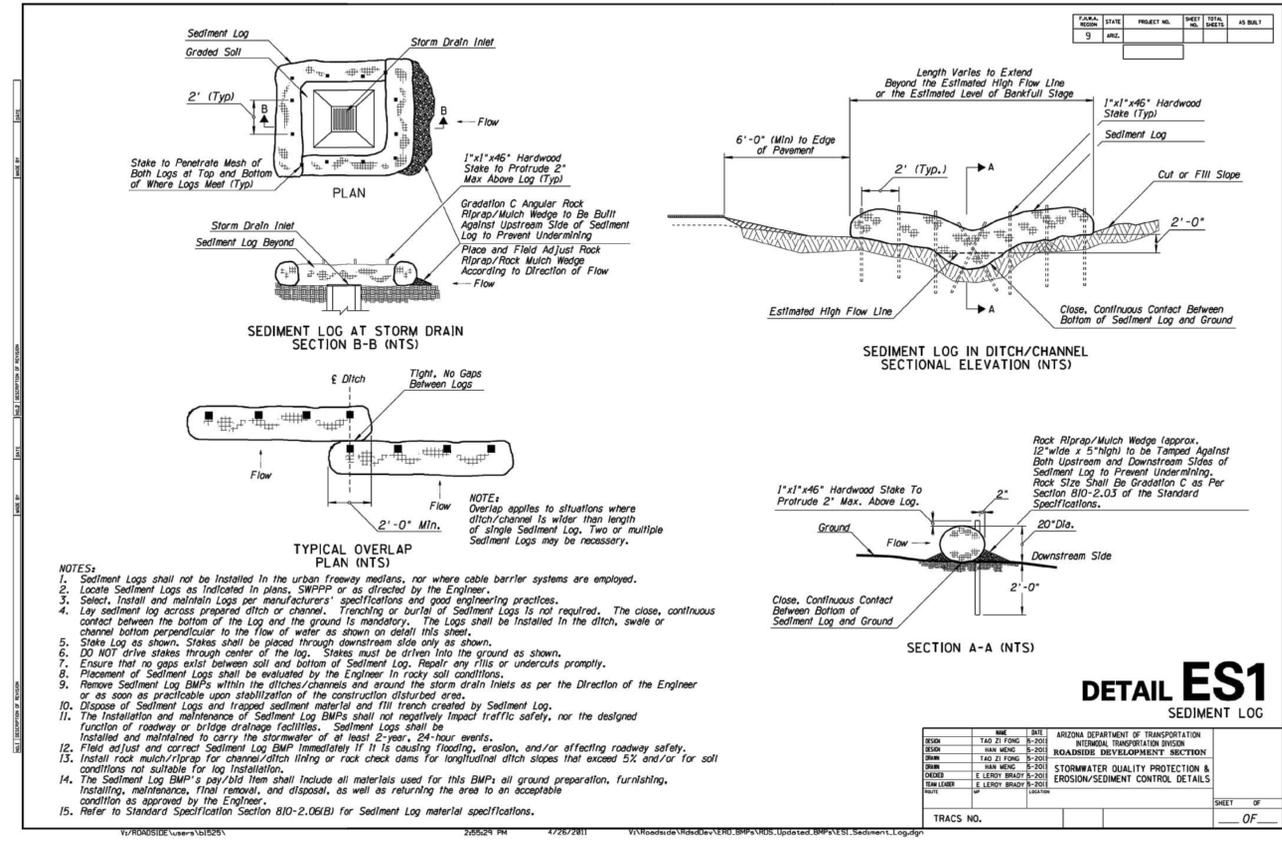
TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 EMAIL: pete@tidewatereng.com

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TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336

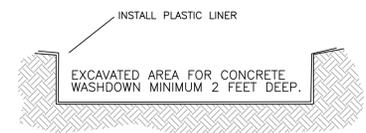
EROSION CONTROL PLAN & DETAILS

| | |
|-----------|----------|
| DRAWN: | pss |
| APPROVED: | pss |
| DATE: | |
| PROJ#: | 21-041 |
| SCALE: | AS SHOWN |
| SHEET | 6 OF 12 |



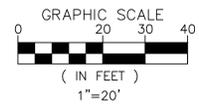
EROSION CONTROL NOTES:

1. INSTALL WADDLES ON WEST AND SOUTH SIDE OF SITE DURING BUILDING CONSTRUCTION.
2. PROVIDE INLET PROTECTION FOR ON-SITE AND OFF-SITE INLET STRUCTURES DURING CONSTRUCTION.
3. APPLY WATER AS NECESSARY FOR DUST CONTROL.
4. INSTALL SILT FENCE ALONG SOUTH PROPERTY LINE.



1. SEE PLAN FOR SIZE AND LOCATION
2. FOR WASHDOWN OF TOOLS, CHUTE AND BACK OF TRUCK ONLY.
3. NO WASHOUT OF DRUM ON SITE PERMITTED.
4. CONCRETE WASHOUT DIMENSIONS: 10' X 10'

CONCRETE WASH DOWN





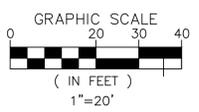
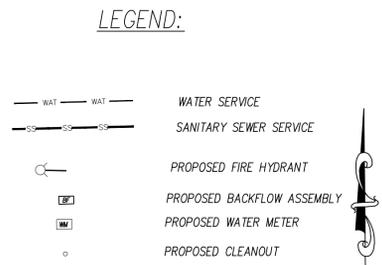
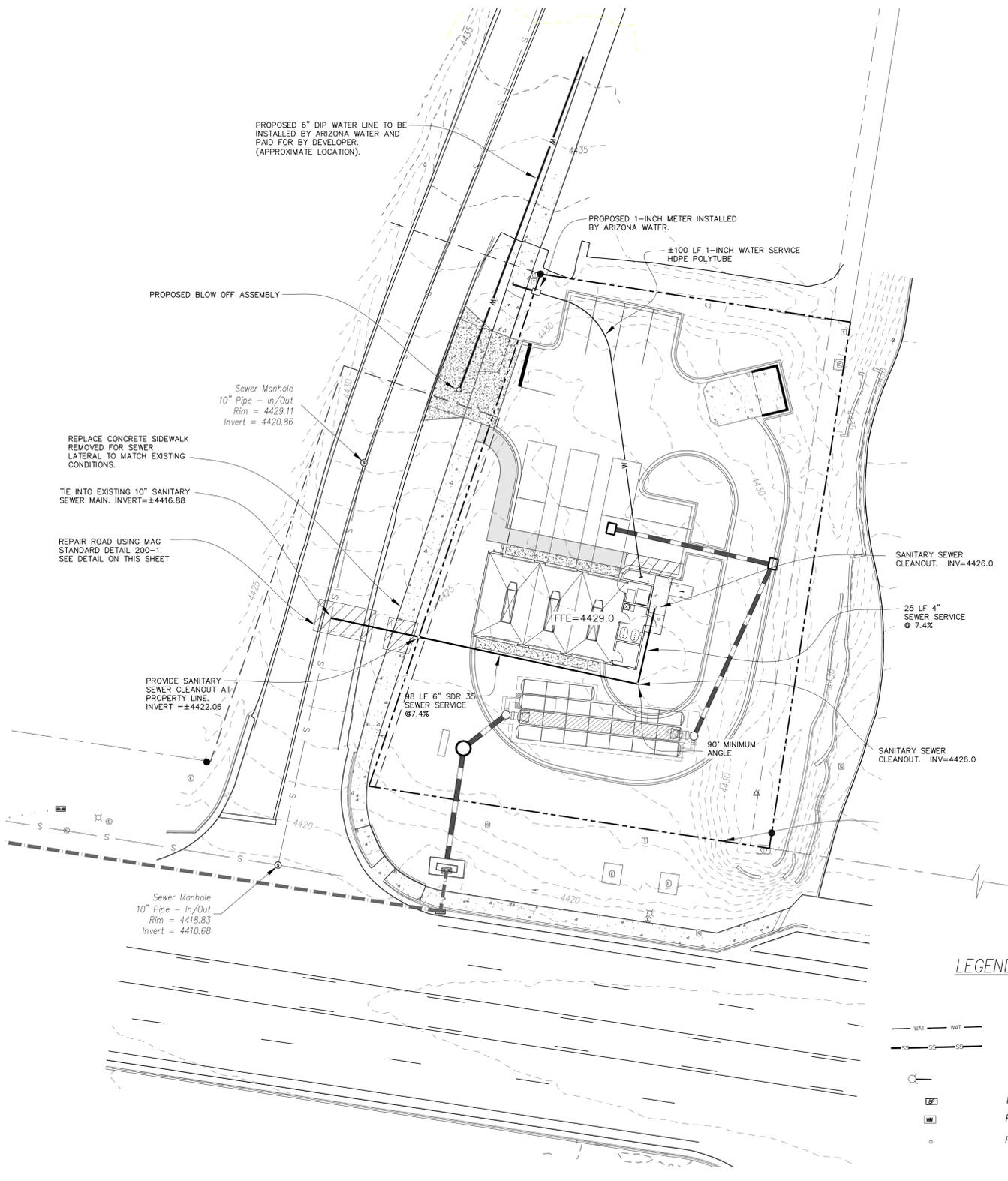
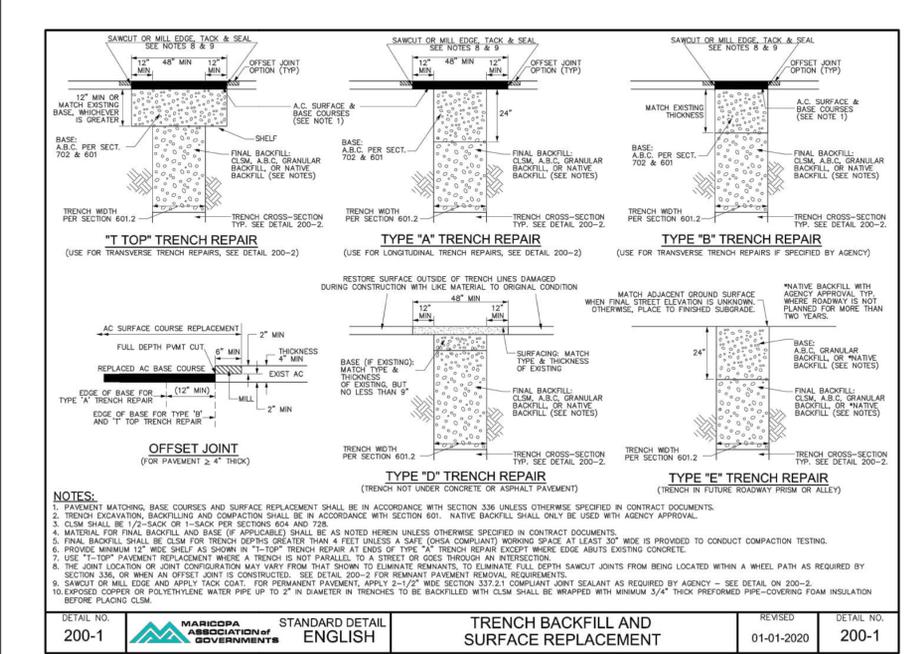
Peter Schoenauer

TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE: (912) 268-2164 EMAIL: p.schoenauer@tidewatereng.com

