



PHONE: 602-230-0600

FAX: 602-212-1787

2525 E. Arizona Biltmore Circle, Suite A-212, Phoenix, AZ 85016

## MEMORANDUM TO CITY COUNCIL

### **Arabella Spa (PZ21-00009) Development Review Appeal of Planning & Zoning Commission Action December 19, 2022**

#### **I. Introduction**

The matter presented to the City Council is an appeal of the Sedona Planning & Zoning Commission's (the "Commission") action to deny the development review application for the Arabella Spa, case number PZ21-00009 (the "Application"). This appeal is being submitted on behalf of LaDa Sedona, LP (the "Applicant") for PZ21-00009 and the owner and operator of the Arabella Hotel.

On November 15, 2022, the Commission narrowly voted to deny the Application on a 3-3 vote. As detailed below, the application meets all of the review and approval criteria set forth by the Sedona Land Development Code ("LDC"), and the reasons for denial stated by the three "no" votes on November 15, 2022 all relate to land use and fall outside the scope of a Development Review application. Nonetheless, this Memorandum also provides a detailed explanation and analysis of the land use-related concerns expressed by the three Commissioners who voted to deny and how those issues are already being mitigated and/or addressed. For these reasons, we respectfully request that the City Council grant the applicant's appeal and approve Development Review case number PZ21-00009 for the Arabella Spa.

#### **II. Site Location**

The subject site is approximately 5.35 acres located at 95 Sombart Lane in Sedona, Arizona (the "Property") as shown on the Aerial Map at **Tab 1**. The Property is currently zoned Commercial (CO) as shown on the Zoning Map at **Tab 2**. As the Aerial Map indicates, the Property is currently vacant, undeveloped land. The Property backs up to the Coconino National Forest boundary to the east and is adjacent to the Arabella Hotel to the west. To the north of the Property are individually owned condos and the Vista Ridge vacation rentals, and the south of the Property are single-family residences in the Oak Creek Knolls neighborhood.

#### **III. Arabella Spa Development Review Application**

In March 2022 the Applicant submitted a Development Review application to the City of Sedona for the development of a new 20,000 square-foot thermotherapy spa on

the Property. The proposed spa consists of spa will consist of four (4) buildings which include a 16,777 square-foot, two-story main building and three (3) smaller one-story pavilions with 773, 1,628, and 1,853 square feet, respectively. See Conceptual Site Plan at **Tab 3**. The spa falls within the “Personal Service, General” land use as defined in Section 9.4 of the LDC, which is permitted by right in the CO zoning district as noted in the Table of Allowed Uses in Section 3.2 of the LDC. See Table of Allowed Uses at **Tab 4**.

The Arabella Spa is centered around a Nordic thermotherapy experience – a wellness ritual that utilizes alternating hot and cold temperatures followed by a period of deep relaxation. Uniquely suited to Sedona, the Arabella Spa will be the only one of its kind in the State of Arizona. A connection to the natural elements is an important factor in the Nordic spa experience, and the buildings are designed to blend with the natural environment and integrate into the landscape. See Conceptual Renderings at **Tab 5**.

The formal Development Review application was submitted by the Applicant in March of 2022. Over the course of approximately seven months, the Application was revised and resubmitted twice – each time with significant changes in response to staff and community input.

While the Application was in review with the City of Sedona, the applicant held a neighborhood meeting in September 2022 that was attended by seventeen (17) residents. During the meeting, the development team took detailed notes of the issues expressed by residents and later followed up by phone with each attendee. A summary of the residents’ comments and the Applicant’s responses are attached at **Tab 6**.

At each stage of the application process, the Applicant has responded to comments and concerns expressed from both City staff and residents in a thorough and meaningful manner. This includes the removal of spa villas, removal of the observation deck amenity, the inclusion of a trailhead shuttle stop, and the addition of trailhead parking. The result is a development proposal that not only complies with all relevant code, ordinance, and review criteria, but is also tailored to meet the needs of surrounding neighbors.

#### **IV. Planning & Zoning Commission Public Hearing – November 15, 2022**

As noted above, the Application was reviewed in a public hearing by the Sedona Planning & Zoning Commission on November 15, 2022. Prior to the public hearing, the Community Development Department issued a staff report to the Commission with a thorough analysis of the application and the following recommendation:

*“Based on compliance with all ordinance requirements and satisfaction of the Development Review findings of the Land Development Code, staff recommends approval of case number PZ21-00009 (DEV), Arabella Spa, as subject to all applicable ordinance requirements and the attached conditions of approval.*”

See November 15, 2022 Staff Report at **Tab 7**. In the report, staff provides a detailed analysis of the Application's compliance with all relevant sections of the LDC and satisfaction of the Development Review findings in Section 8.3.E.(5) of the LDC. See Land Development Code Checklist on Pages 19-24 and Review Guidelines on Pages 6-10 of the Staff Report at **Tab 7**.

At the November 15, 2022 public hearing, Planning Manager Cari Meyer began the agenda item with staff's analysis of the Application and the basis for the recommendation of approval. Following staff's presentation, Applicant's representative William Erwin of Erwin Architecture provided an overview of the project. The remainder of the time was dedicated to Q&A from the Commission and a period of public comment.

At the conclusion of the hearing, Commissioner George Braam made a motion to approve the Application, "...based on compliance with all ordinance requirements of the LDC Section 8.3 and 8.4 and the satisfaction of the Development Review findings and applicable land development code requirements outlined in the staff report...". The motion was seconded by Commissioner Sarah Wiehl. When the Chair called for a vote, Commissioners Braam, Wiehl, and Zonakis voted to approve the Application. Chairperson Levin, Vice Chair Hosseini, and Commissioner Furman voted to deny. With confirmation from City Attorney Kurt Christianson, the Chair noted that a tie vote results in a denial of the application.

Following the vote, Chairperson Levin noted the following in explaining her vote to deny the Application:

*"...although the development land use **is by right allowed** I, for me, it's not right in terms of the 20-year mega drought that Arizona is experiencing..."*

*"I think because it relies so much, its central thesis is to use water, to replenish water, and to continue to use water, that, um, we should not be supporting proposals that are based on this kind of water usage that goes against everything that the Council believes in." (Emphasis added).*

Commissioner Peter Furman echoed the Chair's sentiments, stating:

*"...the justification for my "no" is that **although you've complied with the LDC**, I think in many ways I also think that this commission, and I look to our Community Plan where it talks about economic diversity, reduced traffic, environmental stewardship, vision, themes about stewardship, improved traffic flow and economic diversity." (Emphasis added).*

*"And I think that this project is missed about water use and the environmental stewardship. I'm not sure the parking analysis is really gonna work out and it'll end up burdening the local area somehow."*

*“So I know that we’re allowed to, and we must think about balancing all of these things, the LDC with what the Community Plan says, and the public benefit, to me, doesn’t raise the level of compromises that we’re making relative to these other elements in the Community Plan.”*

Finally, Vice Chair Hosseini agreed with both Chairperson Levin and Commissioner Peter Furman by stating that she “couldn’t have said it better [herself]” and that the project was “out of sync with where we are at this point.”

## **V. Issues Raised at Planning & Zoning Commission Hearing**

As an initial matter, it must be noted that the proposed spa use is permitted by right pursuant to Table 3.1 in the LDC. As noted in the comments above, at the November 15<sup>th</sup> hearing there were several instances in which Commissioners expressed a disagreement with the proposed land use. A denial predicated upon a disapproval of the proposed land use falls outside the permissible scope of review for a Development Review application. The Applicant has vested property right to develop and operate the Property for any land use permitted by the LDC, within the development parameters and regulations promulgated by the LDC and the Community Plan. The purpose of the Development Review process is to ensure that the relevant regulations and policy documents are being adhered to – not to render a decision on the permissibility or appropriateness of the proposed land use.

In this context, the concerns raised by the Commissioners focused on four primary issues: water usage, parking, traffic, and public benefit. As detailed below, the analysis and conclusions provided in the City’s Community Development Department’s staff report did not raise any concerns related to these topics and determined that the Application met all relevant engineering and development standards.

### **1. Water Usage**

Water usage was the primary concern expressed by the members of the Commission who voted to deny the Application at the November 15<sup>th</sup> meeting. The focus on water use as the basis for denial is problematic both subjectively and objectively. The Commissioners who voted to deny the project expressed their belief that both the *purpose* for which the water was being used and the *volume* of water being used were unacceptable. Regarding the subjective component, fundamental disagreements with the proposed use of the Property as a thermotherapy spa are outside the scope of a Development Review.

Regarding the objective component, the overall water usage of the proposed project is not dissimilar from other commercial developments around the City of Sedona. As an initial matter, the Applicant has obtained a “will serve” letter from the Arizona Water Company for the proposed project, attached at **Tab 8**. Among the Commissioners who voted to deny the Application, the focus of their concern was the water demand/usage of the Arabella Spa’s thermotherapy pools. However, as illustrated by the Design Water

Demand Calculations table in the Preliminary Water Design Report at **Tab 9**, the pools within the Arabella Spa account for approximately only 30% of the overall average daily water demand. By comparison, the water demand of the proposed 1,951 square-foot restaurant and 1.97 acres of Xeriscape landscaping represent approximately 48% of the total average daily water demand. All average daily demand calculations are based upon land use-based estimates provided by the Arizona Water Company.

As these figures illustrate, commercial land uses found throughout the City of Sedona – restaurants, coffee shops, breweries, etc. – consume considerably more water on average than swimming pools. Pools lose approximately a quarter-inch of water of water per day to evaporation (approximately 600 gallons per week for an average-sized swimming pool, which has to be periodically replenished in conjunction with regular pool maintenance operations. In contrast, food and beverage operations require approximately 1.3 gallons of water per-square-foot, per-day for consumption, dishwashing, food preparation, employee sanitation, and other daily operations. In concrete terms, the 10,963 square-foot restaurant component of the 2008 “Nirvana” mixed-use development approved for the Property would have produced an average daily water demand of 14,252 gallons per day – more than the entire Arabella Spa project.

Moreover, the thermotherapy pools at Arabella Spa are designed by Aqua Design International (ADI), a world-renowned pool and water feature design firm based in Tucson, Arizona. ADI is a leader in cutting-edge technology and pool design techniques, creating the most energy-efficient and water-efficient commercial pool systems in the industry. The water usage estimates provided by the Arizona Water Company do not account for the efficiencies and conservation methods pioneered by ADI.

Consequently, there is a considerable difference between the perception of the Arabella Spa’s water usage and what the numbers demonstrate. On the spectrum of permissible commercial uses for the Property, the ADI-designed thermotherapy pools at the Arabella Spa require significantly less water than many other land uses found throughout the City of Sedona. Environmental responsibility and community stewardship are foundational principles in the design of the Arabella Spa.

## **2. Parking**

As part of this Application, the Applicant submitted a Traffic Statement and Parking Analysis to evaluate the trip generation, traffic impact, and parking demand for the proposed spa facility (the “Traffic Statement”). Attached at **Tab 10**. The Traffic Statement, prepared by a registered engineer at Kimley-Horn, analyzes the parking demand for the proposed project and the efficiencies created by the association with the Arabella Hotel and construction of a new inter-city shuttle stop at the Property.

The Traffic Statement notes that pursuant to the LDC, a total of 96 parking spaces are required for the Property. However, because the proposed spa will serve as an amenity to the existing Arabella Hotel and many of the hotel guests will use the spa during their stay, the number of required parking spaces can be reliably reduced based upon a



concept known as “internal capture”. Common to mixed-use developments, internal capture reflects the parking and trip generation efficiencies gained by having multiple related land uses on a single site. In this model, because a single vehicle/guest is likely to visit the site for more than one reason, the combined trip generation and parking calculations for each of the individual land uses overestimate the actual number of daily trips and parking demand.

Here, the Institute of Transportation Engineers (ITE) *Trip Generation Handbook* calculates that the Arabella Spa will enjoy a 38% daily internal capture rate as a result of its association with the Arabella Hotel. In other words, approximately 38% of the daily visitors to the Arabella Spa will be guests of the Arabella Hotel – people who are already parked on-site and do not require a separate and additional parking space to visit the Arabella Spa. The ITE *Trip Generation Handbook* is recognized by engineers as the gold standard for calculating trip generation and parking demand.

Factoring in the efficiencies gained by the on-site internal capture, the Traffic Statement recommends a corresponding 38% reduction in the overall parking requirement for the Arabella Spa – from 96 spaces to 60 spaces. Per the Land Development Code Checklist on Pages 19-24 of the Staff Report, the Applicant’s proposed 61 spaces plus 3 spaces for trailhead parking was reviewed by the City of Sedona’s Planning staff and Engineering staff and found to be in compliance with Section 5.5 of the LDC (Off-Street Parking and Loading). The proposed reduction is based upon traffic engineering models and principles that are accepted by government agencies across the country.

At the November 15<sup>th</sup> public hearing, several Commissioners expressed a concern that the shared parking arrangement would not survive a “divorce” of the Arabella Spa and the Arabella Hotel – in which the entities no longer shared a common owner. However, as noted in Stipulation 8(r) of the draft Conditions of Approval on Pages 12-14 of the Staff Report, the Applicant is required to provide a parking agreement that meets the requirements of LDC Section 5.5.E(2)c prior to the issuance of a grading or building permit. This agreement must remain in effect for the life of the use, and therefore by necessity will run with the land regardless of who owns the Property. Agreements of this nature ensure that shared parking arrangements survive changes in ownership.

### **3. Traffic**

Concerns about the traffic generated by the Arabella Spa were expressed by both Commissioners and some members of the community. As noted above, the proposed spa benefits from a significant amount of internal capture that an unrelated commercial development would not enjoy. With approximately 38% of the daily visits coming from guests of the Arabella Hotel, the proposed spa will only generate approximately 42 additional trips during the AM peak hour and 65 additional trips during the PM peak hour. Stated differently, the Arabella Spa will generate approximately 1 additional vehicle every 1.43 minutes in AM peak hour and 1 additional vehicle every 55 seconds in PM peak

hour. The expected trip generation for the Arabella Spa is considerably lower than many of the other high-turnover commercial land uses permitted by right on the Property.

Additionally, the Applicant is currently awaiting comments and proposed improvements to SR-179 from the Arizona Department of Transportation (ADOT). As reflected in Stipulation 8(b) of the draft Conditions of Approval on Pages 12-14 of the Staff Report at **Tab 7**, the Applicant is required to provide ADOT comments for traffic impact study and intersection improvements shall be determined after ADOT comments are received. Per the draft stipulation, the intersection improvements shall be included on the final plans for the project prior to the issuance of grading and building permits. This condition ensures that any necessary traffic mitigation is incorporated into the project prior to the issuance of any permit.

#### **4. Public Benefit**

At the conclusion of the November 15<sup>th</sup> hearing, Commissioner Furman and Vice Chair Hosseini both noted that the proposed project was lacking in public benefit. However, pursuant to the Development Review Guidelines in Section 8.3 of the LDC, public benefit is only supposed to be considered in the analysis if the project is “contrary to some of the goals, policies, or strategies in the Sedona Community Plan or other applicable plans.” As noted in Section C on Page 7 of the Staff Report, the Community Development Department found the project to be consistent with the Community Plan, noting:

- *The property is designated Planned Area (PA) in the Community Plan, which supports the CO zoning designation. This use is consistent with the Commercial designation.*
  - *The Community Plan lists the following needs and benefits for this PA:*
    - *Provide pedestrian improvements that will enhance overall pedestrian mobility and potential reduction of highway trips for the area.*
    - *The proposal extends sidewalks along Sombart Lane and includes a shuttle drop off area for future transit or private shuttle drop off.*
  - *The proposal maintains trailhead parking and trail access for the Marg’s Draw Trail.*
- *Provide a substantial buffer from the National Forest.*
  - *The code requires a minimum of a 10 foot setback from National Forest property for commercial development. The proposed buildings maintain a minimum setback of 60 feet from National Forest property and other site elements (parking lots, driveways, trash enclosure) have a minimum setback of approximately 40 feet.*

- *Retain open space and National Forest access as part of coordinated site planning to address the wildland – urban interface.*
  - *The project proposes an open space buffer along the shared boundary with the National Forest of a minimum of 40 feet.*
  - *The proposal maintains trailhead parking and trail access for the Marg's Draw Trail.*
- *The proposal does not contradict any of the policies within the Community Plan.*
- *The proposal is in compliance with this criterion.*

Staff's analysis clearly identifies the goals and policies satisfied by the Application, specifically the expected public benefits outlined for this Planned Area within the Community Plan. The trailhead parking for Marg's Draw is not only maintained, but upgraded from an unmarked dirt area to three fully paved, striped parking spaces. The amount of trailhead parking provided was deemed sufficient by Community Development based upon a) current usage of the trail, b) the introduction of a shuttle stop to reduce vehicular traffic to the trailhead, and c) the location of this trail access at the midpoint of the Marg's Draw trail, which has large trailhead parking lots at both the northern terminus (Schneibly Hill Road) and southern terminus (Morgan Road) of the trail.

Finally, in addition to the benefits outlined above, the Arabella Spa itself will offer a health and wellness public benefit to the residents of Sedona that does not currently exist in the State of Arizona. There are approximately eight (8) Nordic thermotherapy spas in the United States, none of which are in Arizona. Alternating between hot and cold temperatures followed by a period of deep relaxation, the thermotherapy experience has many health benefits, such as elimination of toxins, stimulation of the immune system and cardiovascular system, and improvement of general well-being. The Arabella Spa will be open to the public, providing the residents of Sedona with access to a new suite of health and wellness activities that were not previously available.

## **VI. Prior Approvals**

As noted in the Water Usage section, in 2008 a mixed-use project known as "Nirvana" (ZC 2008-1/SUB 2008-1/DEV 2008-1) was approved for the Property through by the City of Sedona. The approved project included a 22,661 square-foot spa, a 10,963 square-foot restaurant, 14,063 square feet of retail space, and 15 residential condominiums, with a combined gross floor area of approximately 88,963 square feet. According to the 2008 approved plat, the total anticipated water demand was approximately 26.72 gallons per minute, or approximately 38,477 gallons per day – almost four times the projected water demand of the proposed Arabella Spa. See Nirvana Approved Plat at **Tab 11**.

The proposed Arabella Spa, by comparison, consists of approximately 21,126 square feet of gross floor area (less than a quarter of the Nirvana development) with a lot coverage of 29% (up to 60% permitted in the CO zoning district). The Arabella Spa's



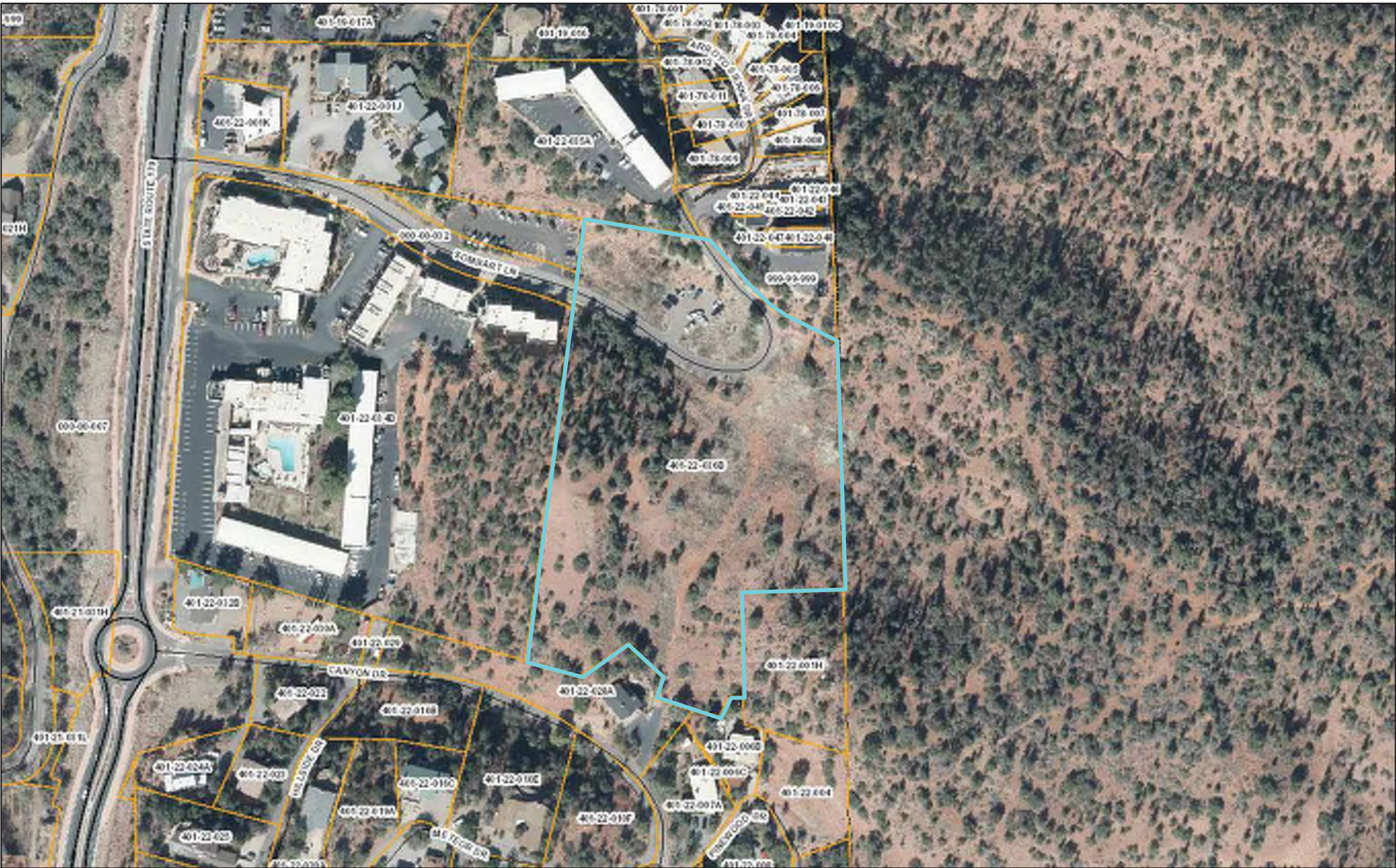
projected 11,395 gallon-per-day average daily water demand is less than a third of what would've been required for the Nirvana mixed-use project. By every metric, the proposed development is more environmentally responsible, more compatible with the surrounding community, and more aligned with the long-term goals and policies of the City of Sedona.

## **VII. Conclusion**

Over the course of several submittals and significant community engagement, the Applicant has gone to great lengths and worked tirelessly with the City of Sedona's Community Development Department staff to design a project that complies with every element of the LDC, meets the Development Review criteria, and addresses the concerns of the neighbors. The result of the Applicant's extensive and earnest efforts is a project that is unique, visually stunning, sensitive to both the environment and surrounding community, and recommended for approval by City's Community Development staff. In light of the foregoing, we respectfully request that the City Council approve the Arabella Spa Development Review Application.

**TAB 1**



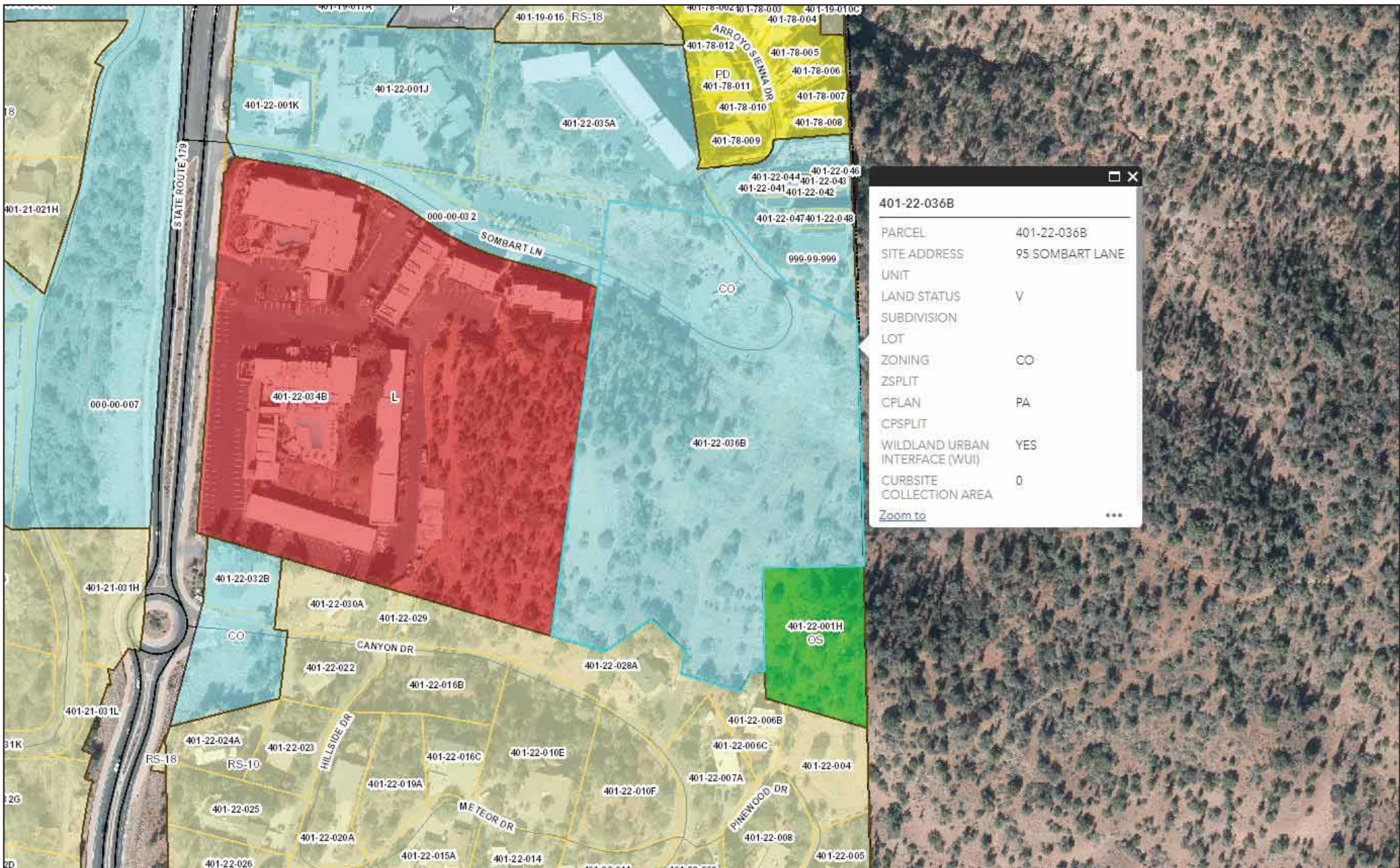


95 Sombart Lane - Sedona, AZ





# TAB 2



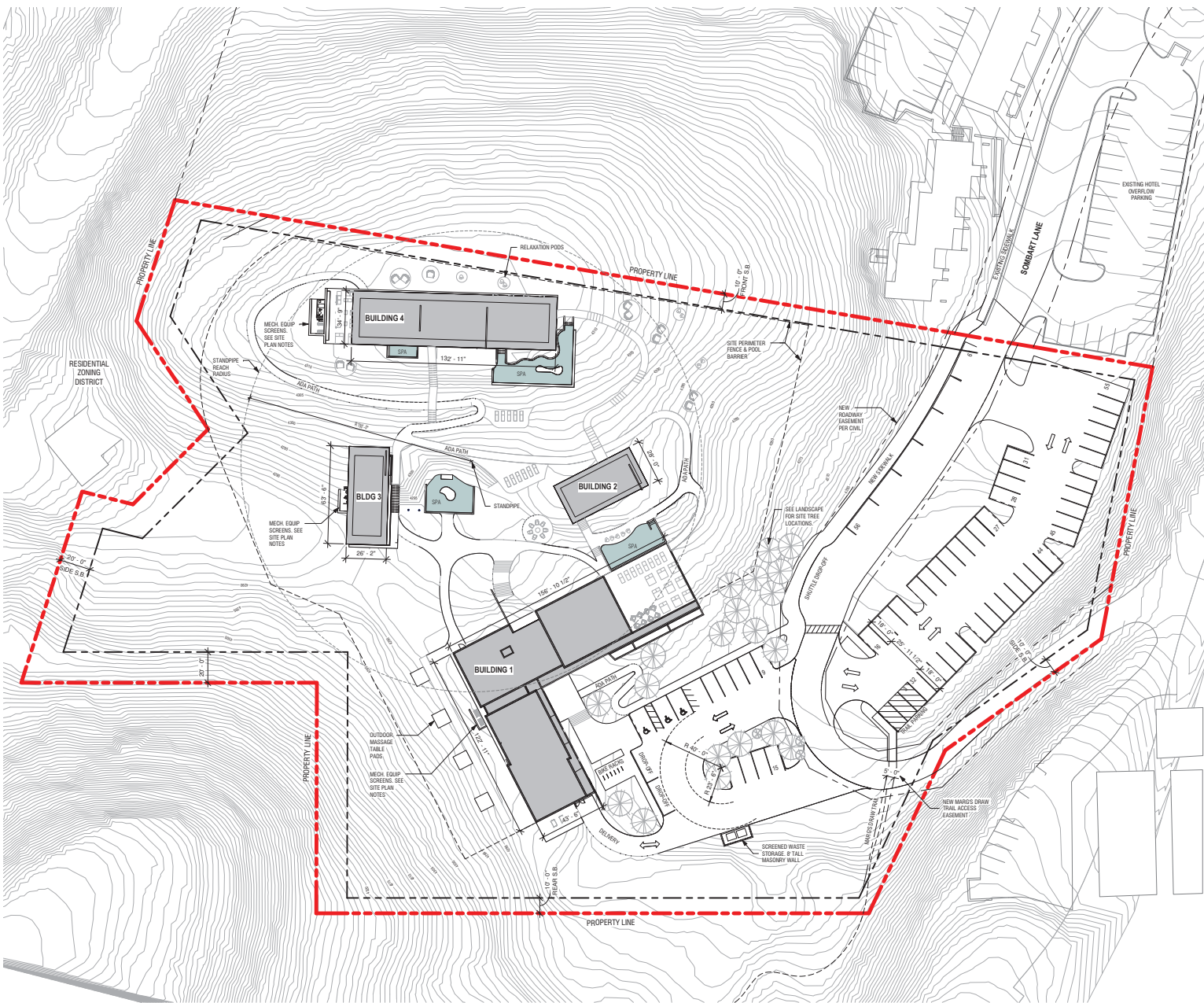
401-22-036B	
PARCEL	401-22-036B
SITE ADDRESS	95 SOMBART LANE
UNIT	
LAND STATUS	V
SUBDIVISION	
LOT	
ZONING	CO
ZSPLIT	
CPLAN	PA
CPSPLIT	
WILDLAND URBAN INTERFACE (WUI)	YES
CURBSITE COLLECTION AREA	0
<a href="#">Zoom to</a> ...	

95 Sombart Lane - Sedona, AZ





**TAB 3**



**ZONING DATA**

ZONING DISTRICT - CO  
 PARCEL 201 223899  
 OWNER: ARABELLA HOTEL SEDONA  
 CLIMATE ZONE: SB COCONINO COUNTY

MAX BUILDING HEIGHT  
 FRONT SETBACK = 10' (EAST)  
 REAR SETBACK = 20' (WEST)  
 RESIDENTIAL DISTRICT SETBACK = 20' (SOUTH)  
 NATIONAL FOREST SETBACK = 10' (EAST)

**LOT COVERAGE**

IMPERVIOUS COVERAGE MAX ALLOWABLE = 80%  
 TOTAL COVERAGE MAX ALLOWABLE = 80%  
 TOTAL LOT AREA = 231,555 SF ± 5.31 ACRES

**BUILDING AREA UNDER ROOF**

BUILDING 1 = 10,475 SF  
 BUILDING 2 = 1,520 SF  
 BUILDING 3 = 1,897 SF  
 BUILDING 4 = 4,004 SF

**SITE VEHICLE & PAVING**

ADDITIONAL BUILDING & PATIO AREA  
 WALKWAY HARDSCAPE & PATIOS  
 PARKING AREAS  
 RELAXATION POOLS & MASSAGE PADS

BUILDING 1 = 653 SF  
 BUILDING 2 = 15,362 SF  
 BUILDING 3 = 22,714 SF  
 BUILDING 4 = 1,500 SF

**TOTAL** = 48,148 SF

SPILL = 2,500 SF  
**TOTAL** = 50,648 SF

LOT COVERAGE = 22% (LESS THAN 60% THEREFORE OK)

**GROSS AREAS**

BUILDING 1 = 16,948 SF  
 BUILDING 2 = 773 SF  
 BUILDING 3 = 1,898 SF  
 BUILDING 4 = 1,540 SF  
**TOTAL** = 21,160 SF

**PARKING**

**VEHICLE PARKING**  
 PLEASE REFER TO TRAFFIC STUDY AND PARKING CALCULATIONS PROVIDED ON CIVL DRAWINGS.

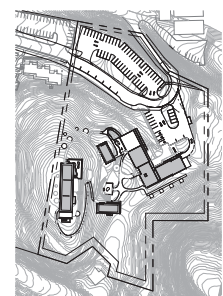
**BIKE PARKING**  
 REQUIRED = 12 SPACES  
 PROVIDED = 12 SPACES (2 BIKES/RACK)

**SITE PLAN NOTES**

1. SITE PEDESTRIAN PATHWAYS ARE SHOWN CONCEPTUALLY AND MAY BE RE-ROUTED BASED ON SITE CONDITIONS. IT IS OUR INTENT TO UTILIZE NATURAL ROCKS AND FEATURES TO ENHANCE THE GUEST EXPERIENCE.
2. ACCESSIBLE PATHWAYS SHALL HAVE MAX SLOPE 1:20 AND MAX CROSS SLOPE 2%. WHERE SLOPE EXCEEDS 1:20 ACCESSIBLE RAMP SHALL BE PROVIDED.
3. PROVIDE SIGNAGE AT ALL CHANGES IN ELEVATION GREATER THAN 3" ADJACENT TO PATHWAYS AND PATIOS.
4. ALL MECH EQUIP SHALL BE SCREENED FROM PUBLIC VIEW BY GABION OR MASONRY WALLS TO AT LEAST THE HEIGHT OF THE EQUIPMENT.



