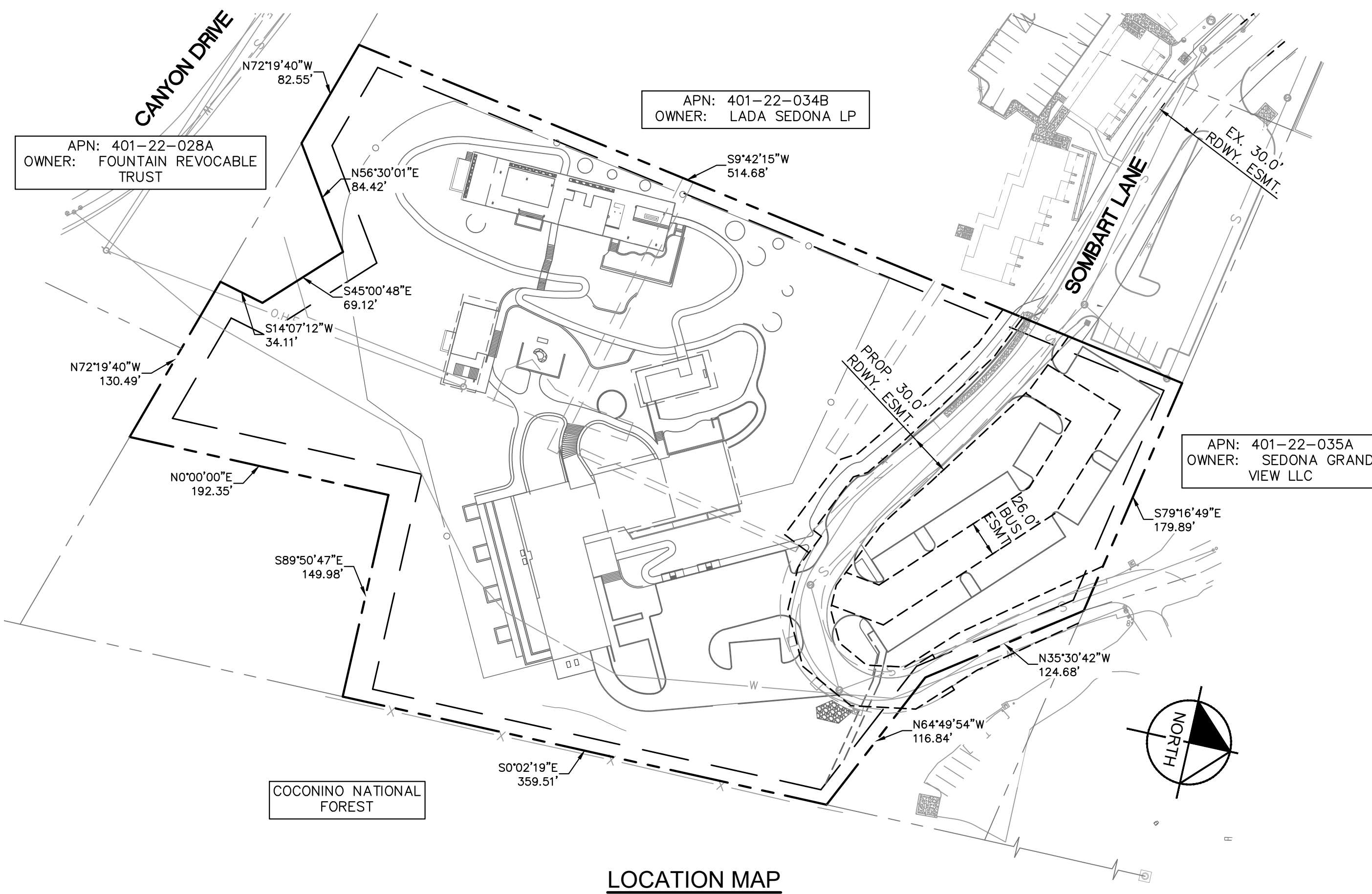


ARABELLA SPA

LOCATED IN A PORTION OF SECTION 018, TOWNSHIP 17 NORTH,
RANGE 6 EAST, GILA AND SALT RIVER MERIDIAN,
COCONINO COUNTY, ARIZONA.



LOCATION MAP
N.T.S.

CONTACT INFORMATION

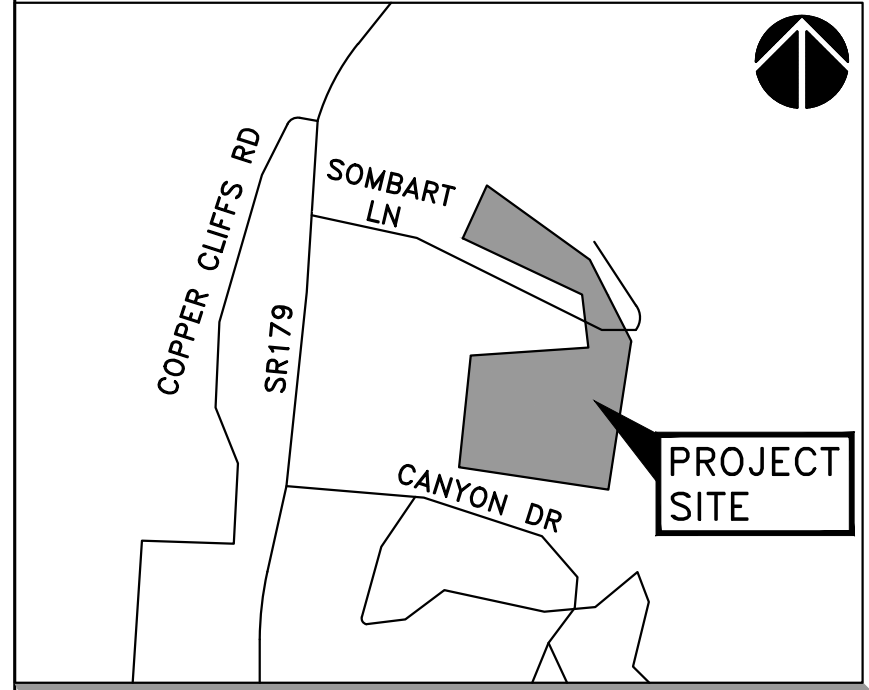
OWNER	HEWISON HOLDINGS CONTACT: TREVOR HEWISON TREVOR@HEWISONHOLDINGS.COM
MAYOR	SANDY MORIARTY
VICE MAYOR	SCOTT JABLOW
CITY COUNCIL	KATHY KINSELLA HOLLI PLOOG JON THOMPSON TOM LAMKIN JESSICA WILLIAMSON
CITY MANAGER	KAREN OSBURN
ARCHITECT	ERWIN ARCHITECTURE AND DEVELOPMENT CONTACT: WILL ERWIN (602) 677-8372 WILL@ERWINARCHITECTURE
ARCHITECT	LEMAYMICHAUD ARCHITECTURE DESIGN CONTACT: PIERRE MIERSKI 480 RUE MCGILL BUREAU 200, MONTREAL, QC, H2Y 2H2 (514) 397-8737 #114
LANDSCAPE ARCHITECT	TONNESEN, INC. CONTACT: BILL TONNESEN 105 E 15TH STREET TEMPE, AZ 85281 (480) 968-7895 BILL@BILLTONNESEN.COM
ENGINEER	KIMLEY-HORN & ASSOCIATES, INC. ANDREW BAIRD, P.E. 201 W MONTEZUMA ST, SUITE 206 PRESCOTT, AZ 86301 (928) 458-7121 ANDREW.BAIRD@KIMLEY-HORN.COM

Sheet List Table

Sheet Number	Sheet Title	Sheet Description
01	COVER SHEET	CV01
02	SITE PLAN	SP01
03	SITE PLAN	SP02
04	UTILITY SHEET	UT01
05	UTILITY SHEET	UT02
06	GRADING AND DRAINAGE	GD01
07	GRADING AND DRAINAGE	GD02
08	WALL GRADES	GD03
09	TRAFFIC CIRCULATION	TC01

UTILITY PROVIDERS

<input type="checkbox"/> ARIZONA PUBLIC SERVICE	MATT HERRERA COMPANY REPRESENTATIVE
<input type="checkbox"/> ARIZONA WATER COMPANY	CASEY GOFF COMPANY REPRESENTATIVE
<input type="checkbox"/> SUDDEN LINK	JASON QUINLAN COMPANY REPRESENTATIVE
<input type="checkbox"/> UNISOURCE	ROB JUSTUS COMPANY REPRESENTATIVE
<input type="checkbox"/> LUMIN	ANDRE HATCHER COMPANY REPRESENTATIVE
<input type="checkbox"/> SEDONA SEWER	ROXANNE HOLLAND COMPANY REPRESENTATIVE



VICINITY MAP
CITY OF SEDONA
N.T.S.