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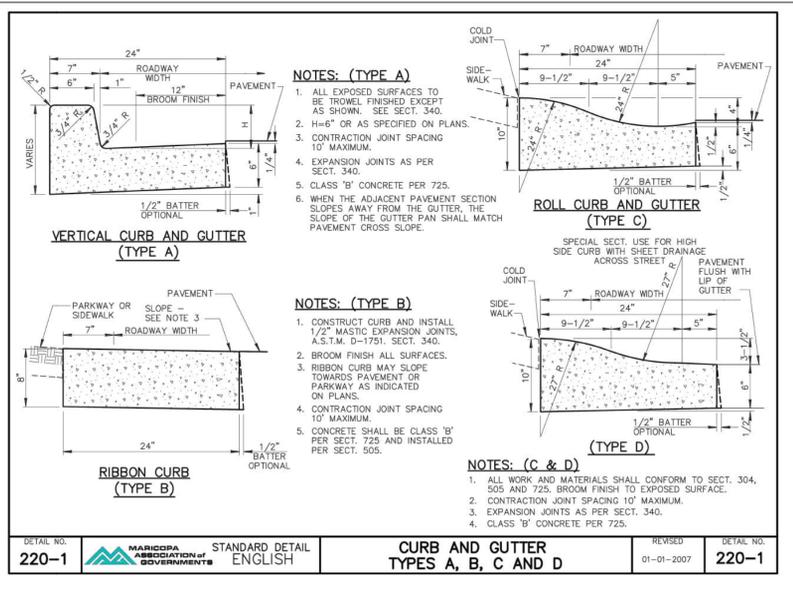
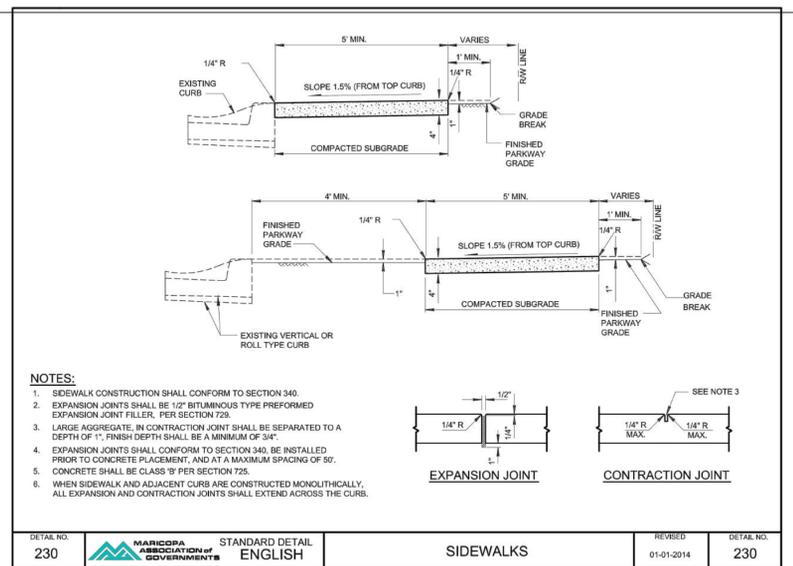
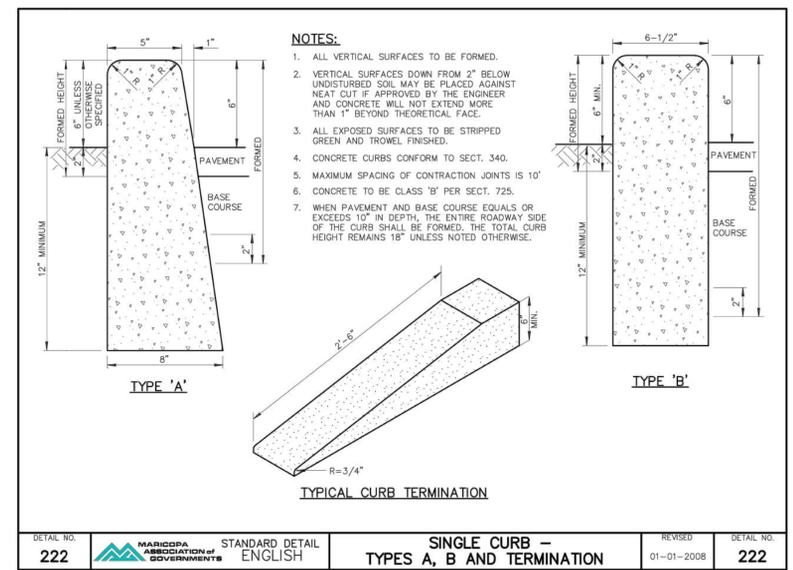
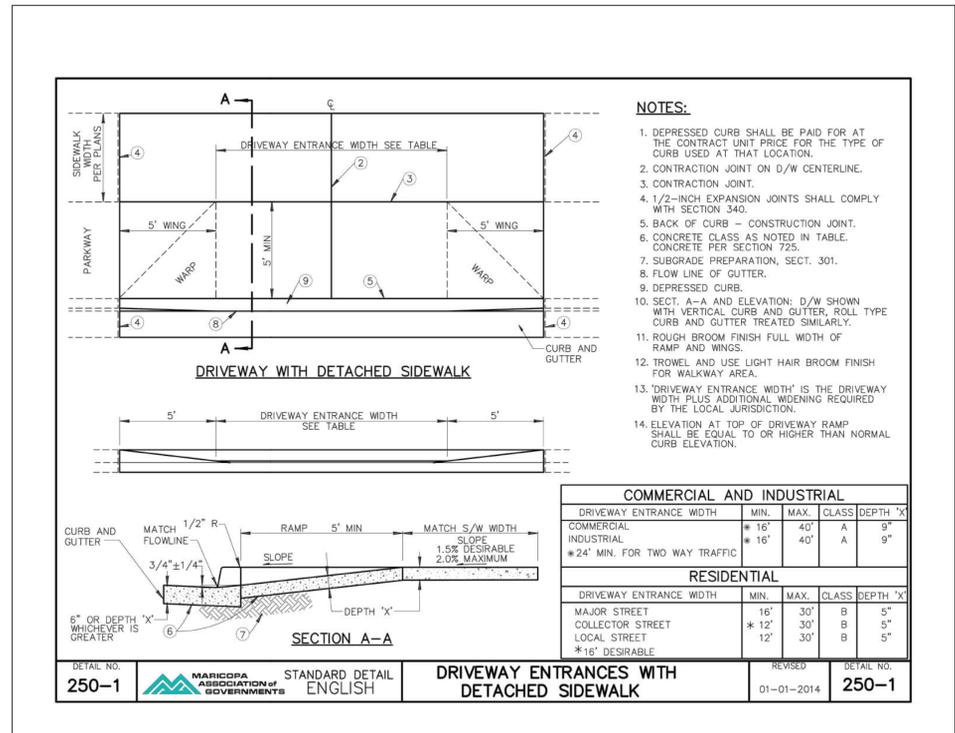
TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
UTILITY PLAN

| | |
|-----------|----------|
| DRAWN: | pss |
| APPROVED: | pss |
| DATE: | |
| PROJ#: | 21-041 |
| SCALE: | AS SHOWN |
| SHEET | 7 OF 12 |



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Call 811 or click Arizona811.com



TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
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TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
SITE DETAILS 1

DRAWN: pss
 APPROVED: pss
 DATE:
 PROJ#: 21-041
 SCALE: AS SHOWN

SHEET
8 OF 12



Peter Schoenauer

TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 EMAIL: peter@tidewatereng.com

SC-740 TECHNICAL SPECIFICATION

90.7" (2304 mm) ACTUAL LENGTH

85.4" (2169 mm) INSTALLED LENGTH
 BUILD ROW IN THIS DIRECTION

START END
 OVERLAP NEXT CHAMBER HERE (COVER SMALL CORRUGATION)

NOMINAL CHAMBER SPECIFICATIONS

| | | |
|---------------------------------|-----------------------|------------------------------|
| SIZE (W X H X INSTALLED LENGTH) | 51.0" X 30.0" X 85.4" | (1295 mm X 762 mm X 2169 mm) |
| CHAMBER STORAGE | 45.9 CUBIC FEET | (1.30 m³) |
| MINIMUM INSTALLED STORAGE* | 74.9 CUBIC FEET | (2.12 m³) |
| WEIGHT | 75.0 lbs. | (33.6 kg) |

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

PRE-FAB STUB AT BOTTOM OF END CAP WITH FLAMP END WITH "BR"
 PRE-FAB STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
 PRE-FAB STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"
 PRE-CORR END CAPS END WITH "PC"

| PART # | STUB | A | B | C |
|---------------------------|--------------|----------------|----------------|-------------|
| SC740EP06T / SC740EP06TPC | 6" (150 mm) | 10.9" (277 mm) | 18.5" (470 mm) | — |
| SC740EP06B / SC740EP06BPC | 6" (150 mm) | — | 0.5" (13 mm) | — |
| SC740EP08T / SC740EP08TPC | 8" (200 mm) | 12.2" (310 mm) | 18.5" (470 mm) | — |
| SC740EP08B / SC740EP08BPC | 8" (200 mm) | — | 0.6" (16 mm) | — |
| SC740EP10T / SC740EP10TPC | 10" (250 mm) | 13.4" (340 mm) | 14.5" (368 mm) | — |
| SC740EP10B / SC740EP10BPC | 10" (250 mm) | — | 0.7" (18 mm) | — |
| SC740EP12T / SC740EP12TPC | 12" (300 mm) | 14.7" (373 mm) | 12.5" (318 mm) | — |
| SC740EP12B / SC740EP12BPC | 12" (300 mm) | — | 1.2" (30 mm) | — |
| SC740EP15T / SC740EP15TPC | 15" (375 mm) | 18.4" (467 mm) | 9.0" (229 mm) | — |
| SC740EP15B / SC740EP15BPC | 15" (375 mm) | — | 1.3" (33 mm) | — |
| SC740EP18T / SC740EP18TPC | 18" (450 mm) | 19.7" (500 mm) | 5.0" (127 mm) | — |
| SC740EP18B / SC740EP18BPC | 18" (450 mm) | — | 1.6" (41 mm) | — |
| SC740EP24B* | 24" (600 mm) | 18.5" (470 mm) | — | 0.1" (3 mm) |
| SC740EP24B* | 24" (600 mm) | 18.5" (470 mm) | — | 0.1" (3 mm) |

ALL STUBS, EXCEPT FOR THE SC740EP24B/SC740EP24BR ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2894.

* FOR THE SC740EP24B/SC740EP24BR THE 24" (600 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL.

4650 TREIBMAN BLVD
 HILLARIO, OH 43026
 1-800-752-7473

StormTech®
 Chamber System
 888-892-2894 | WWW.STORMTECH.COM

TAKE 5 OIL CHANGE SEDONA
 SEDONA, AZ
 DATE: 3-28-22
 DRAWN BY: [blank]
 PROJECT #: [blank]
 CHECKED: N/A

SHEET 5 OF 6

NYLOPLAST DRAIN BASIN

18" (457 mm) MIN WIDTH

AASHTO H-20 CONCRETE SLAB
 8" (203 mm) MIN THICKNESS

TRAFFIC LOADS: CONCRETE DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED GIVING CONSIDERATION FOR LOCAL SOIL CONDITIONS, TRAFFIC LOADING & OTHER APPLICABLE DESIGN FACTORS.

ADAPTER ANGLES VARIABLE 0°-300° ACCORDING TO PLANS

VARIABLE SUMP DEPTH ACCORDING TO PLANS
 8" (152 mm) MIN ON 8-24" (200-600 mm),
 10" (254 mm) MIN ON 30" (750 mm)

4" (102 mm) MIN ON 8-24" (200-600 mm)
 6" (152 mm) MIN ON 30" (750 mm)

BACKFILL MATERIAL BELOW AND TO SIDES OF STRUCTURE SHALL BE ASTM D3251 CLASS 1 OR 2 CRUSHED STONE OR GRAVEL AND BE PLACED UNIFORMLY IN 12" (305 mm) LIFTS AND COMPACTED TO MIN OF 90%.

INTEGRATED DUCTILE IRON FRAME & GRATE/SOLID TO MATCH BASIN O.D.

12" (610 mm) MIN (FOR AASHTO H-20)

INVERT ACCORDING TO PLANS/TAKE OFF

VARIOUS TYPES OF INLET AND OUTLET ADAPTERS AVAILABLE: 4-30" (100-750 mm) FOR CORRUGATED HDPE

WATERTIGHT JOINT (CORRUGATED HDPE SHOWN)

NOTES

- 8-30" (200-750 mm) GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 12-30" (300-750 mm) FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS
- DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS & HANCOR DUAL WALL) & SDR 35 PVC
- FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST-US.COM
- TO ORDER CALL: 888-821-4718

| A | PART # | GRATE/SOLID COVER OPTIONS |
|-----|--------|---|
| 8" | 2808AG | PEDESTRIAN LIGHT DUTY / STANDARD LIGHT DUTY / SOLID LIGHT DUTY |
| 10" | 2810AG | PEDESTRIAN LIGHT DUTY / STANDARD LIGHT DUTY / SOLID LIGHT DUTY |
| 12" | 2812AG | PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20 |
| 15" | 2815AG | PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20 |
| 18" | 2818AG | PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20 |
| 24" | 2824AG | PEDESTRIAN AASHTO H-10 / STANDARD AASHTO H-20 / SOLID AASHTO H-20 |
| 30" | 2830AG | PEDESTRIAN AASHTO H-20 / STANDARD AASHTO H-20 / SOLID AASHTO H-20 |

4650 TREIBMAN BLVD
 HILLARIO, OH 43026
 1-800-752-7473

Nyloplast®
 770-832-2441 | WWW.NYLOPLAST-US.COM

TAKE 5 OIL CHANGE SEDONA
 SEDONA, AZ
 DATE: 3-28-22
 DRAWN BY: [blank]
 PROJECT #: [blank]
 CHECKED: N/A

SHEET 6 OF 6

| REV. | DATE: | DESCRIPTION |
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TAKE-5 OIL CHANGE
 80 POSSE HILL ROAD
 SEDONA, AZ 86336

STORMTECH CHAMBER DETAILS

DRAWN: pss
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 DATE:
 PROJ#: 21-041
 SCALE: AS SHOWN