**VICINITY MAP**



**KEY PLAN**

**LEMAYMICHAUD ARCHITECTURE DESIGN**

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.

THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.

CLIENT'S SIGNATURE, REVIEW OR PUBLISH THESE PLANS WITHOUT PRIOR AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC, ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER:**  
 ARABELLA HOTEL  
 TRIVORA HE HORN  
 TRIVORA HOLDINGS COMPANY  
 (P) 306.241.5395

**ARCHITECT OF RECORD:**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC  
 WILLIAM ERWIN, AIA  
 WILL@ERWINARCHITECTURE.COM  
 (P) 602.617.8372

**DESIGN ARCHITECT:**  
 LEMAYMICHAUD ARCHITECTURE & DESIGN  
 PIERRE MESSIHO  
 PIERRE.MESSIHO@LEMAYMICHAUD.COM  
 (P) 514.597.8732 EXT 111

**CIVIL ENGINEER:**  
 KIMLEY-HORN  
 ANDREW BARRIS, P.E.  
 ANDREW.BARRIS@KIMLEY-HORN.COM  
 (P) 928.437.7121

**LANDSCAPE ARCHITECT:**  
 TOWNSEND  
 BILL TOWNSEND  
 BILL@BILLTOWNSEND.COM  
 (P) 480.968.7895

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
	PROGRESS PRINT	11/15/21
	DR SUBMITTAL 2	8/29/22

NOT FOR CONSTRUCTION

Owner: LADA SEDONA LLC.  
 Proj. Name: ARABELLA SPA

**SITE PLAN**

Project Number: SED21-01  
 Date: 11/30/22

**A100**

Scale: As indicated

**TAB 4**

Table 3.1

**Table of Allowed Uses**

P = permitted C = conditional use permit required A = accessory Blank Cell = use prohibited

	Residential									Non-Residential						Other			Use-Specific Standards	
	RS-70	RS-35	RS-18	RS-10	RS-6	RMH	RM-1	RM-2	RM-3	M1	M2	M3	CO	IN	L	CF	OS	OC		
<b>Indoor Recreation Facility</b>								A	A	P	P	P	P	P	P	P				<a href="#">3.3.C(5)</a>
<b>Outdoor Recreation Facility</b>	CA	CA	CA	CA	A	A	A	A	A		C	C	C	C	C	C	C	P		<a href="#">3.3.C(6)</a>
<b>Food and Beverage Services</b>																				
<b>Bar, Tavern, Lounge, or Tasting Room</b>										C	P	P	P	P	P				P	<a href="#">3.3.C(7)</a>
<b>Catering Establishment</b>											P	P	P	P	P					
<b>Microbrewery, Distillery, or Winery</b>										C	P	P	P	P	P				P	<a href="#">3.3.C(8)</a>
<b>Mobile Food Vending</b>										P	P	P	P	P	P	P		C		<a href="#">3.3.C(9)</a>
<b>Restaurant</b>										P	P	P	P	P	P				P	<a href="#">3.3.C(10)</a>
<b>Restaurant with Drive-Through</b>												C	P	P	P					<a href="#">3.3.C(11)</a>
<b>Office, Business, and Professional Services</b>																				
<b>Administrative, Professional, or Government Office</b>										P	P	P	P	P	P	P			P	<a href="#">3.3.C(12)</a>
<b>Financial Institution</b>										P	P	P	P	P	P					<a href="#">3.3.C(13)</a>
<b>Lodging</b>																				
<b>Lodging, Fewer than Seven Units</b>										P	P	P	P		P				P	<a href="#">3.3.C(14)</a>
<b>Lodging, Medium-Density</b>												P			P				P	<a href="#">3.3.C(14)b</a>
<b>Lodging, High-Density</b>															See <a href="#">3.3</a>				→ <a href="#">3.3.C(14)c</a>	
<b>Personal Services</b>																				
<b>Personal Services, General</b>										P	P	P	P	P	P				P	<a href="#">3.3.C(15)</a>
<b>Laundromat, Self-Service</b>							A	A	A	P	P	P	P	P	P					<a href="#">3.3.C(16)</a>
<b>Retail Sales</b>																				

**TAB 5**





RENDERING - AERIAL VIEW

ARABELLA SPA

DESIGN REVIEW  
REVISION 02

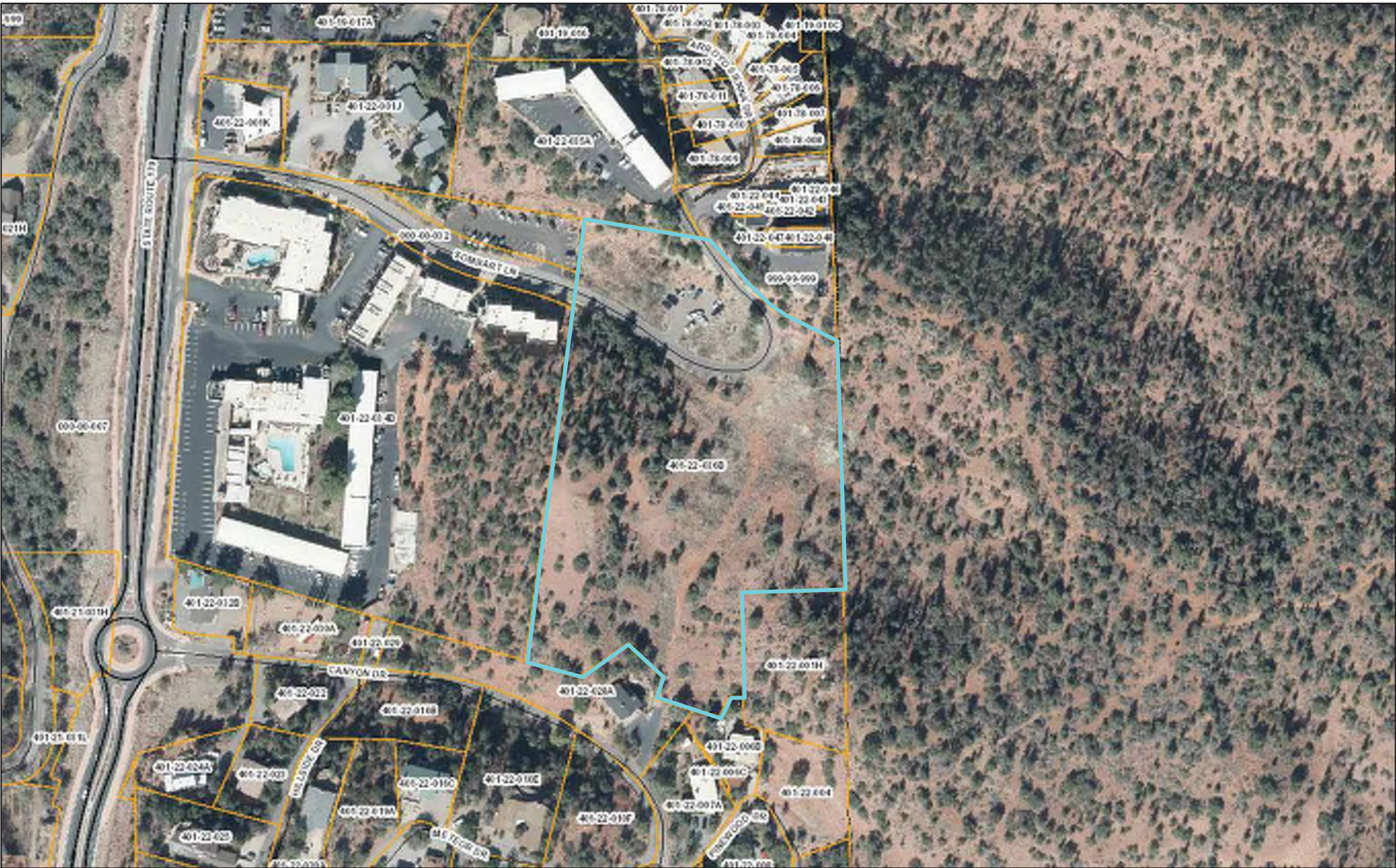
PROJECT NO  
110720A

17 / 10 / 2022

04

LEMAYMICHAUD  
ARCHITECTURE  
DESIGN  
ERWIN | ARCHITECTURE & DEVELOPMENT LLC.

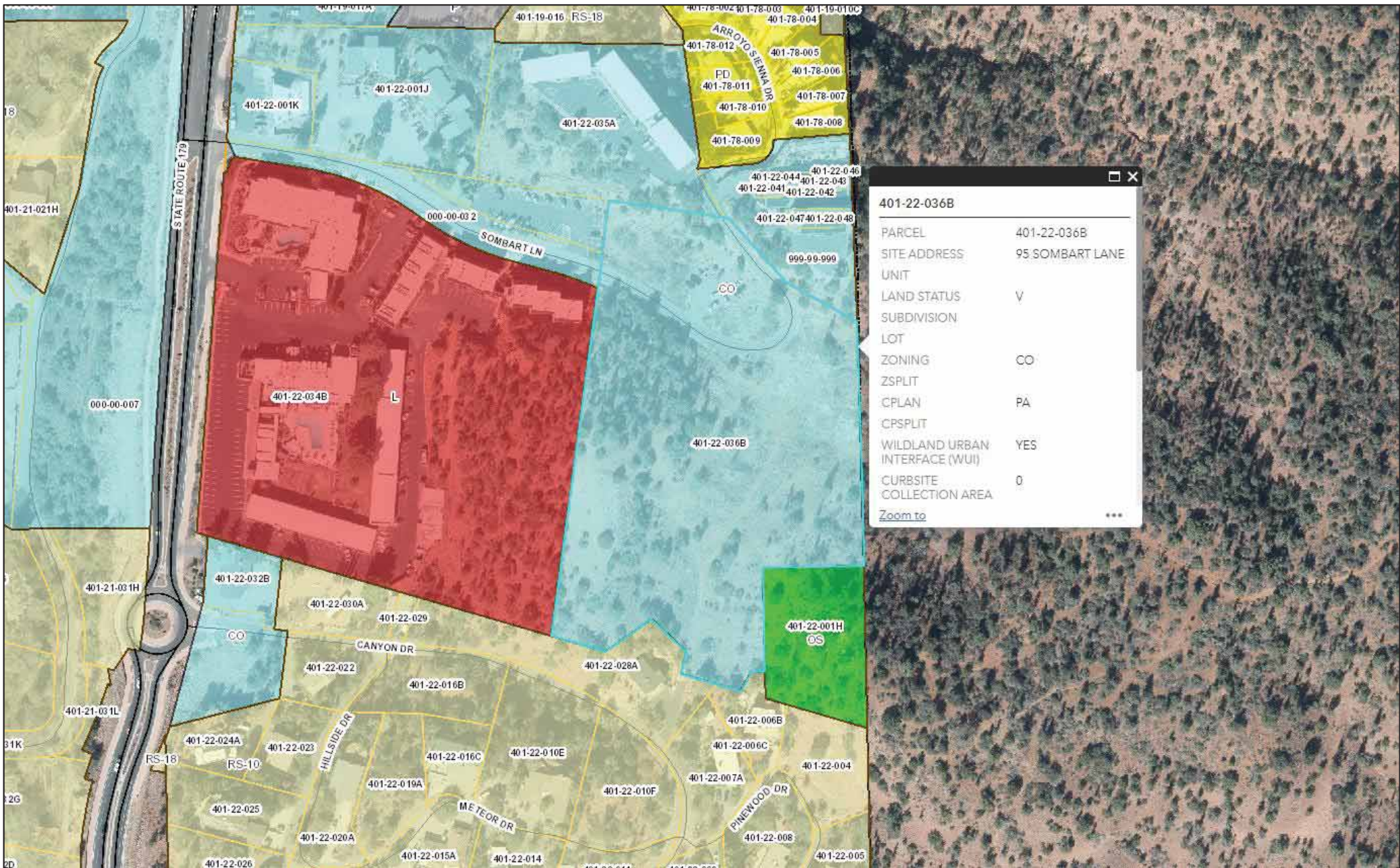




95 Sombart Lane - Sedona, AZ





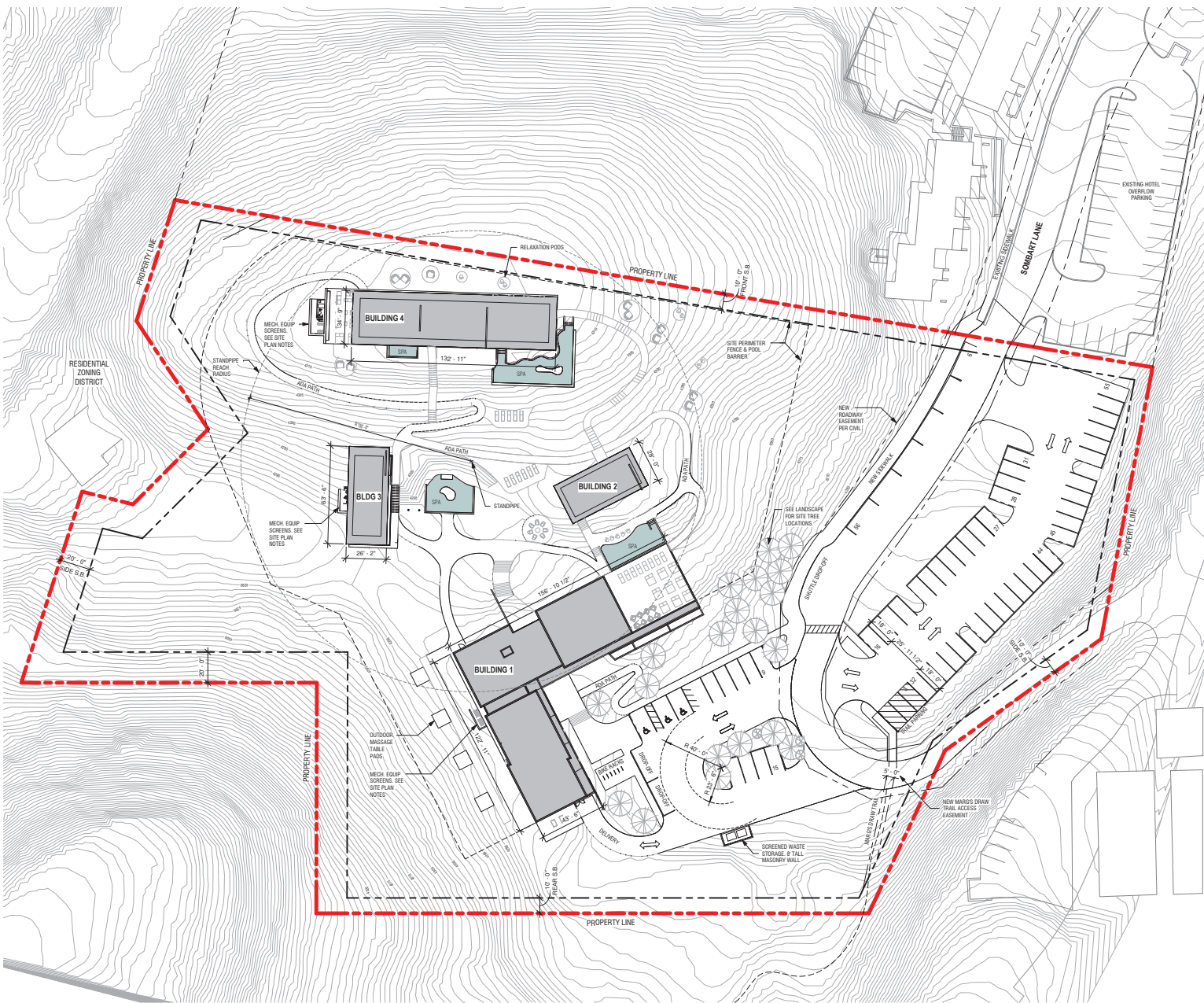


401-22-036B	
PARCEL	401-22-036B
SITE ADDRESS	95 SOMBART LANE
UNIT	
LAND STATUS	V
SUBDIVISION	
LOT	
ZONING	CO
ZSPLIT	
CPLAN	PA
CPSPLIT	
WILDLAND URBAN INTERFACE (WUI)	YES
CURBSITE COLLECTION AREA	0
<a href="#">Zoom to</a> ...	

95 Sombart Lane - Sedona, AZ







**ZONING DATA**

ZONING DISTRICT - CO  
 PARCEL: 20122089  
 OWNER: ARABELLA HOTEL SEDONA  
 CLIMATE ZONE: SB COCONINO COUNTY

MAX BUILDING HEIGHT  
 FRONT SETBACK = 10' (EAST)  
 REAR SETBACK = 20' (WEST)  
 RESIDENTIAL DISTRICT SETBACK = 20' (SOUTH)  
 NATIONAL FOREST SETBACK = 10' (EAST)

**LOT COVERAGE**

IMPERVIOUS COVERAGE MAX ALLOWABLE = 80%  
 TOTAL COVERAGE MAX ALLOWABLE = 80%  
 TOTAL LOT AREA = 231,555 SF ± 5.31 ACRES

**BUILDING AREA UNDER ROOF**

BUILDING 1 = 10,475 SF  
 BUILDING 2 = 1,520 SF  
 BUILDING 3 = 1,897 SF  
 BUILDING 4 = 4,004 SF

**SITE VEHICLE & PAVING**

ADDITIONAL BUILDING & PATIO AREA  
 WALKWAY HARDSCAPE & PATIOS  
 PARKING AREAS  
 RELAXATION POODS & MASSAGE PADS

SPAs = 2,960 SF  
 TOTAL = 148,706 SF

LOT COVERAGE = 29% (LESS THAN 60%, THEREFORE OK)

**GROSS AREAS**

BUILDING 1 = 10,448 SF  
 BUILDING 2 = 773 SF  
 BUILDING 3 = 1,895 SF  
 BUILDING 4 = 1,540 SF  
 TOTAL = 21,128 SF

**PARKING**

**VEHICLE PARKING**  
 PLEASE REFER TO TRAFFIC STUDY AND PARKING CALCULATIONS PROVIDED ON CIVL DRAWINGS.

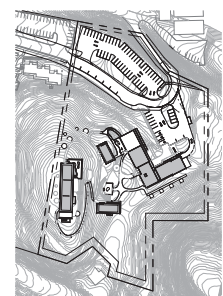
**BIKE PARKING**  
 REQUIRED = 12 SPACES  
 PROVIDED = 12 SPACES (2 BIKES/RACK)

**SITE PLAN NOTES**

1. SITE PEDESTRIAN PATHWAYS ARE SHOWN CONCEPTUALLY AND MAY BE RE-ROUTED BASED ON SITE CONDITIONS. IT IS OUR INTENT TO UTILIZE NATURAL ROCKS AND FEATURES TO ENHANCE THE GUEST EXPERIENCE.
2. ACCESSIBLE PATHWAYS SHALL HAVE MAX SLOPE 1:20 AND MAX CROSS SLOPE 2%. WHERE SLOPE EXCEEDS 1:20 ACCESSIBLE RAMP SHALL BE PROVIDED.
3. PROVIDE SIGNAGE AT ALL CHANGES IN ELEVATION GREATER THAN 3" ADJACENT TO PATHWAYS AND PATIOS.
4. ALL MECH EQUIP SHALL BE SCREENED FROM PUBLIC VIEW BY GABION OR MASONRY WALLS TO AT LEAST THE HEIGHT OF THE EQUIPMENT.



**VICINITY MAP**



**2 KEY PLAN**  
 1" = 160'-0"

**LEMAYMICHAUD ARCHITECTURE DESIGN**

ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY ARISING FROM THE UNAUTHORIZED USE OF THESE PLANS, DRAWINGS, AND NOTES.

THIS DRAWING MAY HAVE BEEN REPRODUCED AT A SIZE DIFFERENT THAN ORIGINALLY DRAWN. ERWIN ARCHITECTURE & DEVELOPMENT LLC ASSUMES NO RESPONSIBILITY FOR THE INCORRECT USE OF SCALE.

DESIGN, CONSTRUCTION, MATERIALS OR FINISHES THESE PLANS WITHOUT PRIOR AUTHORIZATION FROM ERWIN ARCHITECTURE & DEVELOPMENT LLC. ERWIN ARCHITECTURE & DEVELOPMENT LLC RETAINS OWNERSHIP OF ALL DRAWINGS.

**CONTACTS:**

**OWNER:**  
 ARABELLA HOTEL  
 THE VOR HE HORNS  
 THE VOR HE HOLDINGS.COM  
 (P) 305.241.5395

**ARCHITECT OF RECORD:**  
 ERWIN ARCHITECTURE & DEVELOPMENT, LLC.  
 WILLIAM ERWIN, AIA  
 WILL@ERWINARCHITECTURE.COM  
 (P) 802.617.8372

**DESIGN ARCHITECT:**  
 LEMAYMICHAUD ARCHITECTURE & DESIGN  
 PIERRE MESSIRO  
 PIERRE.MESSIRO@LEMAYMICHAUD.COM  
 (P) 514.597.8732 EXT 111

**CIVIL ENGINEER:**  
 KIMLEY-HORN  
 ANDREW BARRIS, P.E.  
 ANDREW.BARRIS@KIMLEY-HORN.COM  
 (P) 920.437.7121

**LANDSCAPE ARCHITECT:**  
 TOWNSEND  
 BILL TOWNSEND  
 BILL@BILLTOWNSEND.COM  
 (P) 480.968.7895

**SHEET ISSUE/REV:**

NO.	DESCRIPTION	DATE
	PROGRESS PRINT	11/15/21
	DR SUBMITTAL 2	8/29/22

**NOT FOR CONSTRUCTION**

Owner: LADA SEDONA LLC.  
 Proj. Name: ARABELLA SPA

**SITE PLAN**

Project Number: SED21-01  
 Date: 11/30/22

**A100**

Scale: As indicated

**1 SITE PLAN**  
 1" = 30'-0"





RENDERING - AERIAL VIEW

ARABELLA SPA

DESIGN REVIEW  
REVISION 02

PROJECT NO  
110720A

17 / 10 / 2022

04

LEMAYMICHAUD  
ARCHITECTURE  
DESIGN  
ERWIN | ARCHITECTURE & DEVELOPMENT LLC.





RENDERING - BUILDING 1

ARABELLA SPA

DESIGN REVIEW  
REVISION 02

PROJET NO  
110720A

17 /10 / 2022

05

LEMAYMICHAUD  
ARCHITECTURE  
DESIGN  
ERWIN | ARCHITECTURE & DEVELOPMENT LLC.



RENDERING - BUILDING 2

ARABELLA SPA

DESIGN REVIEW  
REVISION 02

PROJET NO  
110720A

17 / 10 / 2022

06

LEMAYMICHAUD  
ARCHITECTURE  
DESIGN  
ERWIN | ARCHITECTURE & DEVELOPMENT LLC.





RENDERING - BUILDING 3

ARABELLA SPA

DESIGN REVIEW  
REVISION 02

PROJET NO  
110720A

17 /10 / 2022

07

LEMAYMICHAUD  
ARCHITECTURE  
DESIGN  
ERWIN | ARCHITECTURE & DEVELOPMENT LLC.



RENDERING - BUILDING 4

ARABELLA SPA

DESIGN REVIEW  
REVISION 02

PROJET NO  
110720A

17 / 10 / 2022

08

LEMAYMICHAUD  
ARCHITECTURE  
DESIGN  
ERWIN | ARCHITECTURE & DEVELOPMENT LLC.





RENDERING - VIEW FROM BUILDING 4

ARABELLA SPA

DESIGN REVIEW  
REVISION 02

PROJET NO  
110720A

17 /10 / 2022

09

LEMAYMICHAUD  
ARCHITECTURE  
DESIGN  
ERWIN | ARCHITECTURE & DEVELOPMENT LLC.



# TAB 6

### **Neighbor Concerns and Solutions:**

The list below contains concerns and discussion points that were reviewed in the neighborhood meeting on 9/2/21. Neighbor feedback has been incorporated and the owner has made attempts to address these issues.

#### Location of Villas:

1. Neighbors were concerned about the location of the villas. Villas have been removed from the project.

#### Location of Building 4:

2. Neighbors were concerned about visibility of Building 4 from homes to the south. Building 4 will be a single-story pavilion less than maximum allowable height. It will be screened with existing natural vegetation and new additional vegetation. In addition, a low privacy wall is proposed along the south side that will screen direct views. Also, the main habitable area/pool has been intentionally sited towards the north of the hilltop to create separation from neighborhood and orient views away from residences.

#### Vegetation for Privacy

3. It is the desire of the developer to maintain natural vegetation and supplement where possible to create privacy and blend with the environment.

#### Building Materials

4. Color of the buildings will be natural/inspired by the environment. Buildings will have ground face exposed aggregate masonry walls with a natural color that relates to the Sedona landscape. The smaller buildings will also be earth toned. In addition, site harvested rock ballast will cover roof surfaces in an attempt to further allow the structures to blend into the landscape. Natural rocks will be used in lieu of retaining walls when possible, along site pathways.

#### Noise Levels

5. Neighbors had some concerns about noise levels. The spa will be a strictly quiet zone. The goal is to create a zen environment. No cell phones and no loud music/parties will be permitted.

#### Light Levels:

6. Project will meet all city codes and ordinances related to light levels and dark sky requirements.

#### Natural Vegetation and Wildlife

7. The project has been purposely designed to be low impact and small footprint. Previous proposals for project on the property have covered almost the entire site with buildings and hardscape. As demonstrated by the site plan, it is the intent of this project to allow a high percentage of natural vegetation to remain. The project is providing roughly half of the maximum allowable lot coverage.
8. The project proposes low water use natural vegetation as much as possible to reduce irrigation demands.

#### Traffic:

9. The owner will provide parking as required by Sedona zoning code and any traffic analysis that is required. Any commercial project constructed here has the potential to generate additional traffic. The owner would like to share parking with the Arabella hotel to reduce hardscape and paving.

#### Trailhead Access:

10. The owner shall add a shuttle drop-off as a means for reducing traffic and promoting access to the trailhead.

**TAB 7**

# AGENDA

## City of Sedona Planning and Zoning Commission Meeting

4:30 PM

Tuesday, November 15, 2022

### NOTICE:

Pursuant to A.R.S. 38-431.02 notice is hereby given to the members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission will hold a meeting open to the public on Tuesday, November 15, 2022, at 4:30 pm in the City Hall Council Chambers.

### NOTES:

- Meeting room is wheelchair accessible. American Disabilities Act (ADA) accommodations are available upon request. Please phone 928-282-3113 at least 24 hours in advance.
- Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: [www.SedonaAZ.gov](http://www.SedonaAZ.gov)

### GUIDELINES FOR PUBLIC COMMENT

#### PURPOSE:

- To allow the public to provide input to the Planning and Zoning Commission on a particular subject scheduled on the agenda.
- Please note that this is not a question/answer session.

#### PROCEDURES:

- It is strongly encouraged that public input on the agenda items be submitted by sending an e-mail to [cnorlock@SedonaAZ.gov](mailto:cnorlock@SedonaAZ.gov) in advance of the 4:30 Call to Order.
- Fill out a "Comment Card" and deliver it to the Recording Secretary.
- When recognized, use the podium/microphone.
- State your Name and City of Residence
- Limit comments to 3 MINUTES.
- Submit written comments to the Recording Secretary.

1. CALL TO ORDER, PLEDGE OF ALLEGIENCE, ROLL CALL
2. ANNOUNCEMENTS & SUMMARY OF CURRENT EVENTS BY COMMISSIONERS & STAFF
3. APPROVAL OF THE FOLLOWING MINUTES:
  - a. October 18, 2022 (R)
  - b. October 18, 2022 (SV)
4. PUBLIC FORUM: *(This is the time for the public to comment on matters not listed on the agenda. The Commission may not discuss items that are not specifically identified on the agenda. Pursuant to A.R.S. § 38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to criticism, or scheduling the matter for further consideration and decision at a later date.)*
5. Update/discussion regarding the Community Plan Update.
6. CONSIDERATION OF THE FOLLOWING ITEMS THROUGH PUBLIC HEARING PROCEDURES:
  - a. Public hearing/discussion/possible action regarding a request for a Development Review for the construction of an approximately 20,000 square foot spa facility in four buildings and associated site improvements at 95 Sombart Lane. The property is zoned Commercial (CO), is approximately 5.35 acres and is located northeast of the intersection of State Route 179 and Canyon Dr. **Case Number:** PZ21-00009 (DEV) **Applicant:** Erwin Architecture (William Erwin)
7. FUTURE MEETING DATES AND AGENDA ITEMS
  - a. Tuesday, December 6, 2022
  - b. Tuesday, December 20, 2022
8. EXECUTIVE SESSION  
If an Executive Session is necessary, it will be held in the Vultee Conference Room at 106 Roadrunner Drive. Upon a public majority vote of the members constituting a quorum, the Planning and Zoning Commission may hold an Executive Session that is not open to the public for the following purposes:
  - a. To consult with legal counsel for advice on matters listed on this agenda per A.R.S. § 38-431.03(A)(3).
  - b. Return to open session. Discussion/possible action on executive session items.
9. ADJOURNMENT

Physical Posting: November 10, 2022 By: DJ

Planning & Zoning Commission Meeting Agenda Packets are available on the City's website at: [www.SedonaAZ.gov](http://www.SedonaAZ.gov) or in the Community Development Office, 102 Roadrunner Drive approximately one week in advance of the meeting.

Note that members of the City Council and other City Commissions and Committees may attend the Planning and Zoning Commission meeting. While this is not an official City Council meeting, because of the potential that four or more Council members may be present at one time, public notice is therefore given for this meeting and/or event.



**Meeting Date:** November 15, 2022

**Hearing Body:** Planning and Zoning Commission

**Project Summary:** **Construction of an approximately 20,000 square foot spa facility (Arabella Spa)**

**Action Requested:** Approval of Development Review application

**Staff Recommendation:** Approval, with conditions, of Development Review application

**Location:** 95 Sombart Lane

**Parcel Numbers:** 401-22-036B

**Owner:** Pine Realty LLC

**Applicant:** Erwin Architectures (William Erwin)

**Site Size:** ± 5.35 acres

**Community Plan Designation:** Planned Area (Sombart Lane Planned Area)

**Zoning:** Commercial (CO)

**Current Land Use:** Vacant

**Surrounding Properties:**

	<i>Area Zoning</i>	<i>Area Land Uses</i>
North:	CO	Apartments and Condominiums
East:	NF	National Forest
South:	OS, RS-10	Vacant, Oak Creek Knolls Subdivision
West:	L	Arabella Hotel

**Report Prepared By:** Cari Meyer, Planning Manager

**Attachments:**

	<b>Page</b>
1. Aerial View & Vicinity Map.....	15
2. Application Materials <sup>1</sup>	
a. Letter of Intent, Small Documents, Citizen Participation Report.....	17
b. Project Plans.....	18
3. Land Development Code Checklist.....	19
4. Public Comments.....	25

<sup>1</sup> Due to file size constraints, Engineering Reports, including the Grading and Drainage Plan and Report, Water Design, Sewer Report, and Traffic Impact Statement are not included as attachments but are available for review online at: <https://www.sedonaaz.gov/your-government/departments/community-development/projects-and-proposals/arabella-spa>



## PROJECT DESCRIPTION

The applicant is seeking review of a Conceptual Development Review with the expressed intent of developing an approximately 20,000 square foot spa complex in four (4) separate buildings.

Development of this site is permitted in accordance with the Land Development Code (LDC) requirements, including [Article 2 \(Zoning Districts\)](#), [Article 3 \(Use Regulations\)](#), and [Article 5 \(Development Standards\)](#). As the proposed use of the space is categorized as “Personal Services, General” which is a permitted use in the Commercial (CO) zoning district, only a development review is required for the project.