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
201 NORTH MONTEZUMA, SUITE 206
PRESCOTT, ARIZONA 86301 (928) 458-7121

SCALE (H):
SCALE (V):
DESIGNED BY: JWL
DRAWN BY: JTH
CHECKED BY: ACB
DATE: OCT 2022

ARABELLA SPA PRELIMINARY IMPROVEMENT
PLANS
COVER SHEET
95 N SOMBART LANE
SEDONA, AZ

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
ENGINEER ANDREW BAIRD
PE NO. 48841 DATE 12/22

PROJECT NO.
291659000
DRAWING NAME
CV01

01 OF 09

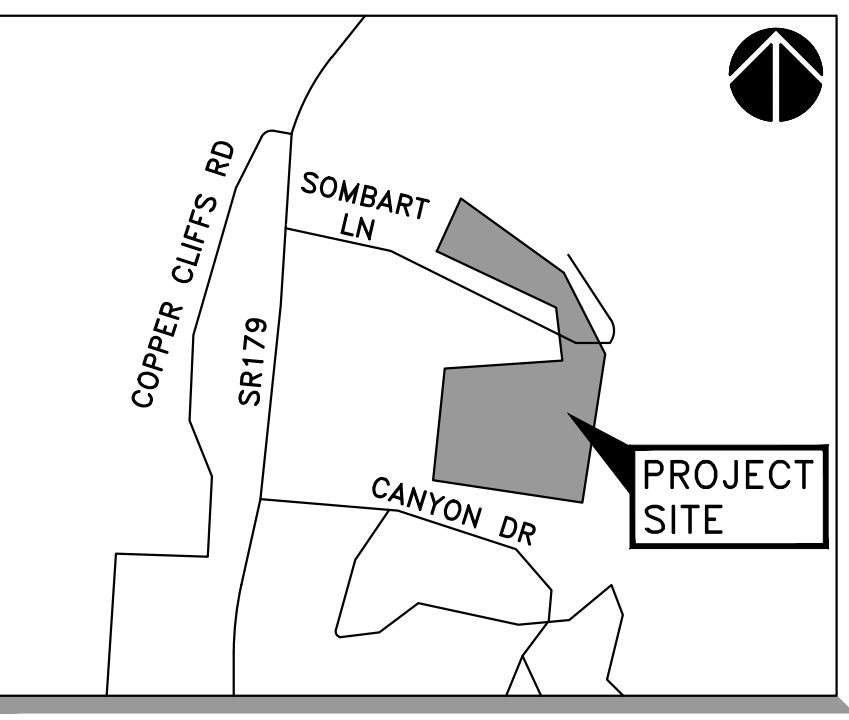
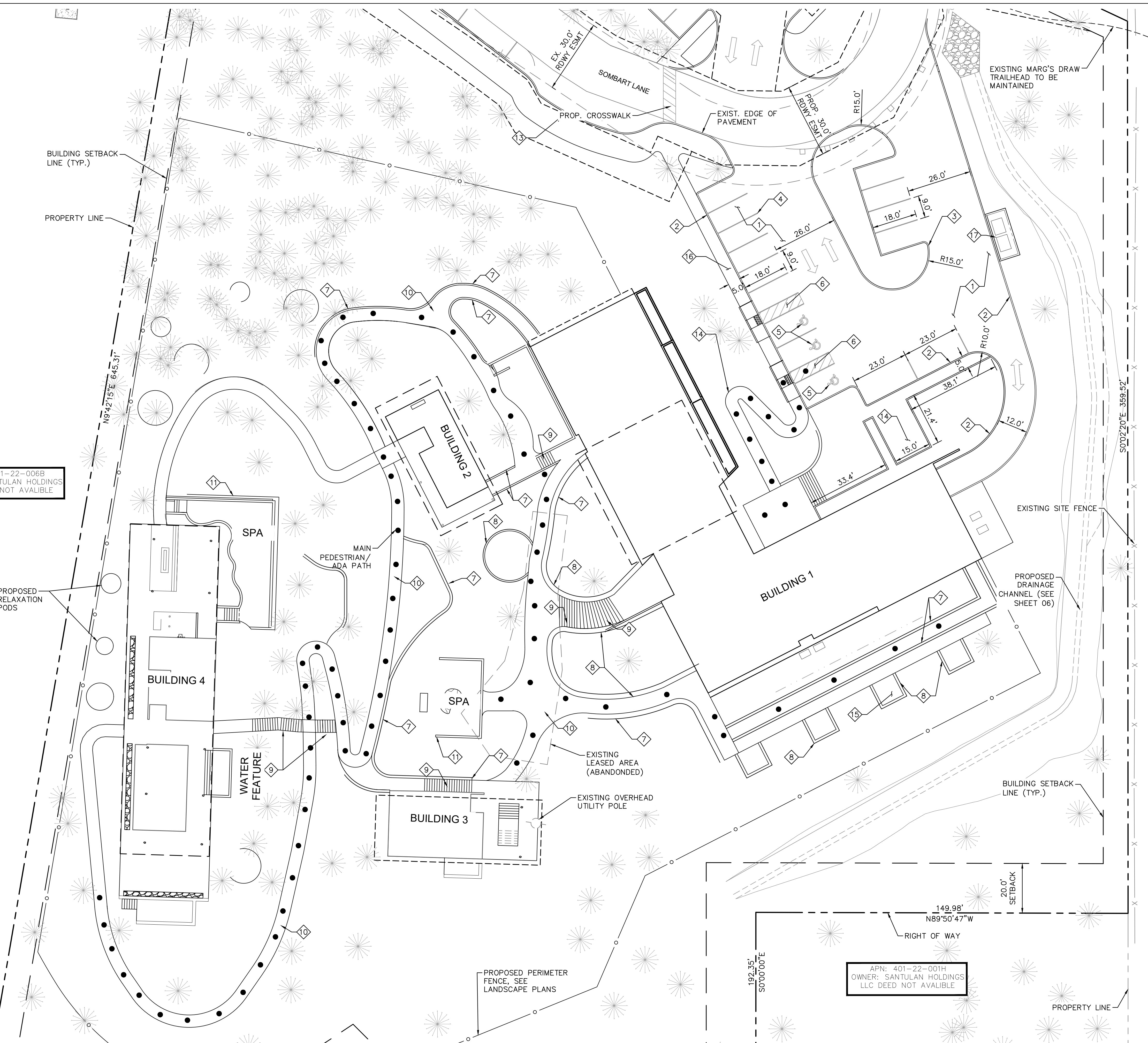


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APN: 401-22-006B
 OWNER: SANTULAN HOLDINGS LLC DEED NOT AVAILBLE

APN: 401-22-001H
 OWNER: SANTULAN HOLDINGS LLC DEED NOT AVAILBLE



VICINITY MAP
 CITY OF SEDONA
 N.T.S.

SHEET NOTES

NO.	DESCRIPTION
1	PROPOSED PARKING AREA; 3" ASPHALT CONCRETE OVER 5" ABC
2	TYPE A VERTICAL CURB AND GUTTER
3	6" SINGLE CURB
4	90° PARKING STRIPE 4" SOLID WHITE
5	ADA PARKING SYMBOL
6	45' STRIPE ADA ACCESSORY ROUTE, 4" SOLID WHITE
7	PROPOSED RETAINING WALL FOR FILL PER ARCHITECTURAL PLANS
8	PROPOSED RETAINING WALL FOR CUT PER ARCHITECTURAL PLANS
9	PROPOSED STAIRS, SEE ARCHITECTURAL PLANS FOR DETAILS FOR EACH LOCATION
10	PROPOSED PAVED PATH, MATERIAL PER ARCHITECTURAL PLANS
11	PROPOSED POOL AREA, SEE ARCHITECTURAL PLANS FOR DETAILS
13	PROPOSED 10' SHARED USE PATH
14	4" CONCRETE SIDEWALK PER ARCHITECTURAL PLANS
15	PROPOSED OUTDOOR MESSAGE TABLE PADS; SEE ARCHITECTURAL PLANS
16	PROPOSED CONCRETE SIDEWALK, WIDTH PER PLAN
17	PROPOSED TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS

LEGEND

---	EXIST. PROPERTY LINE
---	EXIST. RIGHT-OF-WAY
---	EXIST. SETBACK
---	PROP. WALKING PATH
---	PROP. BUILDING OVERHANG
-X-	EXISTING FENCE
---	PROP. PARKING STRIPE
---	PROP. WALKING PATH
●●●●	ADA PATH

GRAPHIC SCALE IN FEET
 0 10 20 40

Call at least two full working days before you begin excavation
ARIZONA 811
 Arizona One Stop, Inc.
 Dial 8-1-1 or 1-800-STAKE47 (762-6349)
 In Maricopa County: (602) 263-1100

ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS
SITE PLAN
 95 N SOMBART LANE
 SEDONA, AZ