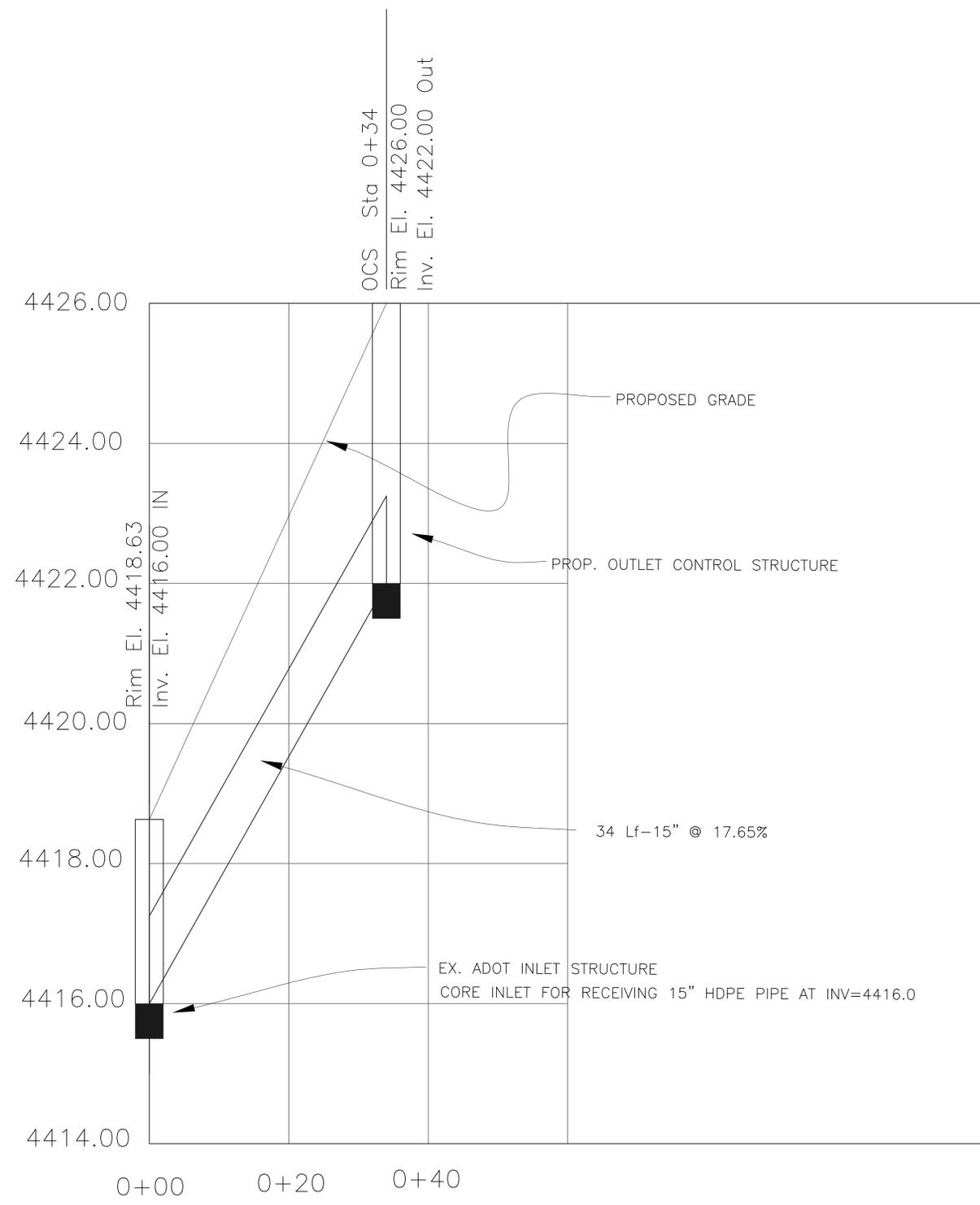
SHEET
 11 OF 12



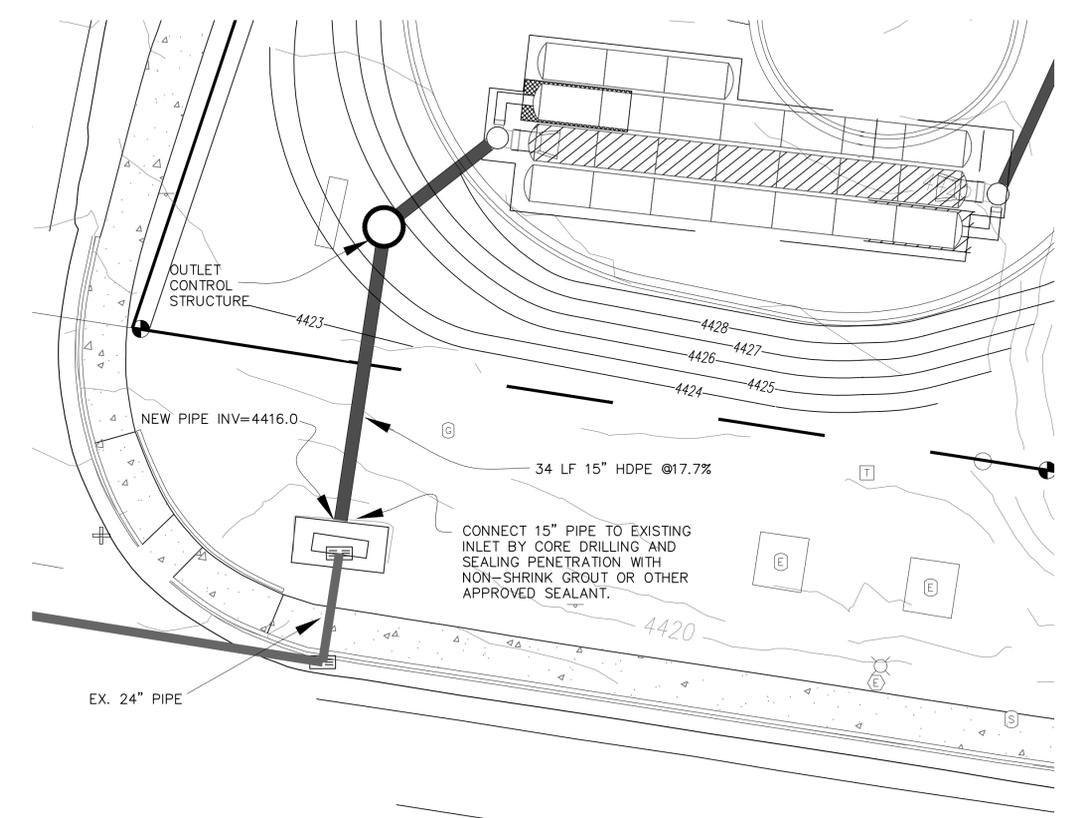
Peter Schoenauer

TIDEWATER
ENGINEERING, INC.

200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA, 31522
PHONE (912) 268-2164 EMAIL: pete@tidewatereng.com

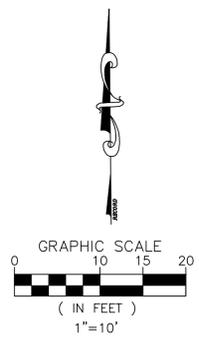


SCALE: 1(in) = 10 (ft) H, 1(in) = 1(ft) V



LEGEND:

- STORMDRAIN
- 3423 EXISTING CONTOUR
- 3422 PROPOSED CONTOUR
- 21.30 TOP CURB, 170.80 BOT. CURB



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TAKE-5 OIL CHANGE
80 POSSE HILL ROAD
SEDONA, AZ 86336
ADOT PLAN AND PROFILE

| | |
|-----------|----------|
| DRAWN: | pss |
| APPROVED: | pss |
| DATE: | |
| PROJ#: | 21-041 |
| SCALE: | AS SHOWN |

SHEET
12 OF 12



PROJECT

The Parcel is Zoned CO - Commercial The area of development is 0.43 acres.
 The aerial photo shows the project site and the existing trees on the site.
 The primary trees observed on the project site is the Velvet Mesquite, Arizona Cypress, Pinyon pine, Utah Juniper and Tree of Heaven. Several Trees will be preserved-in-place (PIP) and the rest removed from site (RFS) as they are located within the site improvement footprint.

EXISTING TREES DISPOSITION

- Tree to be "PIP" - Preserved On Site
- Tree to be "RFS"- Removed from site.

EXISTING TREE SUMMARY

| Scientific Name | Common Name |
|---------------------------------|----------------|
| PV <i>Prosopis velutina</i> | Mesquite |
| PE <i>Pinus edulis</i> | Pinyon Pine |
| CG <i>Cupressus Glabra</i> | Az. Cypress |
| JD <i>Juniperus osteosperma</i> | Utah Juniper |
| AA <i>Ailanthus altissima</i> | Tree of Heaven |

- 19- Trees on site
- 4 - Tree preserved on-site
- 15 - Trees removed from on-site

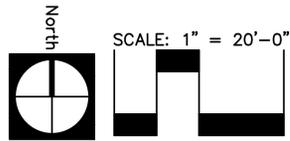
Disposal of Removed Trees:
 Trees that are cut down shall be removed from the lot or parcel within two weeks, chipped on site, or cut and stored for firewood on the property in a manner that does not encourage the propagation of insects or risk of wildfire.

Tree Protection During Construction Activities:
 Trees that are to remain on site shall be protected during all construction activities to prevent root damage, soil compaction and trunk or limb damage.

All trees to designated to remain on site shall be fence during construction to avoid compaction of the root system and low branches from being broken.

Protective fencing and barriers shall be no smaller than one foot past the diameter of the drip-line of the tree to be saved and shall be a minimum of 3 feet in height.

Fencing is required during construction for individual Protected trees to be preserved in place. The area to be fenced shall be beyond the "drip-line". Four foot (4') height orange Tensor fencing shall be erected.



| NO. | DATE | REVISION |
|-----|------|----------|
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| | | |
| | | |

**TAKE - 5 OIL CHANGE
 SEDONA, ARIZONA
 PARCEL I.D. 408-25-038R**

OWNER

SITE ADDRESS
 80 POSSE HILL ROAD
 SEDONA, ARIZONA 86336

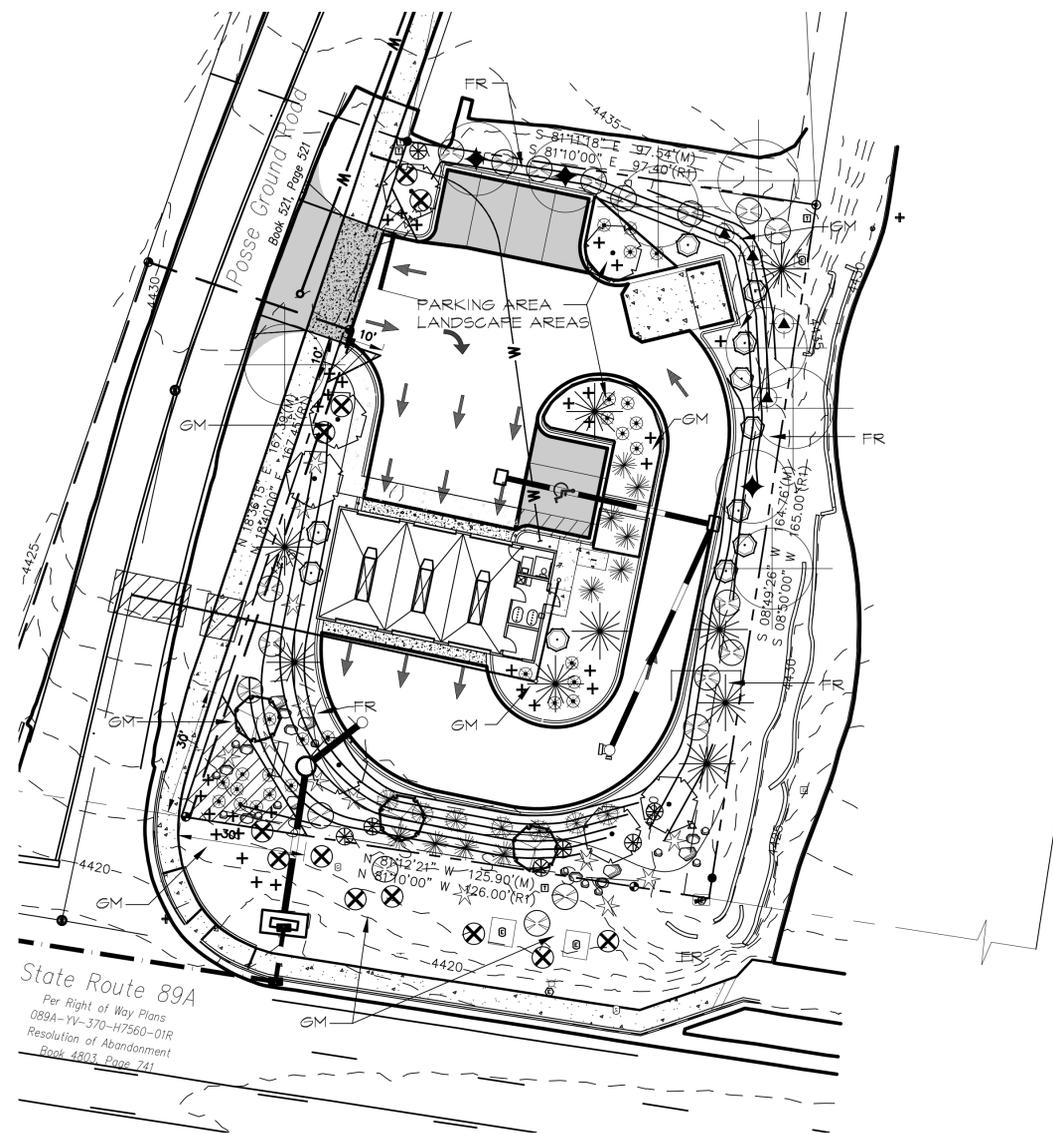
SHEET NUMBER

TREE PRESERVATION PLAN
 PZ21-00023

JOHN HUCKO - LANDSCAPE ARCHITECT
 5236 N. STONEHOUSE PL.
 TUCSON, ARIZONA 85750
 P: (520) 400.8529
 E: jhucko789@comcast.net

PROJECT NO: 21-71 DATE: 09/06/22





PLANT LEGEND

BOTANICAL NAME:
COMMON NAME:

SIZE: TYPE: QTY: GPH:

SYMBOL TREES:

| | | | | | |
|--|---|--------------|---|---|---|
| | <i>Cercis occidentalis</i> Western Redbud | Min. 2" Cal. | A | 7 | 8 |
| | <i>Pinus edulis</i> Pinyon Pine | 8' Tall | N | 9 | 8 |
| | <i>Chilopsis linearis</i> Desert Willow | Min. 2" Cal. | N | 3 | 8 |
| | <i>Cupressus arizonica</i> 'glabra' Arizona Cypress | 8' Tall | N | 3 | 8 |
| | Existing Trees - To Remain in Place Prune and remove lower branches, damaged branches and deadwood. Irrigate all trees to remain in place with 1 - 2 GPH Multi-Port Emitter for a total of 8 GPH. | | | | |

SHRUBS AND ACCENTS

SIZE: TYPE: QTY: GPH:

| | | | | | |
|--|--|---------|---|----|----|
| | <i>Berbis fremontii</i> Fremont Barberry | 2' Tall | N | 11 | 2 |
| | <i>Arctostaphylos pungens</i> Pointleaf Manzanita | 2' Tall | N | 19 | 2 |
| | <i>Larrea tridentata</i> Creosote | 2' Tall | N | 4 | 1 |
| | <i>Yucca Elata</i> Soaptree Yucca | 15 Gal. | N | 12 | .5 |
| | <i>Calliandra eriophylla</i> Fairy Duster | 2' Tall | A | 6 | 2 |
| | <i>Hesperaloe parviflora</i> "Breaklights" Red Aloe | 2' Tall | A | 25 | 1 |
| | <i>Rhus Ovata</i> Sugar Bush | 2' Tall | N | 7 | 2 |
| | <i>Dalea formosa</i> Feather Dalea | 2' Tall | N | 11 | 1 |
| | <i>Juniperus sabrina</i> "Buffalo" Buffalo Juniper | 2' Tall | A | 12 | 2 |
| | <i>Rosmarinus officinalis</i> Prostrate Rosemary | 1 Gal. | A | 28 | 1 |

BOULDERS:
Note: Native Surface Select - Weathered Boulders - Native to the area Sizes Are Approximate -

- 18" x 24" x 2'
- 2' x 3' x 2'
- 4' x 4' x 3'

INERT GROUNDCOVERS:
GM Granite Mulch: 1-1/4" Minus - "Sedona Red" - Min. 2" Depth
FR Fractured Rock 4" Minus "Sedona Red"
Rock shall be angular, fractured rock material

Pre-Emergent Herbicide: All landscape areas shall be treated with Surflan per-emergent herbicide or approved equal. Herbicide shall meet all applicable local, State and Federal environmental and labeling laws. Under no circumstances shall a soil sterilant be used on the site. Submit specification to Owners Representative for review and approval prior to application. Apply herbicide per manufacturer's recommendations.

All granite mulch and rock rip-rap areas shall be watered settled. Wash off all boulders at completion

- GENERAL NOTES**
1. Contractor shall visit site and examine existing conditions prior to submitting a bid.
 2. Prior to commencing work on site arrange an on-site meeting with the Owner or his Representative.
 3. Contractor is required to contact Blue Stake to identify and locate all existing utilities prior to any type of excavation on site. Any damage to underground utilities or structures shall be repaired at the Contractors expense.
 4. Submit to Owner's Representative manufacturers or vendors certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with the specified soil amendments.
 5. Plant quantities are provided as a convenience to the contractor only. Actual plant symbols shown on plans take precedence.