## BACKGROUND AND PROPERTY INFORMATION

### *Site Characteristics*

- The property is located east of State Route 179 behind the existing Arabella Hotel.
- The property to the east of the project site is National Forest property and the trailhead for the Marg’s Draw trailhead is located on this property.
- There are no floodplains that impact the site.
- The project site is a single parcel of approximately 5.35 acres.
- The property is accessed via Sombart Lane, which connects to State Route 179 at an uncontrolled intersection approximately 700 feet north of the Canyon Drive roundabout.
- The property is currently vacant and has been the subject of various development proposals, none of which have come to fruition.
- The property is not part of a recorded subdivision.
- The existing vegetation consists of a mixture of mature trees and shrubs.

### *Zoning and Community Plan Designations*

The site is zoned CO (Commercial). The purpose of the CO zone is stated as:

*... to accommodate general retail and other commercial and service uses, and incidental or accessory uses, where access requires good vehicular circulation. Land uses are characterized by frequent visits of customers and clients. The CO district is intended to provide attractive commercial development with adequate access to arterial streets and with efficient internal circulation and parking and that is compatible with surrounding residential areas.*

[LDC Section 2.14.A](#)

The proposed use of a spa is categorized as “Personal Services, General”, which is listed in LDC Section 3.2.E, Table 3.1 (Table of Allowed Uses) as a permitted use in the CO zone.

The property is designated as PA (Planned Area) in the Community Plan and is part of the Sombart Lane Planned Area. Planned Areas (PA) were established in the 2002 Community Plan and brought forward to the current Community Plan to address needs and provide benefits for certain areas, including land use transitions or buffers between residential areas, commercial uses, and highway corridors. The Community Plan lists the following needs and benefits for this PA:

- Provide pedestrian improvements that will enhance overall pedestrian mobility and potential reduction of highway trips for the area.



- Provide a substantial buffer from the National Forest.
- Retain open space and National Forest access as part of coordinated site planning to address the wildland – urban interface.

While the strict application of the needs and benefits listed in the Community Plan is limited for projects not requesting a zone change, the general principles of the Community Plan can be applied, and the applicant is encouraged to adhere to these principles to the greatest extent possible.

### *Previous Applications*

This property has been the subject of other development applications in the past. Previous applications include the following:

- ZC 2003-03, DEV 2003-05 and ZC 2003-04, SUB 2003-04, DEV 2003-06
  - 80-unit apartment project, 2<sup>nd</sup> application would have converted apartments to timeshares
  - Application withdrawn prior to public hearings
- ZC 2008-01, SUB 2008-01, DEV 2008-01 Nirvana Mixed Use Project
  - Proposed as either a lodging/heath spa/restaurant or residential/commercial mixed-use project.
  - Planning and Zoning Commission approved Development Review and recommended approval of a preliminary plat for 15 residential condominiums and 51,000 square feet commercial retail
  - City Council approved the preliminary plat for this project.
  - Project dropped by applicant prior to approval of Final Plat.

### *Current Application*

The current application is a Development Review to allow for construction of an an approximately 20,000 square foot spa complex in 4 buildings.

This application went through a Conceptual Review in 2021. The public hearing for the Conceptual Review Public Hearing was held by the Planning and Zoning Commission on September 7, 2021. The applicant submitted documents for Comprehensive Review in May 2022 and has been working with Staff to address outstanding comments and amend the plans to comply with LDC requirements.

## **PUBLIC INPUT**

- The applicant completed a Citizen Participation Plan. A copy of the Citizen Participation Report is included ([Attachment 2.a](#))
- Project documents submitted by the applicant were placed on the [Projects and Proposals](#) page of the Community Development Department website.
- Property owners within 300 feet of the subject properties were notified of the Public Hearing.
- The property was posted with a Notice of Public Hearing and a notice was published in the Red Rock News on October 28, 2022.
- All notices contain contact information or a way to submit comments. While a number of comments were received during the conceptual review phase of this project (and are included as [Attachment 4](#)), Staff has not received any additional written comments during the comprehensive review phase.

## **REVIEW AGENCY COMMENTS AND CONCERNS**

Development plans are routed to all internal and external review agencies. The comments received were provided to the applicant, and the applicant has submitted revised plans addressing these comments. Any

comments not addressed by resubmitted plans were regarding future requirements and are included as recommended conditions of approval.

Comments were received from the following agencies:

- City of Sedona Community Development
- City of Sedona Public Works
- City of Sedona Sustainability Program

## DEVELOPMENT PROPOSAL AND EVALUATION

The applicant is applying for a development review to allow for the construction of an approximately 20,000 square foot spa complex in 4 buildings.

A detailed description of the proposal was submitted by the applicant and is included in [Attachment 2.a](#).

### *Phasing*

- The project is proposed to be developed in single phase.

### *Land Development Code (LDC)*

A comprehensive evaluation for compliance with all applicable sections of the Land Development Code was conducted and is outlined in [Attachment 3](#) (Land Development Code Checklist).

#### *LDC Section 2.14: CO: Commercial*

- The project complies with all other standards established by this section, including setbacks, height, and lot coverate.

#### *LDC Article 3: Use Regulations*

- Spas fall under the definitions of "Personal Services, General", which are permitted in the CO zone.
- No additional use-specific standards apply to this development.

#### *LDC Section 5.3: Grading and Drainage*

- A preliminary grading and drainage report and plan has been submitted and reviewed by the Public Works Department. A Final Grading and Drainage report and plan will be required to be submitted with building permit applications.
- The site is not impacted by any floodplains.

#### *LDC Section 5.4: Access, Connectivity, and Circulation*

- A Traffic Impact Study has been submitted by the applicant and reviewed by the Public Works Department.
  - The TIS indicates that the level of service at the Sombart Lane/State Route 179 intersection will decrease from a C to a D with the added traffic from this project.
  - ADOT has not completed their review of the TIS, so potential improvements to the intersection have not been determined.
  - The recommended conditions of approval require this review to be complete and required intersection improvements determined prior to the issuance of building permits.
- Primary vehicular access to the site is from Sombart Lane, which connects to State Route 179 west of the project site.
- Sidewalks will be installed along Sombart Lane.

[LDC Section 5.5: Off-Street Parking and Loading](#)

- 96 parking spaces are required, 64 parking spaces are provided (61 for the spa and 3 for the trailhead).
  - The applicant has provided a parking analysis, prepared by a registered engineer, demonstrating that this parking reduction is warranted based on the spa's association with the hotel.
  - While the two uses are associated with each other, as they are on different properties, the applicant will be required to enter into a parking agreement, meeting the requirements of LDC Section 5.5.E(2)c prior to issuance of building permits.

[LDC Section 5.6: Landscaping, Buffering, and Screening](#)

- A landscaping plan that meets all LDC requirements has been provided as part of the project documents.
- Rooftop equipment is screened.
- All fences and walls meet LDC requirements.

[LDC Section 5.7: Site and Building Design](#)

- The submitted plans meet all LDC requirements for site and building design.

[LDC Section 5.8: Outdoor Lighting](#)

- A total lighting output of 371,700 lumens is permitted; a total of 117,064 lumens are proposed.
- All fixtures are fully shielded and meet lighting color requirements.

[LDC Section 5.9: Public Art](#)

- Public art is required and the applicant will need to pay the in lieu fee or have a public art plan reviewed, approved, and installed prior to issuance of a Certificate of Occupancy.

[LDC Section Article 6: Signs](#)

- A Master Sign Plan has been submitted.
- The sign plan includes 3 signs (a wall sign, a monument sign, and a directional sign). All signs comply with LDC requirements with the exception of the height of the directional sign.
  - The LDC allows a directional sign to be 3 feet tall. The directional sign is shown at 4 feet tall.
  - Deviations from the sign code may be approved through a master sign plan.
  - As all other signs are well below the height and size allowances and the proposed height for the directional sign matches the height and is designed in the same style as the monument sign, Staff is supportive of this sign plan, as it will improve the aesthetics of the development, will aid in traffic circulation on the site, and does not increase the total sign area permitted.

*Wastewater Disposal*

- *The property will connect to the City's wastewater system.*

**REVIEW GUIDELINES**

The following is requested from the Planning and Zoning Commission at this time:

- **DEVELOPMENT REVIEW** Review of Proposal – Final Action

All development applications are reviewed under [LDC Article 8 \(Administration and Procedures\)](#).

[LDC Section 8.3](#) contains procedures and rules applicable to all development applications while the following sections contain procedures and rules that apply to specific development applications. [LDC Section 8.3.E\(5\)](#)

contains the approval criteria applicable to all development, subdivision, and rezoning applications. These criteria are as follows:

### A. Generally

Unless otherwise specified in this Code, City review and decision-making bodies shall review all development, subdivision and rezoning applications submitted pursuant to this article for compliance with the general review criteria stated below.

*Staff Evaluation: Staff and Reviewing Agencies has evaluated the submitted application materials. As conditioned, the proposal complies with all applicable review criteria. The proposal is in compliance with this criterion.*

### B. Prior Approvals

The proposed development shall be consistent with the terms and conditions of any prior land use approval, plan, or plat approval that is in effect and not proposed to be changed. This includes an approved phasing plan for development and installation of public improvements and amenities.

*Staff Evaluation: No prior land use approvals impact the review of this application. The proposal is in compliance with this criterion.*

### C. Consistency with Sedona Community Plan and Other Applicable Plans

Except for proposed subdivisions, the proposed development shall be consistent with and conform to the Sedona Community Plan, Community Focus Area plans, and any other applicable plans. The decision-making authority:

1. Shall weigh competing plan goals, policies, and strategies; and
2. May approve an application that provides a public benefit even if the development is contrary to some of the goals, policies, or strategies in the Sedona Community Plan or other applicable plans.

*Staff Evaluation: Staff evaluated the proposal for compliance with the Community Plan and it was found to be consistent:*

- *The property is designated Planned Area (PA) in the Community Plan, which supports the CO zoning designation. This use is consistent with the Commercial designation.*
- *The Community Plan lists the following needs and benefits for this PA:*
  - Provide pedestrian improvements that will enhance overall pedestrian mobility and potential reduction of highway trips for the area.
    - *The proposal extends sidewalks along Sombart Lane and includes a shuttle drop off area for future transit or private shuttle drop off.*
    - *The proposal maintains trailhead parking and trail access for the Marg's Draw Trail.*
  - Provide a substantial buffer from the National Forest.
    - *The code requires a minimum of a 10 foot setback from National Forest property for commercial development. The proposed buildings maintain a minimum setback of 60 feet from National Forest property and other site elements (parking lots, driveways, trash enclosure) have a minimum setback of approximately 40 feet.*
  - Retain open space and National Forest access as part of coordinated site planning to address the wildland – urban interface.



- *The project proposes a open space buffer along the shared boundary with the National Forest of a minimum of 40 feet.*
- *The proposal maintains trailhead parking and trail access for the Marg's Draw Trail.*
- *The proposal does not contradict any of the policies within the Community Plan.*

*The proposal is in compliance with this criterion.*

#### **D. Compliance with This Code and Other Applicable Regulations**

The proposed development shall be consistent with the purpose statements of this Code and comply with all applicable standards in this Code and all other applicable regulations, requirements and plans, unless the standard is lawfully modified or varied. Compliance with these standards is applied at the level of detail required for the subject submittal.

***Staff Evaluation:** As outlined in the Land Development Code Checklist, the proposal is compliant with all applicable standards of the Land Development Code, including the allowed uses for the CO zoning district, CO district standards, and site and building design standards.*

*The sign plan requests a height increase for the directional sign from the permitted 3 feet to 4 feet. This height increase is permitted through approval of a master sign plan by the Planning and Zoning Commission. As all other signs are well below the height and size allowances and the proposed height for the directional sign matches the height and is designed in the same style as the monument sign, Staff is supportive of this sign plan, as it will improve the aesthetics of the development, will aid in traffic circulation on the site, and does not increase the total sign area permitted.*

*The proposal is in compliance with this criterion.*

#### **E. Minimizes Impacts on Adjoining Property Owners**

The proposed development shall not cause significant adverse impacts on surrounding properties. The applicant shall make a good-faith effort to address concerns of the adjoining property owners in the immediate neighborhood as defined in the Citizen Participation Plan for the specific development project, if such a plan is required.

***Staff Evaluation:** The applicant completed their required Citizen Participation Plan, which is included in [Attachment 2.a](#). Staff completed the required noticing. While comments were received during the conceptual review phase and are included as [Attachment 4](#), no additional written comments have been received during the comprehensive review phase. The proposal is in compliance with this criterion.*

#### **F. Consistent with Intergovernmental Agreements**

The proposed development shall be consistent with any adopted intergovernmental agreements, and comply with the terms and conditions of any intergovernmental agreements incorporated by reference into this Code.

*Staff Evaluation: There are no adopted intergovernmental agreements in place that are affected by the proposed development. This criterion does not apply to this request.*

#### **G. Minimizes Adverse Environmental Impacts**

The proposed development shall be designed to minimize negative environmental impacts, and shall not cause significant adverse impacts on the natural environment. Examples of the natural environment include water, air, noise, stormwater management, wildlife habitat, soils, and native vegetation.

*Staff Evaluation: No negative environmental impacts are anticipated because of the proposed development. The site is an infill site surrounded by existing development, and provides a significant buffer to the National Forest property to the east. The site is proposing building coverage of approximately 8% (60% permitted) and total coverage of approximately 29% (80% permitted), allowing large portions of the site to remain in their natural conditions. The site is served by existing streets and utilities. The drainage for the site has been designed in accordance with the City's requirements.*

#### **H. Minimizes Adverse Fiscal Impacts**

The proposed development shall not result in significant adverse fiscal impacts on the City.

*Staff Evaluation: No adverse fiscal impacts on the City are anticipated. The proposal is in compliance with this criterion.*

#### **I. Compliance with Utility, Service, and Improvement Standards**

As applicable, the proposed development shall comply with federal, state, county, service district, City and other regulatory authority standards, and design/construction specifications for roads, access, drainage, water, sewer, schools, emergency/fire protection, and similar standards.

*Staff Evaluation: The application materials were provided to review agencies for an opportunity to review. As conditioned, the proposed development complies with all applicable regulatory authority standards included within this criterion.*

#### **J. Provides Adequate Road Systems**

Adequate road capacity must exist to serve the uses permitted under the proposed development, and the proposed uses shall be designed to ensure safe ingress and egress onto the site and safe road conditions around the site, including adequate access onto the site for fire, public safety, and EMS services. The proposed development shall also provide appropriate traffic improvements based on traffic impacts.

*Staff Evaluation: No new roads are required to serve the site. The Sedona Fire District and Police Department have reviewed the plans and have raised no concerns from an emergency access perspective. The City's Public Works Department has reviewed the traffic impact statement and will work with ADOT and the applicant to determine any appropriate mitigation measures needed at the Sombart Lane/State Route 179 intersection. The proposal is in compliance with this criterion.*

#### **K. Provides Adequate Public Services and Facilities**

Adequate public service and facility capacity must exist to accommodate uses permitted under the proposed development at the time the needs or demands arise, while maintaining adequate levels of service to existing development. Public services and facilities include, but are not limited to, roads,

---

potable water, sewer, schools, public safety, fire protection, libraries, and vehicle/pedestrian connections and access within the site and to adjacent properties.

*Staff Evaluation: Staff believes that adequate public service and facility capacity exists to accommodate the proposed development. All applicable review agencies have reviewed the plans and have not stated any concerns from a serviceability standpoint. The proposal is in compliance with this criterion.*

#### **L. Rational Phasing Plan**

If the application involves phases, each phase of the proposed development shall contain all of the required streets, utilities, landscaping, open space, and other improvements that are required to comply with the project's cumulative development to date, and shall not depend upon subsequent phases for those improvements.

*Staff Evaluation: The project is proposed to be developed in a single phase. The proposal is in compliance with this criterion.*

It is Staff's opinion that this request for development review approval meets the required findings listed above. As outlined in the Land Development Code checklist, this is a permitted use in the CO zone and meets all applicable criteria for development of the property. Other than an increase to the directional sign height, which can be approved through a master sign plan, no waivers or variances from code requirements are being requested. In addition, as outlined above, Staff believes that the project as currently proposed meet all review criteria applicable to all developments. The LDC does not contain additional approval criteria for development review applications beyond the standard criteria.



***Staff Recommendation***

Based on compliance with all ordinance requirements and satisfaction of the Development Review findings of the Land Development Code, staff recommends approval of case number PZ21-00009 (DEV), Arabella Spa, as subject to all applicable ordinance requirements and the attached conditions of approval.

***Sample Motions for Commission Use***

(Please note that the below motions are offered as samples only and that the Commission may make other motions as appropriate.)

***Recommended Motion for Approval***

I move for approval of case number PZ21-00009 (DEV), Arabella Spa, based on compliance with all ordinance requirements of LDC Section 8.3 and 8.4 and satisfaction of the Development Review findings and applicable Land Development Code requirements as outlined in the staff report, which staff report is hereby adopted as the findings of the Planning and Zoning Commission, and the attached conditions of approval.

***Alternative Motion for Denial***

I move for denial of case number PZ21-00009 (DEV), based on the following findings (*specify findings*).

*(Please note that the above motions are offered as samples only and that the Commission may make other motions as appropriate.)*





*As proposed by Staff*

1. Development of the subject property shall be in substantial conformance with the applicant's representations of the project, including the letter of intent, site plan, building plans and elevations, landscape plan, and all other supporting documents, as reviewed, modified, and approved by the Planning & Zoning Commission. Proposed changes determined to be substantial by the Community Development Director shall require reconsideration by the Planning & Zoning Commission at a public hearing.
2. The project shall be constructed in a single phase.
3. The exterior colors and materials shall be in compliance with the submitted color and materials board. Alternate colors proposed by the applicant may be approved by the Director if the colors are darker than the approved colors and meet all other Land Development Code requirements.
  - a. Based on the application of Alternate Standards (LDC Section 2.24.E(4), Table 2.9), the maximum permitted LRV for all buildings shall be 28%.
4. All vents, down spouts, gutters, posts, etc. shall be painted to match the exterior wall or roof color or be in compliance with the color provisions of the Land Development Code.
5. All landscaping shall be maintained to ensure visibility triangle requirements are met at the driveway entrances and intersection.
6. The applicant shall obtain Right-of-Way Permits from the City of Sedona and/or the Arizona Department of Transportation for any work in the Right-of-Way.
7. Hours of work, for grading operations, shall be limited to 7 a.m. to 6 p.m., Monday through Friday and 9 a.m. to 5 p.m. on Saturday. No grading work shall occur on Sunday.
8. Prior to the issuance of grading and building permits, staff shall verify that all plans submitted for buildings permits are in substantial accordance with the plans as submitted, reviewed, and approved by the Planning and Zoning Commission and meet the following conditions, and the applicant shall provide written documentation of such compliance to staff:
  - a. All plans shall comply with all applicable sections of the Land Development Code and the Development Review application as reviewed and approved by the Planning and Zoning Commission.
  - b. The applicant shall provide ADOT comments for the traffic impact study. Intersection improvements shall be determined after ADOT comments are received and shall be included in the final plans for the project. At a minimum, the applicant shall evaluate the feasibility and efficacy on LOS of adding a dedicated left turn lane at Sombart Lane and State Route 179.
  - c. Provide Final Grading and Drainage Plans. The Site Plan shall meet the grading and drainage requirements of the Sedona Land Development Code and the Design Review, Engineering, and Administrative Manual. A trench drain is recommended at the bottom of slopes and driveways to prevent flooding buildings and roads.
    - i. The drainage channels on both sides of the road shall be reestablished to accommodate the offsite & onsite flows.




- d. Provide Final Drainage Report.
- e. The plans shall include the top and bottom of wall heights for all fences, walls, and retaining walls. Staff may require modifications to ensure the height and design requirements of LDC Section 5.6.E are met.
- f. An AZPDES Construction Activity General Permit (CGP) must be submitted to ADEQ. We will need a copy of the ADEQ Permit Authorization Certificate prior to issuance of a building permit. Please see the AZPDES website at: <http://www.azdeq.gov/node/524>
- g. Accessible sidewalks and parking areas will need to meet the current US Dept. of Justice ADA requirements.
  - i. The applicant shall consider widening the existing 5' sidewalk along Sombart to a 10' shared-use-path. At a minimum, the plans shall provide sufficient space for widening the sidewalk in the future.
- h. Accessible parking/signage shall meet the requirements of the City LDC and DREAM documents.
- i. For projects involving grading of more than 5,000 cubic yards, a haul plan, a dust control plan, a topsoil reutilization plan, a stormwater pollution prevention plan, and a traffic control plan shall be required. Each must be acceptable to and approved by the City Engineer. (Manual 3.1.H.6.i).
- j. For Projects involving grading of more than 5,000 cubic yards, an assurance bond is required per Manual Section 3.1.G.1.
- k. Applicant shall provide a Storm Water Pollution Prevention Plan. SWPPP measures shall be in place prior to the start of construction (DREAM 3.1). Storm water quality measures shall also comply with City of Sedona Code requirements (City Code Chapter 13.5)
- l. The plans shall delineate oil separators for all paved surfaces prior to its release into the City's storm sewer system. Manufacturer or engineer's specifications and a maintenance schedule shall be provided.
- m. Construction details shall be provided for sewer construction/connection. Existing sewer laterals that are not utilized by the development shall be abandoned.
- n. Provide utility construction details on plans.
- o. A copy of the ADEQ Approval to Construct Water Facilities and Wastewater Facilities shall be provided prior to construction.
- p. The applicant shall submit landscaping plans that comply with all applicable City codes and the approved landscaping plans.
- q. The applicant shall submit outdoor lighting plans that comply with all applicable City codes and the approved lighting plan. All proposed fixtures shall be fully shielded.
- r. The applicant shall prepare a parking agreement, meeting the requirements of LDC Section 5.5.E(2)c, regarding the proposed parking reductions for the spa based on its association and shared use with the adjacent hotel development.
- s. All requirements of the Sedona Fire District shall be satisfied.
- t. All concrete within the City ROW shall be colored "Sedona Red" (Davis 160 color).

9. Prior to the issuance of a Certificate of Occupancy, staff shall verify that all construction is in substantial accordance with the plans as submitted, reviewed, and approved by the Planning and Zoning Commission, and meets the following conditions:
  - a. All on-site improvements shall substantially conform to the plans on which grading and building permits were issued.
  - b. Installation of all proposed landscaping shall be complete and in accordance with the approved landscape plan. (LDC Section 5.6)
  - c. All outside lighting shall have been installed in accordance with the approved plans. All lighting sources shall be fully shielded so that the direct illumination is confined to the subject property boundaries and so no light is directed above the horizontal plane. Staff shall conduct a night inspection and if deemed necessary, additional shielding will be required. (LDC Section 5.8)
  - d. The project shall comply with Public Art requirements (LDC Section 5.9).
  - e. All new utility lines shall be provided through underground installation.
  - f. All mechanical equipment and trash receptacles shall be completely screened from surrounding areas by use of a wall, fence, landscaping or shall be enclosed within a building. All electrical panels shall be located so as not to be visible from public rights-of-way.
  - g. All requirements of the Sedona Fire District shall be satisfied.
  - h. The applicant shall provide copies of all required testing to the Engineering Department.
  - i. As-built plans shall be provided to the City in digital and hard copy formats acceptable to the City Engineer.
  - j. An elevation Certificate from an Arizona Registered Land Surveyor is required for each building.
  - k. All areas of cut and fill shall be landscaped or dressed in such a manner as to reduce the potential for erosion.
  - l. The applicant shall provide a letter, sealed by the engineer of record, verifying that the work, as done, is in substantial accordance with the approved plans.
  - m. All construction shall comply with the Storm Water Regulations in Chapter 14 of the City of Sedona City Code. Storm water quantities and velocities shall not be greater than the historic values at the downstream property line.
10. Within thirty days of approval of the Development Review, the property owners of record of the subject properties shall sign and record a waiver acknowledging their waiver of any right to claim just compensation for diminution in value under A.R.S. §12-1134 related to the granting of this Development Review.



# Aerial View

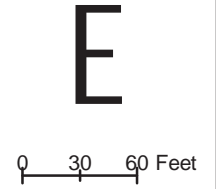
Parcel  
401-22-036B  
Arabella Spa

-  Parcel 401-22-036B
-  Parcel Boundary
-  Street Centerline

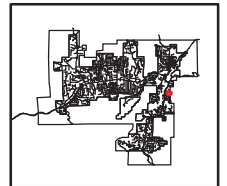
Coconino  
National Forest

Outside the  
City Limits

401-22-036B



City Index



GIS, City of Sedona  
06/14/2021  
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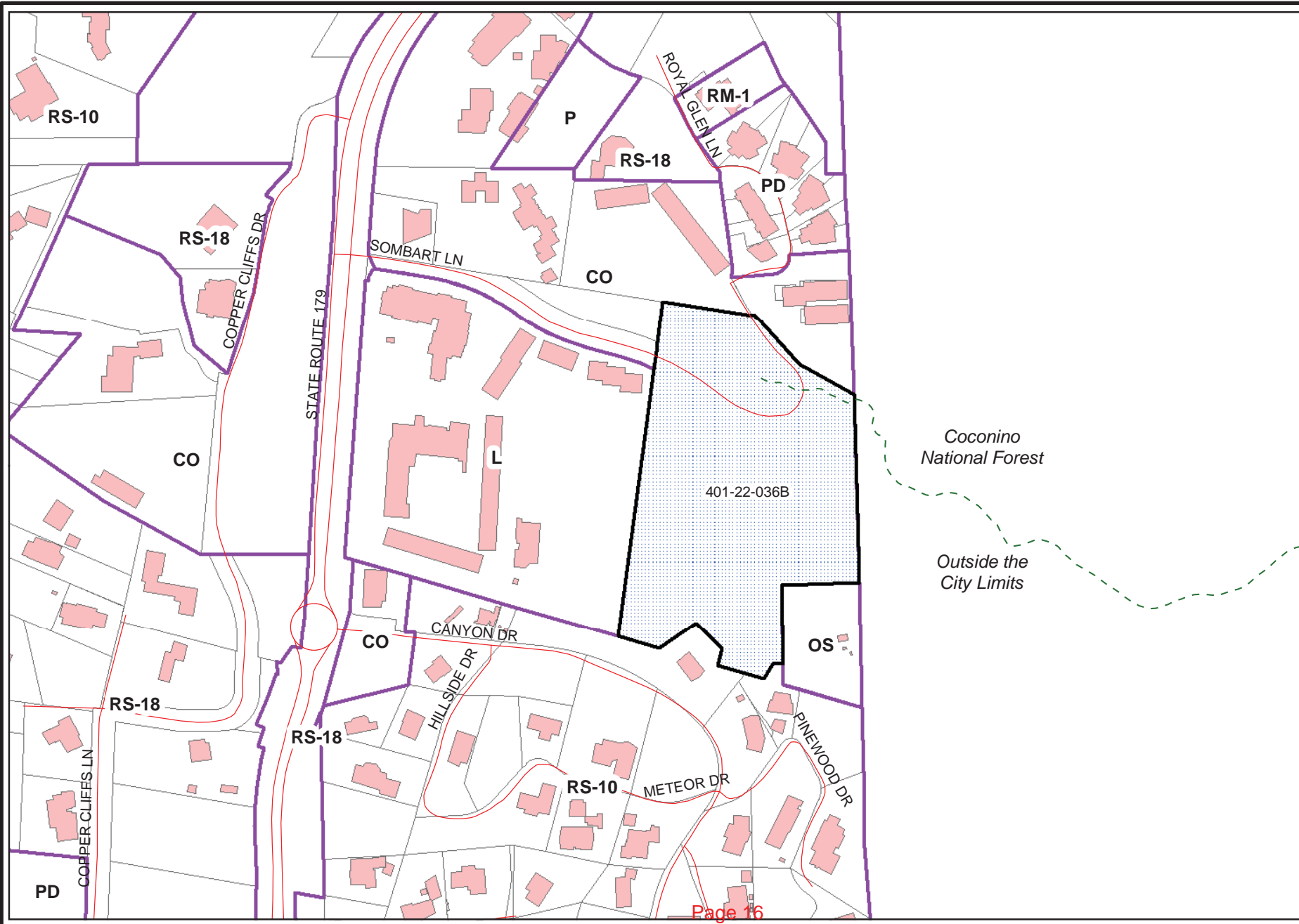


This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty of fitness is implied. The information is provided on an "as is" basis. The City of Sedona shall have neither liability nor responsibility to any person or entity with respect to any loss or damages in connection with or arising from the information contained on this map.

SOMBART LN

CANYON DR





Vicinity Map

Parcel  
401-22-036B  
Arabella Spa

- Parcel 401-22-036B
- Zoning Boundary
- Building Footprint
- Parcel Boundary
- Trail
- Street Centerline



0 55 110 Feet

Coconino  
National Forest

Outside the  
City Limits

City Index



GIS, City of Sedona  
08/14/2021  
g:\p\proj\projects\arabella\spaf\mxd\401-22-036B\_vicinity.mxd

This map is designed to provide information about Sedona, and has been prepared for general planning and informational purposes only. It is not necessarily accurate to engineering or surveying standards. Every effort has been made to make this map as complete and as accurate as possible; however, no warranty or fitness is implied.

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**TAB 8**

# ARIZONA WATER COMPANY

3805 N. BLACK CANYON HIGHWAY, PHOENIX, AZ 85015-5351 • P.O. BOX 29006, PHOENIX, AZ 85038-9006  
PHONE: (602) 240-6860 • FAX: (602) 240-6874 • TOLL FREE: (800) 533-6023 • www.azwater.com

April 4, 2022

Jake Levin  
Kimley-Horn  
201 N. Montezuma, Suite 206  
Prescott, AZ 86301

Re: Domestic Water Service to APN 401-22-036B

Dear Mr. Levin:

Arizona Water Company (the "Company") certifies that the above-described property is located within its Sedona Certificate of Convenience and Necessity in Sedona, Arizona, and that it will provide water service to the property in accordance with the Company's tariffs and the Arizona Corporation Commission's rules and regulations. It will be the responsibility of the developer to provide the funds to install the necessary water facilities, and the Company assumes no liability to install those facilities if the funds are not advanced by the developer.

The design of the water distribution system must comply with the Company's standard specifications that are on file at the Arizona Department of Environmental Quality. Both preliminary and final water system designs must be approved by the Company.

It will also be the responsibility of the developer to comply with all of the requirements of regulatory agencies having jurisdiction over Arizona subdivisions and of Arizona statutes applicable to subdivided or unsubdivided land, including, but not limited to, requirements relating to a Certificate of Assured Water Supply, as set forth in the Arizona Groundwater Management Act, A.R.S. §45-576.

Please notify the Company if you will be proceeding with development of the property so the Company can prepare the necessary Agreement.

Very truly yours,



Andrew J. Haas, P.E.  
Vice President - Engineering  
developmentservices@azwater.com

sla

---

E-MAIL: [developmentservices@azwater.com](mailto:developmentservices@azwater.com)

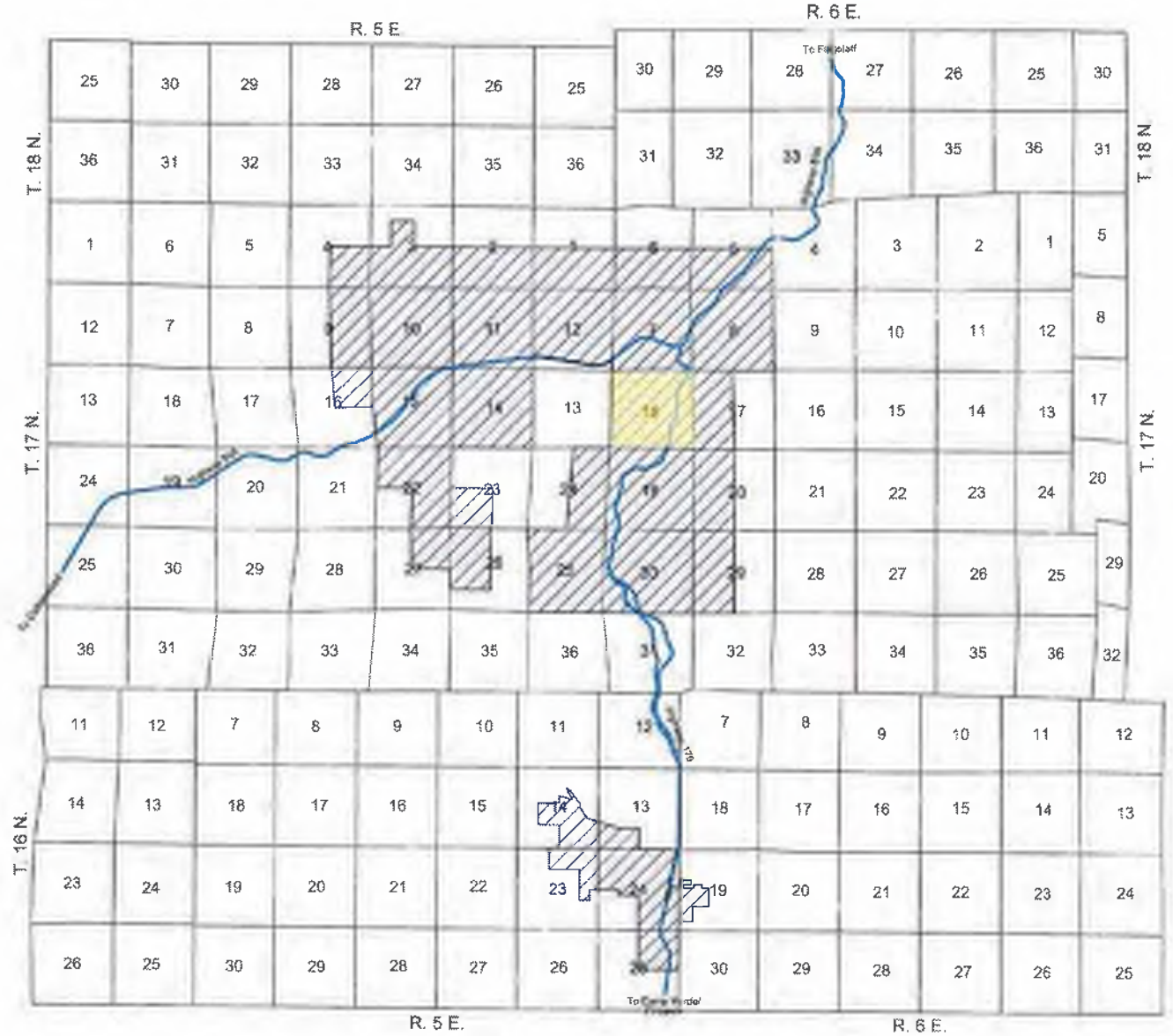
Sedona, Arizona – Arabelia Spa APN 401-22-036B




NE 1/4 SEC 16-T. 17N-R. 6E.  
WATER DISTRIBUTION  
ARIZONA WATER COMPANY  
PICENZA, ARIZONA  
SCALE: 1" = 300'-0" (AS OF 5/28/2018)

Map Disclaimer: This map is for general reference only. It does not replace a land survey and Arizona Water Company does not guarantee its thematic or spatial accuracy.