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION

Kimley»Horn
 ENGINEER ANDREW BAIRD
 PE NO. 48841 DATE 12/22

PROJECT NO.
 291659000

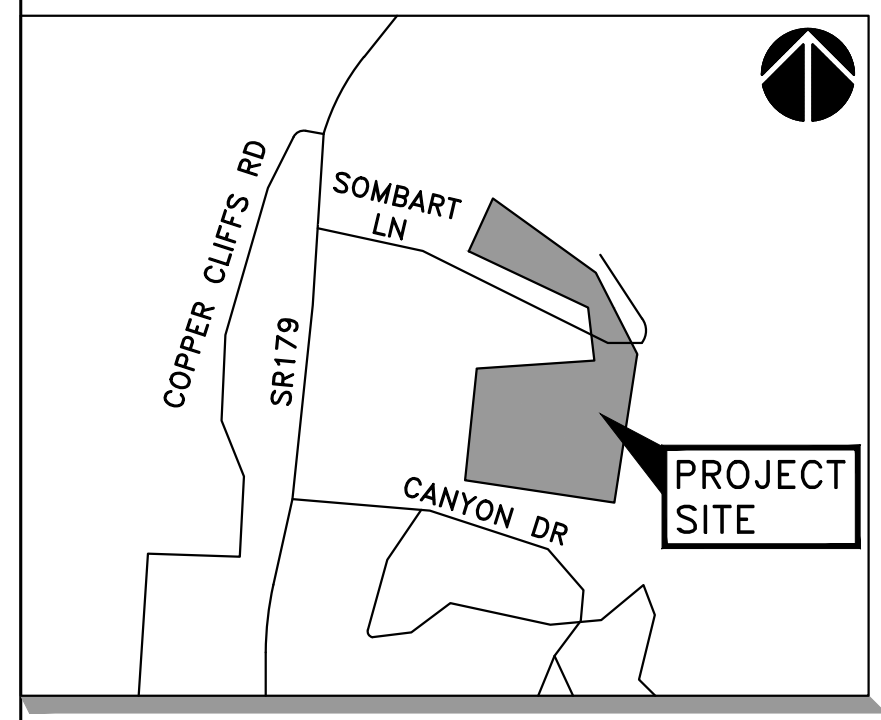
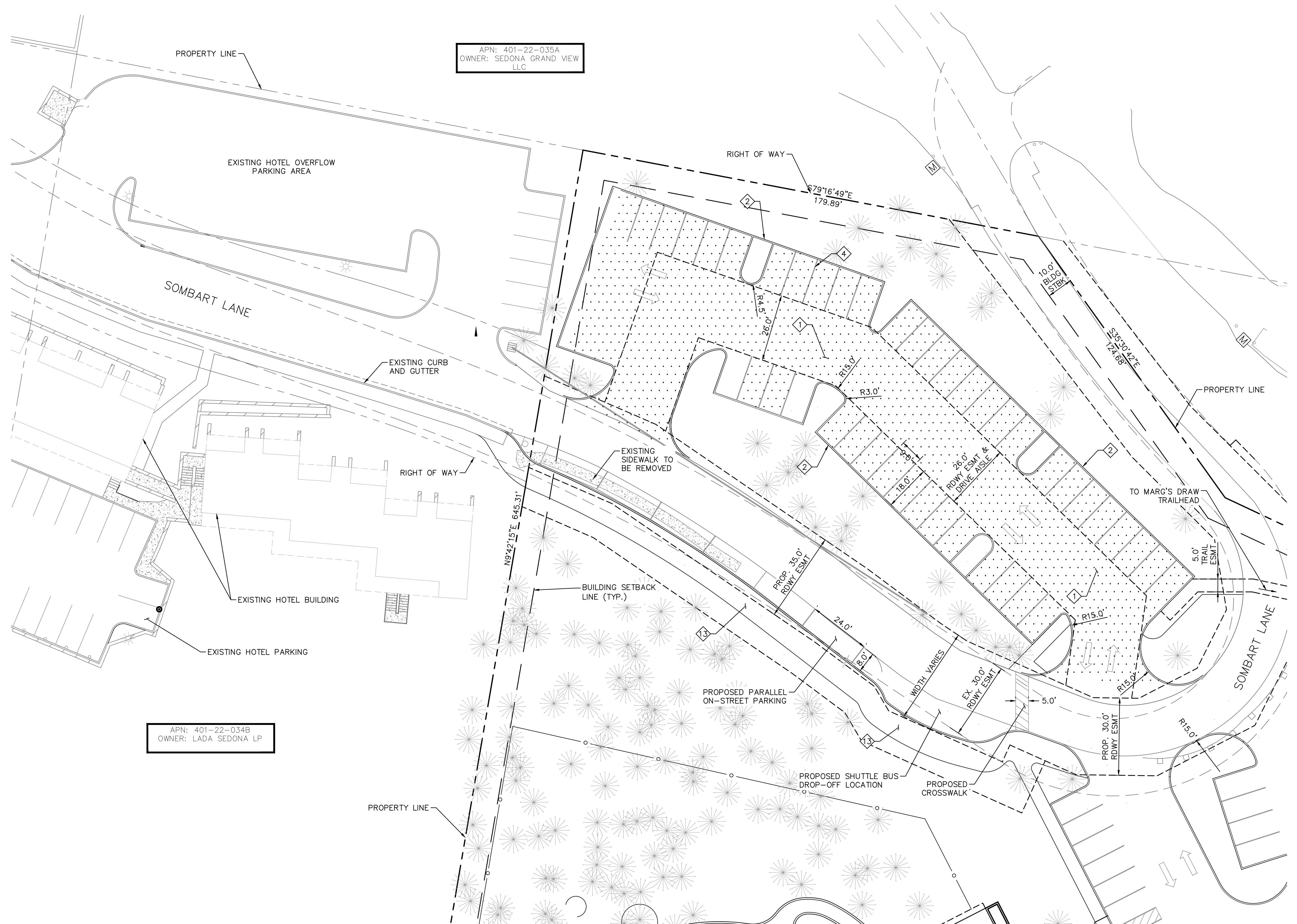
DRAWING NAME
 SP01

02 OF 09

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 201 NORTH MONTEZUMA, SUITE 206
 PRESCOTT, ARIZONA 86301 (928) 458-7121

NO.	REVISION	BY	DATE	APPR.

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SHEET NOTES

NO.	DESCRIPTION
1	PROPOSED PARKING AREA; 3" ASPHALT CONCRETE OVER 5" ABC
2	TYPE A VERTICAL CURB AND GUTTER
4	90° PARKING STRIPE 4" SOLID WHITE
13	PROPOSED 10' SHARED USE PATH

NO.	DESCRIPTION
1	PROPOSED PARKING AREA; 3" ASPHALT CONCRETE OVER 5" ABC
2	TYPE A VERTICAL CURB AND GUTTER
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ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS
 SITE PLAN
 95 N SOMBART LANE
 SEDONA, AZ

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Kimley-Horn
ENGINEER ANDREW BAIRD
PE NO. 48841 DATE 12/22