- LANDSCAPE MAINTENANCE**
- It shall be the responsibility of the owner, lessee, heirs, agent, homeowners association or other liable entity of the property to permanently maintain all approved landscaping in accordance with the approved landscape plan.
1. Required maintenance shall include regular watering, pruning, mowing, fertilizing, clearing of debris and weeds, removal and replacement of dead plants and repair and replacement of irrigation systems and architectural features.
 2. Any required plant materials not surviving shall be replaced with plants of the same variety and quality as those removed within 30 days of their demise or in the next planting period. This requirement may be waived by the director if the remaining landscaping on site satisfies the minimum landscape requirements.
 3. Failure to maintain approved landscaping shall constitute a violation of the LDC.
 4. Maintenance of the landscaping within public right-of-way shall be included in accordance with the terms of encroachment permits authorizing such landscaping.
 5. All plants shall be allowed to grow in natural patterns. Over-pruning plants into unnatural shapes is prohibited.
 6. Vegetation shall be selected, placed and maintained, so that at maturity it does not interfere with utility lines, building, traffic sight lines, vehicular parking, pedestrian circulation, and property rights of adjacent owners, and would not significantly damage or create upheaval of sidewalks and pavement.

ADOT NOTES:

1. Materials within SVT's shall be placed so as not to interfere with a visibility plane described by two horizontal planes 24" and 72" above finish grade of the travel lane. All shrub heights in the SVTs shall be maintained 24" and below and tree canopy's shall be maintained at a minimum 72".
2. All required maintenance shall be provided by Take-5 Oil Change and its successors. Maintenance shall include weekly trash pick-up, pruning, plant replacement, irrigation repair and seasonal irrigation scheduling adjustment.

LANDSCAPE CALCULATIONS

SITE AREA = 18,730 S.F.
LESS BUILDING/PARKING AREA = 10,026 S.F.

SITE LANDSCAPE AREA = 8,704 S.F.

LANDSCAPE REQUIREMENTS
1 TREE/ 400 S.F. ± 4 SHRUBS /400S.F.
No. Trees Required = 22 - Trees provided = 22
No. Shrubs required = 87 - Shrubs provided = 107

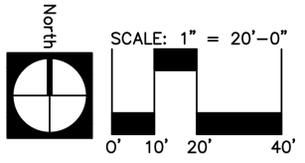
PARKING AREA LANDSCAPE REQUIREMENTS
PARKING LOT AREA 7,775 S.F.
10% = 775 S.F.- REQUIRED - 800 S.F. PROVIDED
PARKING LOT LANDSCAPE AREA

LANDSCAPE PLAN
P221-00023

JOHN HUCKO - LANDSCAPE ARCHITECT
5236 N. STONEHOUSE PL.
TUCSON, ARIZONA 85750
P: (520) 400.8529
E: jhucko789@comcast.net

PROJECT NO: 21-71 DATE: 09/06/22

- LANDSCAPE NOTES**
1. Prior to plant pit excavation all plants shall be located in the field with flagging or stakes and approved by Landscape Architect or Owner's Representative.
 2. All plants shall be nursery grown unless otherwise noted. Plants shall be healthy, well formed and well branched, vigorous, symmetrical and free from pests and diseases. They shall conform in quality and size to the American Nursery Stock and the Arizona Nursery Association Growers committee recommended tree specifications. Plant materials shall be protected adequately during transport and delivery. Contractor to assure all plants are adequately watered while on site.
 3. Trees shall be staked per detail.
 4. All plant pits shall drain at a minimum rate of 6" per 2 hours. Plant pits in caliche shall be deepened to a sufficient depth to meet the 6" per 2 hour minimum.
 5. Soil conditioner/compost shall consist of composted ground or shredded fir or pine bark shavings. Maximum pH 7.5, 85% shall pass a one-quarter screen. Nitrogen stabilized, minimum of 0.5% nitrogen. Submit Laboratory analysis to Landscape Architect / Owners Representative for review and approval prior to use.
 6. Fertilizer - Slow release tablets, Agriform 20-10-5 slow release, 21 gram tablets or approved equal for trees and shrubs. Agricultural gypsum (c) Powdered soil sulfur (85-95% pure soil sulfur). Fertilizers shall be delivered to the site in un-opened containers, each fully labeled and bearing the name or trademark and warranty of the producer. Submit product specifications for review and approval by Owner's Representative.
 7. Plant pit backfill mix shall consist of 65% site soil and 35% soil conditioner/compost. Site soil shall be mixed with six (6) pounds of agricultural gypsum and one (1) pound of powdered soil sulfur for each cubic yard of backfill mix. The backfill mix shall be an homogenous blend of the required materials. Place one (1) Agriform tablet for each 1-gallon plant, two (2) tablets each for 5 - gallon plants and three (3) tablets for trees. Evenly distribute tablets around the plant rootball in the backfill mix.
 8. Backfill mix shall well worked about the rootball and settled by tamping and watering and be at the required finish grade as shown for water-harvesting basins.
 9. The Contractor shall at all times keep the area of his work in a neat and orderly condition, insofar as the storage of material and the removal of dirt and debris caused by his work operations, cleaning up of debris, etc. shall be explicitly followed. Upon completion of work the Contractor shall thoroughly clean all paving, walls, curbs boulders, etc. by sweeping area and washing the area with water from a pressurized hose.

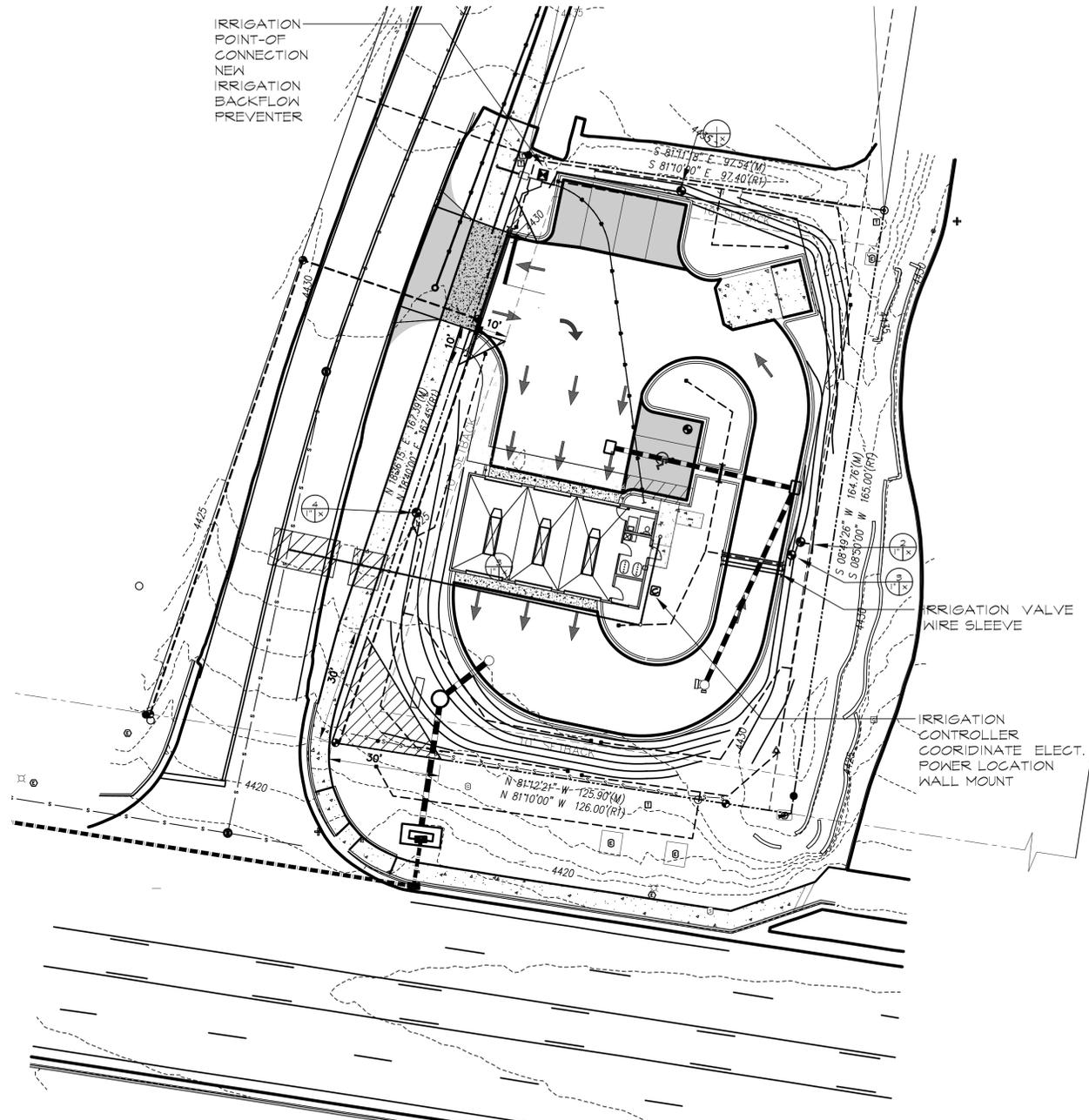


TAKE - 5 OIL CHANGE
SEDONA, ARIZONA
 PARCEL I.D. 408-25-038R

OWNER

SITE ADDRESS

SHEET NUMBER

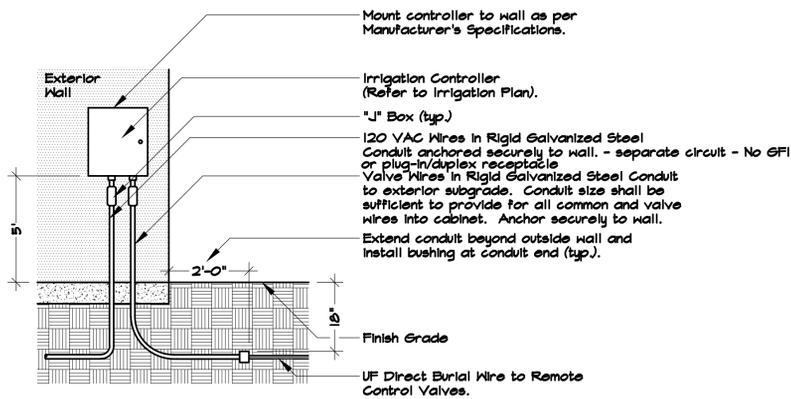
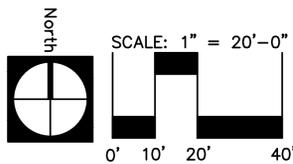


IRRIGATION LEGEND

- Symbol Manufacture Description
- Water Meter - Irrigation P.O.C
 - HUNTER I-CORE 6 Station #IC-600-PL - Wall-Mount,
 - FEBCO Reduced Pressure Backflow Preventer, Febco 825Y - 3/4". w/ Guardshack security cabinet.
 - RAIN BIRD XCZ - 100-PRB-COM 1"- Control Zone Kit
 - Sch 40 PVC Mainline - 3/4"
 - Sch 40 PVC 2" Sleeve.
 - SCH 40 PVC Lateral line - size as shown.
 - CL 200 PVC 3/4" CL 200 PVC Drip Irrigation Lateral w/ Rain Bug XBT-20-6 Multi-outlet Emitter @ 2 GPH each Outlet XBT-20 Single-outlet Emitter @ 2 GPH w/ RBT-220V Distribution Tubing.
 - Lasco AP-075 - 3/4" Hose End Flush Cap.
- VALVE IDENTIFIER SIZE GPM

IRRIGATION NOTES

1. Plan is schematic only. All mainlines, valves, etc. shall be placed within planting areas wherever possible.
2. The entire irrigation system shall satisfy all code requirements and be installed as per manufacturers' specifications.
3. Contractor shall sleeve all mainlines (2" or less), valve wires and laterals under all paved surfaces and walls, extending sleeves 1 foot from edge of paved surface or wall. Mainlines greater than 2 inches in diameter shall be direct buried. Contractor shall coordinate sleeve installation through wall/footing to bring irrigation into the planters located in the storage/parking area.
4. Contractor shall coordinate installation of drip irrigation lines prior to installation of plant material with the Owner's Representative.
5. Trees to be irrigated by multi-outlet emitters. Shrubs and groundcover to be irrigated by single-outlet emitters.
6. Contractor shall apply for Reduced Pressure Backflow Preventer permit from Dept. of Water Backflow Prevention Department.
7. All irrigation equipment shall be as specified, or approved equal per the discretion of the owner.
8. The Irrigation system has been designed for a minimum static water pressure of 50 PSI. Contractor shall verify water pressure in the field before construction and notify to owner/general contractor of any discrepancy.



NOTES:
All wiring to be installed as per City Code.
Refer to Electrical Plans for location and power source.