 Area Covered By Present CCN

Section	Owner	Acres	Value
1			
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**ARIZONA WATER COMPANY**

AREA COVERED BY PRESENT CCN

SEDONA

# ARABELLA SPA

LOCATED IN A PORTION OF SECTION 28, TOWNSHIP 17 NORTH,  
RANGE 9 EAST, GDA AND RAL T PARR MERIDIAN,  
COCONINO COUNTY, ARIZONA



LOCATION MAP  
N.T.S.

## CONTACT INFORMATION

OWNER	HOWSON HOLDINGS CONTACT: TREVOR HOWSON TREVOR@HOWSONHOLDINGS.COM
Mayor	SANDY MORARTY
Vice Mayor	SCOTT JABLON
CITY COUNCIL	KATHY ANSELTA MELI PLUM JON THOMPSON TOM LAMON JESSICA WILLIAMSON
CITY MANAGER	KAREN OSBORN
ARCHITECT	ERWIN ARCHITECTURE AND DEVELOPMENT CONTACT: BEN ERWIN (802) 427-8272 WELLS@ERWINARCHITECTURE.COM
ARCHITECT	LEWYNEHAUD ARCHITECTURE DESIGN CONTACT: PIERRE WERHEIM AND SUITE SUITE 200 RUE JACQUES MONTEAU, DC 12Y 219 (514) 397-8237 #11A
LANDSCAPE ARCHITECT	TOWNSEN INC CONTACT: BILL TOWNSEN 105 E 12TH STREET DENVER, CO 80202 (303) 851-7893 BILL@BILLTOWNSEN.COM
ENGINEER	HALEY, HYDE & ASSOCIATES INC ANDREW BARRON, P.E. 200 W. WASHINGTON ST., SUITE 200 DENVER, CO 80202 (303) 555-1111 ANDREW@HALEY-HYDE.COM

## Sheet List Table

Sheet Number	Sheet Title	Sheet Description
01	COVER SHEET	0001
02	SITE PLAN	0002
03	SITE PLAN	0003
04	UTILITY SHEET	0004
05	UTILITY SHEET	0005
06	DRAINAGE AND GRADING	0006
07	DRAINAGE AND GRADING	0007
08	PERMITS CALCULATION	0008

## UTILITY PROVIDERS

01 ARIZONA PUBLIC SERVICE	WATER SUPPLY
02 ARIZONA WATER COMPANY	SEWER/WASTEWATER
03 SUDRON CAN	CASEY COFF
04 SUDRON CAN	SEWER/WASTEWATER
05 SUDRON CAN	SEWER/WASTEWATER
06 SUDRON CAN	SEWER/WASTEWATER
07 SUDRON CAN	SEWER/WASTEWATER
08 SUDRON CAN	SEWER/WASTEWATER



VICINITY MAP  
G.D. OF SEDONA  
N.T.S.

**Kimley»Horn**  
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SCALE: 1/8" = 1'-0"  
DESIGNED BY: JPL  
DRAWN BY: JPL  
CHECKED BY: JPL  
DATE: 10/10/17

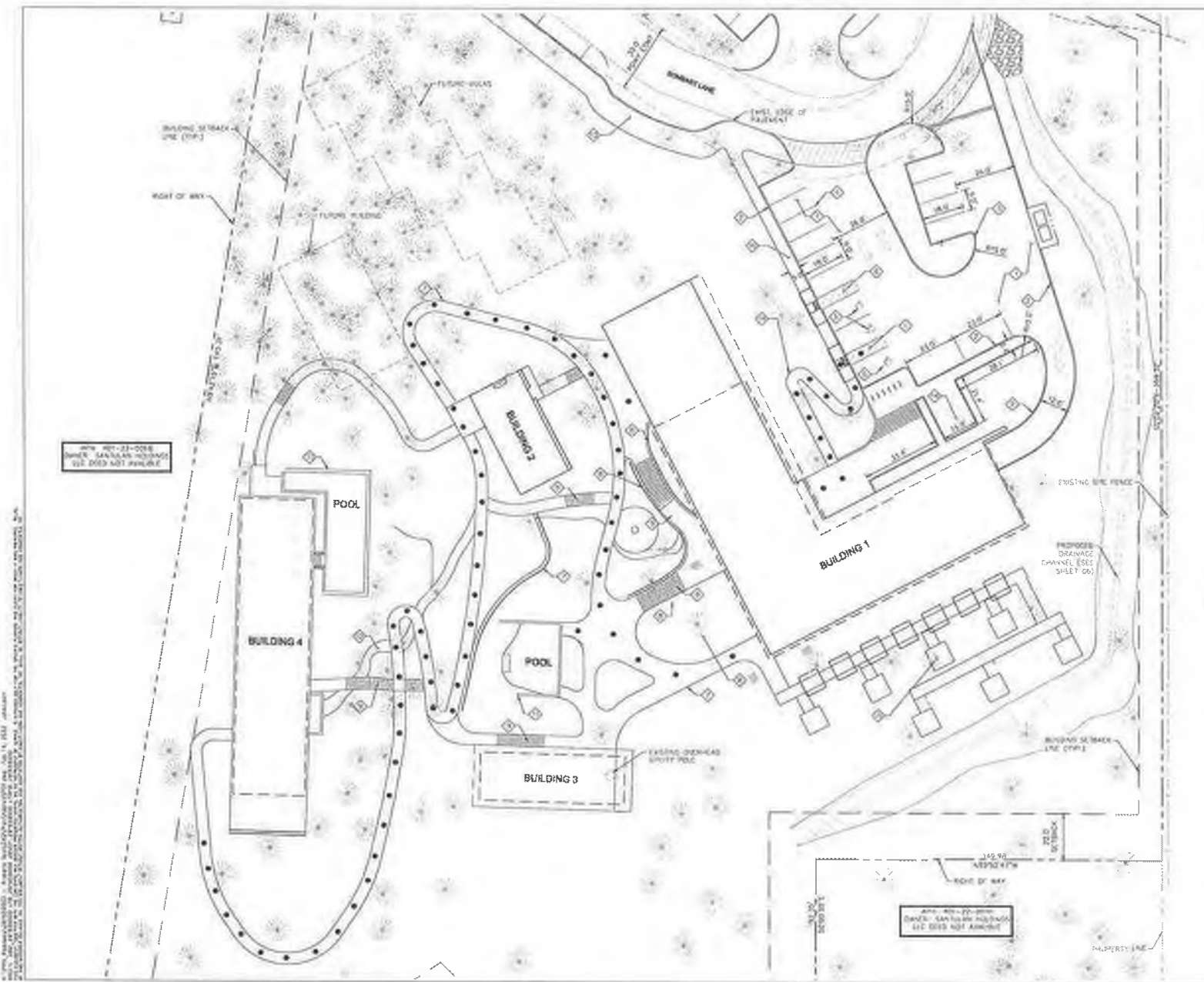
ARABELLA SPA - PRELIMINARY IMPROVEMENT PLANS  
COVER SHEET  
725 SR 179  
SEDONA, AZ

**Kimley»Horn**  
1000 W. WASHINGTON ST., SUITE 200  
DENVER, CO 80202



PROJECT NO:  
221659000  
DRAWING NAME:  
COVER SHEET





VICINITY MAP  
CITY OF SEDONA  
AZ

SHEET NOTES

- | NO | DESCRIPTION  |
|----|--|
| 1  | PROPOSED PARKING AREA, 4" ASPHALT CONCRETE OVER 4" ABC PER MAG STD DR. SEE |
| 2  | TYPE A WEDGE CURB AND GUTTER PER MAG STD DR. XXX                           |
| 3  | 1" SINGLE CURB PER MAG STD DR. XXX   |
| 4  | SDA PARKING STRIPE, 4" SOLID WHITE   |
| 5  | MSA PARKING STRIPE, XXX  |
| 6  | ISA STRIPE, ADA ACCESSORY ROUTE, 4" SOLID WHITE, XXX                       |
| 7  | PROPOSED STACKED ROCKWALL, PER ARCHITECTURAL PLANS                         |
| 8  | RAMMED EARTH WALL PER ARCHITECTURAL PLANS                                  |
| 9  | PROPOSED STAIRS, SEE ARCHITECTURAL PLANS FOR DETAILS FOR EACH LOCATION     |
| 10 | PROPOSED POOL AREA, SEE ARCHITECTURAL PLANS FOR DETAILS                    |
| 11 | PROPOSED WATER FEATURES, SEE ARCHITECTURAL PLANS                           |
| 12 | PROPOSED 10" SHARED USE PATH   |
| 13 | 4" CONCRETE SIDEWALK PER ARCHITECTURAL PLANS                               |
| 14 | PROPOSED MASSAGE TENTS, SEE ARCHITECTURAL PLANS                            |
| 15 | PROPOSED CONCRETE SIDEWALK PER MAG STD DR. XXX, W/SDA PER PLAN             |

LEGEND

- EXIST PROPERTY LINE
- EXIST RIGHT-OF-WAY
- EXIST SETBACK
- PROP WALKING PATH
- PROP BUILDING OVERHAND
- EXIST FENCE
- PROP PARKING STRIPE
- PROP WALKING PATH
- NIA PATH



GRAPHIC SCALE IN FEET  
0 10 20



**Kimley»Horn**  
PRELIMINARY IMPROVEMENT PLANS  
SITE PLAN  
725 SR179  
SEDONA, AZ

SCALE: 1/8" = 1'-0"  
DESIGNED BY: JML  
CHECKED BY: ACB  
DATE: 08-23-2022

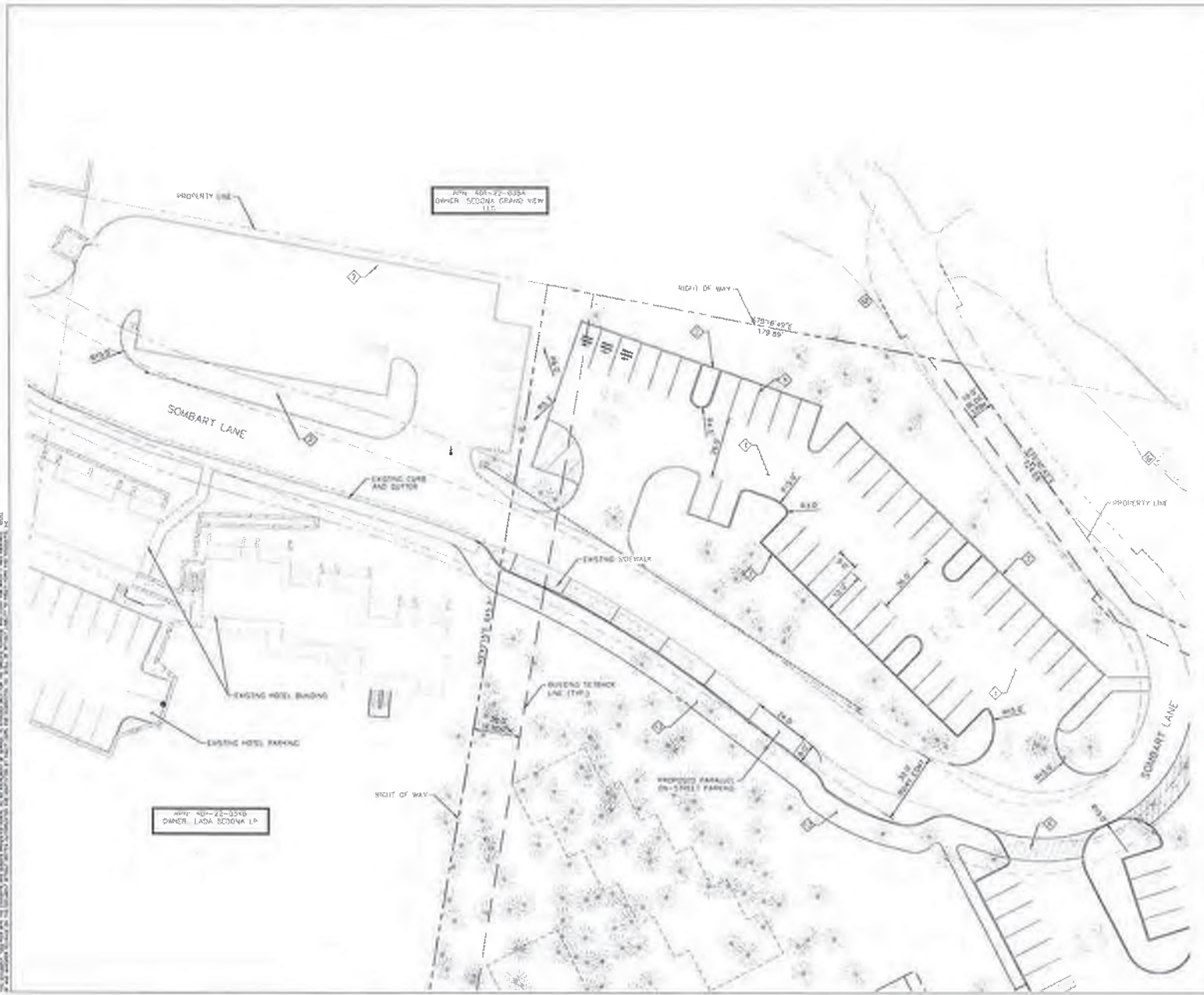
ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS  
SITE PLAN  
725 SR179  
SEDONA, AZ

PROJECT NO: 251600003  
DRAWING NAME: SPT1  
22 OF 28

DATE: 08-23-2022 OWNER: SANJUAN RESORTS LLC DSD NOT AVAILABLE



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APN: 001-22-035A  
 OWNER: SEDONA GRAND VIEW LLC

APN: 001-22-035B  
 OWNER: LADA SEDONA LP



**VICINITY MAP**  
 CITY OF SEDONA  
 N.T.S.

**SHEET NOTES**  
 OF DESCRIPTION

- ◇ PROPOSED PARKING AREA, 3" ASPHALT CONCRETE OVER 6" ABC PER STRUCTURAL SOCIETY
- ◇ SET A VERTICAL CURB AND GUTTER PER MAG STD. 03, 220-1
- ◇ 8" WIDE PARKING STRIPS 4" SOLID WHITE
- ◇ 4" WIDE STRIPS AND ACCESSORY ROUTE, 4" SOLID WHITE PER MAG STD. 03, 208
- ◇ PROPOSED IN-SHARED USE PATH

**LEGEND**

- EXIST. PROPERTY LINE
- EXIST. RIGHT-OF-WAY
- EXIST. SETBACK
- PROP. WALKING PATH
- PROP. BUILDING OVERHANG
- EXISTING FENCE
- PROP. PARKING STRIP
- PROP. ALLIANCE DRIVE
- PROP. ASPHALT PAVEMENT



GRAPHIC SCALE IN FEET  
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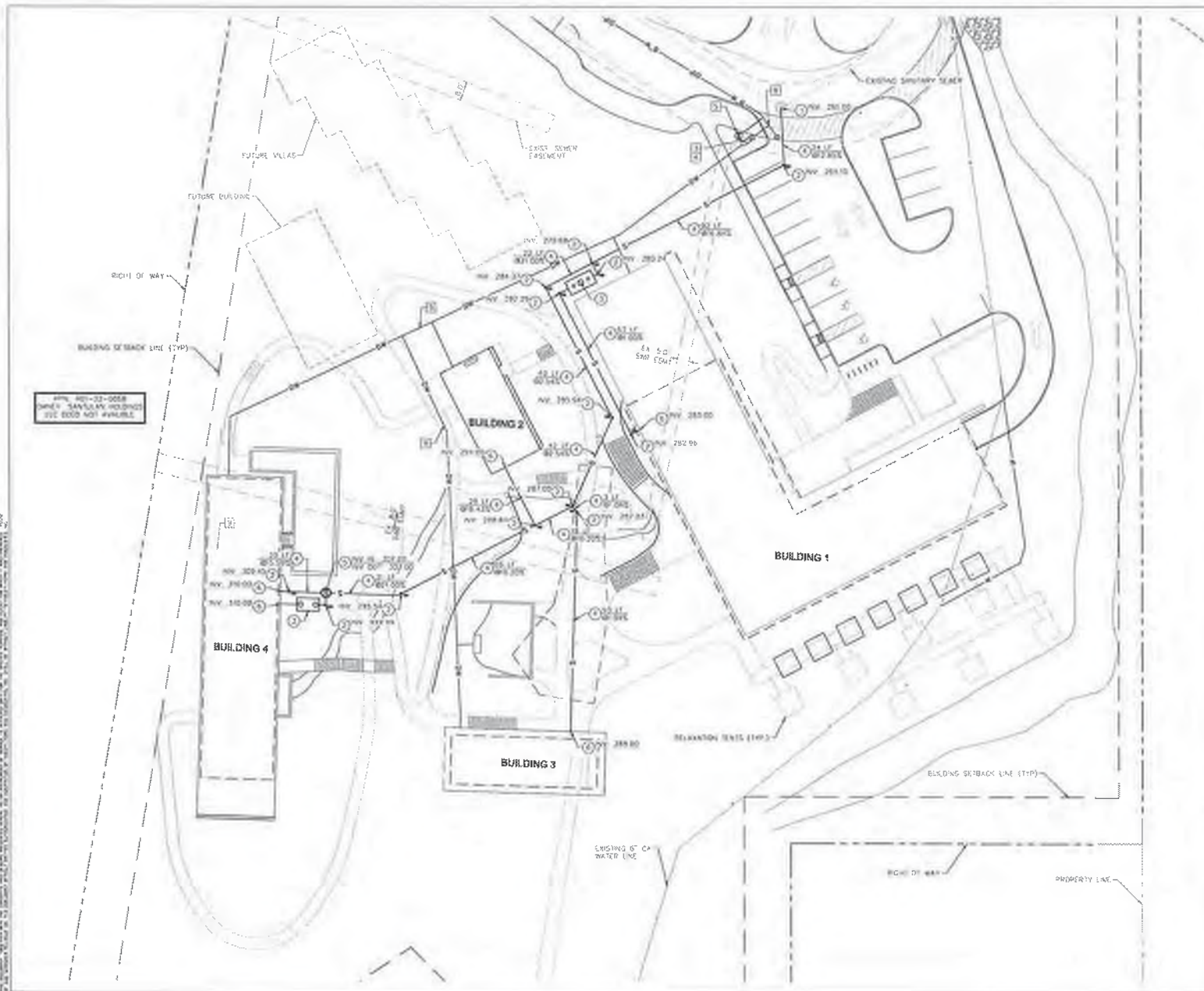


**Kimley-Horn**  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 205 NORTH MONTEZUMA, SUITE 200  
 PRESCOTT, ARIZONA 86301  
 PHONE: 928.446.1171  
 FAX: 928.446.1172  
 DATE: FEB 2022

**ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS**  
**SITE PLAN**  
 725 SR179  
 SEDONA, AZ

**Kimley-Horn**

PROJECT NO: 23123000  
 DRAWING NAME: SPD



PH: 481-33-0058  
 FAX: 481-33-0059  
 WWW.KIMLEY-HORN.COM



VICINITY MAP  
 CITY OF SEDONA  
 AZ

- WATER CONSTRUCTION NOTES**
- 1 6" WATER METER ASSEMBLY & VALVE PER MAG STD 01, VXX
  - 2 6" BACKFLOW PREVENTER PER MAG STD 01, XXX
  - 3 FIRE HYDRANT ASSEMBLY PER MAG STD 01, XXX
  - 4 FIRE DEPARTMENT CONNECTION PER SEDONA FIRE DEPARTMENT STD 01, DTL
  - 5 TAPPING BLEEF AND VALVE PER MAG STD 01, XXX
  - 6 6" PVC DOMESTIC WATER LINE TRENCH, BLDG, AND BACKFILL PER MAG STD 01, XXX

- SEWER CONSTRUCTION NOTES**
- 1 CONNECT TO EXISTING SEWER MANHOLE, WVERT PER PLAN
  - 2 INSTALL 4" CLEARANCE PER MAG STD 01, 401 NOTES PER PLAN
  - 3 INSTALL ORANGE IDENTIFIER WITH TWO-WAY CLEARANCE, SEE PER MANUFACTURER
  - 4 INSTALL 4" PVC SDR 35 SEWER LINE, LENGTH AND SLOPE PER PLAN, TRENCH, BEDDING, AND BACKFILL PER MAG STD 01, 300-1
  - 5 6" DIA. PRECAST CONCRETE SEWER MANHOLE PER MAG STD 01, 420-1, 420-1 AND 30" DIA. 150# MANHOLE FRAME AND COVER PER MAG STD 01, 421-2, WVERT PER PLAN
  - 6 CONNECT TO BUILDING REFER TO PLUMBING PLANS

**PRIVATE UTILITY NOTES**

PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY LOCATIONS ARE SHOWN FOR GENERAL CONCEPT AND BACKFILL ESTIMATION. CONSULT WITH UTILITY OWNERS ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.

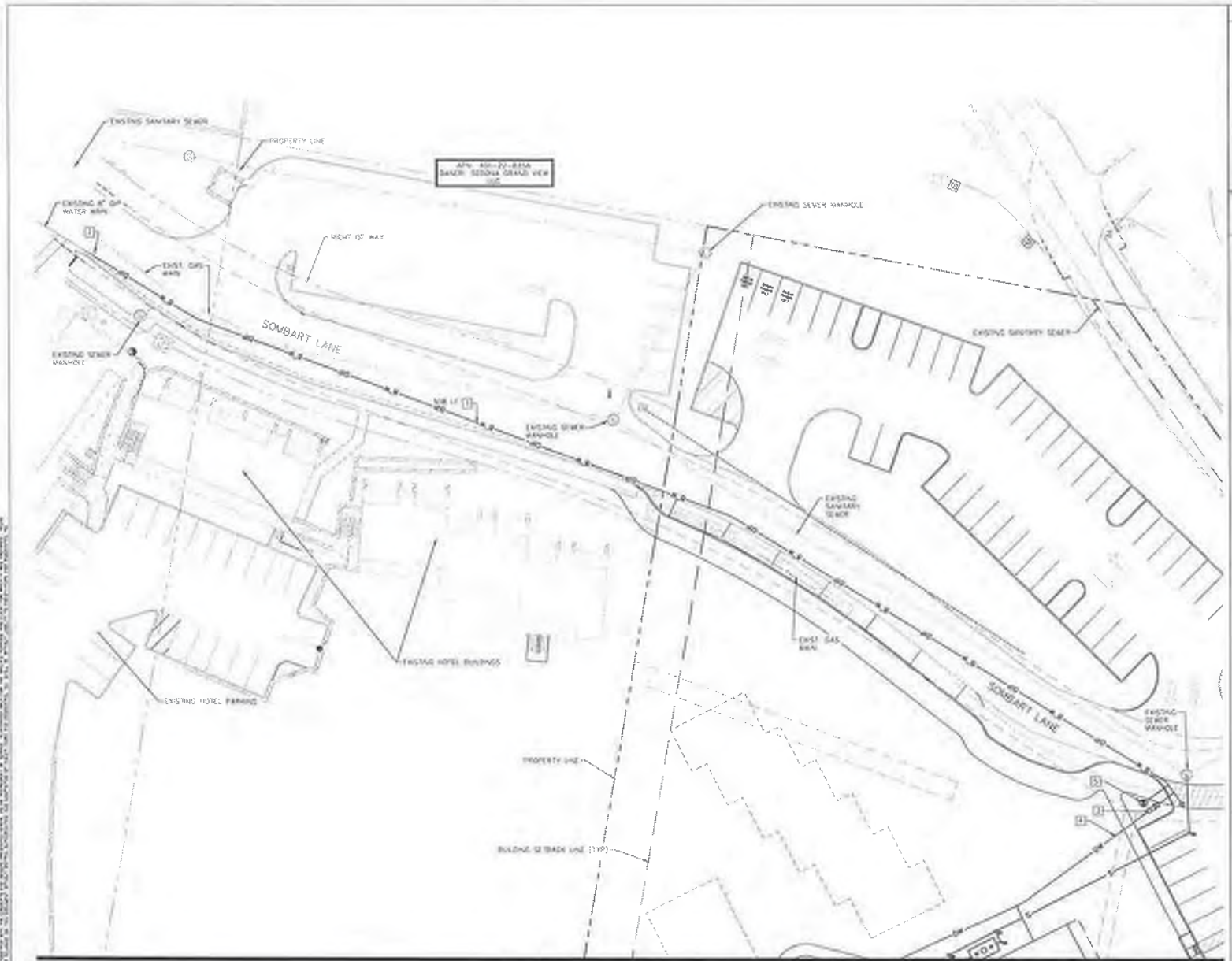


**Kimley»Horn**  
 CONSULTING ENGINEERS, ARCHITECTS, INC.  
 200 NORTH WASHINGTON, SUITE 200  
 WENATCHEE, WASHINGTON 98590  
 PHONE: 509-645-1774  
 FAX: 509-645-1775  
 WWW.KIMLEY-HORN.COM

ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS  
 UTILITY SHEET  
 725 SR 179  
 SEDONA, AZ

PROJECT NO: 21805900  
 DRAWING NAME: UTILITY SHEET





MATCHLINE SEE SHEET 05 FOR CONT.



VICINITY MAP  
CITY OF SEDONA  
AZ

- WATER CONSTRUCTION NOTES**
1. 8" DIP WATER MAIN BRANCH, BEDDING, AND BACKFILL PER MAC STD D16 200-1
  2. 6" DIP FIRE LINE, TRENCH, BEDDING, AND BACKFILL PER MAC STD D16 200-1
  3. WATER METER ASSEMBLY & VALVE PER MAC STD D16 301
  4. 2" BACKFLOW PREVENTER PER MAC STD CITY STD D16 3240-1
  5. FIRE HYDRANT ASSEMBLY PER MAC STD D16 360-1
  6. FIRE DEPARTMENT CONNECTION PER SEDONA FIRE DEPARTMENT STD D16
  7. CONNECT TO EXISTING WATER MAIN

**PRIVATE UTILITY NOTES**

PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY ROUTING ARE SHOWN FOR TRENCHING, SHIELDING, AND BACKFILL ESTIMATION. COORDINATE WITH UTILITY OWNER ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.

GRAPHIC SCALE IN FEET  
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**ARIZONA 311**  
LOCAL GOVERNMENT  
PUBLIC WORKS DEPARTMENT

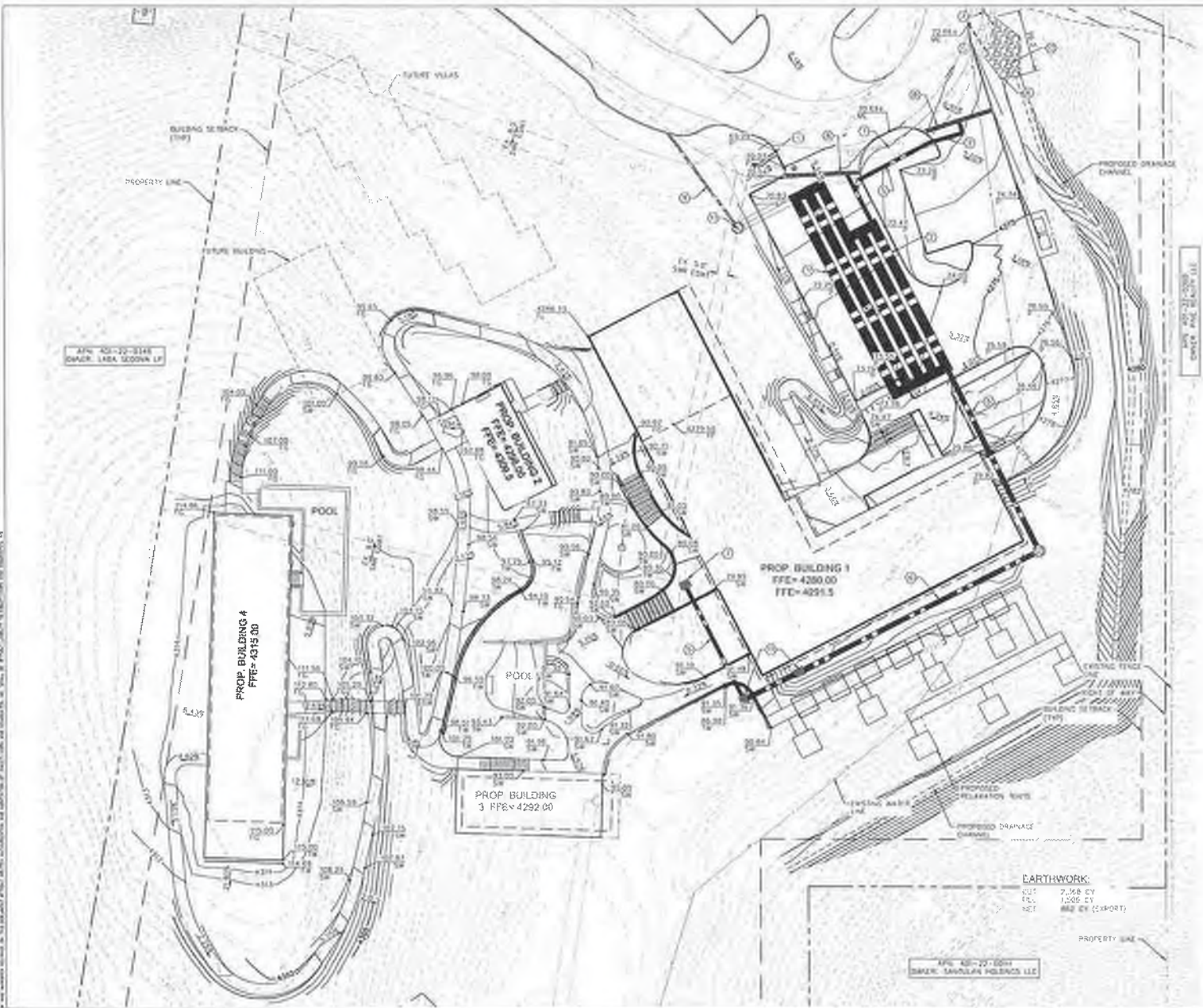
**Kimley & Horn**  
2027 WICKLIFF AVENUE, SUITE 200  
200 NORTH WASHINGTON AVENUE, SUITE 200  
PHOENIX, ARIZONA 85004 (928) 766-1101

SCALE: 0.5"  
DESIGNED BY: JRL  
CHECKED BY: JCB  
DATE: FEB 2022

**ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS**  
UTILITY SHEET  
725 SR179  
SEDONA, AZ

**Kimley & Horn**  
REGISTERED PROFESSIONAL ENGINEERS  
PROJECT NO: 201623000  
DRAWING NAME: U702  
05 OF 08





**SHEET NOTES**

1. PROPOSED 48" HDPE PIPE FOR DETENTION, 3'
2. PROPOSED 48" PIPE FOR FIRST FLUSH BASIN, 2' X 2' X 1'
3. PROPOSED 48" HDPE PIPE FOR DETENTION, 52'
4. PROPOSED 48" PIPE FOR FIRST FLUSH BASIN, 2' X 2' X 1'
5. PROPOSED 18" HDPE PIPE
6. PROPOSED 24" HDPE PIPE
7. PROPOSED AREA INLET CATCH BASIN
8. PROPOSED WARD TRENCH GRATE AND DRAIN
9. PROPOSED 12" HDPE PIPE
10. PROPOSED 3" X 12" CATCH BASIN INLET AND GRATE PER MGD STD D12 D12
11. PROPOSED DETENTION STRUCTURE
12. PROPOSED INFLAT ENERGY DISSIPATION APPLIC