PROJECT NO.
291659000

DRAWING NAME
SP02

03 OF 09

SCALE (H):
SCALE (V):
DESIGNED BY: JWL
DRAWN BY: JTH
CHECKED BY: ACB
DATE: OCT 2022

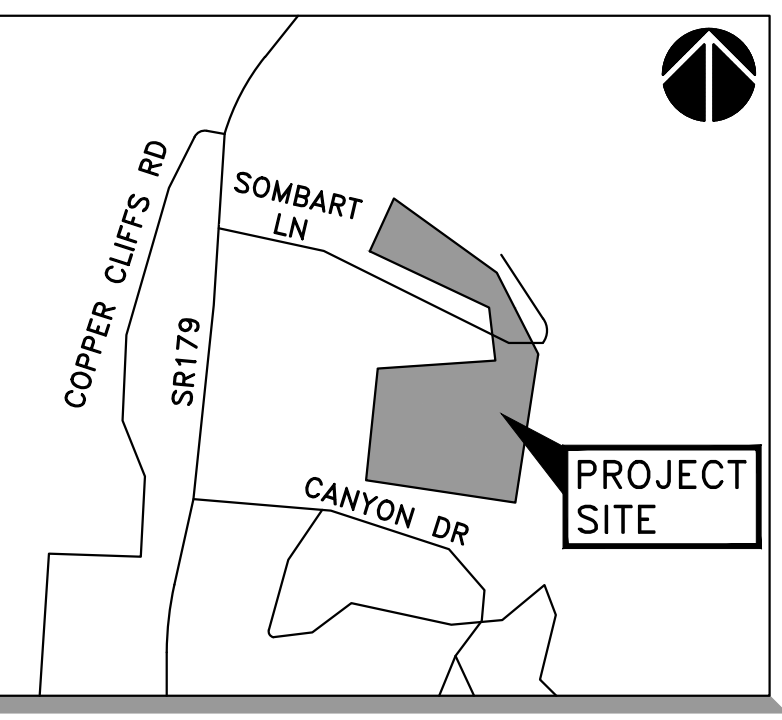
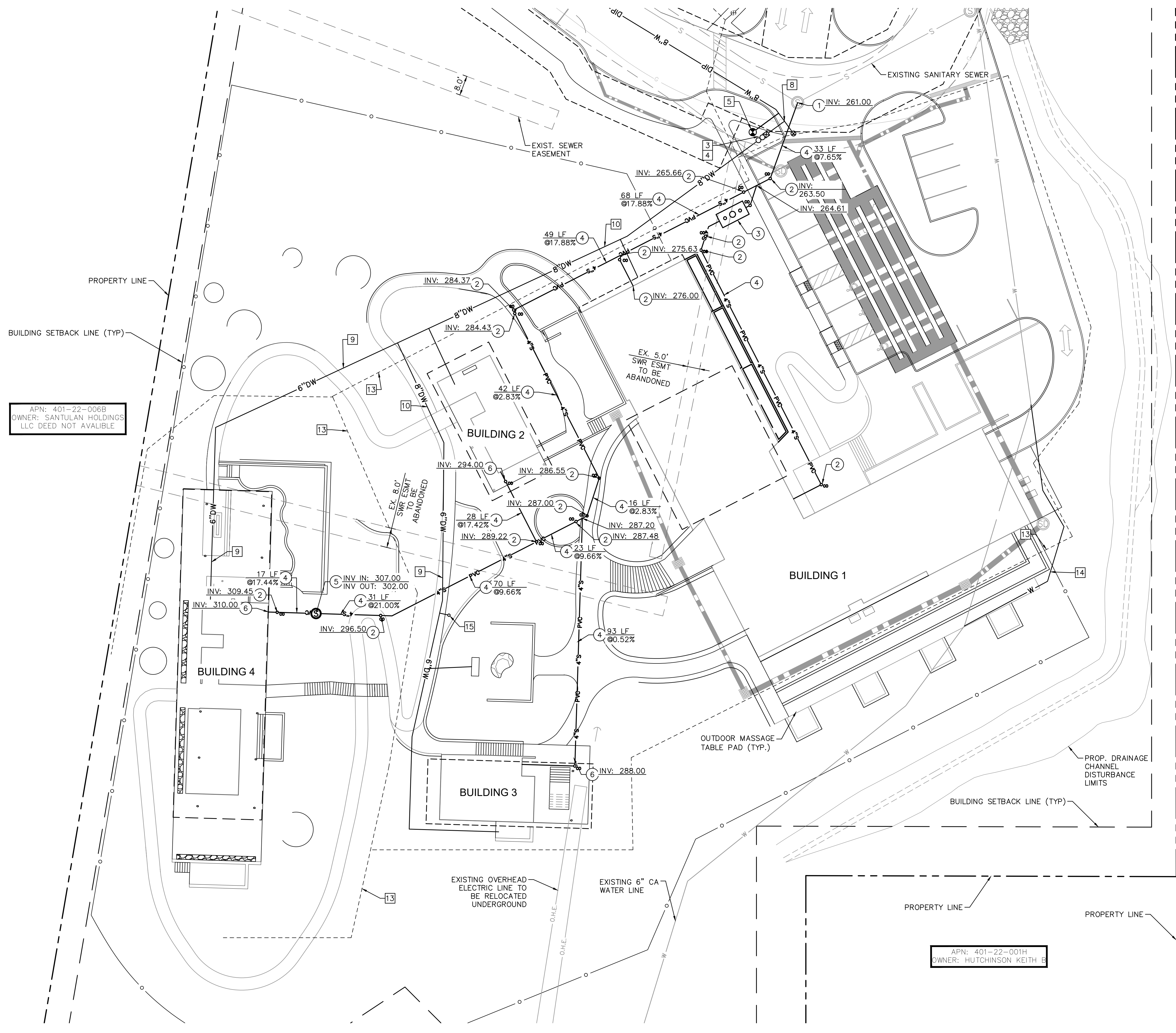
REVISION
BY DATE APPR.

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201 NORTH MONTEZUMA, SUITE 206
PRESCOTT, ARIZONA 86301 (928) 458-7121

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APN: 401-22-006B
 OWNER: SANTULAN HOLDINGS
 LLC DEED NOT AVAILABLE

APN: 401-22-001H
 OWNER: HUTCHINSON KEITH B



- WATER CONSTRUCTION NOTES**
- 3 6" WATER METER ASSEMBLY & VALVE
 - 4 6" BACKFLOW PREVENTER
 - 5 FIRE HYDRANT ASSEMBLY
 - 8 TAPPING SLEEVE AND VALVE
 - 9 6" DIP DOMESTIC WATER LINE
 - 10 8" DOMESTIC FIRE LINE
 - 13 1.5" IRRIGATION MAIN LINE, SEE LANDSCAPE PLANS
 - 14 RELOCATE EXISTING WATER MAIN PER LOCATION SHOWN
 - 15 FIRE RISER STANDPIPE, REFER TO PLUMBING PLANS

- SEWER CONSTRUCTION NOTES**
- 1 CONNECT TO EXISTING SEWER MANHOLE, INVERT PER PLAN
 - 2 INSTALL 4" CLEANOUT PER MAG STD DTL 441, INVERT PER PLAN
 - 3 INSTALL GREASE INTERCEPTOR WITH TWO-WAY CLEANOUT, SIZE PER MANUFACTURER.
 - 4 INSTALL 4" PVC SDR 35 SEWER LINE, LENGTH AND SLOPE PER PLAN, TRENCH, BEDDING, AND BACKFILL PER MAG STD DTL 200-1.
 - 5 5' DIA. PRECAST CONCRETE SEWER MANHOLE PER MAG STD DTL 420-1, 426Q-1 AND 30" CAST IRON MANHOLE FRAME AND COVER PER MAG STD DTL 423-2, INVERT PER PLAN
 - 6 CONNECT TO BUILDING, REFER TO PLUMBING PLANS

- PRIVATE UTILITY NOTES**
1. PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY ROUTING ARE SHOWN FOR TRENCHING, CONDUIT, AND BACKFILL ESTIMATION. COORDINATE WITH UTILITY OWNER ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.

ARIZONA 811
 Dial 8-1-1 or 1-800-STAKE47 (762-6348)
 In Maricopa County: (602) 263-1100

GRAPHIC SCALE IN FEET
 0 10 20 40

Call at least two full working days before you begin excavation.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 © 2022 KIMLEY-HORN AND ASSOCIATES, INC.
 201 NORTH MONTEZUMA, SUITE 206
 PRESCOTT, ARIZONA 86301 (928) 458-7121

SCALE (H): 1"=20'
 SCALE (V): N/A
 DESIGNED BY: JWL
 DRAWN BY: JTH
 CHECKED BY: ACB
 DATE: OCT 2022

ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS
 UTILITY SHEET
 95 N SOMBART LANE
 SEDONA, AZ

PRELIMINARY
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 NOT FOR CONSTRUCTION