1 WALL-MOUNTED IRRIGATION CONTROLLER
NTS

| NO. | DATE | REVISION |
|-----|------|----------|
| | | |
| | | |
| | | |
| | | |

TAKE - 5 OIL CHANGE
SEDONA, ARIZONA
PARCEL I.D.408-25-038R

OWNER

SITE ADDRESS
80 POSSE HILL ROAD
SEDONA, ARIZONA 86336

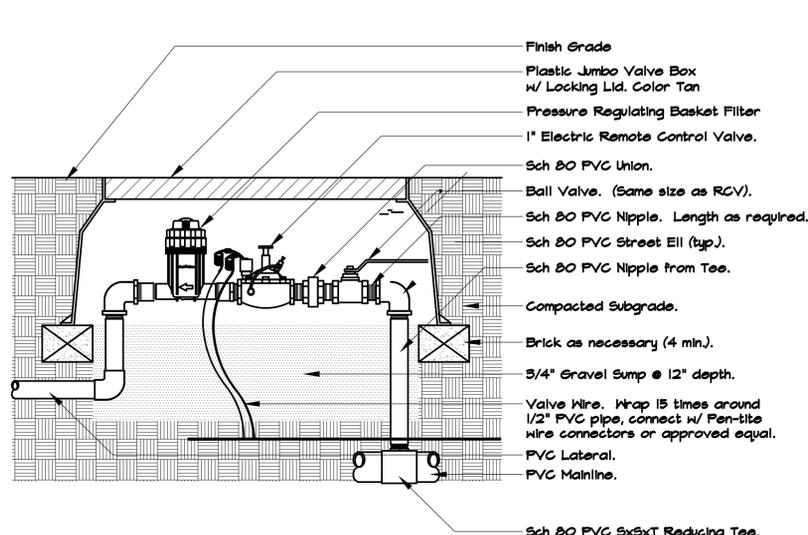
SHEET NUMBER

IRRIGATION PLAN
PZ21-00023

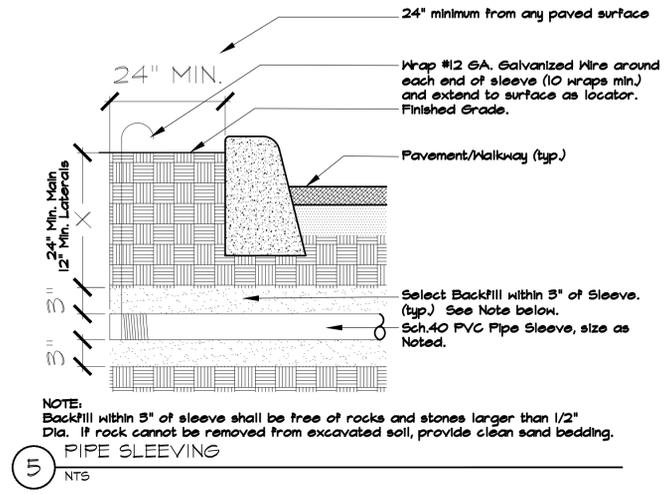
JOHN HUCKO - LANDSCAPE ARCHITECT
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PROJECT NO: 21-71 DATE: 09/06/22

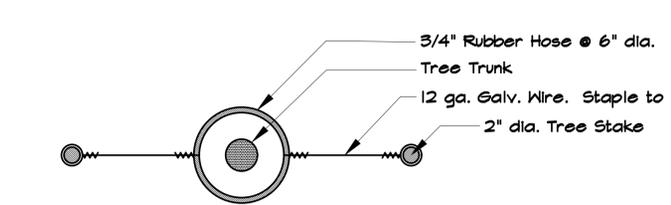
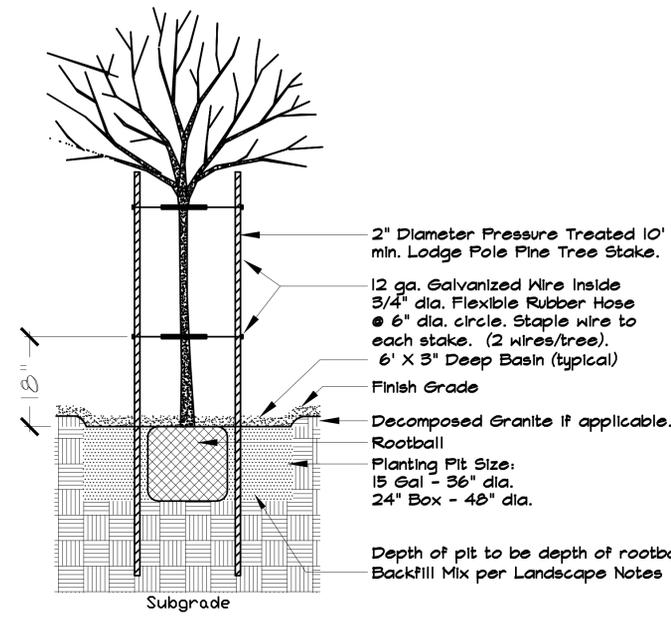




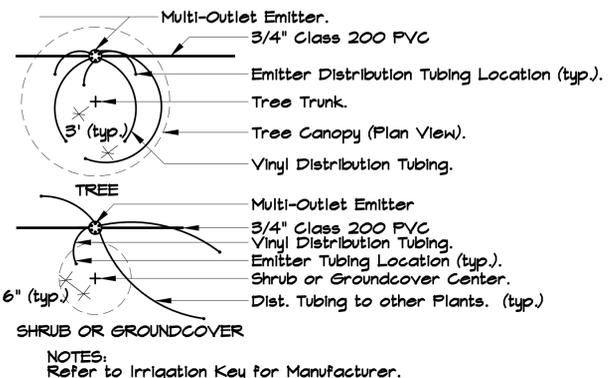
NOTES:
Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
Compact soil around piping and valve box to same density as undisturbed soil.
Refer to Specifications for piping material.



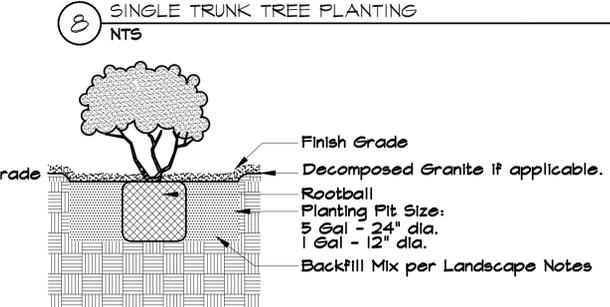
NOTE:
Backfill within 3\"/>



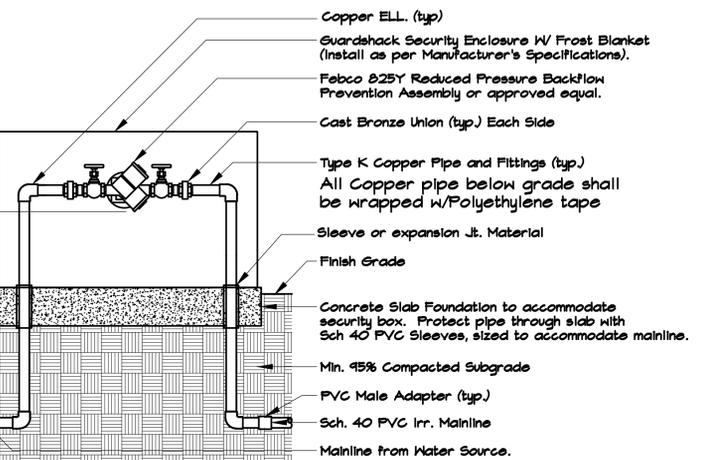
NOTE:
See Specifications for application of FERROMECH AC Liquid Iron to all trees.
Plant pit to be to the depth of the rootball, typical.



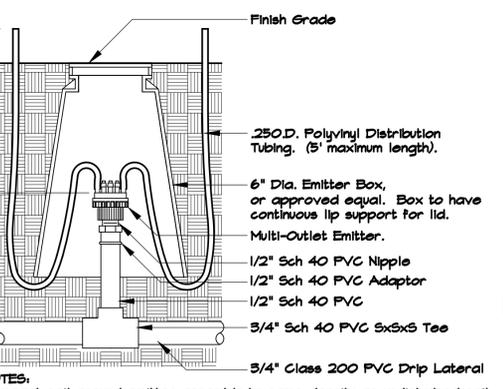
NOTES:
Refer to Irrigation Key for Manufacturer.



NOTE: Plant pit to be to the depth of the rootball, typical.

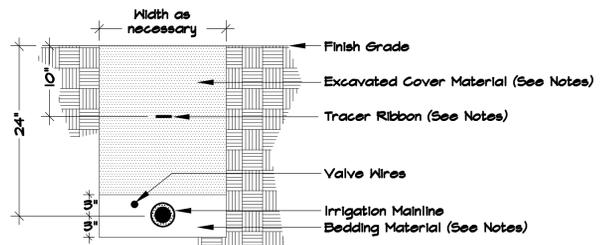
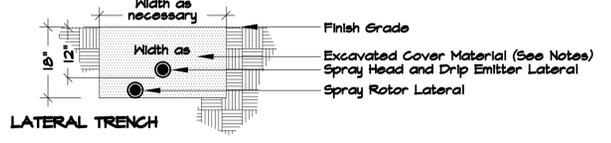


NOTES:
Apply Recto Seal #5 or Teflon Tape to all pipe joints & thread connections, or approved equal.
Compact soil around mainline piping to same density as undisturbed soil.
Refer to specifications for piping material.
Supply keyed padlock, Master Lock Model #457 w/ two keys, or approved equal, for locking security enclosure.



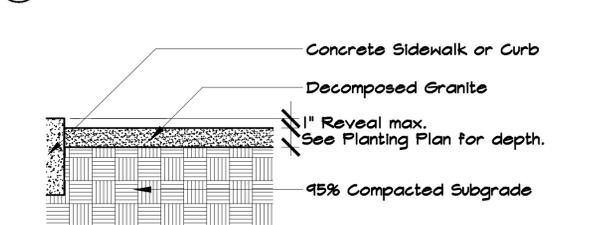
NOTES:
Compact soil around emitter assembly to same density as undisturbed soil.

1 REMOTE CONTROL VALVE WITH FILTER - DRIP

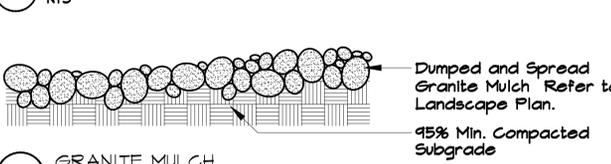


NOTES:
All electrical wire connections to valves and splices to be installed within a valve box and made with Pen-tite waterproof connectors, or approved equal.
Bundle and tape wiring at 10 foot intervals.
Valve wires to be installed within mainline trench wherever possible.
Bedding material shall be 1/4\"/>

2 TRENCHING DETAIL



3 SCREENED ROCK / DECOMPOSED GRANITE



4 GRANITE MULCH



| NO. | DATE | REVISION |
|-----|------|----------|
| | | |
| | | |
| | | |
| | | |

TAKE - 5 OIL CHANGE
SEDONA, ARIZONA
PARCEL I.D. 408-25-038R

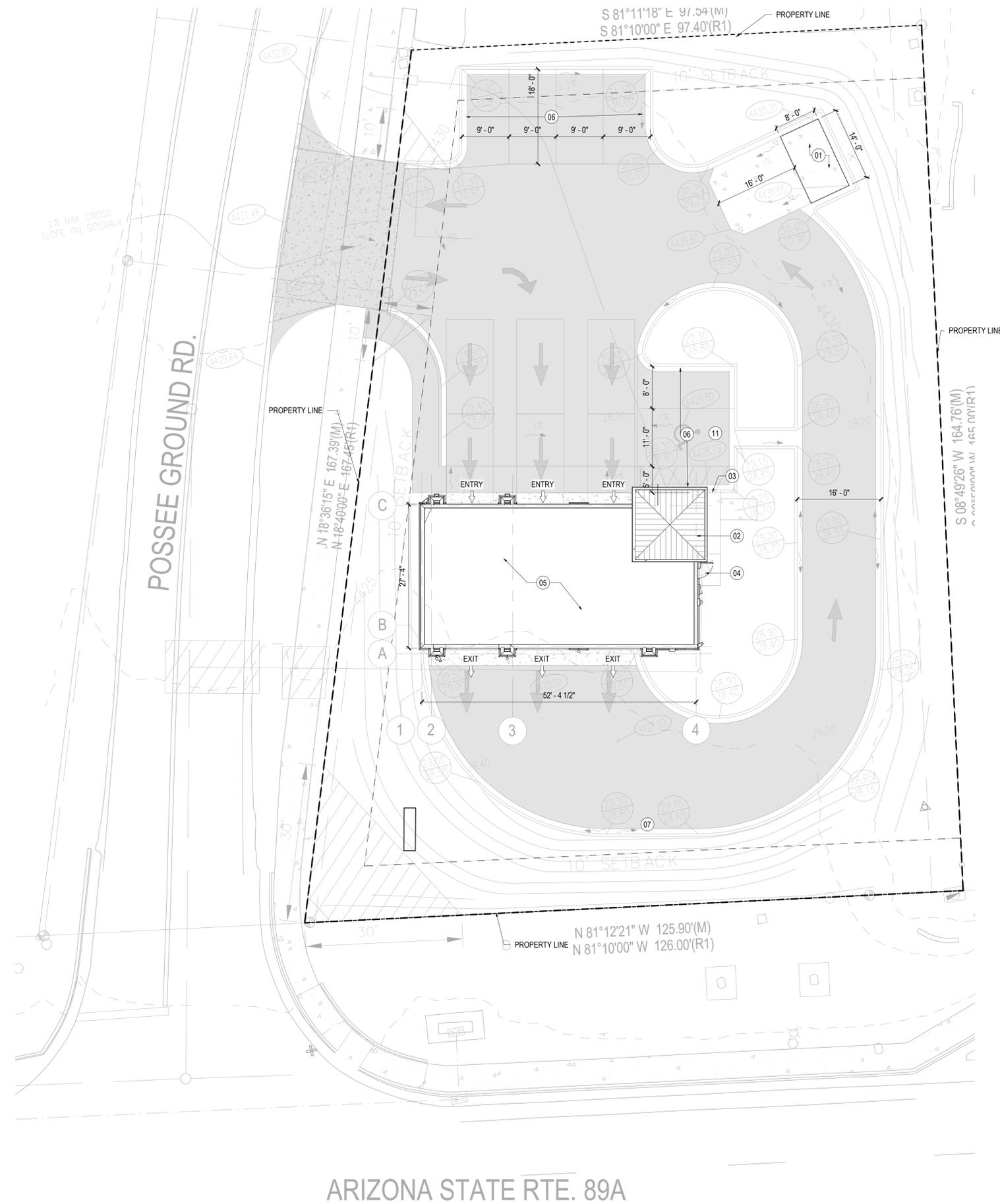
OWNER

SITE ADDRESS
80 POSSE HILL ROAD
SEDONA, ARIZONA 86336

SHEET NUMBER

LANDSCAPE - IRRIGATION DETAILS
PZ21-00023

JOHN HUCKO - LANDSCAPE ARCHITECT
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SHEET NOTES

- 01 DUMPSTER ENCLOSURE. REFER TO SHEET A5.101 FOR ADDITIONAL INFORMATION
- 02 RAISED CUPOLA. REFER TO PLANS SHEET A1.102 FOR ADDITIONAL INFORMATION. AND DETAILS
- 03 CURB CUT RAMP FOR ACCESSIBLE PATH TO BUILDING. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION AND DETAILS
- 04 SERVICE DOOR ACCESS / ENTRY
- 05 REFER TO CONSTRUCTION PLAN FOR BUILDING OUTLINE AND DIMENSIONS ON SHEET A1.101
- 06 REFER TO CIVIL PLANS FOR PARKING LAYOUT, COUNTS AND DETAILS
- 07 REFER TO CIVIL DRAWINGS AND DRAINAGE PLAN FOR SPECIFIC LAYOUT AND DIMENSIONS OF RETENTION POND
- 11 ACCESSIBLE PARKING SPACE. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION

Take 5 Oil Change

80 Posse Ground Rd
Sedona AZ 86336

Gensler

101 S. Tryon Street
Suite 2100
Charlotte, NC 28280
United States
Tel 704.377.2725
Fax 704.377.2807

| Date | Description |
|------------|------------------------|
| 10.08.2021 | ISSUE FOR CONSTRUCTION |

GENERAL NOTES

- A. REFER TO CIVIL DRAWINGS FOR ALL SITE INFORMATION. ARCHITECTURAL SITE PLAN SHOWN FOR REFERENCE ONLY FOR LOCATION, ORIENTATION OF BUILDING AND DUMPSTER ENCLOSURES.
- B. REFER TO CIVIL DRAWINGS FOR SITE UTILITIES. GC TO REFER TO MEP DRAWINGS FOR COORDINATION AND ADDITIONAL INFORMATION
- C. REFER TO CIVIL DRAWINGS FOR SURVEY, SITE GRADING AND ADDITIONAL INFORMATION TO COORDINATE WITH STRUCTURAL FOUNDATION PLANS AND DETAILS.