**LEGEND**

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK
- PROPOSED PARKING PATH
- PROPOSED BUILDING
- PROPOSED BUILDING OVERHANG
- EXISTING FENCE
- PROPOSED PARKING STRIPS
- PROPOSED MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MAJOR CONTOUR
- 10 FINISHED GRADE
- 20 EXISTING GRADE
- 1A TOP OF WALL
- 1B FACE OF WALL
- 1C MATCH EXISTING
- 1D PAVEMENT ENDS

**GRADING NOTES**

1. ALL CUT SLOPES NO STEEPER THAN 1:3 AND ALL FILL SLOPES SHALL BE NO STEEPER THAN 2:1



**Kimley»Horn**  
 ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS GRADING AND DRAINAGE  
 725 SR 179  
 SCOTTSDALE, AZ

PROJECT NO: 29155000  
 DRAWING NAME: GDS1  
 05 OF 08





APN: 401-23-008  
OWNER: STODIA DRIVE VENTURE LLC

APN: 401-23-008  
OWNER: LARA STODIA LP



VICINITY MAP  
CITY OF SEDONA  
AZ

SHEET NOTES

- DESCRIPTION
- ① PROPOSED 48" HDPE PIPE FOR DETENTION BASIN
  - ② PROPOSED 48" PIPE FOR FIRST FLUSH WASH
  - ③ PROPOSED 12" HDPE PIPE
  - ④ PROPOSED DETENTION GUILLS STRUCTURE