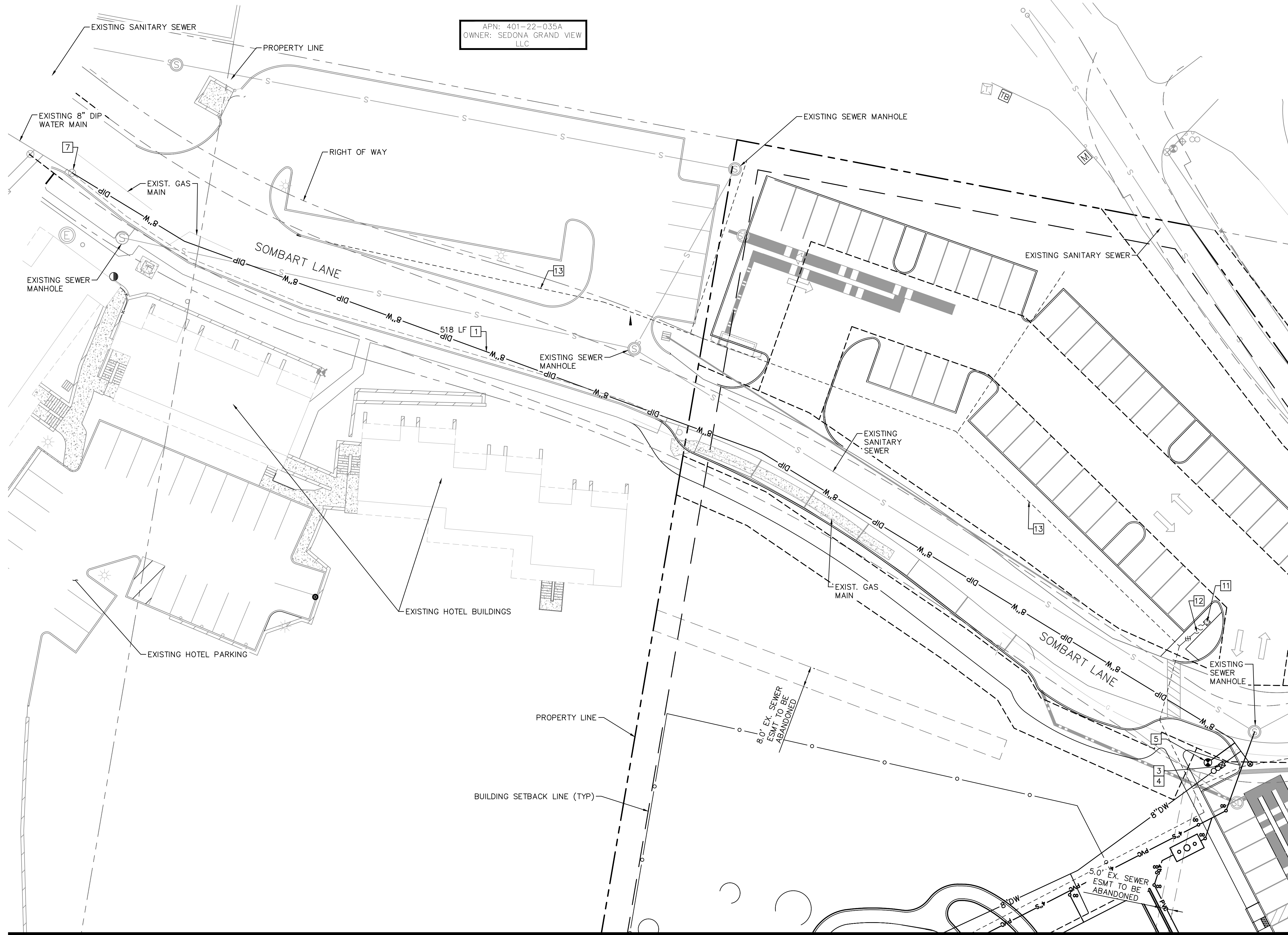
Kimley»Horn
 ENGINEER ANDREW BAIRD
 PE NO. 48841 DATE 12/22

PROJECT NO.
 291659000

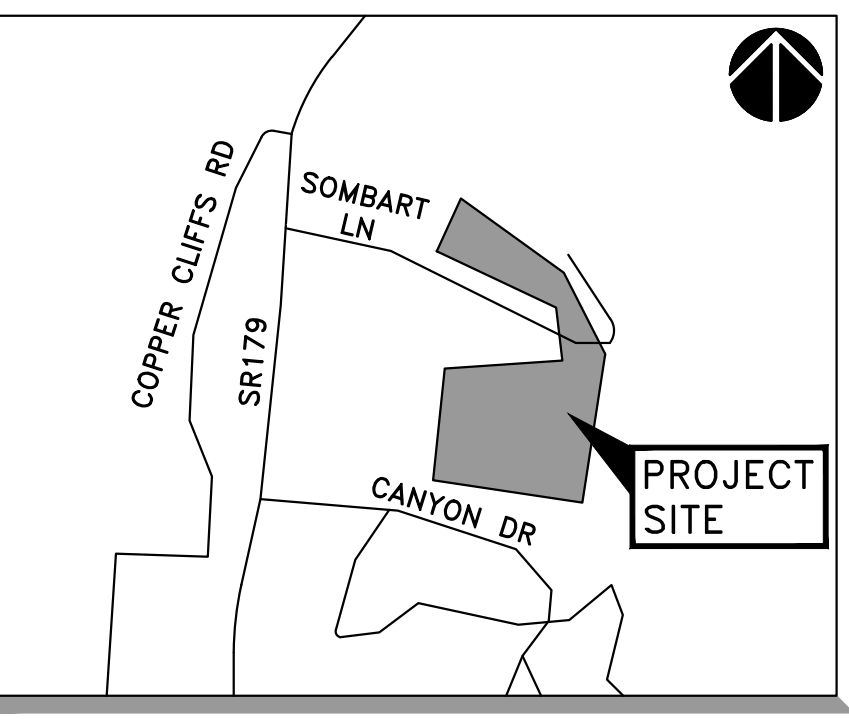
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 UT01

04 OF 09

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APN: 401-22-035A
 OWNER: SEDONA GRAND VIEW
 LLC



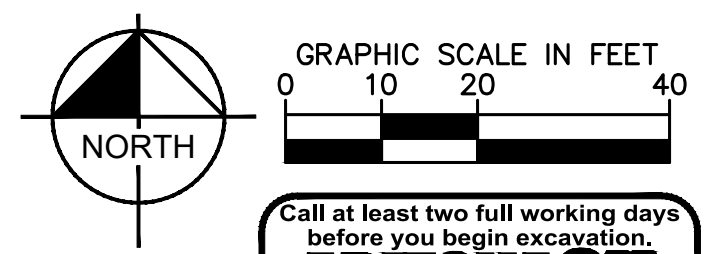
VICINITY MAP
 CITY OF SEDONA
 N.T.S.

WATER CONSTRUCTION NOTES

- 1 8" DIP WATER MAIN
- 3 6" WATER METER ASSEMBLY & VALVE
- 4 6" BACKFLOW PREVENTER
- 5 FIRE HYDRANT ASSEMBLY
- 6 FIRE DEPARTMENT CONNECTION PER SEDONA FIRE DEPARTMENT STD DTL
- 7 CONNECT TO EXISTING WATER MAIN
- 11 2" IRRIGATION METER, SEE LANDSCAPE PLANS
- 12 2" BACKFLOW PREVENTER, SEE LANDSCAPE PLANS
- 13 1.5" IRRIGATION MAIN LINE, SEE ARCHITECTURAL PLANS

PRIVATE UTILITY NOTES

- 1. PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY ROUTING ARE SHOWN FOR TRENCHING, CONDUIT, AND BACKFILL ESTIMATION. COORDINATE WITH UTILITY OWNER ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.



Call at least two full working days before you begin excavation.
ARIZONA 811
 ARIZONA DIAL AHEAD
 Dial 8-1-1 or 1-800-STAKE47 (782-5348) in Maricopa County; (602) 263-1100