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.008

Description

ARCHITECTURAL SITE PLAN

KEY PLAN

Scale

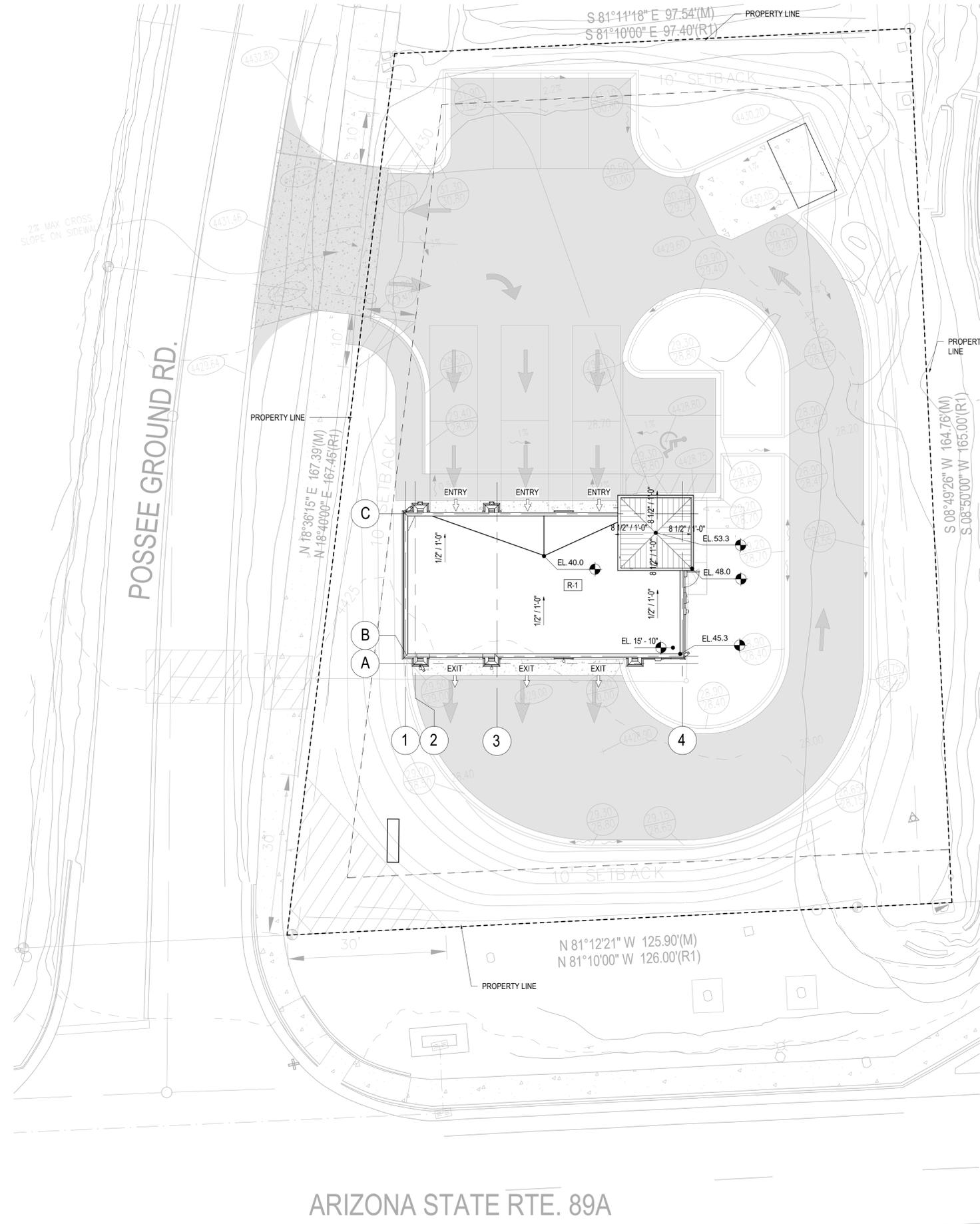
3/32" = 1'-0"

A0.100



ARIZONA STATE RTE. 89A

POSSEE GROUND RD.



SHEET NOTES

GENERAL NOTES

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- C. REFER TO CIVIL DRAWINGS FOR SURVEY, SITE GRADING AND ADDITIONAL INFORMATION TO COORDINATE WITH STRUCTURAL FOUNDATION PLANS AND DETAILS.

KEY PLAN

Take 5 Oil Change

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Suite 2100
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Fax 704.377.2807

| Date | Description |
|------|-------------|
|------|-------------|

Seal / Signature

Project Name
Take 5 Oil Change

Project Number
59.6678.008

Description
ROOF PLAN

Scale
3/32" = 1'-0"

A1.100



| EXTERIOR FINISH SCHEDULE | | | | |
|--------------------------|--|-------|-----------------------------|---|
| NO. | AREA | COATS | COLOR | FINISH |
| 1 | EIFS MAIN COLOR | -- | MATCH DE6118, SANDPIT | FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE" |
| 2 | EIFS ACCENT BAND | -- | MATCH DE6145, ROCKY RIDGE | FINISH TO MATCH STO "FINE SAND" OR DRYVIT "SANDBLAST" |
| 3 | BRICK VEENER | -- | MATCH DEA159, RICH MOCHA | |
| 4 | COPING / CORNICE | -- | MATCH DET439, SPICE OF LIFE | FINISH TO BE KYNAR 500 PREFINISHED |
| 5 | EIFS SECONDARY COLOR | -- | MATCH DET439, SPICE OF LIFE | FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE" |
| 6 | TOWER - ROOF AND GUTTER PRE-FINISHED STANDING SEAM | -- | MATCH DET439, SPICE OF LIFE | |
| 7 | TOWER - FASCIA PRE-PRIMED LP SMARTSIDE TRIM | 2 | MATCH DET439, SPICE OF LIFE | |
| 8 | TOWER - SOFFIT PRE-PRIMED LP SMARTSIDE VENTED SOFFIT | 2 | MATCH DE6145, ROCKY RIDGE | |

SHEET NOTES

- 01 LIGHT FIXTURE (TYPICAL) - REFER TO ELECTRICAL DWGS.
- 02 "J" JOINT IN EIFS - REFER TO DETAIL 10 / A4.201 FOR MORE INFORMATION
- 03 OIL CHANGE SIGN (37 S.F.) SHOWN FOR REFERENCE ONLY
- 04 PREFINISHED GALV. METAL COPING TO MATCH FINISH 4
- 05 A.C. UNIT LOUVER - COLOR DARK BRONZE
- 06 PREFINISHED METAL OVERFLOW SCUPPER (COLOR - DARK BRONZE)
- 07 PREFINISHED METAL DOWNSPOUT & LEADERHEAD (COLOR - DARK BRONZE)
- 08 1X2 SPLASHBLOCK OR CONNECT TO STORM DRAIN (COORDINATE WITH CIVIL)
- 09 6" ROUND PIPE BOLLARD TYPICAL - COLOR TO MATCH FINISH 5
- 10 EF-2 W/ THERMOSTAT & GRAVITY LOUVER
- 11 BATH FAN WALL CAP
- 12 12X12 INTAKE LOUVER - COLOR TO MATCH FINISH 1
- 13 ELECTRICAL METER / PANEL - PAINT DARK BRONZE
- 14 PAINT DOOR & FRAME TO BE SW #6076 - TURKISH COFFEE

Take 5 Oil Change

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Sedona AZ 86336

Gensler

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| Date | Description |
|--------------|------------------------|
| 1 10.08.2021 | ISSUE FOR CONSTRUCTION |



01 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



Total SF of Elevation = 856.39 SF
30% Min. Transparency to Public Facing Streets = 256.917 SF
(3) Garage Doors @ 117.33 = 351.99
(1) Office Window @ 18.49 SF
Total Transparency = 370.48SF
370.48SF > 256.917SF

02 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

NOTE: SIGNAGE TO BE PERMITTED SEPERATELY

EXTERIOR FINISH NOTES:

- 1. EIFS TO BE STO THERM CI CLASSIC, DRYVIT OUTSULATION PLUS MD OR APPROVED EQUAL.
- 2. EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
- 3. EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF.
- 4. EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
- 5. METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
- 6. METAL ROOF PANELS TO BE 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
- 7. METAL COPING TO BE PREFINISHED, 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.008

Description

BUILDING ELEVATIONS

Scale

1/4" = 1'-0"

A2.101

| EXTERIOR FINISH SCHEDULE | | | | |
|--------------------------|--|-------|-----------------------------|---|
| NO. | AREA | COATS | COLOR | FINISH |
| 1 | EIFS MAIN COLOR | -- | MATCH DE6118, SANDPIT | FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE" |
| 2 | EIFS ACCENT BAND | -- | MATCH DE6145, ROCKY RIDGE | FINISH TO MATCH STO "FINE SAND" OR DRYVIT "SANDBLAST" |
| 3 | BRICK VEENER | -- | MATCH DEA159, RICH MOCHA | |
| 4 | COPING / CORNICE | -- | MATCH DET439, SPICE OF LIFE | FINISH TO BE KYNAR 500 PREFINISHED |
| 5 | EIFS SECONDARY COLOR | -- | MATCH DET439, SPICE OF LIFE | FINISH TO MATCH STO "MEDIUM SAND" OR DRYVIT "SANDPEBBLE FINE" |
| 6 | TOWER - ROOF AND GUTTER PRE-FINISHED STANDING SEAM | -- | MATCH DET439, SPICE OF LIFE | |
| 7 | TOWER - FASCIA PRE-PRIMED LP SMARTSIDE TRIM | 2 | MATCH DET439, SPICE OF LIFE | |
| 8 | TOWER - SOFFIT PRE-PRIMED LP SMARTSIDE VENTED SOFFIT | 2 | MATCH DE6145, ROCKY RIDGE | |

SHEET NOTES

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Take 5 Oil Change

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| Date | Description |
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| | |

GENERAL NOTES

NOTE: SIGNAGE TO BE PERMITTED SEPERATELY

EXTERIOR FINISH NOTES:

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- 2. EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
- 3. EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF.
- 4. EIFS TO HAVE STANDARD IMPACT MESH ABOVE 8'-0" AFF.
- 5. METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
- 6. METAL ROOF PANELS TO BE 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
- 7. METAL COPING TO BE PREFINISHED, 24 GA. GALV. WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.

Seal / Signature

Project Name

Take 5 Oil Change

Project Number

59.6678.008

Description

BUILDING ELEVATIONS

Scale

1/4" = 1'-0"

A2.102



01 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Total SF of Elevation = 369.06 SF
30% Min. Transparency to Public Facing Streets = 110.718 SF
(3) Windows @37.74 SF = 113.22 SF
Total Transparency = **113.22SF**
113.22SF >110.718SF



02 EAST ELEVATION
SCALE: 1/4" = 1'-0"

Take 5 Oil Change

80 Posse Ground Rd.
Sedona, AZ 86336



Gensler

101 South Tryon Street
Suite 2100
Charlotte, NC 28208
United States
Tel 704.377.2725
Fax 704.377.2807



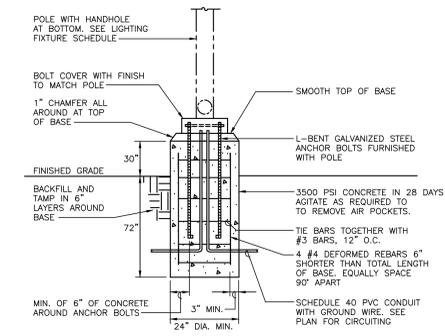
BRITT, PETERS
ASSOCIATES
CONSULTING ENGINEERS
Structural Engineer
1307 W. Morehead Street
Suite 205
Charlotte, NC 28208
Telephone 980.999.6122



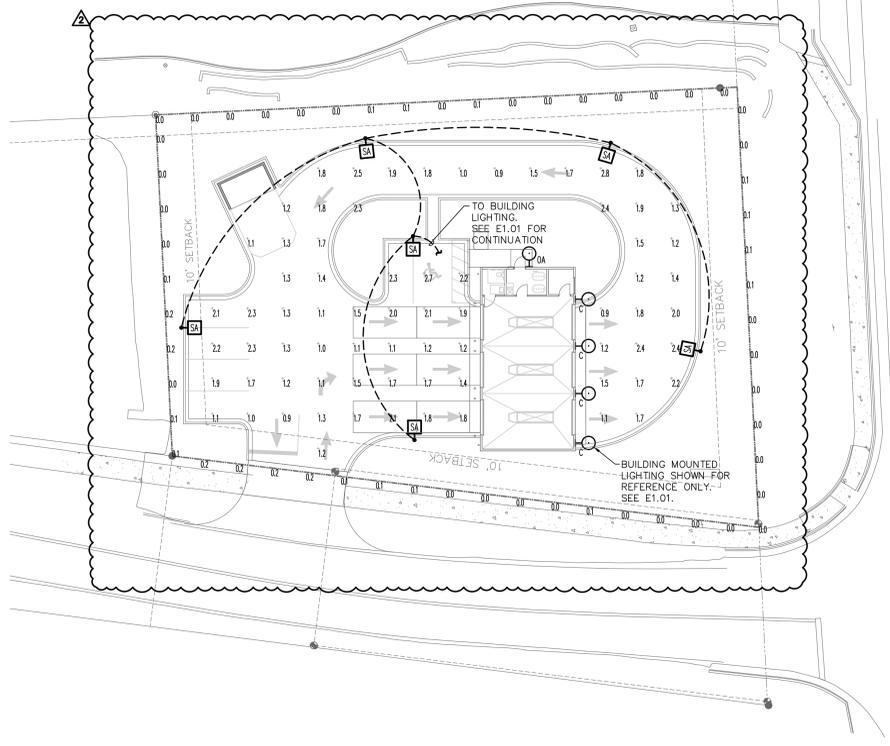
MEP Engineer
2905-D Queen City Dr.
Charlotte, NC 28208
Telephone 704.399.3943

| LIGHT FIXTURE SCHEDULE | | | | | | | |
|------------------------|-----------------|-------------------------------|--|--------------|------------------|------------------------|--------------|
| TYPE | MANUFACTURER | CATALOG NUMBER | DESCRIPTION | B.U.G RATING | BALLAST / DRIVER | LAMPS / LUMENS | VOLTS WATTS |
| SA | COOPER LIGHTING | GPC-SA1-A-727-U-T4W-HSS-QM-BK | POLE MOUNTED LED FIXTURE, BLACK FINISH, WET LOCATION LISTED, TYPE IV WIDE DISTRIBUTION, 12'-0" STEEL POLE, HOUSE SIDE SHIELD | B2-UO-G3 | ELECTRONIC | LED 2700K 3,016 LUMENS | 120 34 |
| C | KICHLER | 11310BK1LED | UP/DOWN LIGHTING WALL SCONCE, WET LOCATION RATED, PROVIDE WITH 1 #9536AZ LENS EACH FIXTURE | ELECTRONIC | ELECTRONIC | LED 2700K 925 LUMENS | 120 20.1 |
| OA | COOPER | ENC-SA1-A-727-U-T4FT-HSS-BK | LED WALL PACK, BLACK FINISH, WET LOCATION LABEL | B1-UO-G1 | ELECTRONIC | LED 2700K 1,619 LUMENS | 120/277 20.1 |

| Calculation Summary | | | | | | | |
|---------------------|-------------|-------|------|-----|-----|---------|---------|
| Label | CalcType | Units | Avg | Max | Min | Avg/Min | Max/Min |
| Parking | Illuminance | Fc | 1.63 | 2.8 | 0.9 | 1.81 | 3.11 |
| Property Line | Illuminance | Fc | 0.05 | 0.2 | 0.0 | N.A. | N.A. |