LEGEND

- EXISTING PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- - - EXISTING SETBACK
- ~~~~~ PROPOSED WALKING PATH
- ===== PROPOSED BUILDING
- PROPOSED BUILDING OVERHANG
- EXISTING FENCE
- PROPOSED PARKING STRIP
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FG FINISHED GRADE
- EG EXISTING GRADE
- TW TOP OF WALL
- FW FACE OF WALL
- WE WATCH ENDING
- PI PAVEMENT ENDS

EARTHWORK:

CUT: 202 CY  
FILL: 513 CY  
NET: 311 CY (IMPORT)

NOTE:  
THE QUANTITIES LISTED ABOVE ARE APPROXIMATE  
THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATION  
OF THE QUANTITIES INVOLVED AND MAKE HIS  
ESTIMATE ON HIS OWN OCCASION

THE QUANTITY SHOWN ABOVE IS A SURFACE TO  
SURFACE COMPARISON. SEPARATE QUANTITIES WILL  
NOT BE CALCULATED FOR OVERHANGS AND PAVEMENT  
SECTION.

CONSTRUCTION WILL DISTURB MORE THAN 1 ACRE  
AND IS THEREFORE REQUIRED TO OBTAIN AN AERIAL  
PHOTO. THE GENERAL CONTRACTOR IS RESPONSIBLE  
FOR FILING, NOT AND FOR DEVELOPING, FIELD,  
AND UPDATING THE STORM WATER MANAGEMENT  
PLAN (SWMP) FOR THIS PROJECT.



SCALE: 1" = 20'  
 SCALE: 1" = 40'  
 DESIGN BY: JTB  
 CHECKED BY: JTB  
 DATE: FEB 2022

**ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS**  
**GRADING AND DRAINAGE**  
**725 SR 179**  
**SEDONA, AZ**

PROJECT NO: 191659000  
 DRAWING NAME: 0002  
 07 OF 08







**TAB 9**

## PRELIMINARY WATER DESIGN MEMORANDUM

To: Erwin Architecture & Development  
From: Andrew Baird, P.E.  
Kimley-Horn and Associates, Inc.  
Date: December 14, 2022  
Subject: Arabella Spa

---

### BACKGROUND

This Preliminary Water Design Memorandum for the Arabella Spa has been prepared to address the water system requirements outlined in the City of Sedona – Design, Review, Engineering and Administrative Manual (DREAM), Arizona Water Company (AWC) and Arizona Department of Environmental Quality (ADEQ). The main purposes of this memo are the following:

- Illustrate compliance with the DREAM, AWC, ADEQ.
- Establish water demand and fire flow criteria for design.
- Establish the feasibility of the development of the site.

The project site (Site) is located along Sombart Ln. east of State Route 179. The Site is bounded to the north by property that is zoned commercial but is currently being utilized as parking for trailheads, east by a hotel complex, south by single family residential properties, and the west by property zoned open space and Coconino National Forest. The Site is located within the City of Sedona, Section 21, Township 4 South, Range 03 East. The Site consists of parcel 401-22-034B approximately 7.0 acres. See **Appendix A** for the Location Map and Vicinity Map, respectively.

As part of this project, a new spa will be constructed, including four buildings, walkways and patio space, and utilities to service the site. The water system design will include the future additions, and the infrastructure designed accounts for the ultimate condition of the Site.

### METHODOLOGY

The water system serving the Arabella Spa Site has been modeled using WaterCAD, developed using the Haestad Method. The program utilizes the fluid mechanic head loss theory known as the Hazen-Williams method. This is the generally accepted method used to evaluate water distribution systems.

### EXISTING WATER SYSTEM

An existing 8-inch DIP water line is located near the northwest corner of the existing hotel building in Sombart Lane. Hydrants are located west and north of the site in Sombart Lane.

### FIRE FLOW TEST

A Fire Hydrant Flow Test was conducted to determine capacity of the existing infrastructure to service the proposed development. Residual and static pressures were obtained from a flow test performed on three fire hydrants near the site, west of the project site in Sombart Lane and on Highway 179, by Arizona Water Company (see **Appendix C** for fire flow test results). The residual and static pressures from the flow test are included in Table 2.

Table 1: Fire Hydrant Flow Rate Test Results

Hydrant No.	Static Pressure (psi)	Hydrant Flow Test		*Calculated Maximum	
Hydrant No.		Flow (gpm)	Residual Pressure (psi)	Flow (gpm)	Minimum Pressure (psi)
FH 179	120	1379	110	4782	20
FH 181	120	1379	108	4333	20
FH 125	110	1060	65	1541	20

**HYDRAULIC MODEL**

From the static and residual pressures obtained, the calculated maximum operating flow was found to be 4,782 GPM at 20 psi. Using this data, the WaterCAD v8i water system modeling software was used to model the proposed water network. The model is calibrated with the provided existing system information and tested fire flow conditions. A fire flow test was performed to determine the residual and static pressure of the existing system. As stated above three fire flow tests were performed. However, only the flow and pressure data from hydrant 179 was used. Using the fire flow test from fire hydrant 179, a supply curve was generated, as shown below in **Figure 1**. The supply curves help model the expected flow from the existing system to the Arabella Spa water distribution system. Within the model the supply curve, and existing system connection, are modeled as a pump connected to a reservoir.

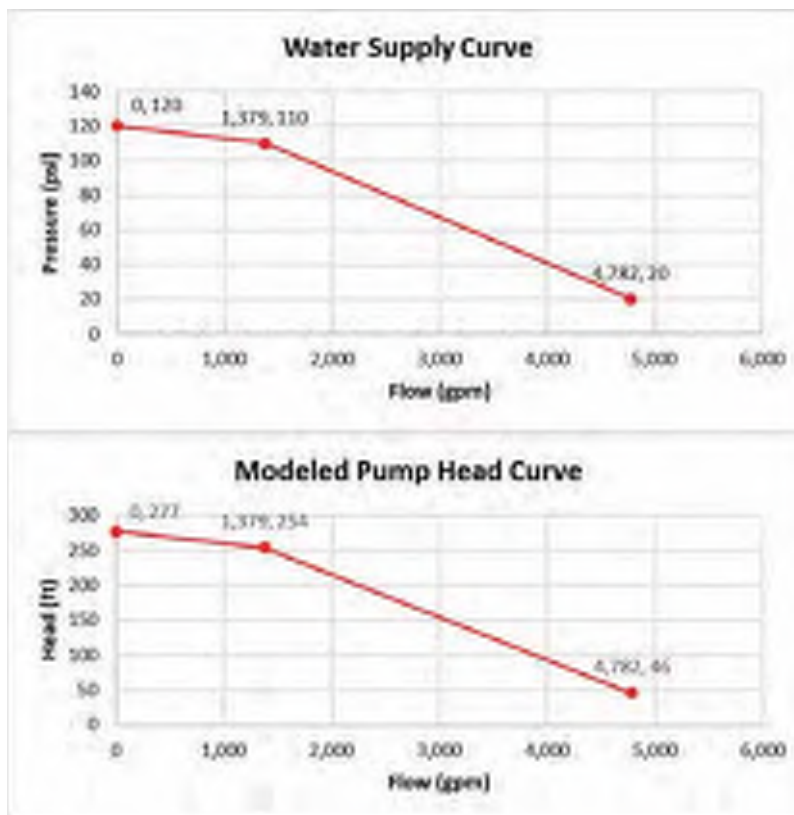


Figure 1. Pump Supply Curve



**PROPOSED WATER SYSTEM**

An 8-inch DIP water line is proposed in Sombart Lane to provide domestic and fire service to the site. An 8" DIP domestic and fire service line is proposed, which will tie into an existing 8" water main on Sombart Lane near the entrance to Arabella. The 8" DIP line will connect to the line on Sombart Lane with a tapping sleeve and valve. The new 8" fire and domestic line will run from the line on Sombart southwest, as shown in the utility exhibit, with an 8" tee and reducer and a 6" DIP line that will run to building 4. A second 8" line will run south from the tee to a proposed fire suppression standpipe near the center of the site. The remainder of this run past the standpipe will be 6" PVC. The laterals to building 1 and 2 will also be 6" DIP lines. A proposed hydrant will be placed at the northwest corner of the site as well, next to the domestic service connection and will connect to the 8" main on Sombart separately. The domestic service throughout the site will be treated as a private line and will not require an easement. See **Appendix B** for the system layout.

**FIRE FLOW DEMAND**

The proposed PDAB is a Construction Type I-B. The required fire flow per building was determined using the 2012 International Fire Code as adopted by City of Sedona and is based on construction type, building square footage, and provision of an approved sprinkler system. The City of Sedona allows for a maximum 75% reduction of the required fire flow for building provided that the building is equipped with an interior fire suppression sprinkler system to an absolute minimum of 1,500gpm. The minimum fire flow requirements for the proposed buildings are shown in **Table 3**. **Table 3** also shows the required building fire flow based upon a maximum fire flow reduction of 75% allowed.

**Table 2: Design Criteria for Public Water Infrastructure**

Building	Building Construction Type <sup>1</sup>	Building Area <sup>2</sup> (ft <sup>2</sup> )	Required Fire Flow <sup>3</sup> (gpm)	Reduction <sup>3</sup>	Required Fire Flow <sup>4</sup> (gpm)
1	I-B	16859	1500		1500
2	I-B	524	1500		1500
3	I-B	1915	1500		1500
4	I-B	1304	1500		1500

<sup>1</sup>Construction Type based on IBC

<sup>2</sup>Areas based on Site Plan (Appendix A)

<sup>3</sup>Fire flow requirements per Sedona Fire District use of 2012 International Fire Code. Maximum reduction = 75% <sup>4</sup>Minimum Fire Flow Requirement of 1,500 gpm per 2006 IFC

**WATER ANALYSIS AND RESULTS**

The Average Daily Demand, Maximum Daily Demand, and Maximum Day Demand plus Fire Flow Demand analyses were performed, for the development, to evaluate the proposed water infrastructure. The system was analyzed to ensure that the existing and proposed public water infrastructure meets the following criteria as set forth in the DREAM and the AWC guidelines. See **Appendix C** for domestic water demand calculations.

**Table 3: Design Criteria for Public Water Infrastructure**

<i>Scenario</i>	<i>Criteria</i>	<i>Constraint</i>
Max Day + Fire Flow	Minimum Pressure	20 psi
Max Day + Fire Flow	Maximum Velocity	*10 fps
Max Day	Minimum Pressure	55 psi

The fire flow demand of 1,500 GPM was applied at the proposed fire hydrant and at the proposed standpipe in the area between the buildings. An assumed demand of 30 GPM was added at the building connections as a demand flow for a fire suppression system at each building. The minimum PSI was recorded at each node. These flows were determined based on the assumption that one building requires fire suppression at a time and the hydrant requires full flow.

As previously discussed, Maximum Day Demand plus Fire Flow Demand analyses were performed for the existing adjacent off-site water infrastructure and the proposed on-site water system. See **Appendix D** for the proposed system’s Water Model Schematics and Results. A summary of the water analysis results for the public distribution main is tabulated below:

**Table 4: Fire Flow and Maximum Daily Demand Water Model Result Summary**

<i>Criteria</i>	<i>Constraint</i>	<i>Max Day</i>	<i>Max Day + FF</i>
Minimum System Pressure	53 psi		20 psi
Maximum Velocity	10 fps*		Yes
Minimum System Pressure	55 psi	Yes	

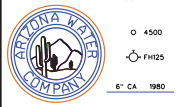
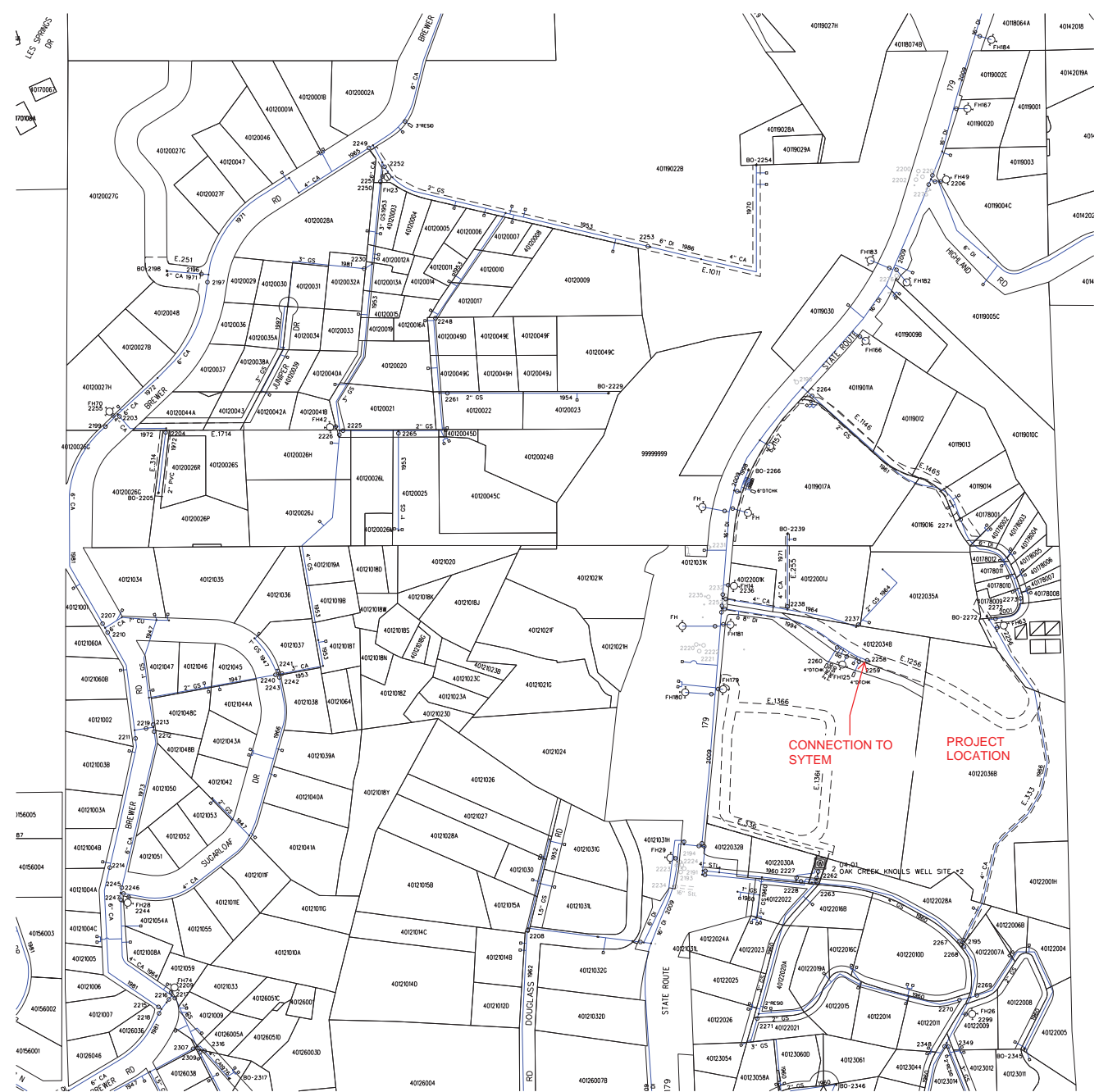
**RECOMMENDATION**

\*Although standard practice requires a maximum velocity of 10 fps during maximum day plus fire flow demand scenarios, Arizona Water Company desires a maximum velocity of 8 fps in the system. Kimley-Horn is requesting a variance for using 10 fps as the maximum velocity requirement, as our system with 8” DIP meets this requirement with a velocity of 9.68 ft/s and maintains adequate pressure.

The proposed on-site water system and the existing, adjacent off-site public water infrastructure, as outlined by this analysis, is adequate and is sufficient to meet the required domestic water demand and fire flow demand for the proposed Arabella Spa project.

# Appendix A – Site Location Map





**LEGEND:**

- 4500 EX. WATER VALVE & REFERENCE NUMBER
- ⊙ FH25 EX. FIRE HYDRANT & REFERENCE NUMBER
- ⊙ EX. WATER MAIN W/ DIAMETER AND YEAR CONSTRUCTED
- METER
- ⊕ TEE
- ⊙ FITTING
- BO-75 BLOW OFF VALVE & REFERENCE NUMBER
- ⊕ AIR RELIEF VALVE
- EASEMENT
- - - - - WASH

**SEDONA**

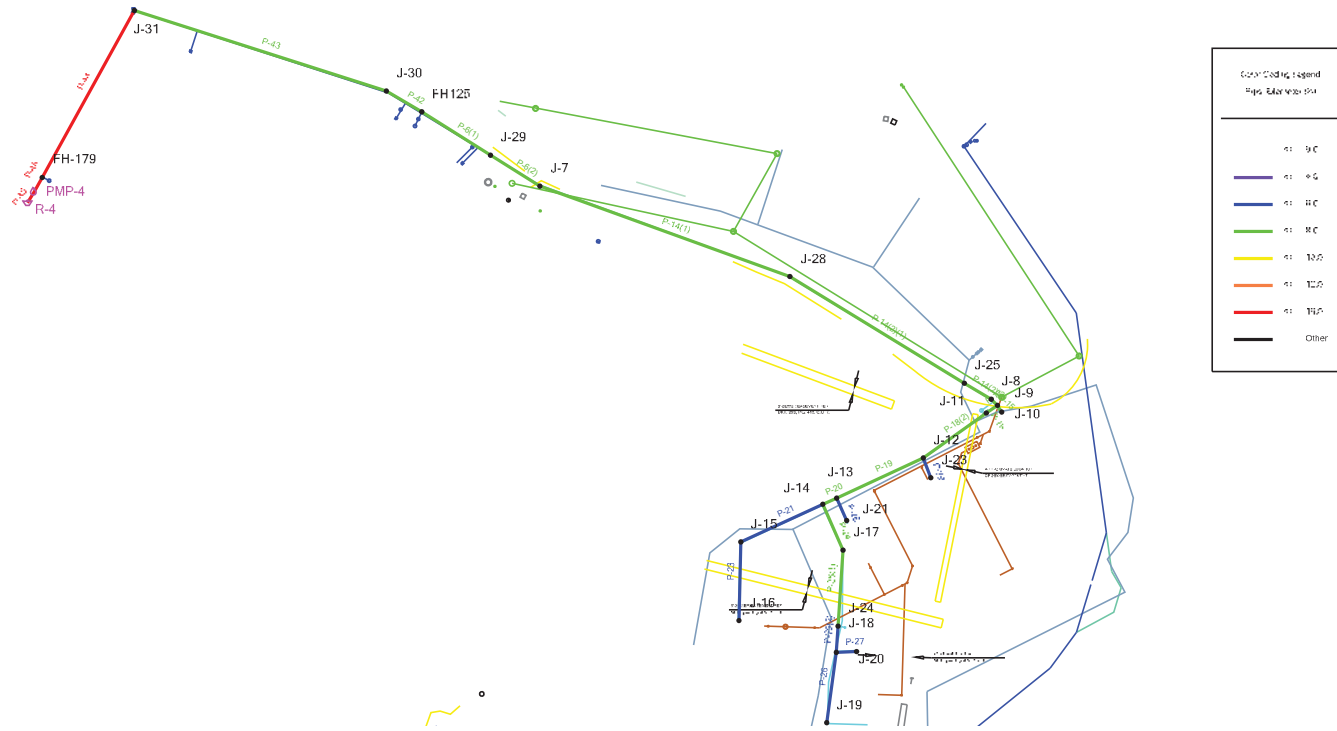
**WATER MAIN MATERIALS:**

- CA CEMENT ASBESTOS
- PVC POLY VINYL CHLORIDE
- CLC CONCRETE LINED CYLINDER
- CU COPPER
- STL STEEL
- CI CAST IRON
- DI DUCTILE IRON
- HDPE HIGH DENSITY POLYETHYLENE
- GS GALVANIZED STEEL
- UNS UNSPECIFIED

**NE1/4 SEC.18-T.17N.,R.6E.**  
**ARIZONA WATER COMPANY**  
**PHOENIX, ARIZONA**  
 SCALE: 1" = 200'-0" DATE: 8/28/2018

# Appendix B– Proposed Water System Layout

# Scenario: Base



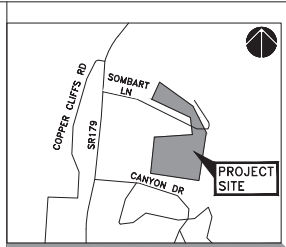
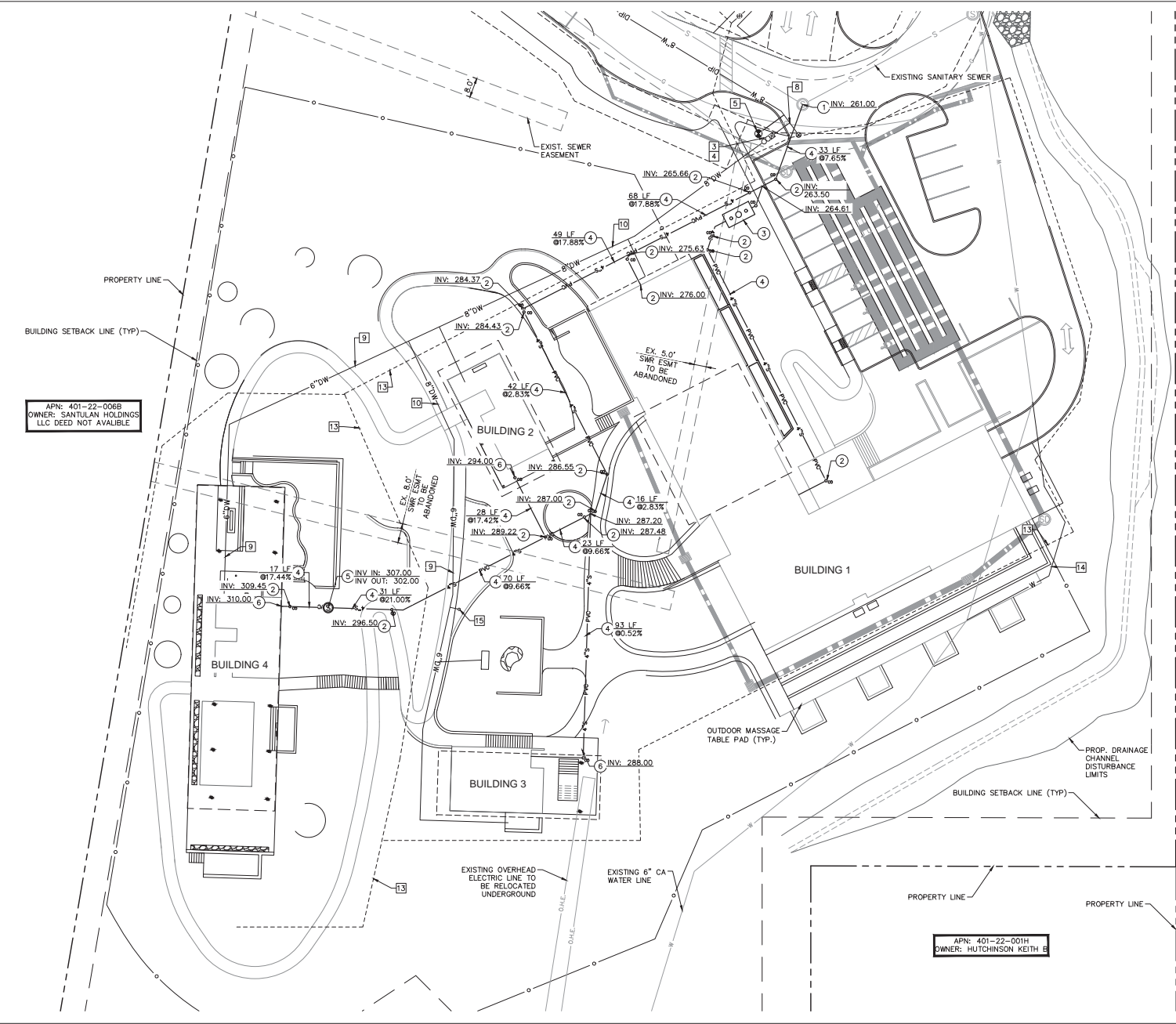
Color Coding Legend	
Pipe Category	
Blue	9C
Green	10C
Yellow	11C
Orange	12C
Red	13C
Black	Other



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APN: 401-22-006B  
OWNER: SANTULAN HOLDINGS  
LLC DEED NOT AVAILABLE

APN: 401-22-001H  
OWNER: HUTCHINSON KEITH E



VICINITY MAP  
CITY OF SEDONA  
N.T.S.

- WATER CONSTRUCTION NOTES**
- 3 6" WATER METER ASSEMBLY & VALVE
  - 4 6" BACKFLOW PREVENTER
  - 5 FIRE HYDRANT ASSEMBLY
  - 8 TAPPING SLEEVE AND VALVE
  - 9 6" DIP DOMESTIC WATER LINE
  - 10 8" DOMESTIC FIRE LINE
  - 13 1.5" IRRIGATION MAIN LINE, SEE LANDSCAPE PLANS
  - 14 RELOCATE EXISTING WATER MAIN PER LOCATION SHOWN
  - 15 FIRE RISER STANDPIPE, REFER TO PLUMBING PLANS

- SEWER CONSTRUCTION NOTES**
- 1 CONNECT TO EXISTING SEWER MANHOLE, INVERT PER PLAN
  - 2 INSTALL 4" CLEANOUT PER MAG STD DTL 441, INVERT PER PLAN
  - 3 INSTALL GREASE INTERCEPTOR WITH TWO-WAY CLEANOUT, SIZE PER MANUFACTURER.
  - 4 INSTALL 4" PVC SDR 35 SEWER LINE, LENGTH AND SLOPE PER PLAN, TRENCH, BEDDING, AND BACKFILL PER MAG STD DTL 200-1.
  - 5 5' DIA. PRECAST CONCRETE SEWER MANHOLE PER MAG STD DTL 420-1, 4260-1 AND 30" CAST IRON MANHOLE FRAME AND COVER PER MAG STD DTL 423-2, INVERT PER PLAN
  - 6 CONNECT TO BUILDING, REFER TO PLUMBING PLANS

- PRIVATE UTILITY NOTES**
- PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY ROUTING ARE SHOWN FOR TRENCHING, CONDUIT, AND BACKFILL ESTIMATION. COORDINATE WITH UTILITY OWNER ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.

GRAPHIC SCALE IN FEET  
0 10 20 40

NORTH

at least two full working days before you begin construction

**ARIZONA 811**  
Call 811 or 1-800-STAKEIT (782-7244)  
In Maricopa County: (602) 263-1100

**Kimley-Horn**  
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
201 NORTH MONTEZUMA, SUITE 206  
PHOENIX, ARIZONA 85001 (928) 458-1721

SCALE (H): 1"=20'  
SCALE (V): N/A  
DESIGNED BY: JWL  
DRAWN BY: JWB  
CHECKED BY: AGS  
DATE: OCT 2022

ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS  
UTILITY SHEET  
95 N SOMBART LANE  
SEDONA, AZ

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

**Kimley-Horn**  
ENGINEER JACQUEE BARRIS  
PE NO. 48848 DATE 12/22

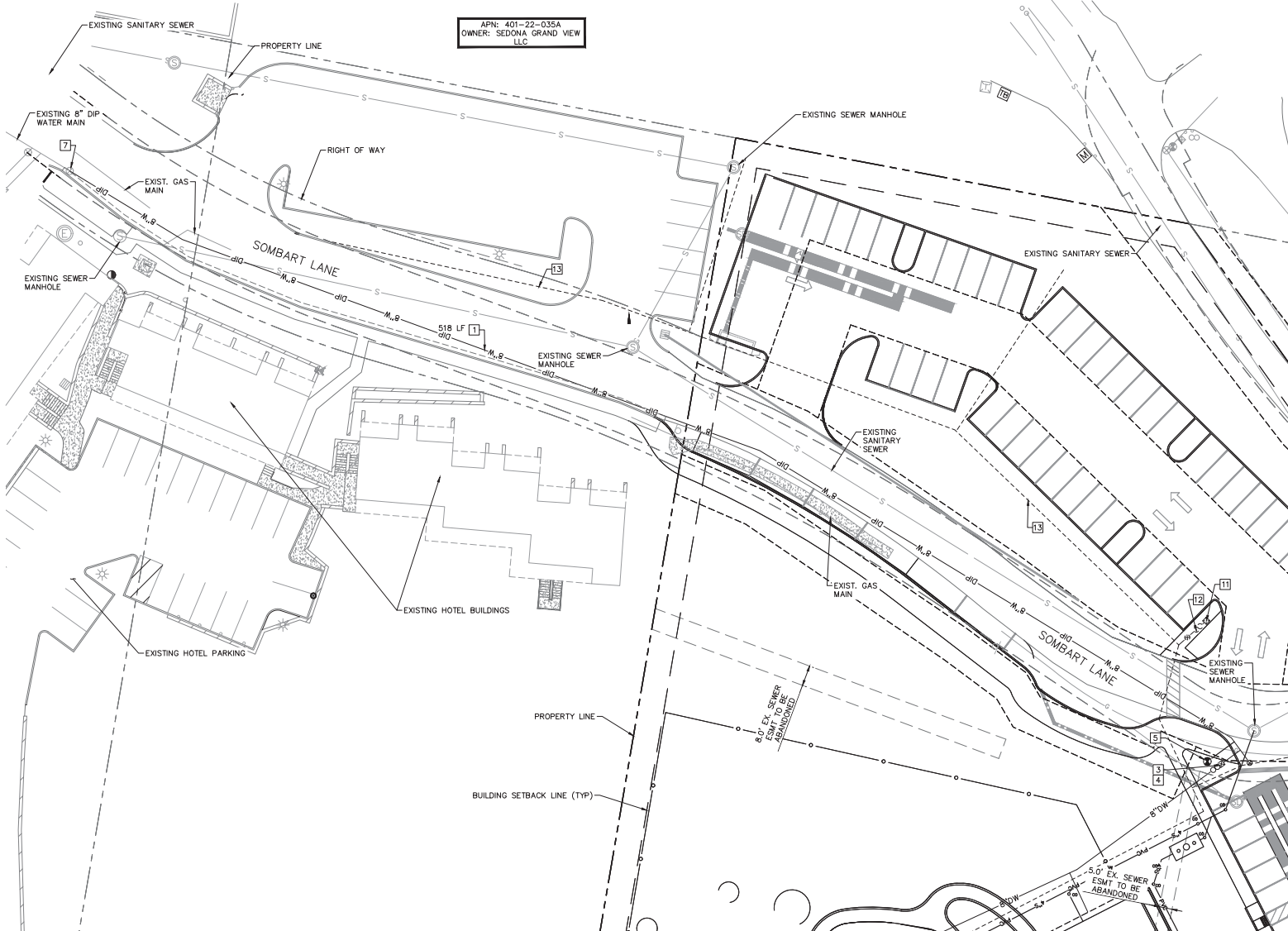
PROJECT NO.  
291659000

DRAWING NAME  
UT01

04 OF 09

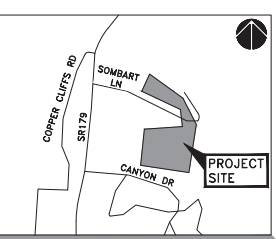
NO. REVISION BY DATE APPR.

ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SEDONA, ARIZONA, ORDINANCES AND RESOLUTIONS. THE CITY OF SEDONA, ARIZONA, IS NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION SHOWN ON THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION SHOWN ON THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES.



APN: 401-22-035A  
OWNER: SEDONA GRAND VIEW LLC

MATCHLINE SEE SHEET 05 FOR CONT.



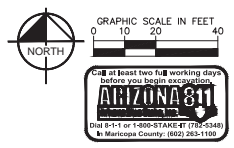
VICINITY MAP  
CITY OF SEDONA  
N.T.S.

WATER CONSTRUCTION NOTES

- 1 8" DIP WATER MAIN
- 3 6" WATER METER ASSEMBLY & VALVE
- 4 6" BACKFLOW PREVENTER
- 5 FIRE HYDRANT ASSEMBLY
- 6 FIRE DEPARTMENT CONNECTION PER SEDONA FIRE DEPARTMENT STD DTL
- 7 CONNECT TO EXISTING WATER MAIN
- 11 2" IRRIGATION METER, SEE LANDSCAPE PLANS
- 12 2" BACKFLOW PREVENTER, SEE LANDSCAPE PLANS
- 13 1.5" IRRIGATION MAIN LINE, SEE ARCHITECTURAL PLANS

PRIVATE UTILITY NOTES

- 1. PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY ROUTING ARE SHOWN FOR TRENCHING, CONDUIT, AND BACKFILL ESTIMATION. COORDINATE WITH UTILITY OWNER ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.



	SCALE (H): SCALE (V): DESIGNED BY: JWL DRAWN BY: JTB CHECKED BY: ASB DATE: OCT 2022
	ARABELLA SPA PRELIMINARY IMPROVEMENT PLANS UTILITY SHEET 95 N SOMBART LANE SEDONA, AZ
PROJECT NO. 291659000 DRAWING NAME UT02	NO. BY DATE APPR. REVISION

# Appendix C– Water Demand Flows/Fire Flow Test Results



Design Water Demand Calculations												
Location	Use	Water Demand Rate		Demand Criteria		Water Design Flow [GPD]	Avg. Day Demand [GPD]	Avg. Day Demand [gpm]	*Max. Day Demand [GPD]	*Max. Day Demand [gpm]	*Peak Hour Demand [GPD]	*Peak Hour Demand [gpm]
		gpd	unit	No.	unit							
Building 1	Commercial (Building Area)	3000	acre	0.25	acres	746	746	0.52	1491	1.04	2237	1.55
	Restaurant	1.3	sqft	1951	sqft	2536	2536	1.76	5073	3.52	7609	5.28
	Developed Open Space (Patio)	3500	acre	0.39	acres	1348	1348	0.94	2696	1.87	4044	2.81
	Hot Pool	720	pool	1	pool	720	720	0.50	1440	1.00	2160	1.50
<b>Subtotal</b>						<b>5,350</b>	<b>5,350</b>	<b>3.72</b>	<b>10,700</b>	<b>7.43</b>	<b>16,050</b>	<b>11.15</b>
Building 2	Commercial (Building Area)	3000	acre	0.04	acres	109	109	0.08	218	0.15	327	0.23
	Developed Open Space (Patio)	3500	acre	0.02	acres	62	62	0.04	124	0.09	186	0.13
	Cold Pool	120	pool	1	pool	120	120	0.08	240	0.17	360	0.25
<b>Subtotal</b>						<b>291</b>	<b>291</b>	<b>0.20</b>	<b>582</b>	<b>0.40</b>	<b>873</b>	<b>0.61</b>
Building 3	Commercial (Building Area)	3000	acre	0.04	acres	131	131	0.09	261	0.18	392	0.27
	Developed Open Space (Patio)	3500	acre	0.04	acres	149	149	0.10	298	0.21	447	0.31
	Cold Pool	230	pool	1	pool	230	230	0.16	460	0.32	690	0.48
<b>Subtotal</b>						<b>510</b>	<b>510</b>	<b>0.35</b>	<b>1,019</b>	<b>0.71</b>	<b>1,529</b>	<b>1.06</b>
Building 4	Commercial (Building Area)	3000	acre	0.10	acres	286	286	0.20	573	0.40	859	0.60
	Developed Open Space (Patio)	3500	acre	0.08	acres	269	269	0.19	537	0.37	806	0.56
	Hot Pool	1500	pool	1	pool	1500	1500	1.04	3000	2.08	9000	6.25
<b>Subtotal</b>						<b>2,055</b>	<b>2,055</b>	<b>1.43</b>	<b>4,110</b>	<b>2.85</b>	<b>6,164</b>	<b>4.28</b>
Next to Building 3	Hot Pool	885	pool	1	pool	885	885	0.61	1770	1.23	2655	1.84
<b>Subtotal</b>						<b>885</b>	<b>885</b>	<b>0.61</b>	<b>1,770</b>	<b>1.23</b>	<b>2,655</b>	<b>1.84</b>
Grounds	Xeriscape	1170	acre	1.97	acres	2305	2305	1.60	4610	3.20	6915	4.80
<b>Subtotal</b>						<b>2,305</b>	<b>2,305</b>	<b>1.60</b>	<b>4,610</b>	<b>3.20</b>	<b>6,915</b>	<b>4.80</b>
<b>Total</b>						<b>11,395</b>	<b>11,395</b>	<b>7.91</b>	<b>22,790</b>	<b>15.83</b>	<b>34,186</b>	<b>23.74</b>

\*Max Day Demand is based on a Peaking Factor of 2.0

\*\*Average Daily Demands were taken from estimates provided by Arizona Water Company based on land use

**From:** Casey Goff <[cgoff@azwater.com](mailto:cgoff@azwater.com)>  
**Sent:** Thursday, September 30, 2021 7:51 AM  
**To:** Warne, James  
**Subject:** Arabella Hydrant Flows  
**Attachments:** [Scan2021-09-30\\_075026.pdf](#)

James,

Here are the hydrant flows for the surrounding fire hydrants at Arabella. These flows are somewhat old so if you need updated information, please let me know and we can schedule some flow tests. Also, see the attached portion of the ¼ section map for reference.

FH 125 Static – 110 psi  
Kinetic – 65 psi  
GPM – 1060

FH 179 Static – 120 psi  
Kinetic – 110 psi  
GPM – 1379

FH 181 Static – 120 psi  
Kinetic – 108 psi  
GPM – 1379

I hope this information helps.

Thanks,



**Casey Goff | Arizona Water Company**  
**Distribution Superintendent**  
**Verde Valley Division**

65 Coffeepot Dr. Ste #7 | Sedona, AZ 86336  
D: 928-282-7092 ext 4102 | [cgoff@azwater.com](mailto:cgoff@azwater.com)

Visit us at [www.azwater.com](http://www.azwater.com)

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**Map Disclaimer:** This map is for general reference only. It does not replace a land survey and Arizona Water Company does not guarantee its thematic or spatial accuracy.

# Appendix D- Water Model Results



# AVERAGE DAY

FlexTable: Junction Table  
**FlexTable: Junction Table**

ID	Label	Elevation (ft)	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
39	FH125	4,241.70	0.00	4,502.00	113
41	J-7	4,246.87	0.00	4,502.00	110
60	J-8	4,269.00	0.00	4,502.00	101
62	J-9	4,269.60	0.00	4,502.00	101
64	J-10	4,270.30	0.00	4,502.00	100
66	J-11	4,270.00	0.00	4,502.00	100
68	J-12	4,281.40	0.00	4,502.00	95
70	J-13	4,294.60	0.00	4,502.00	90
71	J-14	4,299.00	0.00	4,502.00	88
72	J-15	4,310.30	0.00	4,502.00	83
73	J-16	4,315.00	1.43	4,502.00	81
74	J-17	4,298.40	0.00	4,502.00	88
75	J-18	4,300.40	0.00	4,502.00	87
76	J-19	4,299.90	0.35	4,502.00	87
77	J-20	4,294.50	0.61	4,502.00	90
78	J-21	4,296.80	0.20	4,502.00	89
90	J-23	4,280.00	3.72	4,502.00	96
92	J-24	4,299.60	0.00	4,502.00	88
115	J-25	4,269.70	1.60	4,502.00	101
130	J-28	4,256.20	0.00	4,502.00	106
143	J-29	4,244.84	0.00	4,502.00	111
156	J-30	4,240.00	0.00	4,502.00	113
158	J-31	4,225.50	0.00	4,502.00	120
160	FH-179	4,225.00	0.00	4,502.00	120

FlexTable: Pipe Table  
**FlexTable: Pipe Table**

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss Gradient (ft/1000ft)
63	P-15	8	J-8	J-9	8.0	Ductile Iron	120.0	6.31	0.04	0.0000
65	P-16	7	J-9	J-10	8.0	Ductile Iron	120.0	0.00	0.00	0.0000
67	P-17	12	J-9	J-11	8.0	Ductile Iron	120.0	6.31	0.04	0.0000