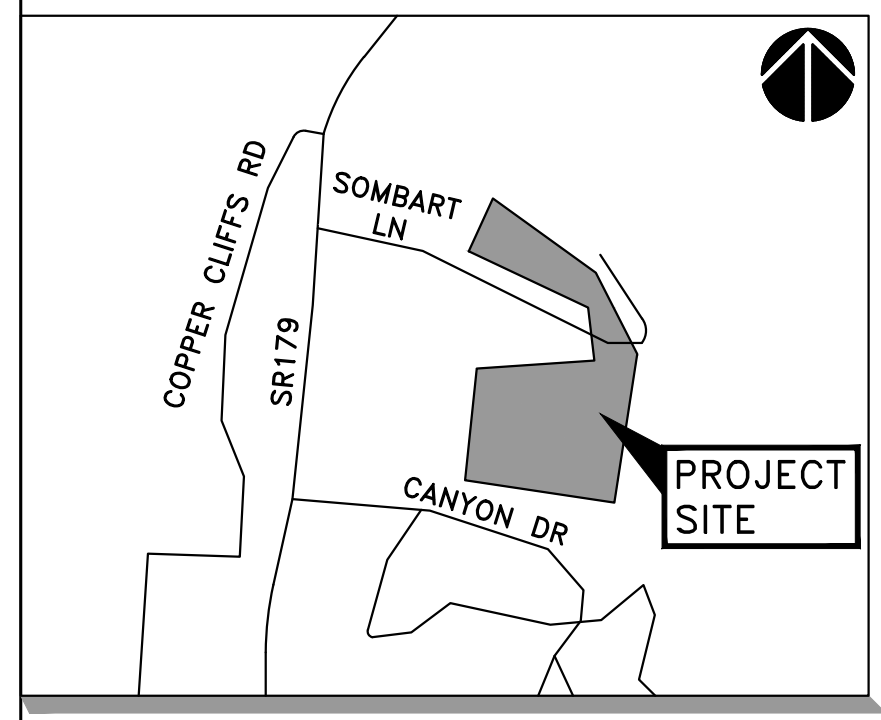
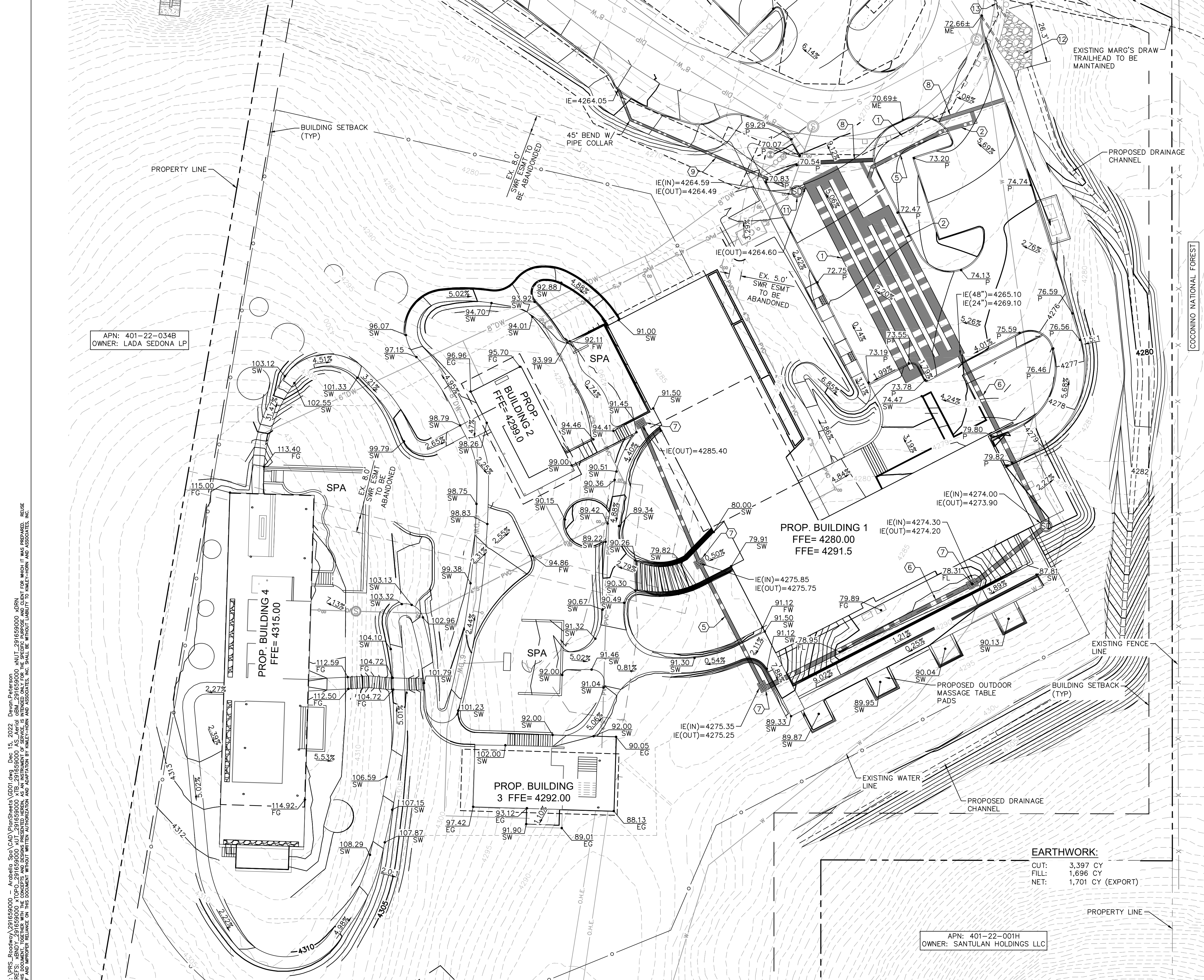
Kimley»Horn

ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS
 UTILITY SHEET
 95 N SOMBART LANE
 SEDONA, AZ

SCALE (H):
 SCALE (V):
 DESIGNED BY: JWL
 DRAWN BY: JTH
 CHECKED BY: ACB
 DATE: OCT 2022

PROJECT NO.
291659000
 DRAWING NAME
UT02
 05 OF 09

NO.	REVISION	BY	DATE	APPR.



VICINITY MAP
CITY OF SEDONA
N.T.S.

SHEET NOTES

NO.	DESCRIPTION
①	PROPOSED 48" HDPE PIPE FOR DETENTION, 3 X 96 LF
②	PROPOSED 48" PIPE FOR FIRST FLUSH BASIN, 2 X 71 LF. INSTALL SAND OIL SEPARATOR IN FIRST PIPE.
⑤	PROPOSED 18" HDPE PIPE
⑥	PROPOSED 24" HDPE PIPE
⑦	PROPOSED AREA INLET CATCH BASIN
⑧	PROPOSED VANED TRENCH GRATE AND DRAIN
⑨	PROPOSED 12" HDPE PIPE
⑩	PROPOSED DETENTION OUTLET STRUCTURE
⑫	PROPOSED RIPRAP ENERGY DISSIPATION APRON
⑬	PROPOSED CONCRETE SCUPPER

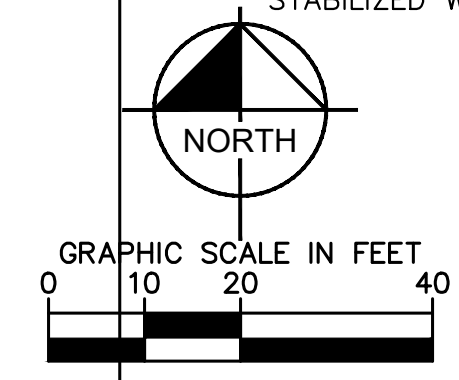
LEGEND

	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING SETBACK
	PROPOSED WALKING PATH
	PROPOSED BUILDING
	PROPOSED BUILDING OVERHANG
	EXISTING FENCE
	PROPOSED PARKING STRIPE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	FG FINISHED GRADE
	EG EXISTING GRADE
	SW SIDEWALK/PATHWAY GRADE
	TW TOP OF WALL
	FW FACE OF WALL
	ME MATCH EXISTING
	P PAVEMENT ENDS

GRADING NOTES

- ALL CUT SLOPES NO STEEPER THAN 1.5:1 AND ALL FILL SLOPES SHALL BE NO STEEPER THAN 2:1
- FILL SLOPES 2:1 OR STEEPER SHALL BE STABILIZED WITH RIPRAP (D50=6") MIN.

EARTHWORK:
CUT: 3,397 CY
FILL: 1,696 CY
NET: 1,701 CY (EXPORT)



Call at least two full working days before you begin excavation

Arizona 811
Dial 8-1-1 or 1-800-STAKE47 (782-8348)
In Maricopa County: (602) 263-1100

Kimley»Horn

ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS
GRADING AND DRAINAGE
95 N SOMBART LANE
SEDONA, AZ

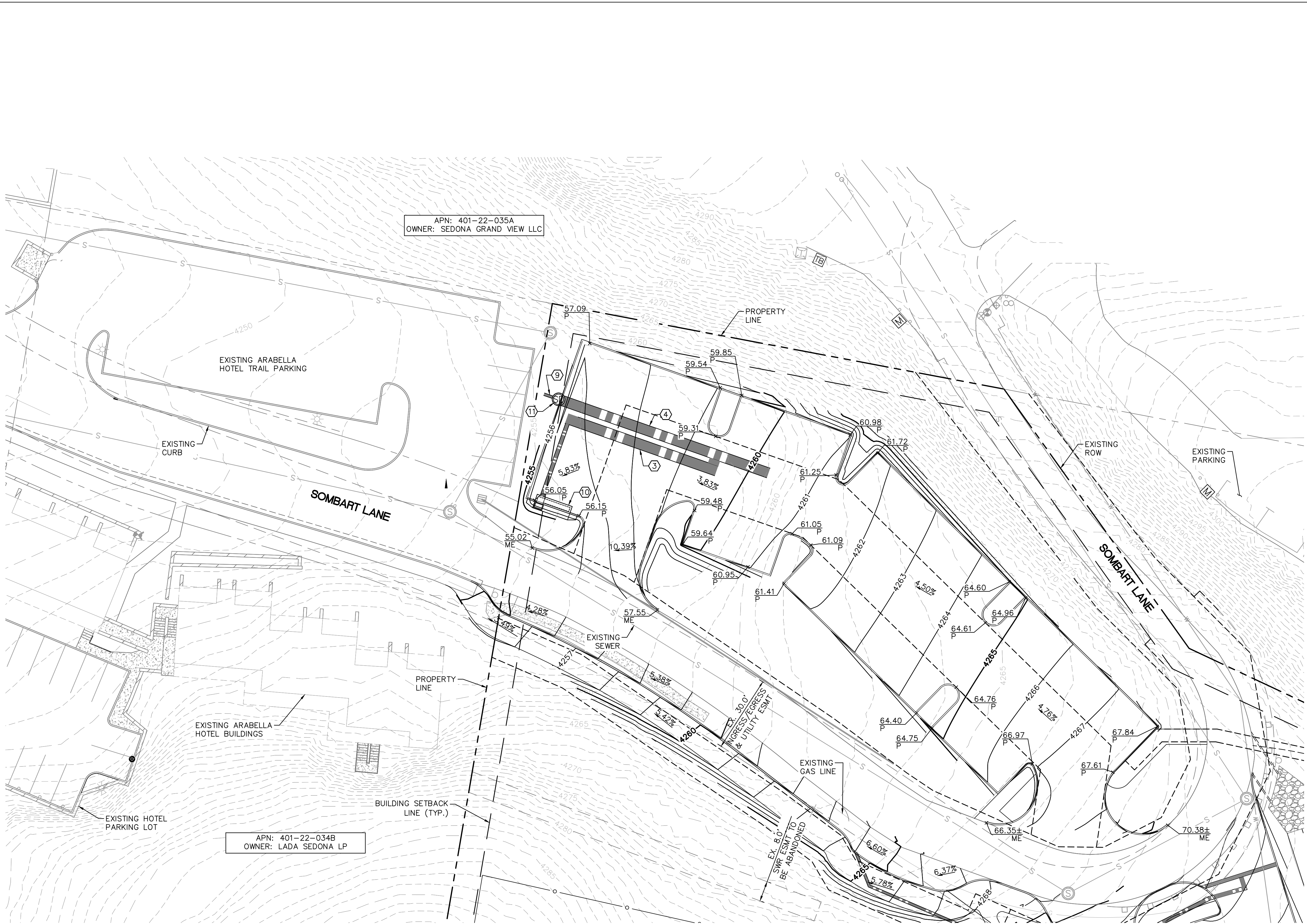
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DESIGNED BY: JWL
DRAWN BY: JTH
CHECKED BY: ACB
DATE: OCT 2022