2 POLE BASE DETAIL
E1.00 NO SCALE



1 SITE PLAN - PHOTOMETRICS
E1.00 SCALE: 1" = 20'

| | | | |
|-------------|-----------|------|----|
| Project | Catalog # | Type | SA |
| Prepared by | Notes | Date | |

McGraw-Edison
GPC Gallon Pedestrian Companion
Area / Site Luminaire
Product Features
Product Certifications

Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 6

Quick Facts

- Choice of sixteen high-efficiency, patented AccuLED Optics
- Quick mount pole or mast-arm mounting configurations
- Eight lumen packages from 3,215 up to 17,056 lumens
- IP66 rated housing and LED light squares

Dimensional Details

COOPER Lighting Solutions

DESCRIPTION

The Entr LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Cooper Lighting Solutions' proprietary LED LightSquare technology and AccuLED Optics™ system, the Entr LED luminaire offers designers vast versatility in system design, function and performance. Use Entr LED for wall mount architectural lighting applications and egress lighting requirements. UL/ULC listed for use in wet locations.

SPECIFICATION FEATURES

Construction
HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. FACEPLATE / DOOR: One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. GASKET: One-piece molded silicone gasket mates perfectly between the door and housing for reparable seal. LENS: Upright lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is an LED LightSquare with integral optics sealed for IP66 rating. HARDWARE: Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics
Choice of patented, high efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent distributions with the scalability to meet customized application requirements. CR and CCT offering includes 2700K, 3000K, 3500K, 4000K, 5000K, and 5500K with minimum 70CRI and 2700K and 3000K with minimum 80CRI all within 5-step MacAdam ellipse.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage 120-277V/50/60Hz, 347V/60Hz or 480V/60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in +40°C to +60°C ambient environments and optional EDC construction available. All fixtures are shipped standard with 10kV/10kA common and differential mode surge protection. LightSquare feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for 20°C ambient environments. Waveless™ occupancy sensor, and dimming options available.

Mounting
JUNCTION BOX: Standard with zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightSquare mounts facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery back, surface conduit and trough branch wiring. The Entr LED luminaire is approved for mounting on combustible surfaces.

Finish
Housing is finished in five-stage super TGIC polyester powder coat paint, 2.2 mil nominal thickness for superior protection against fade and wear. LightSquare cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty
Five-year warranty.

LightSquare Solid State LED

ARCHITECTURAL WALL LUMINAIRE

ENC/ENT/ENV ENTRI/ENV

LightSquare Solid State LED

ARCHITECTURAL WALL LUMINAIRE

CERTIFICATION DATA
Design Lights Consortium® Qualifier®
UL/cUL Listed
500 9001
IP66 LightSquare
LM79 / LM80 Compliant

ENERGY DATA
Equivalent LED Driver
-0.8 Power Factor
-20% Total Harmonic Distortion
130-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-20°C Minimum Temperature
-40°C Ambient Temperature Rating (Optional)

SHIPPING DATA
Approximate Net Weight
15.2 lbs. (6.9 kg) - Without backbox
29.1 lbs. (13.2 kg) - With backbox

COOPER Lighting Solutions

Cylinder 3000K LED 12.25" Wall Light

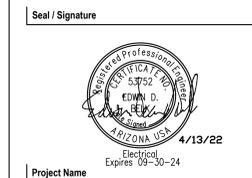
11310BK1LED

Specifications

| Certifications/Qualifications | |
|--|----------------------------------|
| Energy Star | Yes |
| Title 24 Compliant | Yes |
| www.kichler.com/warranty | |
| Dimensions | |
| Base Backplate Extension | 6.50" |
| Weight | 2.63 LBS |
| Height from center of Wall opening (Spec Sheet) | 6.21" |
| Height | 12.25" |
| Length | 6.50" |
| Width | 5.00" |
| Light Source | |
| Delivered Lumens | 925 |
| Dimmable | Yes |
| Expected Life Span (Hours) | 45000 |
| Lamp Included | Integrated LED |
| Max or Nominal Watt | 20W |
| Max Wattage/Range | 20W |
| Mounting/Installation | |
| Interior/Exterior | Exterior |
| Location Rating | Wet |
| Mounting Style | Wall Mount |
| Mounting Weight | 3.50 LBS |
| Photometrics | |
| Color Rendering Index | 90 |
| Kelvin Temperature | 2700K |
| FITXTURE ATTRIBUTES | |
| Housing | EPMM |
| Primary Material | EPMM |
| Product/Ordering Information | |
| SKU | 11310BK1LED |
| Finish | Textured Black |
| Style | Other |
| LPC | 733027545297 |
| Finish Options | |
| Textured Black | <input checked="" type="radio"/> |

COOPER Lighting Solutions

| Date | Description |
|-----------|------------------------|
| 7/29/2021 | ISSUE FOR CONSTRUCTION |



| | |
|----------------|-----------------------|
| Project Name | Take 5 Oil Change |
| Project Number | 59.6678.001 |
| Description | SITE PHOTOMETRIC PLAN |
| Scale | As indicated |

E1.00



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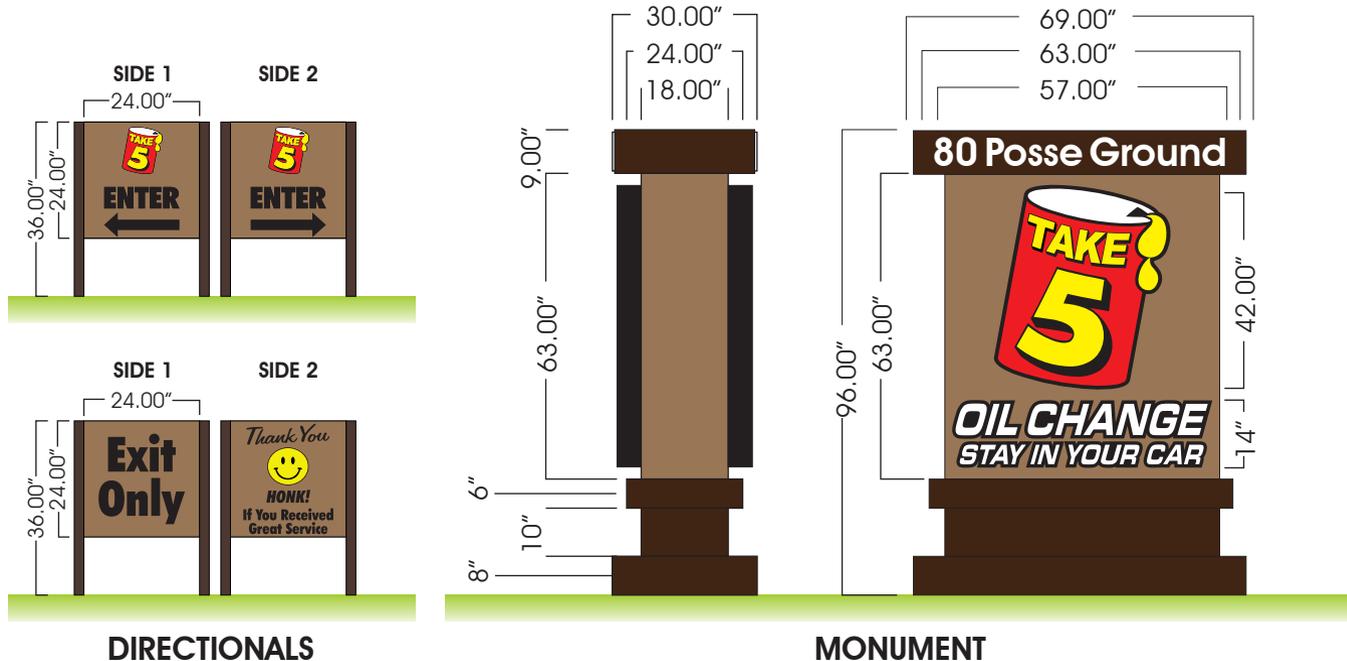
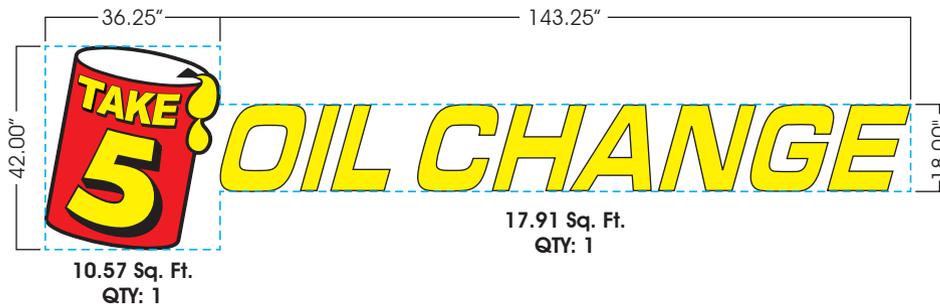
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INITIAL LAYOUT: August 25, 2022

REVISIONS:

- I
- II
- III
- IV
- V

FRONT ELEVATION



Owner/Landlord Approval _____



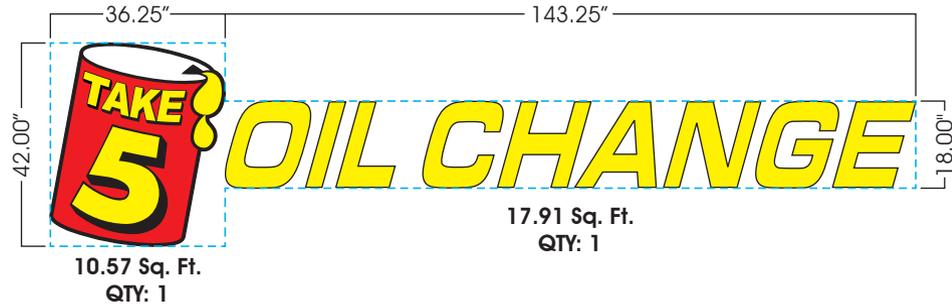
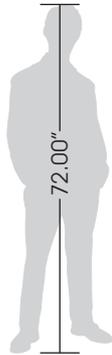
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INITIAL LAYOUT: March 9, 2022

REVISIONS:
I 03/11/2022
II 03/16/2022
III 8/18/22
IV
V

Sq. Ft. Signage: 26.31
Signage Allowance: 30.00 Sq. Ft. Aggregate



NIGHT SHOT

IMPOSED IMAGERY

SPECIFICATIONS

SPECIFICATIONS



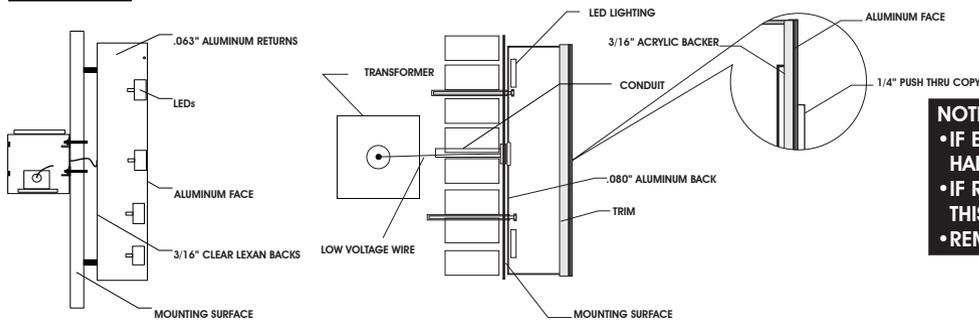
HALO LIT CHANNEL LETTER

- Size: As in drawing
- Trim Color: Yellow
- Return Color: Yellow
- Face Color: Yellow
- Face: 1/8" Aluminum
- Letter Interior: Gloss White
- Illumination: LED
- Mounting: 1.5" Standoffs & Studs W/ Silicone

PUSH-THRU CHANNEL LETTER

- Size: As in drawing
- Trim: 1"
- Trim Color: Black
- Return Color: Black
- Return Depth: 5"
- Face Color: As in Drawing
- Routed Face: 1/8" Aluminum W/ Vinyl Graphic
- Backer: 3/16" Acrylic w/ 1/4" Push Thru Copy
- Letter Interior: Gloss White
- Illumination: LED
- Mounting: Studded Letters

DETAIL



NOTES:

- IF ELECTRICAL LINE/J-BOX IS WITHIN 6' OF ELECTRICAL, CONNECTION TO BE HANDLED BY INSTALLER. IF NOT ELECTRICAL HANDLED BY OWNER/GC
- IF ROOF PENETRATIONS ARE NECESSARY, THEY ARE TO BE SEALED BY A ROOFER. THIS IS HANDLED BY THE GC/OWNER
- REMOVAL AND DISPOSAL OF EXISTING WALL SIGNS HANDLED BY GC/OWNER