79	P-19	86	J-12	J-13	8.0	Ductile Iron	120.0	2.59	0.02	0.0000
80	P-20	14	J-13	J-14	8.0	Ductile Iron	120.0	2.39	0.02	0.0000
81	P-21	81	J-14	J-15	6.0	Ductile Iron	120.0	1.43	0.02	0.0000
84	P-23	71	J-15	J-16	6.0	Ductile Iron	120.0	1.43	0.02	0.0069
85	P-24	45	J-14	J-17	8.0	Ductile Iron	120.0	0.96	0.01	0.0000
87	P-26	64	J-18	J-19	6.0	Ductile Iron	120.0	0.35	0.00	0.0000
88	P-27	18	J-18	J-20	6.0	Ductile Iron	120.0	0.61	0.01	0.0000
89	P-28	22	J-13	J-21	6.0	Ductile Iron	120.0	0.20	0.00	0.0000
91	P-29	19	J-12	J-23	6.0	Ductile Iron	120.0	3.72	0.04	0.0000
93	P-25(1)	69	J-17	J-24	8.0	Ductile Iron	120.0	0.96	0.01	0.0000
94	P-25(2)	24	J-24	J-18	6.0	Ductile Iron	120.0	0.96	0.01	0.0000
117	P-18(2)	70	J-11	J-12	8.0	Ductile Iron	120.0	6.31	0.04	0.0000
131	P-14(1)	240	J-7	J-28	8.0	Ductile Iron	120.0	7.91	0.05	0.0020
144	P-6(1)	73	FH125	J-29	8.0	Ductile Iron	120.0	7.91	0.05	0.0000
145	P-6(2)	53	J-29	J-7	8.0	Ductile Iron	120.0	7.91	0.05	0.0093
148	P-14(2)(1)	184	J-28	J-25	8.0	Ductile Iron	120.0	7.91	0.05	0.0026
149	P-14(2)(2)	28	J-25	J-8	8.0	Ductile Iron	120.0	6.31	0.04	0.0000
157	P-42	37	FH125	J-30	8.0	Ductile Iron	120.0	-7.91	0.05	0.0000
159	P-43	239	J-30	J-31	8.0	Ductile Iron	120.0	-7.91	0.05	0.0041
161	P-44	172	J-31	FH-179	16.0	Ductile Iron	120.0	-7.91	0.01	0.0000
164	P-45	11	R-4	PMP-4	16.0	Ductile Iron	120.0	7.91	0.01	0.0000



FlexTable: Pipe Table  
**FlexTable: Pipe Table**

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss Gradient (ft/1000ft)
165	P-46	15	PMP-4	FH-179	16.0	Ductile Iron	120.0	7.91	0.01	0.0000

# MAXIMUM DAY

FlexTable: Junction Table  
**FlexTable: Junction Table**

ID	Label	Elevation (ft)	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
39	FH125	4,241.70	0.00	4,501.99	113
41	J-7	4,246.87	0.00	4,501.99	110
60	J-8	4,269.00	0.00	4,501.99	101
62	J-9	4,269.60	0.00	4,501.99	101
64	J-10	4,270.30	0.00	4,501.99	100
66	J-11	4,270.00	0.00	4,501.99	100
68	J-12	4,281.40	0.00	4,501.99	95
70	J-13	4,294.60	0.00	4,501.99	90
71	J-14	4,299.00	0.00	4,501.99	88
72	J-15	4,310.30	0.00	4,501.98	83
73	J-16	4,315.00	2.85	4,501.98	81
74	J-17	4,298.40	0.00	4,501.99	88
75	J-18	4,300.40	0.00	4,501.99	87
76	J-19	4,299.90	0.71	4,501.99	87
77	J-20	4,294.50	1.23	4,501.99	90
78	J-21	4,296.80	0.40	4,501.99	89
90	J-23	4,280.00	7.43	4,501.99	96
92	J-24	4,299.60	0.00	4,501.99	88
115	J-25	4,269.70	3.20	4,501.99	100
130	J-28	4,256.20	0.00	4,501.99	106
143	J-29	4,244.84	0.00	4,501.99	111
156	J-30	4,240.00	0.00	4,501.99	113
158	J-31	4,225.50	0.00	4,501.99	120
160	FH-179	4,225.00	0.00	4,501.99	120



## FlexTable: Pipe Table

### FlexTable: Pipe Table

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss Gradient (ft/1000ft)
63	P-15	8	J-8	J-9	8.0	Ductile Iron	120.0	12.62	0.08	0.0000
65	P-16	7	J-9	J-10	8.0	Ductile Iron	120.0	0.00	0.00	0.0000
67	P-17	12	J-9	J-11	8.0	Ductile Iron	120.0	12.62	0.08	0.0000
79	P-19	86	J-12	J-13	8.0	Ductile Iron	120.0	5.19	0.03	0.0000
80	P-20	14	J-13	J-14	8.0	Ductile Iron	120.0	4.79	0.03	0.0000
81	P-21	81	J-14	J-15	6.0	Ductile Iron	120.0	2.85	0.03	0.0060
84	P-23	71	J-15	J-16	6.0	Ductile Iron	120.0	2.85	0.03	0.0000
85	P-24	45	J-14	J-17	8.0	Ductile Iron	120.0	1.94	0.01	0.0000
87	P-26	64	J-18	J-19	6.0	Ductile Iron	120.0	0.71	0.01	0.0000
88	P-27	18	J-18	J-20	6.0	Ductile Iron	120.0	1.23	0.01	0.0000
89	P-28	22	J-13	J-21	6.0	Ductile Iron	120.0	0.40	0.00	0.0000
91	P-29	19	J-12	J-23	6.0	Ductile Iron	120.0	7.43	0.08	0.0000
93	P-25(1)	69	J-17	J-24	8.0	Ductile Iron	120.0	1.94	0.01	0.0000
94	P-25(2)	24	J-24	J-18	6.0	Ductile Iron	120.0	1.94	0.02	0.0000
117	P-18(2)	70	J-11	J-12	8.0	Ductile Iron	120.0	12.62	0.08	0.0070
131	P-14(1)	240	J-7	J-28	8.0	Ductile Iron	120.0	15.82	0.10	0.0102
144	P-6(1)	73	FH125	J-29	8.0	Ductile Iron	120.0	15.82	0.10	0.0067
145	P-6(2)	53	J-29	J-7	8.0	Ductile Iron	120.0	15.82	0.10	0.0093
148	P-14(2)(1)	184	J-28	J-25	8.0	Ductile Iron	120.0	15.82	0.10	0.0106
149	P-14(2)(2)	28	J-25	J-8	8.0	Ductile Iron	120.0	12.62	0.08	0.0000
157	P-42	37	FH125	J-30	8.0	Ductile Iron	120.0	-15.82	0.10	0.0132
159	P-43	239	J-30	J-31	8.0	Ductile Iron	120.0	-15.82	0.10	0.0102
161	P-44	172	J-31	FH-179	16.0	Ductile Iron	120.0	-15.82	0.03	0.0000
164	P-45	11	R-4	PMP-4	16.0	Ductile Iron	120.0	15.82	0.03	0.0000

FlexTable: Pipe Table  
**FlexTable: Pipe Table**

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss Gradient (ft/1000ft)
165	P-46	15	PMP-4	FH-179	16.0	Ductile Iron	120.0	15.82	0.03	0.0000

# PEAK HOUR



FlexTable: Junction Table  
**FlexTable: Junction Table**

ID	Label	Elevation (ft)	Demand (gpm)	Hydraulic Grade (ft)	Pressure (psi)
39	FH125	4,241.70	0.00	4,501.98	113
41	J-7	4,246.87	0.00	4,501.98	110
60	J-8	4,269.00	0.00	4,501.97	101
62	J-9	4,269.60	0.00	4,501.97	101
64	J-10	4,270.30	0.00	4,501.97	100
66	J-11	4,270.00	0.00	4,501.97	100
68	J-12	4,281.40	0.00	4,501.97	95
70	J-13	4,294.60	0.00	4,501.97	90
71	J-14	4,299.00	0.00	4,501.97	88
72	J-15	4,310.30	0.00	4,501.97	83
73	J-16	4,315.00	4.28	4,501.97	81
74	J-17	4,298.40	0.00	4,501.97	88
75	J-18	4,300.40	0.00	4,501.97	87
76	J-19	4,299.90	1.06	4,501.97	87
77	J-20	4,294.50	1.84	4,501.97	90
78	J-21	4,296.80	0.61	4,501.97	89
90	J-23	4,280.00	11.15	4,501.97	96
92	J-24	4,299.60	0.00	4,501.97	88
115	J-25	4,269.70	4.80	4,501.97	100
130	J-28	4,256.20	0.00	4,501.97	106
143	J-29	4,244.84	0.00	4,501.98	111
156	J-30	4,240.00	0.00	4,501.98	113
158	J-31	4,225.50	0.00	4,501.99	120
160	FH-179	4,225.00	0.00	4,501.99	120

## FlexTable: Pipe Table

### FlexTable: Pipe Table

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss Gradient (ft/1000ft)
63	P-15	8	J-8	J-9	8.0	Ductile Iron	120.0	18.94	0.12	0.0618
65	P-16	7	J-9	J-10	8.0	Ductile Iron	120.0	0.00	0.00	0.0000
67	P-17	12	J-9	J-11	8.0	Ductile Iron	120.0	18.94	0.12	0.0000
79	P-19	86	J-12	J-13	8.0	Ductile Iron	120.0	7.79	0.05	0.0000
80	P-20	14	J-13	J-14	8.0	Ductile Iron	120.0	7.18	0.05	0.0000
81	P-21	81	J-14	J-15	6.0	Ductile Iron	120.0	4.28	0.05	0.0060
84	P-23	71	J-15	J-16	6.0	Ductile Iron	120.0	4.28	0.05	0.0069
85	P-24	45	J-14	J-17	8.0	Ductile Iron	120.0	2.90	0.02	0.0000
87	P-26	64	J-18	J-19	6.0	Ductile Iron	120.0	1.06	0.01	0.0000
88	P-27	18	J-18	J-20	6.0	Ductile Iron	120.0	1.84	0.02	0.0000
89	P-28	22	J-13	J-21	6.0	Ductile Iron	120.0	0.61	0.01	0.0000
91	P-29	19	J-12	J-23	6.0	Ductile Iron	120.0	11.15	0.13	0.0256
93	P-25(1)	69	J-17	J-24	8.0	Ductile Iron	120.0	2.90	0.02	0.0071
94	P-25(2)	24	J-24	J-18	6.0	Ductile Iron	120.0	2.90	0.03	0.0000
117	P-18(2)	70	J-11	J-12	8.0	Ductile Iron	120.0	18.94	0.12	0.0140
131	P-14(1)	240	J-7	J-28	8.0	Ductile Iron	120.0	23.74	0.15	0.0204
144	P-6(1)	73	FH125	J-29	8.0	Ductile Iron	120.0	23.74	0.15	0.0200
145	P-6(2)	53	J-29	J-7	8.0	Ductile Iron	120.0	23.74	0.15	0.0279
148	P-14(2)(1)	184	J-28	J-25	8.0	Ductile Iron	120.0	23.74	0.15	0.0212
149	P-14(2)(2)	28	J-25	J-8	8.0	Ductile Iron	120.0	18.94	0.12	0.0000
157	P-42	37	FH125	J-30	8.0	Ductile Iron	120.0	-23.74	0.15	0.0132
159	P-43	239	J-30	J-31	8.0	Ductile Iron	120.0	-23.74	0.15	0.0225
161	P-44	172	J-31	FH-179	16.0	Ductile Iron	120.0	-23.74	0.04	0.0000
164	P-45	11	R-4	PMP-4	16.0	Ductile Iron	120.0	23.74	0.04	0.0000

FlexTable: Pipe Table  
**FlexTable: Pipe Table**

ID	Label	Length (Scaled) (ft)	Start Node	Stop Node	Diameter (in)	Material	Hazen-Williams C	Flow (gpm)	Velocity (ft/s)	Headloss Gradient (ft/1000ft)
165	P-46	15	PMP-4	FH-179	16.0	Ductile Iron	120.0	23.74	0.04	0.0000

# MAX DAY PLUS FIRE FLOW



Fire Flow Node FlexTable: Fire Flow Report  
**Fire Flow Node FlexTable: Fire Flow Report**

Label	Fire Flow Iterations	Satisfies Fire Flow Constraints?	Fire Flow (Needed) (gpm)	Fire Flow (Available) (gpm)	Flow (Total Needed) (gpm)	Flow (Total Available) (gpm)	Pressure (Calculated Residual) (psi)	Pressure (Calculated Zone Lower Limit) (psi)	Velocity of Maximum Pipe (ft/s)
J-11	2	True	1,500.00	1,501.00	1,500.00	1,501.00	71	52	9.68
J-16	2	True	30.00	31.00	32.85	33.85	81	83	0.38
J-19	2	True	30.00	31.00	30.71	31.71	87	81	0.37
J-21	2	True	30.00	31.00	30.40	31.40	89	81	0.36
J-23	2	True	30.00	31.00	37.43	38.43	96	81	0.44
J-24	2	True	1,500.00	1,501.00	1,500.00	1,501.00	53	48	9.68

**TAB 10**

**RE: *Traffic Statement rev. 1, Arabella Spa, Sedona, AZ***

This traffic statement is prepared to support the development of a 21,129 SF luxury spa in Sedona Arizona, where 21,031 SF is indoor space, and 525 SF is outdoor space. The statement documents the existing traffic patterns, potential traffic impacts, and recommendations for the proposed Arabella Spa in Sedona, AZ.

**SITE BACKGROUND**

The project is proposed south of Sombart Lane, east of SR 179 in Sedona, AZ. The total site area is 231,673 square feet (SF) with a total building footprint of 21,031 SF and an additional 525 SF of outdoor space. The project will consist of a luxury spa and associated amenities. The owner of the development also owns the existing Arabella Hotel on the parcel to the west. The site location is shown in **Figure 1** below.

**Figure 1. Vicinity Map**



The proposed spa is to be located on the south side of Sombart Lane and be accessed by two driveways. Most of the parking for the development, however, will be contained on the north side of Sombart Lane, replacing the existing dirt lot for access to Marg's Draw Trail. There will be two new access drives to the new lot.

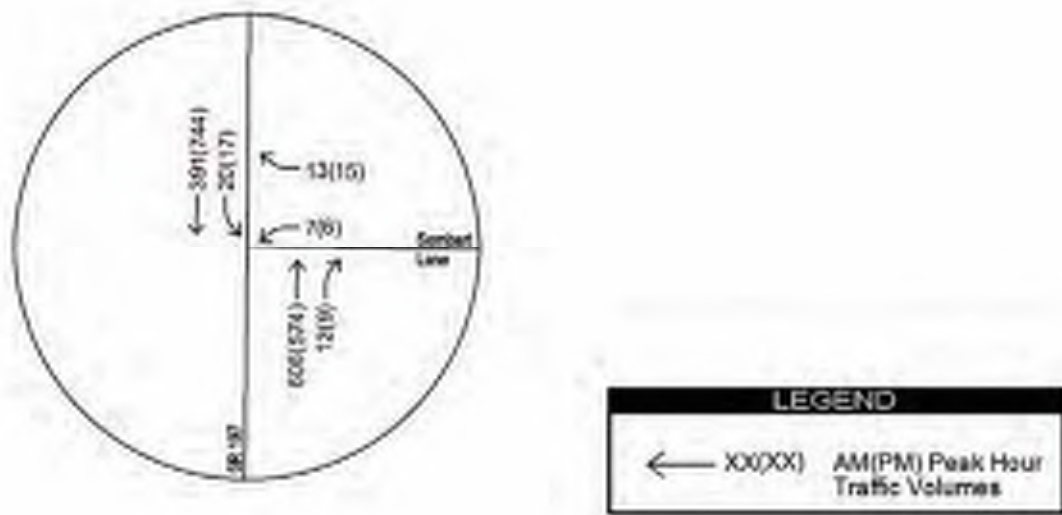
**TRAFFIC COUNTS**

Peak period turning movement counts were collected at the study intersection of SR 179 and Sombart Lane on Tuesday, November 2<sup>nd</sup>, 2021. The counts were collected between 7:00 AM and 9:00 AM and between 4:00 PM and 6:00 PM for AM and PM peak hours respectively.

Daily traffic (24-hour) counts were collected on Tuesday, November 2<sup>nd</sup>, 2021 on Sombart Lane just east of SR 179. The daily traffic volume observed on Sombart Lane was 776 vehicles.

The results of the peak-hour turning movement counts are shown in **Figure 2**. A copy of the traffic count data is included as **Attachment A**.

**Figure 2. Existing Traffic Volumes**



**TRIP GENERATION**

Institute of Transportation Engineers' (ITE) *Trip Generation Manual, 11<sup>th</sup> Edition* was used to estimate the number of trips generated the proposed spa. ITE Land Use Code 931 – Quality Restaurant and Land Use Code 493 – Athletic Club daily and peak hour trip generation rates and inbound-outbound percentages were obtained. The 21,031 SF building footprint is split between 19,463 SF of spa space and 1,568 SF of restaurant space, with an additional 525 SF of outdoor space allotted to the restaurant. Trip generation rates for the proposed land uses include:

**ITE Land Use 493 – Athletic Club**

- \*Daily rate: Trips = PM peak hour trips / 0.10 (50% in / 50% out)
- AM peak rate: Trips = 3.16\* ksf (61% in / 39% out)
- PM peak rate: Trips = 6.29\* ksf (62% in / 38% out)
- \*LUC 493 does not include a daily rate, but it is generally accepted that the PM peak hour is approximately 10% of the daily trips.

**ITE Land Use 931 – Quality Restaurant**

- Daily rate: Trips = 83.84\* ksf (50% in / 50% out)
- AM peak rate: Trips = 0.73\* ksf (80% in / 20% out)
- PM peak rate: Trips = 7.80\* ksf (67% in / 33% out)



Due to the shared ownership of the adjacent hotel property, there is the potential that spa patrons would also be staying at the hotel to the west. This shared use is anticipated to reduce the total number of external vehicle trips to the spa. To estimate the shared use reduction, the internal capture percentages per ITE's *Trip Generation Manual, 9<sup>th</sup> Edition* between retail (the spa) and residential (the hotel) were applied to the trip generation of the site to determine net external trips. This reduction is shown in the removal of internal capture trips. Internal capture for the development is estimated to be a daily rate of 38%, AM peak hour rate of 34%, and PM peak hour of 53%. Trip generation for the site is summarized in **Table 1**.

**Table 1: Trip Generation Summary**

Land Use	Land Use Code	Size/Qty	Units	Daily	AM Peak Hour			PM Peak Hour		
					In	Out	Total	In	Out	Total
Athletic Club	493	19.463	ksf	1230	38	24	62	76	47	123
Quality Restaurant	931	2.095	ksf	176	2	1	3	11	5	17
<b>SUBTOTAL</b>		<b>21.556</b>	<b>ksf</b>	<b>1,406</b>	<b>40</b>	<b>25</b>	<b>65</b>	<b>87</b>	<b>53</b>	<b>140</b>
<i>Internal Capture</i>				<b>-687</b>	<b>-13</b>	<b>-9</b>	<b>-23</b>	<b>-46</b>	<b>-29</b>	<b>-75</b>
<b>TOTAL</b>				<b>1,121</b>	<b>27</b>	<b>16</b>	<b>42</b>	<b>41</b>	<b>24</b>	<b>65</b>

Based on ITE calculations it is estimated that the proposed Arabella Spa will generate **1121 daily trips** with **42 occurring in the AM peak hour** and **65 occurring in the PM peak hour**. Trip generation calculations are included in **Attachment B**.

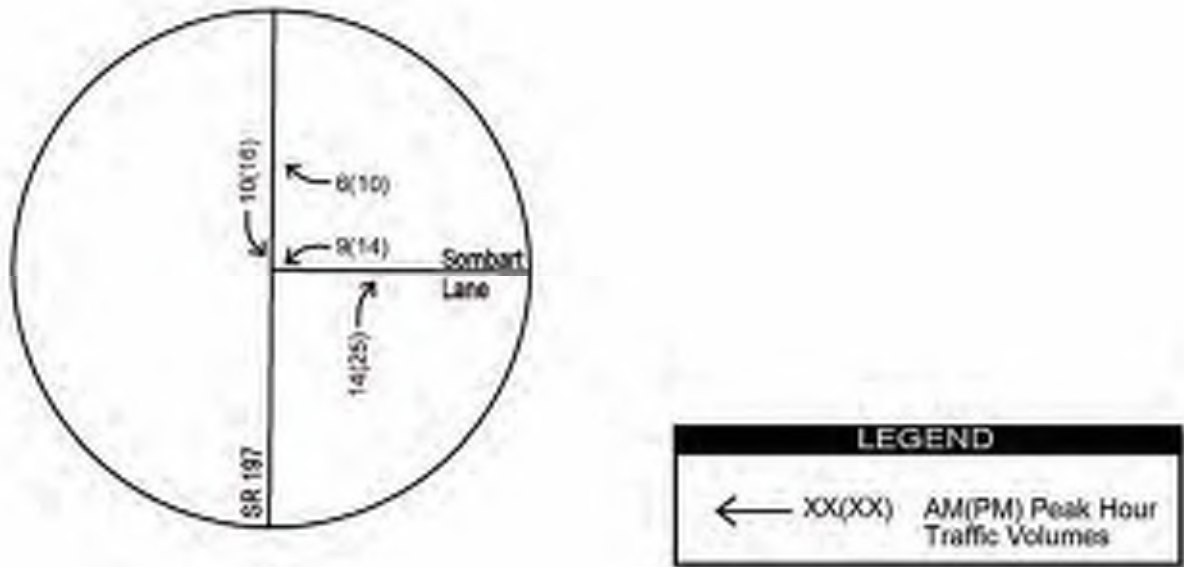
### TRANSIT CONNECTIVITY

The Arabella Hotel plans to offer a shuttle service, providing connectivity to the Spa and trailhead to locations through Sedona, including other hotels. With the implementation of the shuffle stop at the Spa, it is anticipated that the vehicle trips produced by the spa will be reduced since customers using the spa may utilize the shuttle service rather than a personal vehicle.

### PROJECTED TRAFFIC

Trips generated by the proposed development were assigned to the roadway network based on the trip distribution observed in the collected traffic counts. **Figure 3** shows the projected traffic assignment.

Figure 3. Site Traffic Volumes

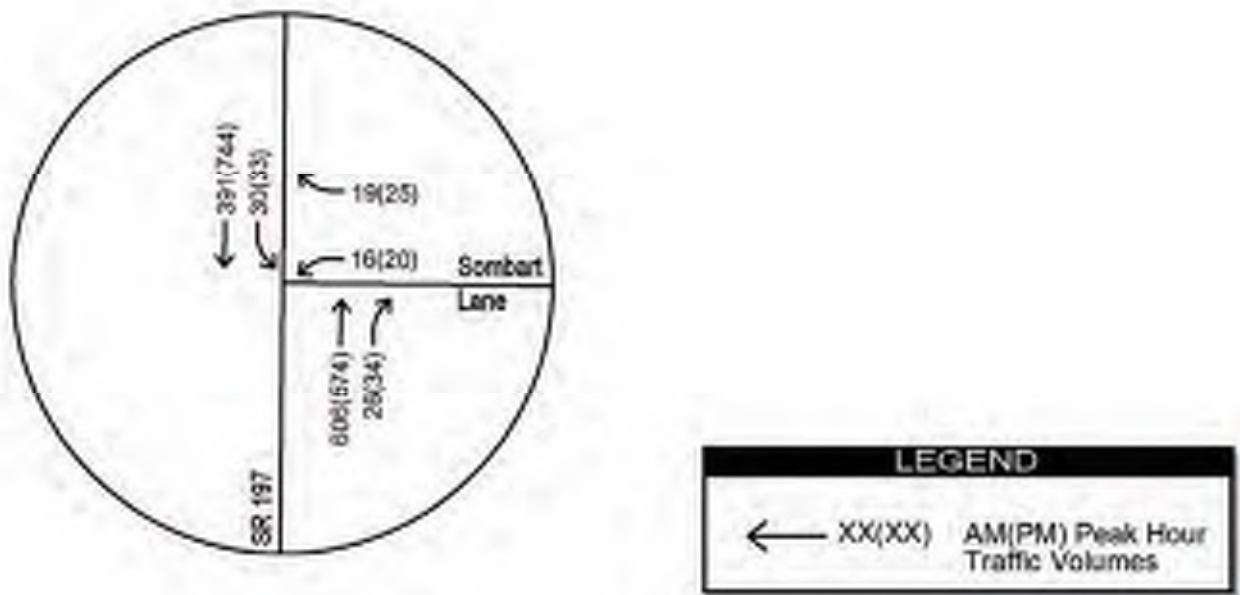


**TOTAL TRAFFIC**

The results of the traffic assignment (Figure 2) for the projected development were added to the existing traffic volumes (Figure 1) to produce total traffic volumes for the study intersection.

Figure 4 shows the total weekday traffic volumes for the study intersection.

Figure 4. Total Traffic Volumes



## LEVEL OF SERVICE AND DELAY ANALYSIS

### Existing Level of Service

The level of service (LOS) under existing conditions was evaluated for the study intersection using the traffic count data previously described. Synchro 11 software and HCM 6<sup>th</sup> Edition methodology was used to generate LOS and delay for the intersection.

Existing intersection geometry and conditions were used to obtain LOS and delay. The results of this analysis are shown in **Table 2** and reported as “LOS/delay”. Existing LOS and analysis reports are included in **Attachment C**.

**Table 2. Existing Level of Service and Delay**

Intersection	NB Approach			SB Approach			EB Approach			WB Approach		
	L	T	R	L	T	R	L	T	R	L	T	R
<b>SR 179 &amp; Sombart Lane</b>												
AM Peak		-	-	A/9 sec	-							C/17 sec
PM Peak		-	-	A/9 sec	-							C/19 sec

- Free movement; no LOS calculated

Per ADOT standards, the intersection of SR 179 and Sombart Lane is operating at an acceptable LOS under existing conditions.

### Total Level of Service

The study intersection was evaluated based on total traffic, combining existing traffic, and expected site traffic. The results of the analysis are shown in **Table 3**.

The addition of project traffic the westbound approach is operating at LOS D (28 seconds delay) in the PM peak hour, an 8 second increase in delay from existing conditions. Although ADOT requires LOS C on state highways, LOS D may be acceptable per ADOT TGP 240 in urban areas. Considering that the 95<sup>th</sup> percentile queue for the westbound movement is only 1 vehicle in the total traffic PM scenario and there is less than 30 seconds of delay overall, LOS D is not anticipated to cause adverse impacts to the study intersection. Total Traffic LOS and analysis reports are included in **Appendix C**.

**Table 3. Total Level of Service and Delay**

Intersection	NB Approach			SB Approach			EB Approach			WB Approach		
	L	T	R	L	T	R	L	T	R	L	T	R
<b>SR 179 &amp; Sombart Lane</b>												
AM Peak		-	-	A/9 sec	-							C/19 sec
PM Peak		-	-	A/9 sec	-							D/27 sec

- Free movement; no LOS calculated

### AUXILIARY LANE ANALYSIS

The intersection of SR 179 and Sombart Lane has an existing northbound right turn lane and southbound left turn lane. The northbound right turn lane has a storage length of 205'. The southbound left turn lane is a two-way center median with a storage length of 175' to the nearest driveway.

The northbound right turn lane is anticipated to have no queue after development occurs because the movement is free flow, and the southbound left turn lane has a queue of 0.1 vehicles for the 95<sup>th</sup> percentile queue. No configuration changes are recommended at the intersection of SR 179 and Sombart Lane.

It is projected that 56 vehicles will travel on to Sombart Lane in the AM peak hour and 65 vehicles in the PM peak hour after development. Minimal volume in the through movement on Sombart Lane anticipates that no auxiliary lanes at the spa driveway will be necessary.

### PARKING ANALYSIS

The City of Sedona requires minimum parking ratios to be met for the development. The ratios required by the City for restaurant and spa space are:

- Restaurant Indoor Dining (Greater than 1,000 SF): 1 space per 100 SF
  - Outdoor Dining: If outdoor dining area is less than 20 percent of the size of the indoor dining area then no additional parking is required. If outdoor dining area is 20% or more of the size of the indoor dining, then the outdoor dining areas that exceed 20% of the indoor dining areas shall providing additional parking at a rate of 1 space per 100 SF.
- Personal Services, General: 1 space per 250 SF

Per the minimum parking requirements set by the City of Sedona, the development would require a total of 96 spaces, as shown in **Table 4**.

**Table 4. City of Sedona Parking Requirements**

Land Use	Units (SF)	Ratio		Number of Spaces
Spa	19,463	1 Space per 250 SF		78
Indoor Dining	1,426	1 Space per 100 SF		15
Outdoor Dining	525	37%	1 Space per 100 SF exceeding 20%	3
<b>Total</b>	<b>21,414</b>	-		<b>96</b>

Due to shuttle access and the location of the development on the Arabella Hotel site, parking requirements for the site will likely be reduced due to shared parking and transit opportunities. The daily internal capture rate per ITE is 38%. A reduction of 38% is recommended due to these factors, resulting in **60 parking spaces** being provided for the development.

### RECOMMENDATIONS

This report documents the traffic impact analysis (TIA) for a Spa to be developed west of the intersection of SR 179 and Sombart Lane in Sedona, Arizona. The development will consist of 21,031 SF of building space and 525 SF of additional outdoor space, with a total site area of 68,905 SF. The development is anticipated to generate 1,121 daily trips, with 42 trips occurring in the AM peak hour and 65 trips in the PM peak hour.

It is recommended that the City should extend the sidewalk on the south side of Sombart Lane to include the project frontage. Extension of the sidewalk will increase spa accessibility to hotel



patrons and increase safety for pedestrians. The proposed parking lot should be constructed to maintain trail access to Marg Draw Trail.

The study intersection of SR 179 and Sombart Lane operates at acceptable level of service within existing conditions. The addition of project traffic the westbound approach is operating at LOS D (28 seconds delay) in the PM peak hour, an 8 second increase in delay from existing conditions. Although ADOT requires LOS C on state highways, LOS D may be acceptable per ADOT TGP 240 in urban areas. Considering that the 95<sup>th</sup> percentile queue for the westbound movement is only 1 vehicle in the total traffic PM scenario and there is less than 30 seconds of delay overall, LOS D is not anticipated to cause adverse impacts to the study intersection. No intersection improvements are recommended per the LOS and delay analysis.