PROJECT NO. 291659000
DRAWING NAME GD01
06 OF 09

REVISION NO. BY DATE APPR.

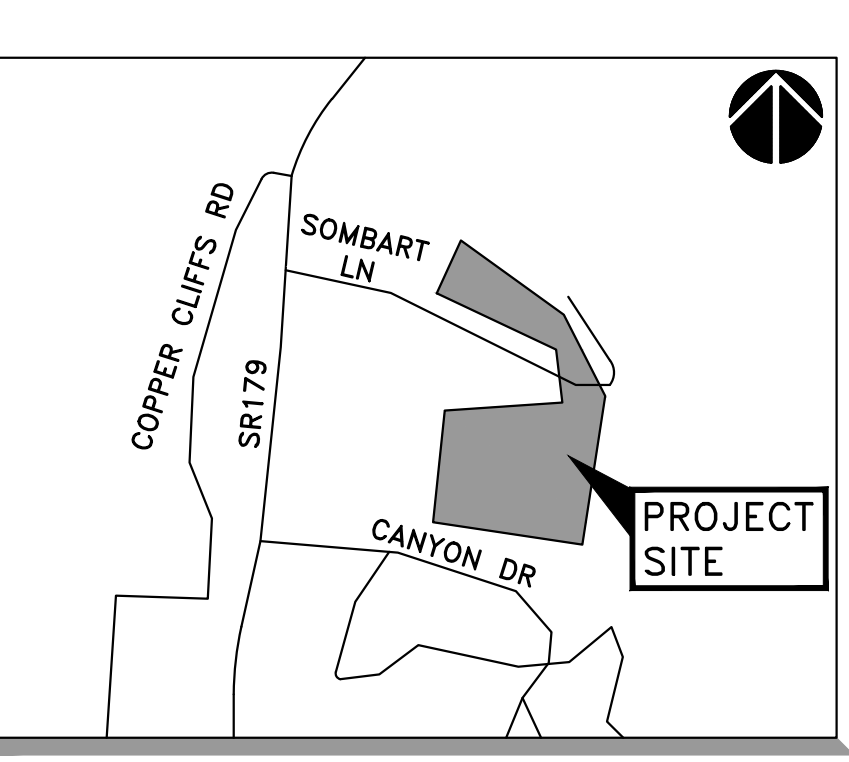
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APN: 401-22-035A
OWNER: SEDONA GRAND VIEW LLC

APN: 401-22-034B
OWNER: LADA SEDONA LP



VICINITY MAP
CITY OF SEDONA
N.T.S.

SHEET NOTES

- | NO. | DESCRIPTION |
|-----|---|
| 3 | PROPOSED 48" HDPE PIPE FOR DETENTION, 62 LF |
| 4 | PROPOSED 48" PIPE FOR FIRST FLUSH BASIN, 87 LF. INSTALL SAND OIL SEPARATOR IN FIRST PIPE. |
| 9 | PROPOSED 12" HDPE PIPE |
| 10 | PROPOSED TYPE 'D' CATCH BASIN INLET AND GRATE PER MAG STD DTL 533 |
| 11 | PROPOSED DETENTION OUTLET STRUCTURE |

LEGEND

- | | |
|--|----------------------------|
| | EXISTING PROPERTY LINE |
| | EXISTING RIGHT-OF-WAY |
| | EXISTING SETBACK |
| | PROPOSED WALKING PATH |
| | PROPOSED BUILDING |
| | PROPOSED BUILDING OVERHANG |
| | EXISTING FENCE |
| | PROPOSED PARKING STRIPE |
| | PROPOSED MAJOR CONTOUR |
| | PROPOSED MINOR CONTOUR |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | FG FINISHED GRADE |
| | EG EXISTING GRADE |
| | TW TOP OF WALL |
| | FW FACE OF WALL |
| | ME MATCH EXISTING |
| | P PAVEMENT ENDS |

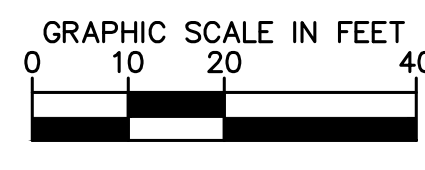
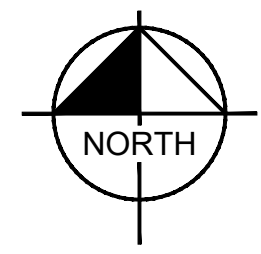
EARTHWORK:

CUT: 299 CY
FILL: 516 CY
NET: 216 CY (IMPORT)

NOTE:
THE QUANTITIES LISTED ABOVE ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATION OF THE QUANTITIES INVOLVED AND BASE HIS ESTIMATE ON HIS OWN QUANTITIES.

THE QUANTITY SHOWN ABOVE IS A SURFACE TO SURFACE COMPARISON. SEPARATE QUANTITIES WERE NOT CALCULATED FOR OVERBURDEN AND PAVEMENT SECTION.

CONSTRUCTION WILL DISTURB MORE THAN 1 ACRE AND IS THEREFORE REQUIRED TO OBTAIN AN AZPDES PERMIT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FILING NOI, NOT, AND FOR DEVELOPING, FILING, AND UPDATING THE STORM WATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT.



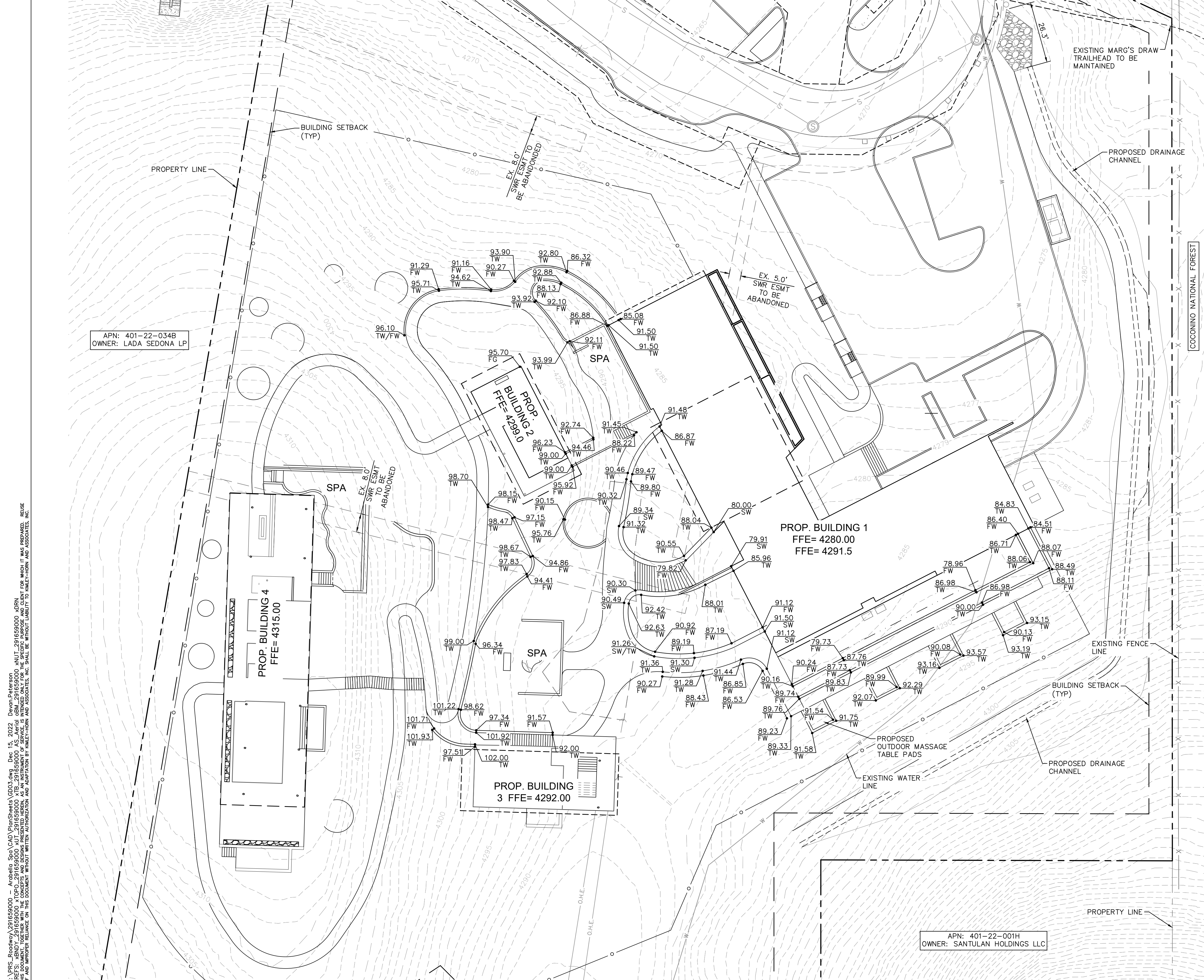
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
201 NORTH MONTEZUMA, SUITE 206
PRESCOTT, ARIZONA 86301 (928) 458-7121