Owner/Landlord Approval



REAR & SIDE ELEVATIONS

TAKE 5

OIL CHANGE

80 Posse Ground Rd
Sedona, AZ 86336



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UL File #E225670

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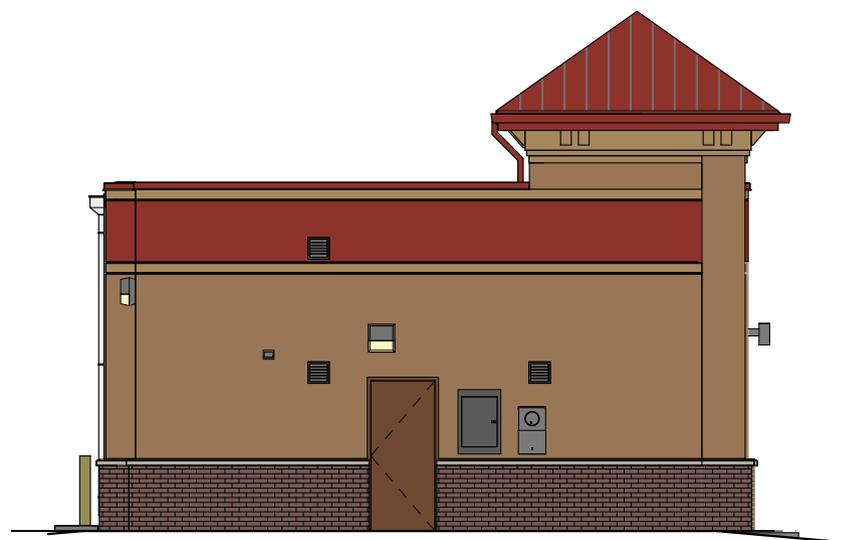
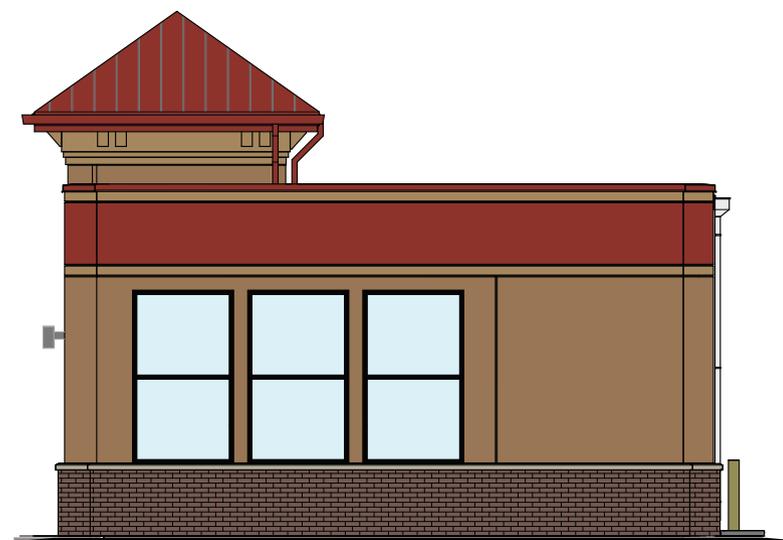
NO SIGNAGE

29 of 32

INITIAL LAYOUT: March 9, 2022

REVISIONS: 03/11/2022
8/18/22

I
II
III
IV
V



Owner/Landlord Approval _____

SIGNS UNLIMITED
communicate your identity

6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

SPECIFICATIONS

**NON ILLUMINATED
DOUBLE-SIDED POST & PANEL**

Quantity:

See Below

Size:

As in drawing

Material:

Aluminum square tubing and panels

Face Color:

DE 6118 Sandpit &
as determined by message

Leg Color:

SW 6076 Turkish Coffee

Mounting:

Into Earth

Sq. Ft. Signage:

4.00



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DIRECTIONAL SIGNAGE

TAKE 5

OIL CHANGE

80 Posse Ground Rd
Sedona, AZ 86336

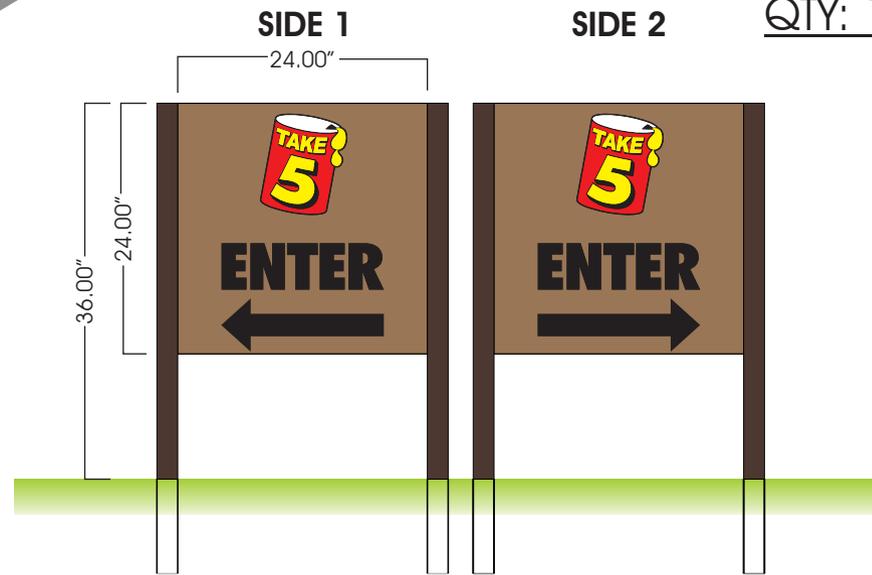
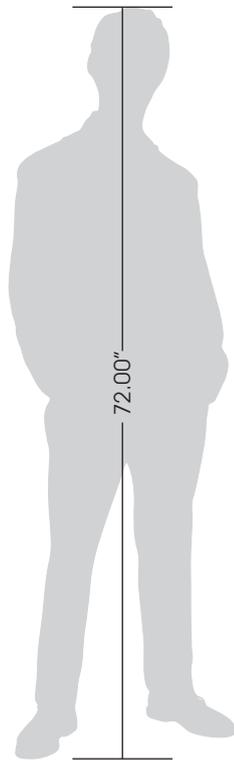
INITIAL LAYOUT:

March 9, 2022

REVISIONS:

8/18/22

I
II
III
IV
V



Owner/Landlord Approval _____



6801 Mount Hermon Church Rd, Ste C, Durham, NC 27705 • (P) 919-552-8689 • (F) 919-557-1322

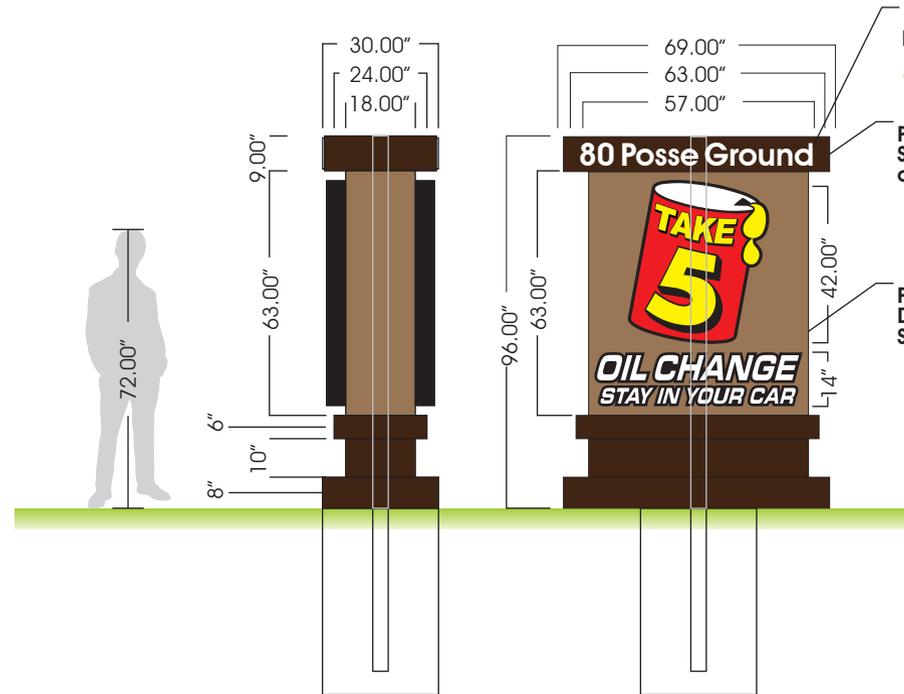
MONUMENT SIGN
TAKE 5
OIL CHANGE
 80 Posse Ground Rd
 Sedona, AZ 86336

UL Underwriters Laboratories Inc. •
 UL File #E225670

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INITIAL LAYOUT: March 9, 2022
REVISIONS:
 I 8/18/22
 II
 III
 IV
 V

Sq. Ft. Signage: 24.94
Signage Allowance: 25.00 Sq. Ft.
 Max Height 8'
 Base Must be 75% of Sign Width



1/2" THICK; 6" TALL PVC ADDRESS
ADDRESS TO COMPLY WITH SEDONA FIRE DISTRICT REGULATIONS

PAINTED SW Turkish Coffee w/ a Flat/Satin Finish

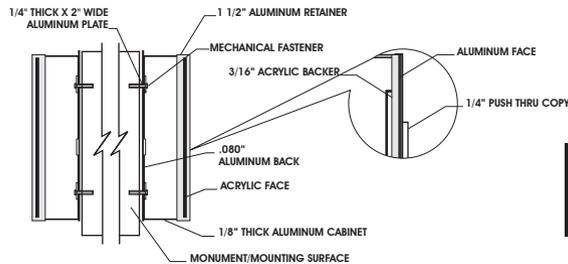
PAINTED DE Sandpit w/ a Stucco Texture

SPECIFICATIONS

PUSH-THRU CHANNEL LETTER

- Size:** As in drawing
- Trim:** 1"
- Trim Color:** Black
- Return Color:** Black
- Return Depth:** 5"
- Face Color:** As in Drawing
- Routed Face:** 1/8" Aluminum W/ Vinyl Graphic
- Backer:** 3/16" Acrylic w/ 1/4" Push Thru Copy
- Letter Interior:** Gloss White
- Illumination:** LED
- Mounting:** Studded Letters

DETAIL



NOTE:
 • HOLE AND FOOTER DIMENSIONS/SPECIFICATIONS TO BE DETERMINED BASED ON ENGINEERING.
 • ENGINEERING REQUIREMENTS MAY ALTER FOOTER, POLE AND PRICE

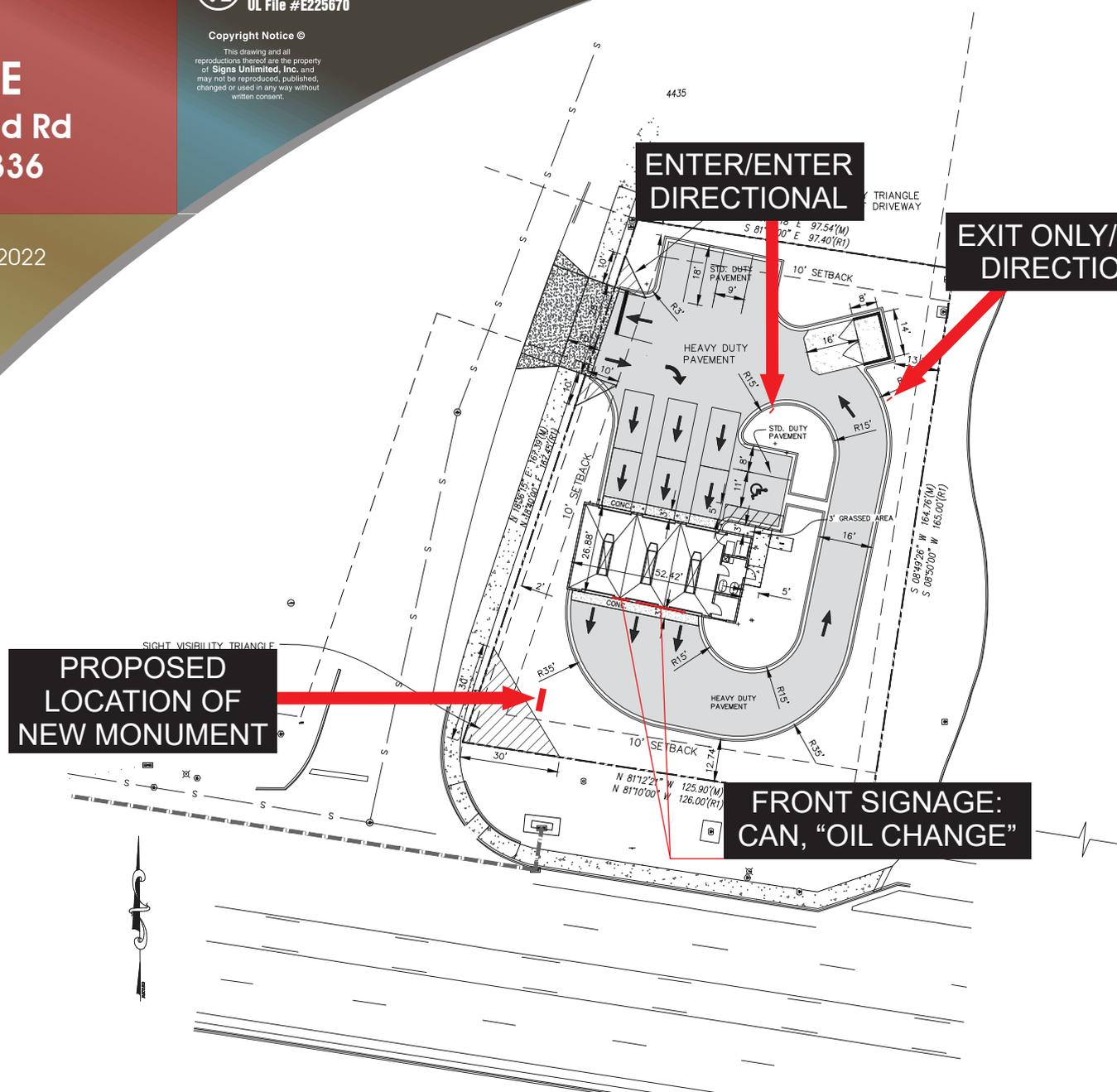
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INITIAL LAYOUT: March 9, 2022

REVISIONS:
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III 04/04/2022
IV 8/18/22
V



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