SCALE (H): 1"=20'
SCALE (V): N/A
DESIGNED BY: JWL
DRAWN BY: JTH
CHECKED BY: ACB
DATE: OCT 2022

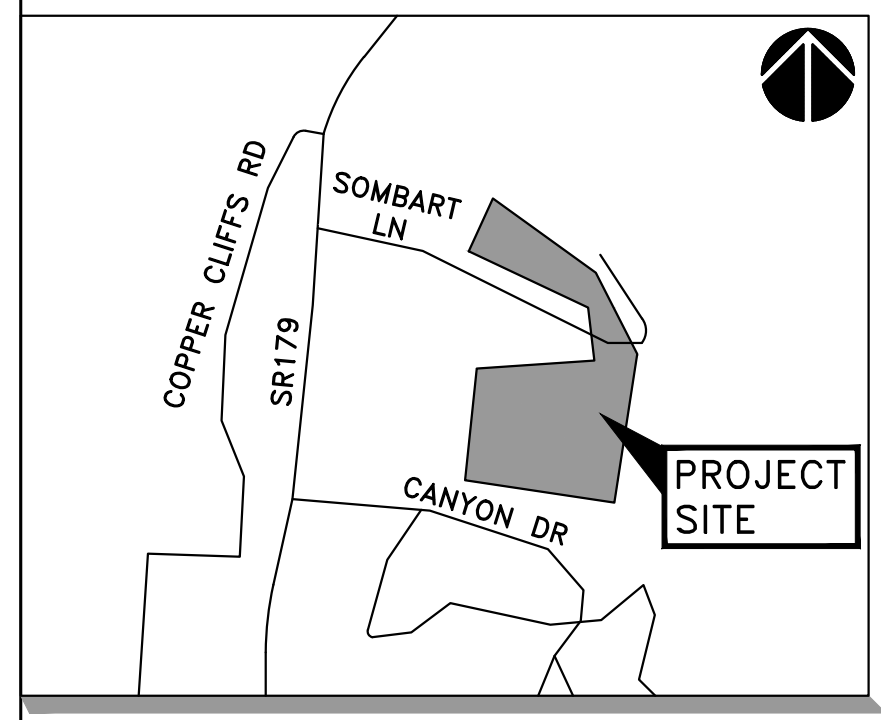
ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS
GRADING AND DRAINAGE
95 N SOMBART LANE
SEDONA, AZ

PRELIMINARY	
FOR REVIEW ONLY	NOT FOR CONSTRUCTION
Kimley»Horn	
ENGINEER: ANDREW BAIRD PE NO. 48841 DATE: 12/22	
PROJECT NO.	291659000
DRAWING NAME	GD02
07 OF 09	



APN: 401-22-034B
OWNER: LADA SEDONA LP

APN: 401-22-001H
OWNER: SANTULAN HOLDINGS LLC



VICINITY MAP
CITY OF SEDONA
N.T.S.

SHEET NOTES

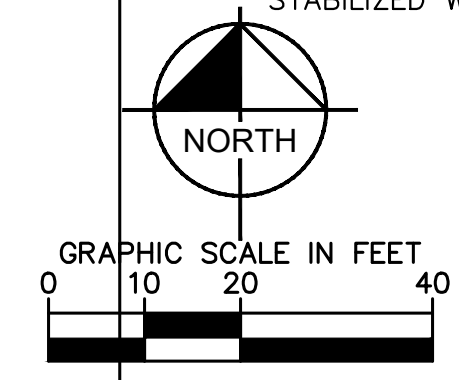
NO.	DESCRIPTION
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LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK
- PROPOSED WALKING PATH
- PROPOSED BUILDING
- PROPOSED BUILDING OVERHANG
- X EXISTING FENCE
- PROPOSED PARKING STRIPE
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FG FINISHED GRADE
- EG EXISTING GRADE
- TW TOP OF WALL
- FW FACE OF WALL
- ME MATCH EXISTING
- P PAVEMENT ENDS

GRADING NOTES

- ALL CUT SLOPES NO STEEPER THAN 1.5:1 AND ALL FILL SLOPES SHALL BE NO STEEPER THAN 2:1
- ALL SLOPES 2:1 OR STEEPER SHALL BE STABILIZED WITH RIPRAP (D50=6") MIN.



Call at least two full working days before you begin excavation.

Arizona 811
Dial 8-1-1 or 1-800-STAKE47 (762-6348)
In Maricopa County: (602) 263-1100

K:\PSS_Bookings\201659000 - Arabella SPA\CAD\PlanSheets\GD03.dwg, Dec. 15, 2022, Davis Patterson
 XREFS: XREFD:\201659000_XTPOD_201659000.dwg, XREFE:\201659000_XTBD_201659000.dwg, XREFG:\201659000_XTAS_Aerial.dwg, XREFH:\201659000_XTAS_Aerial.dwg, XREFI:\201659000_XTAS_Aerial.dwg, XREFJ:\201659000_XTAS_Aerial.dwg
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WALL GRADES
95 N SOMBART LANE
SEDONA, AZ

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ENGINEER: ANDREW BAIRD
PE NO. 48841 DATE: 12/22

PROJECT NO. 291659000
DRAWING NAME GD03
08 OF 09

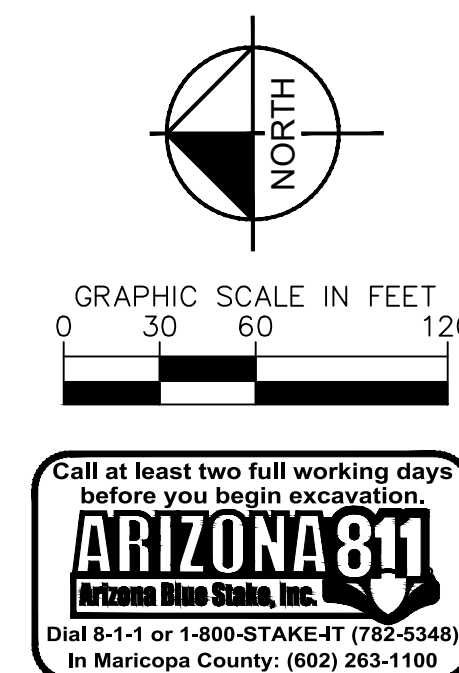
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K:\PWS_Rockwell\291659000 - Arabella SPA\CD\PlanSheets\TC01.dwg Dec 15, 2022 Devan.Peterson
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PARKING SPACE REQUIREMENTS

LAND USE	BLDG AREA	RATIO	NO. OF SPACES
SPA	19463 SF	1 PER 250 SF	78
RESTAURANT	1426 SF	1 PER 100 SF	15
OUTDOOR DINING	525 SF	1 PER 100 SF (EXCEEDING 20%)	3
TOTAL			96
TOTAL AFTER REDUCTION FROM SHARED PARKING USE (-38%)			60
STANDARD PARKING SPACES PROVIDED			59
ADA PARKING SPACES PROVIDED			3
VAN PARKING SPACES PROVIDED			2
TOTAL PARKING SPACES PROVIDED			64



ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS		TRAFFIC CIRCULATION		95 N SOMBART LANE		SEDONA, AZ																																																																	
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