No additional auxiliary lanes are recommended at the intersection of SR 179 and Sombart Lane or at the future driveway intersections. The existing northbound right turn lane and southbound left turn lanes on SR 179 are not recommended to be adjusted.

The City of Sedona requires a minimum of 96 parking spaces for the proposed development. Due to the shuttle access to various destinations throughout Sedona and the location of the development on the Arabella Hotel site, it is expected that parking demand will be lower than what is required. A parking reduction of 38% is recommended per ITE daily internal capture rates, resulting in 60 spaces recommended for the development.

Please let me know if you have any questions. I can be reached at 958-458-7121, or [andrew.baird@kimley-horn.com](mailto:andrew.baird@kimley-horn.com).

Andrew Baird, P.E.  
Associate

*Attachments:*

*Attachment A: Count Data*

*Attachment B: Trip Generation*

*Attachment C: Existing & Total Synchro Reports*

# Attachments

# Attachment A: Count Data

**Prepared by: Field Data Services of Arizona/Veracity Traffic Group (520) 316-6745**

Volumes for: Tuesday, November 2, 2021

City: Sedona

Project #: 21-1672-002

Location: Sombart Ln east of SR-179

AM Period					PM Period				
NB	SB	EB	WB		NB	SB	EB	WB	
00:00		0	0		12:00		9	9	
00:15		0	0		12:15		11	6	
00:30		0	0		12:30		9	7	
00:45		0	0	0	12:45		7	36	3 25 61
01:00		0	1		13:00		12	4	
01:15		0	0		13:15		11	6	
01:30		1	0		13:30		12	5	
01:45		0	1	1 2 3	13:45		6	41	5 20 61
02:00		0	0		14:00		9	5	
02:15		0	0		14:15		8	4	
02:30		0	0		14:30		8	5	
02:45		0	0	0	14:45		7	32	6 20 52
03:00		1	1		15:00		14	4	
03:15		0	0		15:15		14	7	
03:30		1	1		15:30		10	2	
03:45		0	2	1 3 5	15:45		13	51	8 21 72
04:00		1	0		16:00		9	7	
04:15		0	0		16:15		3	5	
04:30		0	0		16:30		7	2	
04:45		1	2	0 0 2	16:45		7	26	7 21 47
05:00		3	1		17:00		8	6	
05:15		2	1		17:15		12	9	
05:30		3	3		17:30		5	8	
05:45		4	12	2 7 19	17:45		15	40	3 26 66
06:00		3	2		18:00		6	6	
06:15		3	2		18:15		14	5	
06:30		4	4		18:30		5	2	
06:45		4	14	2 10 24	18:45		9	34	3 16 50
07:00		4	5		19:00		6	1	
07:15		5	3		19:15		4	2	
07:30		7	5		19:30		6	4	
07:45		12	28	2 15 43	19:45		5	21	3 10 31
08:00		7	5		20:00		4	1	
08:15		6	4		20:15		1	0	
08:30		7	9		20:30		5	0	
08:45		6	26	3 21 47	20:45		4	14	3 4 18
09:00		6	6		21:00		3	2	
09:15		9	8		21:15		8	2	
09:30		2	3		21:30		2	1	
09:45		5	22	9 26 48	21:45		0	13	1 6 19
10:00		9	3		22:00		3	2	
10:15		11	6		22:15		1	0	
10:30		6	3		22:30		1	1	
10:45		9	35	6 18 53	22:45		0	5	1 4 9
11:00		5	8		23:00		0	0	
11:15		6	5		23:15		0	0	
11:30		5	4		23:30		1	0	
11:45		7	23	5 22 45	23:45		0	1	0 0 1

**Total Vol.** 165 124 **289** 314 173 **487**

GPS Coordinates: 34.857615, -111.763611

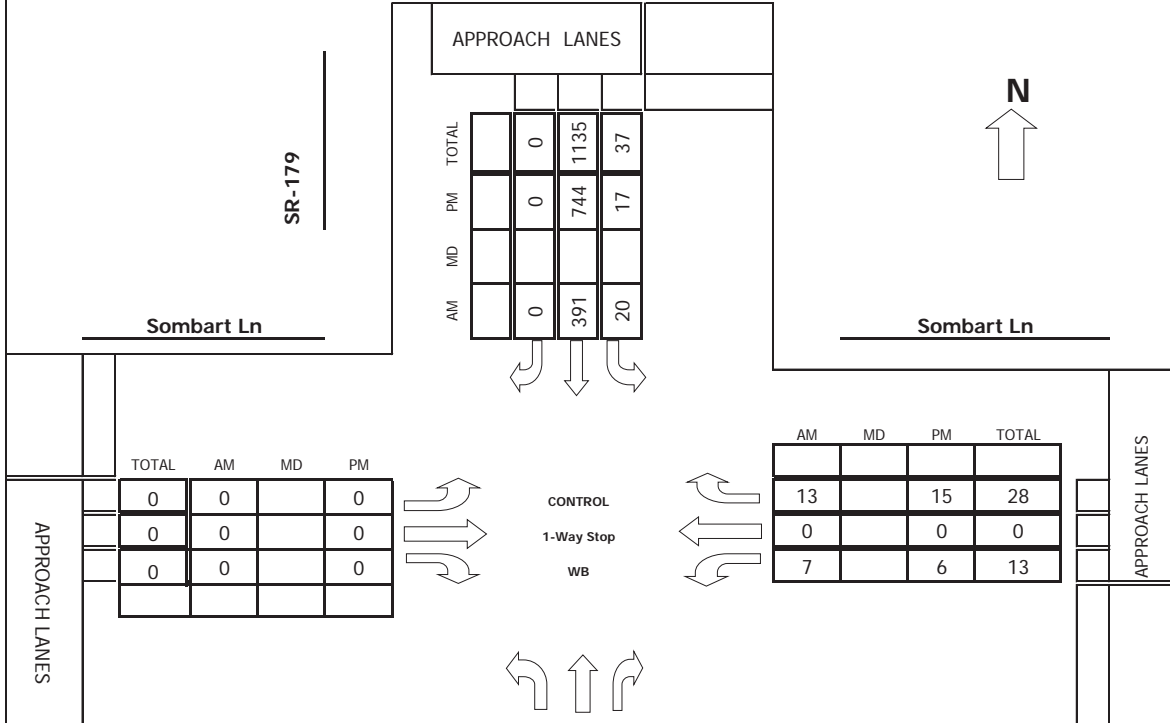
Daily Totals				
NB	SB	EB	WB	Combined
		479	297	<b>776</b>

Split %	AM			PM		
	57.1%	42.9%	<b>37.2%</b>	64.5%	35.5%	<b>62.8%</b>
<b>Peak Hour</b>	11:45	11:45	<b>11:45</b>	15:00	16:45	<b>15:00</b>
<b>Volume</b>	36	27	<b>63</b>	51	30	<b>72</b>
<b>P.H.F.</b>	0.82	0.75	<b>0.88</b>	0.91	0.83	<b>0.86</b>



Project #: 21-1672-001

***TMC SUMMARY OF SR-179 & Sombart Ln***



APPROACH LANES				
	AM	MD	PM	TOTAL
Left	0		0	0
Through	391		744	1135
Right	20		17	37

	AM	MD	PM	TOTAL
Left	13		15	28
Through	0		0	0
Right	7		6	13

	TOTAL	AM	MD	PM
Left	0	0		0
Through	0	0		0
Right	0	0		0

	TOTAL	AM	MD	PM
Left	0	0		0
Through	1180	606		574
Right	21	12		9

LOCATION #: 21-1672-001

**TURNING MOVEMENT COUNT**

**SR-179 & Sombart Ln**  
(Intersection Name)

TUESDAY                      11/2/21  
Day                                      Date

COUNT PERIODS		
<b>AM</b>	700AM	- 900AM
<b>NOON</b>	-	-
<b>PM</b>	400PM	- 600PM

AM PEAK HOUR                      745 AM  
 NOON PEAK HOUR                      \_\_\_\_\_  
 PM PEAK HOUR                      400 PM

# Intersection Turning Movement

Prepared by:



N-S STREET: **SR-179**      DATE: **11/2/21**      LOCATION: **Sedona**  
 E-W STREET: **Sombart Ln**      DAY: **TUESDAY**      PROJECT# **21-1672-001**

LANES:	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			TOTAL
	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	
	0	1	1	0	1	0	0	0	0	0	1	0	
6:00 AM													
6:15 AM													
6:30 AM													
6:45 AM													
7:00 AM	0	92	4	0	50	0	0	0	0	4	0	1	151
7:15 AM	0	92	4	1	58	0	0	0	0	2	0	1	158
7:30 AM	0	130	4	3	72	0	0	0	0	4	0	1	214
7:45 AM	0	155	4	8	93	0	0	0	0	0	0	2	262
8:00 AM	0	155	4	3	87	0	0	0	0	1	0	4	254
8:15 AM	0	146	2	4	103	0	0	0	0	2	0	2	259
8:30 AM	0	150	2	5	108	0	0	0	0	4	0	5	274
8:45 AM	0	126	0	6	118	0	0	0	0	1	0	2	253
9:00 AM													
9:15 AM													
9:30 AM													
9:45 AM													
10:00 AM													
10:15 AM													
10:30 AM													
10:45 AM													
11:00 AM													
11:15 AM													
11:30 AM													
11:45 AM													

TOTAL	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	TOTAL
Volumes	0	1046	24	30	689	0	0	0	0	18	0	18	1825
Approach %	0.00	97.76	2.24	4.17	95.83	0.00	####	####	####	50.00	0.00	50.00	
App/Depart	1070	/	1064	719	/	707	0	/	54	36	/	0	

AM Peak Hr Begins at: 745 AM

PEAK

Volumes	0	606	12	20	391	0	0	0	0	7	0	13	1049
Approach %	0.00	98.06	1.94	4.87	95.13	0.00	####	####	####	35.00	0.00	65.00	

PEAK HR. FACTOR:

	0.972		0.909		0.000		0.556		0.957
--	-------	--	-------	--	-------	--	-------	--	-------

CONTROL: **1-Way Stop (WB)**  
 COMMENT 1:  
 GPS: **34.857643, -111.763893**

# Intersection Turning Movement



**FIELD DATA SERVICES OF ARIZONA, INC.**  
520.316.6745



N-S STREET: SR-179      DATE: 11/2/21      LOCATION: Sedona  
 E-W STREET: Sombart Ln      DAY: TUESDAY      PROJECT#: 21-1672-001

LANES:	NORTHBOUND			SOUTHBOUND			EASTBOUND			WESTBOUND			TOTAL
	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	
	0	1	1	0	1	0	0	0	0	0	1	0	
1:00 PM													
1:15 PM													
1:30 PM													
1:45 PM													
2:00 PM													
2:15 PM													
2:30 PM													
2:45 PM													
3:00 PM													
3:15 PM													
3:30 PM													
3:45 PM													
4:00 PM	0	161	3	6	193	0	0	0	0	3	0	4	370
4:15 PM	0	135	1	2	178	0	0	0	0	0	0	5	321
4:30 PM	0	147	3	4	180	0	0	0	0	1	0	1	336
4:45 PM	0	131	2	5	193	0	0	0	0	2	0	5	338
5:00 PM	0	121	1	7	158	0	0	0	0	2	0	4	293
5:15 PM	0	123	5	7	163	0	0	0	0	3	0	6	307
5:30 PM	0	134	3	2	146	0	0	0	0	4	0	4	293
5:45 PM	0	120	3	12	172	0	0	0	0	2	0	1	310
6:00 PM													
6:15 PM													
6:30 PM													
6:45 PM													

TOTAL	NL	NT	NR	SL	ST	SR	EL	ET	ER	WL	WT	WR	TOTAL
Volumes	0	1072	21	45	1383	0	0	0	0	17	0	30	2568
Approach %	0.00	98.08	1.92	3.15	96.85	0.00	####	####	####	36.17	0.00	63.83	
App/Depart	1093	/	1102	1428	/	1400	0	/	66	47	/	0	

PM Peak Hr Begins at: 400 PM

PEAK

Volumes	0	574	9	17	744	0	0	0	0	6	0	15	1365
Approach %	0.00	98.46	1.54	2.23	97.77	0.00	####	####	####	28.57	0.00	71.43	

PEAK HR. FACTOR:

	0.889		0.956		0.000		0.750		0.922
--	-------	--	-------	--	-------	--	-------	--	-------

CONTROL: 1-Way Stop (WB)  
 COMMENT 1: 0  
 GPS: 34.857643, -111.763893



### Pedestrian & Bicycle Study

**N-S STREET:** SR-179  
**E-W STREET:** Sombart Ln

**Date:** 11/2/21  
**Day:** TUESDAY

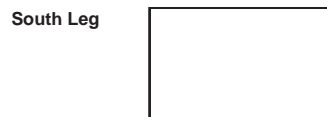
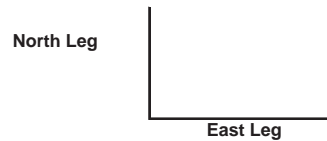
**City:** Sedona  
**Project #:** 21-1672-001

	PEDESTRIANS			
	N-LEG	S-LEG	E-LEG	W-LEG
7:00 AM	0	0	0	0
7:15 AM	0	0	0	0
7:30 AM	0	0	0	0
7:45 AM	0	0	0	0
8:00 AM	0	0	0	0
8:15 AM	0	0	0	0
8:30 AM	0	0	1	0
8:45 AM	0	0	2	0
<b>TOTAL</b>	<b>0</b>	<b>0</b>	<b>3</b>	<b>0</b>

	BICYCLES			
	N-LEG	S-LEG	E-LEG	W-LEG
7:00 AM	0	0	0	0
7:15 AM	0	0	0	0
7:30 AM	0	0	0	0
7:45 AM	0	0	0	0
8:00 AM	0	0	0	0
8:15 AM	0	0	2	0
8:30 AM	0	0	0	0
8:45 AM	0	0	2	0
<b>TOTAL</b>	<b>0</b>	<b>0</b>	<b>4</b>	<b>0</b>

	PEDESTRIANS			
	N-LEG	S-LEG	E-LEG	W-LEG
4:00 PM	1	0	0	0
4:15 PM	0	0	2	0
4:30 PM	0	0	0	0
4:45 PM	0	0	5	0
5:00 PM	0	0	4	0
5:15 PM	0	0	3	0
5:30 PM	0	0	0	0
5:45 PM	0	0	0	0
<b>TOTAL</b>	<b>1</b>	<b>0</b>	<b>14</b>	<b>0</b>

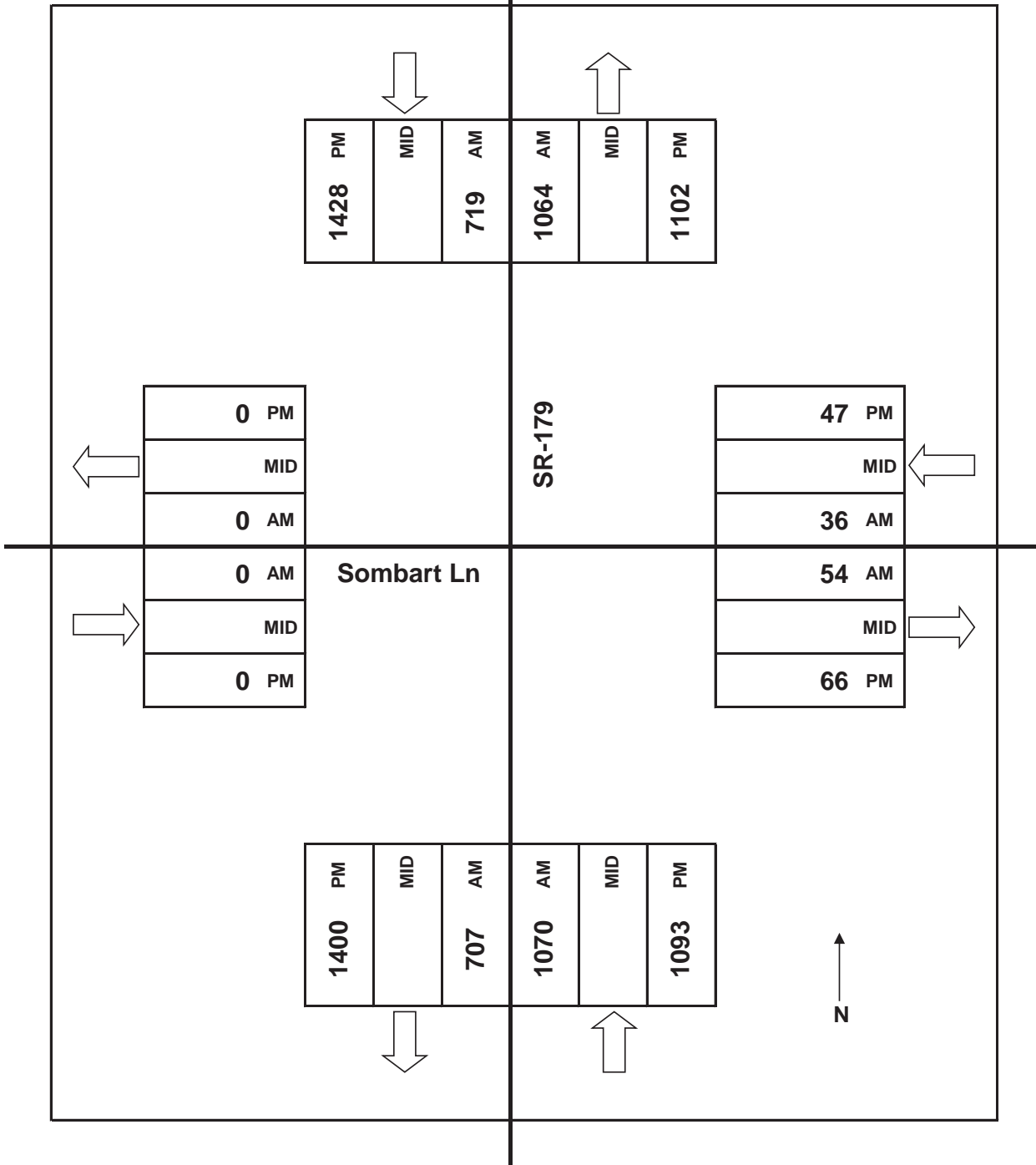
	BICYCLES			
	N-LEG	S-LEG	E-LEG	W-LEG
4:00 PM	0	0	0	0
4:15 PM	0	0	0	0
4:30 PM	0	0	2	0
4:45 PM	0	0	0	0
5:00 PM	0	0	1	0
5:15 PM	0	0	0	0
5:30 PM	0	0	0	0
5:45 PM	0	0	0	0
<b>TOTAL</b>	<b>0</b>	<b>0</b>	<b>3</b>	<b>0</b>





JOB# 21-1672-001  
VALIDATED: \_\_\_\_\_

DATE: 11/2/21  
DAY: TUESDAY



# Attachment B: Trip Generation

# Athletic Club (493)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**

**Setting/Location: General Urban/Suburban**

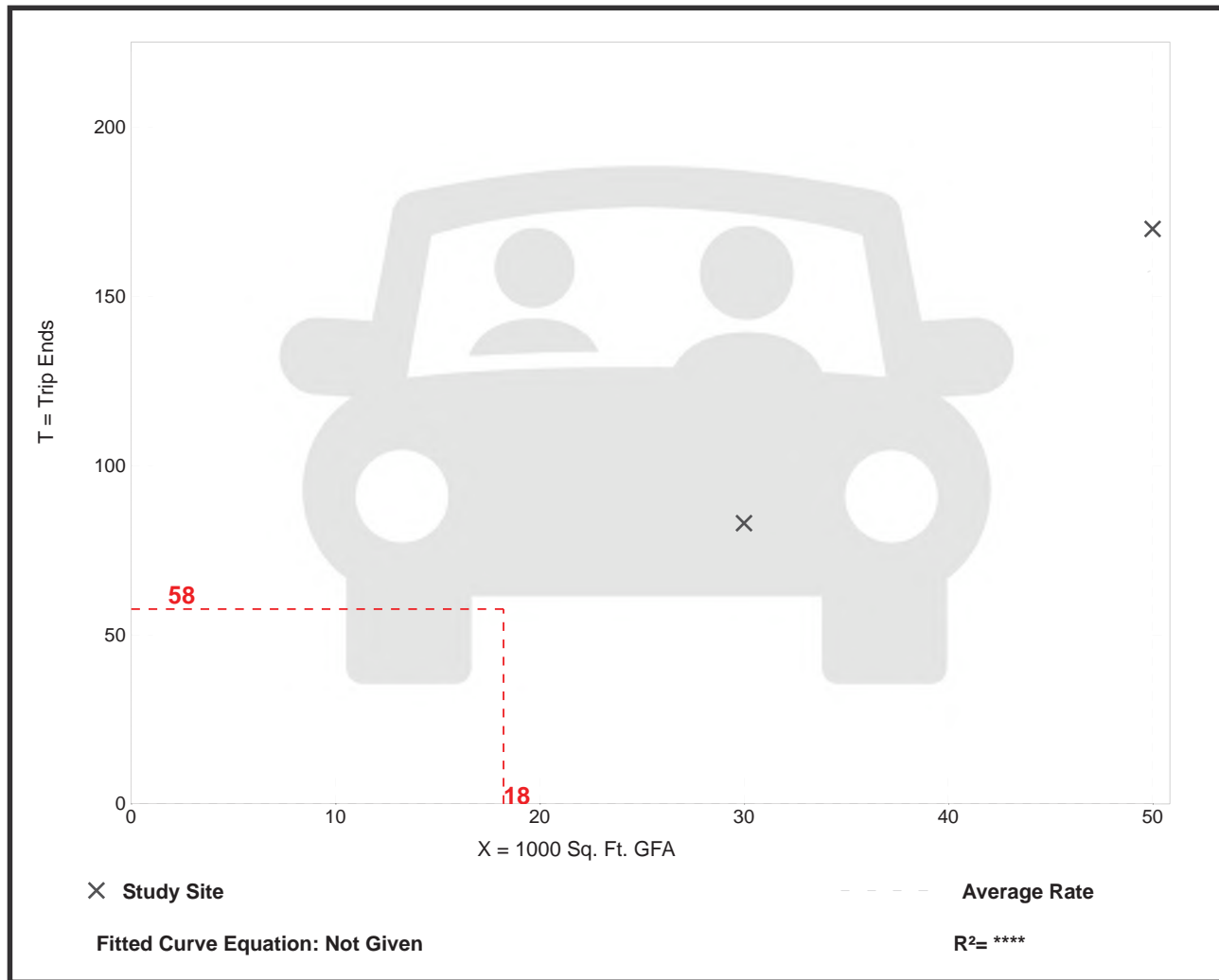
Number of Studies: 2  
 Avg. 1000 Sq. Ft. GFA: 40  
 Directional Distribution: 61% entering, 39% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
3.16	2.77 - 3.40	*

## Data Plot and Equation

*Caution – Small Sample Size*



# Athletic Club (493)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**

**Setting/Location: General Urban/Suburban**

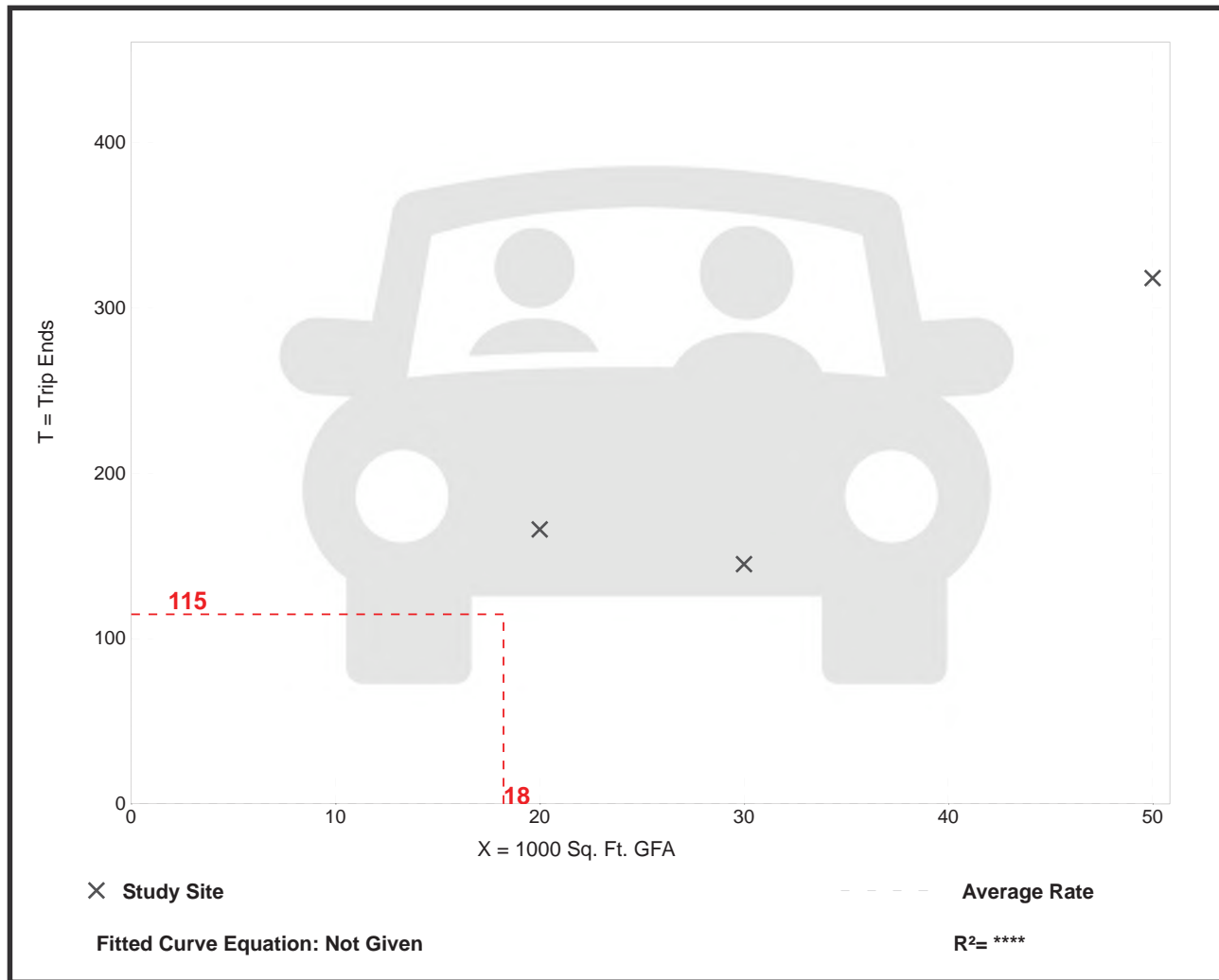
Number of Studies: 3  
 Avg. 1000 Sq. Ft. GFA: 33  
 Directional Distribution: 62% entering, 38% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
6.29	4.83 - 8.30	1.47

## Data Plot and Equation

*Caution – Small Sample Size*





# Fine Dining Restaurant (931)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**

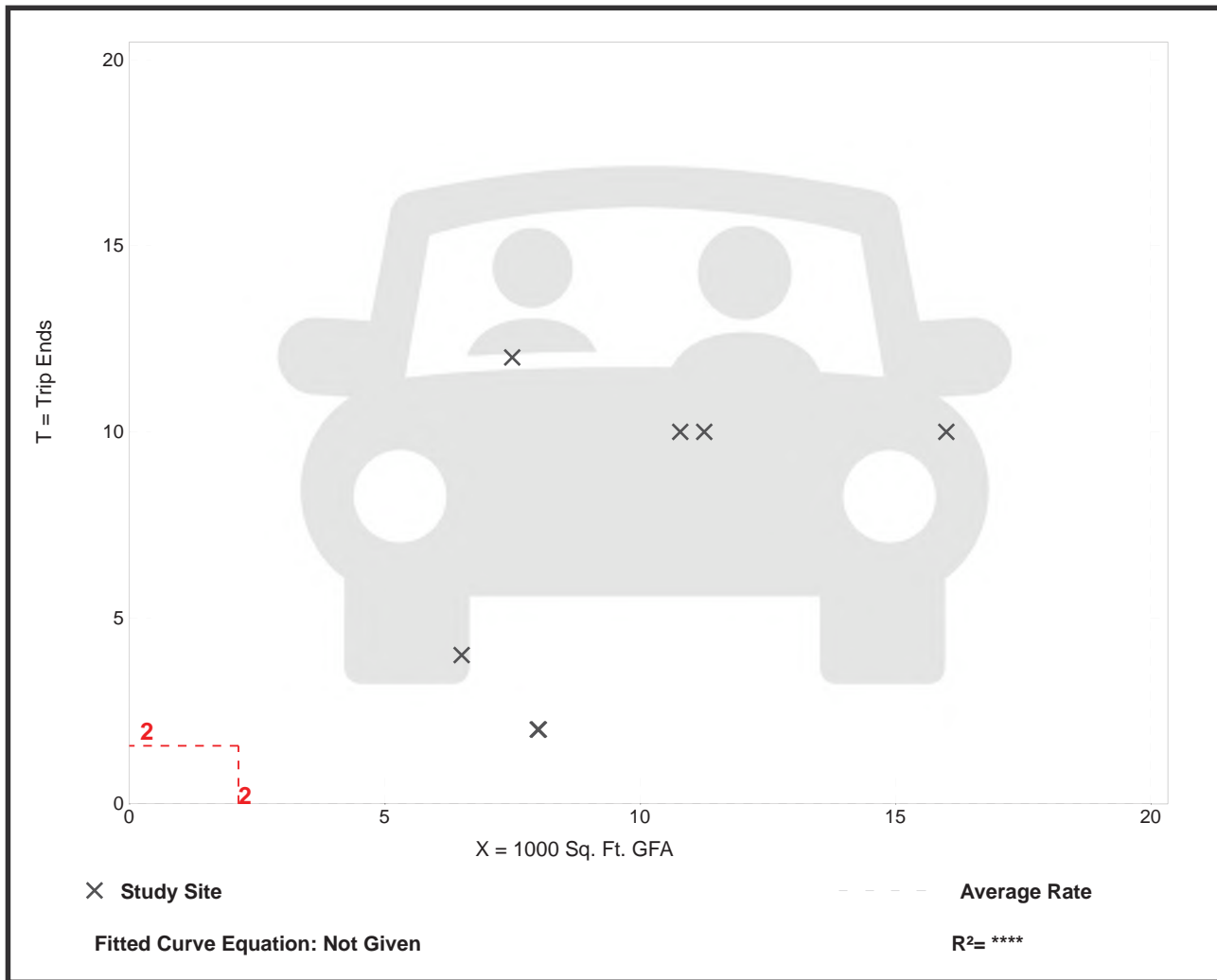
**Setting/Location: General Urban/Suburban**

Number of Studies: 7  
 Avg. 1000 Sq. Ft. GFA: 10  
 Directional Distribution: Not Available

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.73	0.25 - 1.60	0.42

## Data Plot and Equation



# Fine Dining Restaurant (931)

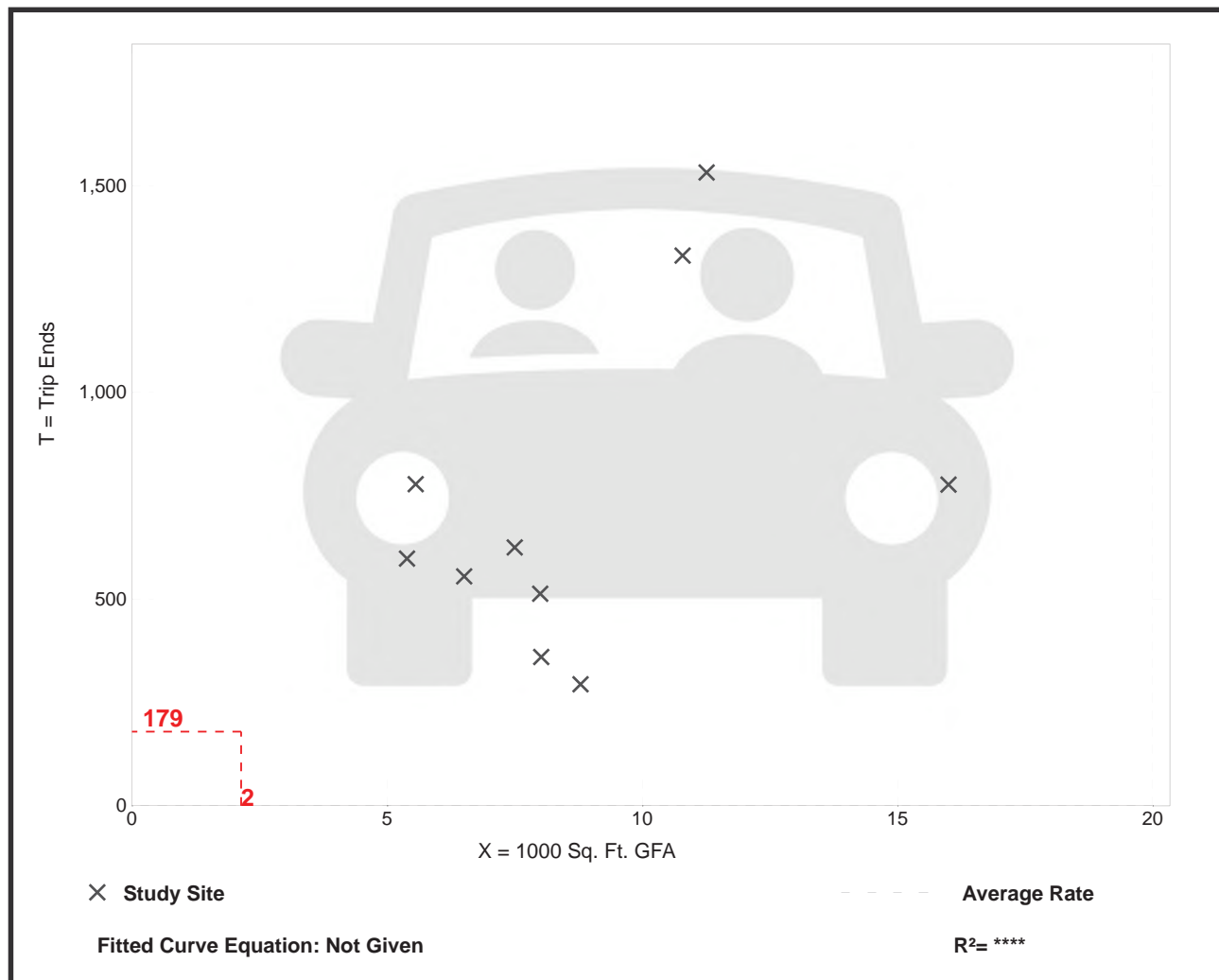
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday**

**Setting/Location: General Urban/Suburban**  
Number of Studies: 10  
Avg. 1000 Sq. Ft. GFA: 9  
Directional Distribution: 50% entering, 50% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
83.84	33.45 - 139.93	40.01

## Data Plot and Equation



# Fine Dining Restaurant (931)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**

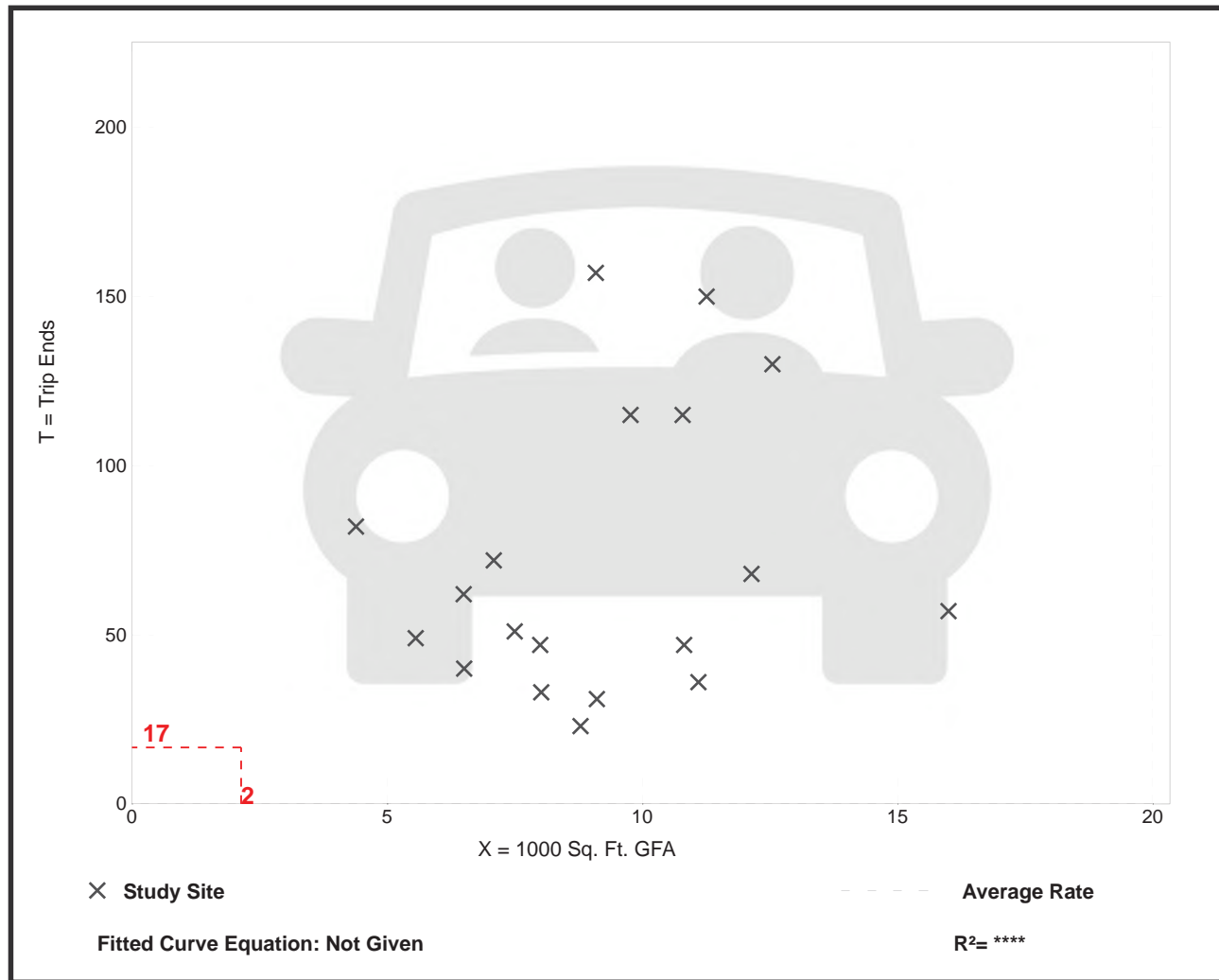
**Setting/Location: General Urban/Suburban**

Number of Studies: 19  
 Avg. 1000 Sq. Ft. GFA: 9  
 Directional Distribution: 67% entering, 33% exiting

## Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
7.80	2.62 - 18.68	4.49

## Data Plot and Equation



# Attachment C: Synchro LOS Reports



Intersection						
Int Delay, s/veh	0.7					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↑	↔	↔	↑
Traffic Vol, veh/h	7	13	606	12	20	391
Future Vol, veh/h	7	13	606	12	20	391
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	205	175	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	56	56	97	97	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	13	23	625	12	22	430
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1099	625	0	0	637	0
Stage 1	625	-	-	-	-	-
Stage 2	474	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	235	485	-	-	947	-
Stage 1	534	-	-	-	-	-
Stage 2	626	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	230	485	-	-	947	-
Mov Cap-2 Maneuver	230	-	-	-	-	-
Stage 1	534	-	-	-	-	-
Stage 2	612	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	16.5	0	0.4			
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	349	947	-	
HCM Lane V/C Ratio	-	-	0.102	0.023	-	
HCM Control Delay (s)	-	-	16.5	8.9	-	
HCM Lane LOS	-	-	C	A	-	
HCM 95th %tile Q(veh)	-	-	0.3	0.1	-	

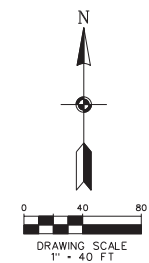
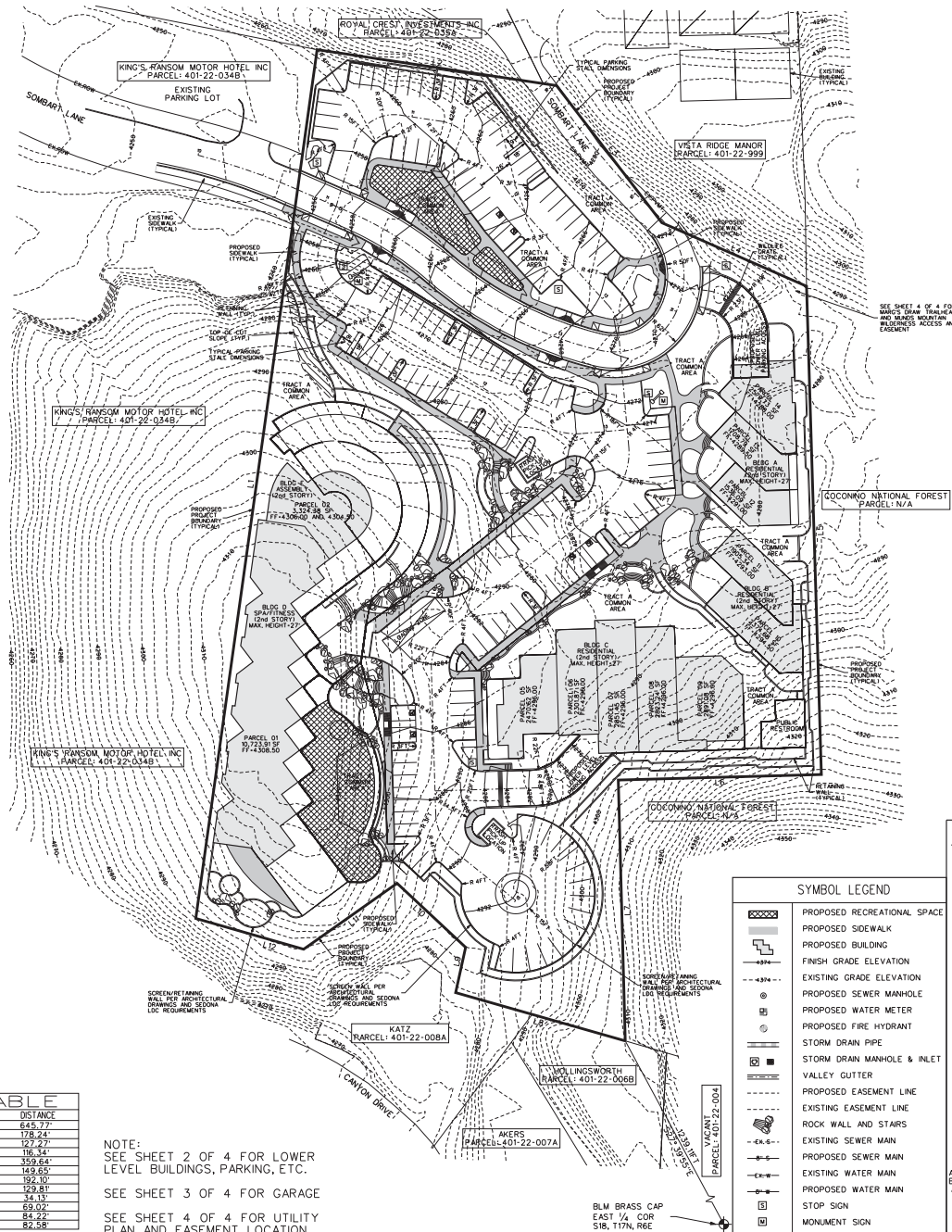
Intersection						
Int Delay, s/veh	0.5					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔		↑	↔	↔	↑
Traffic Vol, veh/h	6	15	574	9	17	744
Future Vol, veh/h	6	15	574	9	17	744
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	205	175	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	75	75	89	89	96	96
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	8	20	645	10	18	775
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1456	645	0	0	655	0
Stage 1	645	-	-	-	-	-
Stage 2	811	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	143	472	-	-	932	-
Stage 1	522	-	-	-	-	-
Stage 2	437	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	140	472	-	-	932	-
Mov Cap-2 Maneuver	140	-	-	-	-	-
Stage 1	522	-	-	-	-	-
Stage 2	429	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	19.2	0	0.2			
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	281	932	-	
HCM Lane V/C Ratio	-	-	0.1	0.019	-	
HCM Control Delay (s)	-	-	19.2	8.9	-	
HCM Lane LOS	-	-	C	A	-	
HCM 95th %tile Q(veh)	-	-	0.3	0.1	-	

Intersection						
Int Delay, s/veh	1.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↑	↔	↔	↑
Traffic Vol, veh/h	16	19	606	26	30	391
Future Vol, veh/h	16	19	606	26	30	391
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	205	175	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	56	56	97	97	91	91
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	29	34	625	27	33	430
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1121	625	0	0	652	0
Stage 1	625	-	-	-	-	-
Stage 2	496	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	228	485	-	-	935	-
Stage 1	534	-	-	-	-	-
Stage 2	612	-	-	-	-	-
Platoon blocked, %			-	-		-
Mov Cap-1 Maneuver	220	485	-	-	935	-
Mov Cap-2 Maneuver	220	-	-	-	-	-
Stage 1	534	-	-	-	-	-
Stage 2	591	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	19.3	0	0.6			
HCM LOS	C					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	313	935	-	
HCM Lane V/C Ratio	-	-	0.2	0.035	-	
HCM Control Delay (s)	-	-	19.3	9	-	
HCM Lane LOS	-	-	C	A	-	
HCM 95th %tile Q(veh)	-	-	0.7	0.1	-	

Intersection						
Int Delay, s/veh	1.3					
Movement	WBL	WBR	NBT	NBR	SBL	SBT
Lane Configurations	↔	↔	↑	↔	↔	↑
Traffic Vol, veh/h	20	25	574	34	33	744
Future Vol, veh/h	20	25	574	34	33	744
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Stop	Stop	Free	Free	Free	Free
RT Channelized	-	None	-	None	-	None
Storage Length	0	-	-	205	175	-
Veh in Median Storage, #	0	-	0	-	-	0
Grade, %	0	-	0	-	-	0
Peak Hour Factor	75	75	89	89	96	96
Heavy Vehicles, %	2	2	2	2	2	2
Mvmt Flow	27	33	645	38	34	775
Major/Minor	Minor1	Major1	Major2			
Conflicting Flow All	1488	645	0	0	683	0
Stage 1	645	-	-	-	-	-
Stage 2	843	-	-	-	-	-
Critical Hdwy	6.42	6.22	-	-	4.12	-
Critical Hdwy Stg 1	5.42	-	-	-	-	-
Critical Hdwy Stg 2	5.42	-	-	-	-	-
Follow-up Hdwy	3.518	3.318	-	-	2.218	-
Pot Cap-1 Maneuver	137	472	-	-	910	-
Stage 1	522	-	-	-	-	-
Stage 2	422	-	-	-	-	-
Platoon blocked, %			-	-		
Mov Cap-1 Maneuver	132	472	-	-	910	-
Mov Cap-2 Maneuver	132	-	-	-	-	-
Stage 1	522	-	-	-	-	-
Stage 2	406	-	-	-	-	-
Approach	WB	NB	SB			
HCM Control Delay, s	27.4	0	0.4			
HCM LOS	D					
Minor Lane/Major Mvmt	NBT	NBRWBLn1	SBL	SBT		
Capacity (veh/h)	-	-	220	910	-	
HCM Lane V/C Ratio	-	-	0.273	0.038	-	
HCM Control Delay (s)	-	-	27.4	9.1	-	
HCM Lane LOS	-	-	D	A	-	
HCM 95th %tile Q(veh)	-	-	1.1	0.1	-	



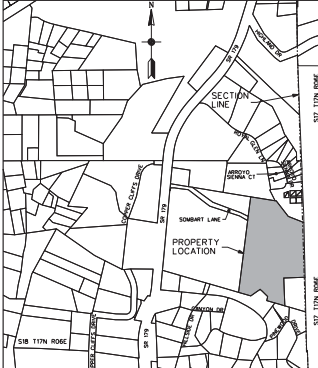
**TAB 11**



PRELIMINARY PLAT  
(UPPER LEVEL)

# NIRVANA

DEV2008-1, SUB2008-1  
LOCATION MAP  
1" = 400' (APPROX.)



**PROJECT BENCHMARK**  
CITY OF SEDONA BENCHMARK NUMBER 41 DESCRIBED AS A BRASS CAP FOUND AT THE NORTHWEST CORNER OF COPPER CLIFFS DRIVE AND COPPER CLIFF ROAD. CITY OF SEDONA COORDINATE SYSTEM  
NORTHING: 1462684.667, EASTING: 745354.935  
ELEVATION: 462.009

**FLOODPLAIN INFORMATION**  
THE SITE LIES WITHIN ZONE X PER FEMA FIRM MAP NUMBER 04025C1460F, EFFECTIVE DATE JUNE 6, 2001  
ZONE X: AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS PRELIMINARY PLAT IS NORTH 0°44'47" WEST AS MEASURED FROM A BLM BRASS DISK AT THE EAST QUARTER CORNER OF SECTION 18, TOWNSHIP 17 NORTH, RANGE 6 EAST, TO A BLM BRASS DISK AT THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 17 NORTH, RANGE 6 EAST.

**LOCATION**  
A PORTION OF THE SE1/4 OF THE NE1/4 OF SECTION 18, TOWNSHIP 17 NORTH, RANGE 06 EAST, G&SRBM, COCONINO COUNTY, AZ  
LATITUDE: N34°51'24.7"  
LONGITUDE: W111°45'41.0"

**ADDITIONAL INFORMATION**  
ZONING: SEDONA C-1  
PROJECT SIZE: 0.234 ACRES  
REQUIRED STORMWATER DETENTION: 0.234 ACRE FEET

**RECREATIONAL SPACE NOTES**  
REQUIRED RECREATIONAL SPACE: 6,000 SF  
PROPERTY SPACE PROVIDED: 12,231 SF  
RECREATIONAL SPACE PROVIDED: 8,031 SF  
TOTAL PROVIDED SPACE: 12,231 SF

**OWNER/DEVELOPER**  
NIRVANA DEVELOPMENT LLC  
PO BOX 4332  
SEDONA, AZ 86340-4332  
PHONE: (928) 282-1888

**PROJECT CONTACT:**  
PAUL GALLOWAY

**ENGINEERS/SURVEYORS**  
DRAWN: KDH DESIGN: KDH CHECKED: SAL JOB#: 544-04 (1)

PREPARED: 9/15/2008 REVISION: SCOTT A. LYON, P.E.

**Lyon Engineering**  
Civil Engineers & Land Surveyors

3623 CROSSINGS DRIVE  
PRESCOTT, AZ 86305  
(928) 776-1750  
FAX: (928) 776-0605

SHEET: 1 OF 4  
EXPIRES: 03/31/10

NO.	BEARING	DISTANCE
L1	S07°51'16"W	645.77'
L2	N81°27'51"W	178.24'
L3	N37°32'05"W	127.27'
L4	N66°19'30"W	116.34'
L5	N01°44'47"W	159.64'
L6	N88°26'39"E	149.65'
L7	N01°32'12"W	192.30'
L8	S74°05'34"E	129.81'
L9	S12°21'44"W	34.13'
L10	S48°57'24"E	69.02'
L11	N54°48'29"E	84.22'
L12	S74°05'34"E	82.58'

NOTE: SEE SHEET 2 OF 4 FOR LOWER LEVEL BUILDINGS, PARKING, ETC.  
SEE SHEET 3 OF 4 FOR GARAGE  
SEE SHEET 4 OF 4 FOR UTILITY PLAN AND EASEMENT LOCATION

**PROJECT DESCRIPTION**  
TWO STORY MIXED USE COMPLEX COMPRISED OF 6 RETAIL UNITS, A RESTAURANT, 15 RESIDENTIAL CONDO UNITS, A SPA, AND AN ASSEMBLY SPACE.

**DRAINAGE STATEMENT**  
ONSITE DRAINAGE WILL BE ROUTED TO THREE OUTLET LOCATIONS ALONG THE BOUNDARY: ONE IN THE SOUTH AND TWO IN THE NORTHWEST CORNER. ALL FLOWS WILL BE RELEASED FROM THE PROPERTY AT PRE-DEVELOPED FLOW RATES TO ACHIEVE THIS, STORMWATER WILL BE DETAINED IN UNDERGROUND DETENTION PIPES WITH A CAPACITY OF 0.293 ACRE-FEET AS DESCRIBED IN THE PHASE DRAINAGE REPORT.

**WATER ANALYSIS**  
A TOTAL OF 26.72 GALLONS PER MINUTE WILL BE REQUIRED FOR THE DOMESTIC SERVICE AND FIRE LINES WILL BE SIZED DURING THE FINAL DESIGN PHASE.  
THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE WATER ANALYSIS DATED MAY 19, 2008.

WATER SHALL BE PROVIDED BY ARIZONA WATER COMPANY - SEDONA OFFICE, 65 COFFEE POT DR, SEDONA, AZ 86336 928-282-5555

**SEWAGE ANALYSIS**  
A TOTAL OF 38,477 GALLONS PER DAY WILL BE DISCHARGED IN THE EXISTING SEWER MAIN AT THE NORTH WEST CORNER OF THE SITE.  
THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE SEWER ANALYSIS DATED MAY 19, 2008.

**SYMBOL LEGEND**

	PROPOSED RECREATIONAL SPACE
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	FINISH GRADE ELEVATION
	EXISTING GRADE ELEVATION
	PROPOSED SEWER MANHOLE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	STORM DRAIN PIPE
	STORM DRAIN MANHOLE & INLET
	VALLEY GUTTER
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ROCK WALL AND STAIRS
	EXISTING SEWER MAIN
	PROPOSED SEWER MAIN
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	STOP SIGN
	MONUMENT SIGN

**PARKING**

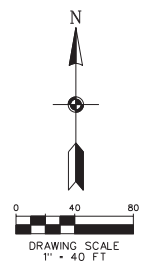
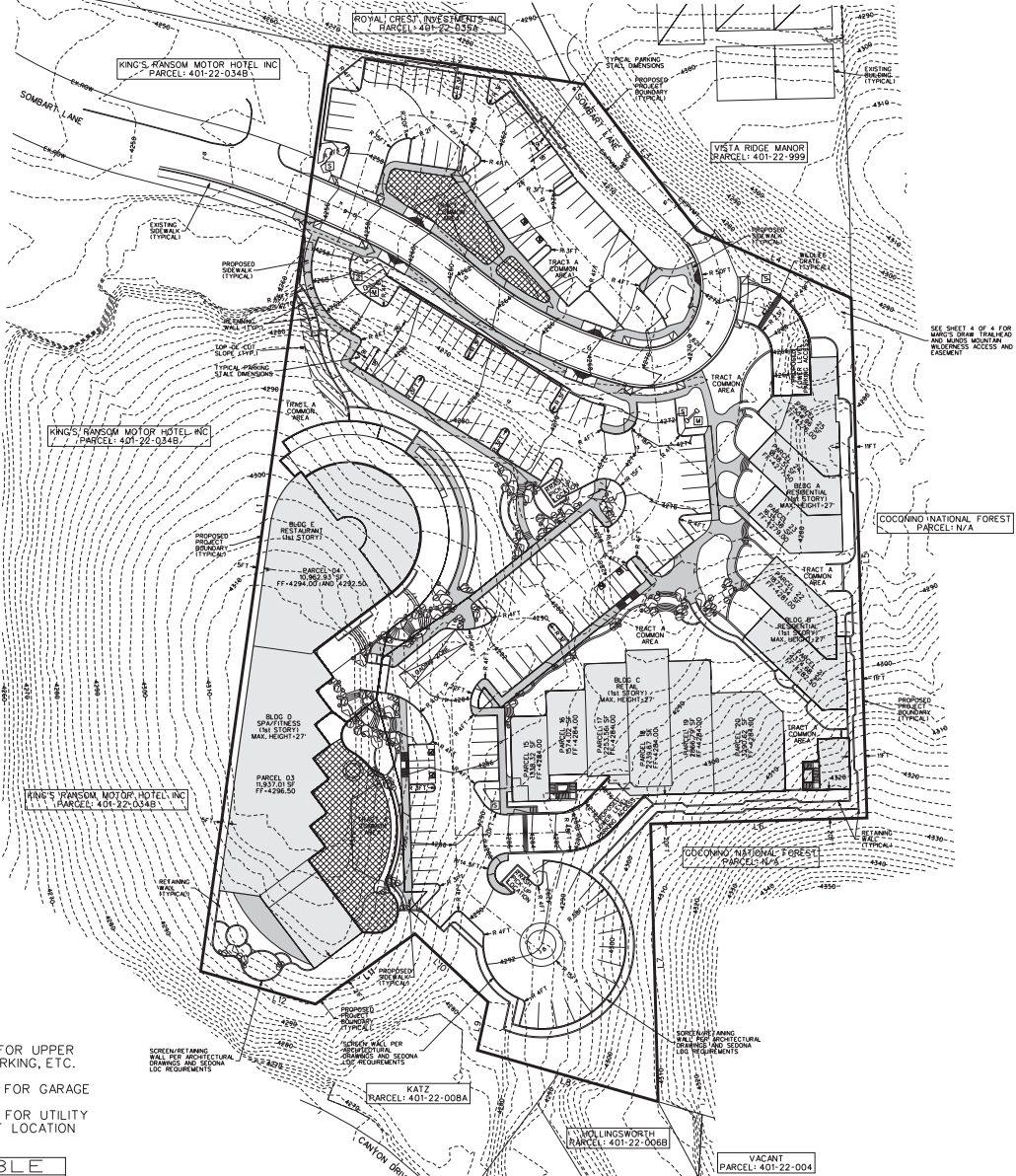
RETAL PARKING REQUIRED	56 SPACES
RESTAURANT PARKING REQUIRED	87 SPACES
SPA PARKING REQUIRED	40 SPACES
ASSEMBLY PARKING REQUIRED	19 SPACES
RESIDENTIAL PARKING REQUIRED	35 SPACES
PARKING REQUIRED PER LDC	235 SPACES
TOTAL PARKING PROVIDED	237 SPACES
ACCESSIBLE PARKING REQUIRED	9 SPACES
ACCESSIBLE PARKING PROVIDED	9 SPACES

**PROJECT DATA: COMMERCIAL**

BUILDING	USE	AREA
D	SPA	22,660.92 SF
E	RESTAURANT	10,962.93 SF
E	ASSEMBLY	1,324.38 SF
C	RETAL	14,062.98 SF
B	RESTROOMS	332.58 SF
A	ELEVATORS/STAIRS	782.98 SF
A	MECH/EQUIP/STORAGE	2,305.14 SF
TOTAL		54,431.91 SF

**PROJECT DATA: RESIDENTIAL**

BUILDING	USE	AREA
C	RESIDENTIAL	13,338.26 SF
B	RESIDENTIAL	8,527.00 SF
A	RESIDENTIAL	11,832.53 SF
A	MECH/EQUIP/STOR	331.00 SF
A	ELEVATOR/STAIRS	232.18 SF
TOTAL		34,260.97 SF

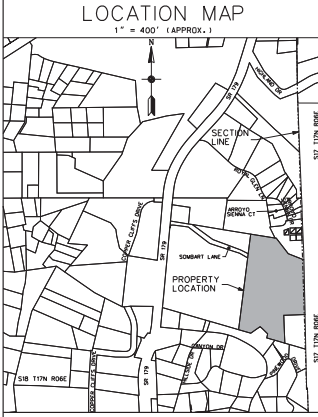


PRELIMINARY PLAT  
(LOWER LEVEL)

# NIRVANA

DEV2008-1, SUB2008-1  
BOUNDARY CLOSURE

SEE LEGAL DESCRIPTIONS WRITTEN FOR THIS PROJECT AND SUBMITTED AS AN ATTACHMENT TO THIS PRELIMINARY PLAT



NOTE:  
SEE SHEET 1 OF 4 FOR UPPER LEVEL BUILDINGS, PARKING, ETC.  
SEE SHEET 3 OF 4 FOR GARAGE  
SEE SHEET 4 OF 4 FOR UTILITY PLAN AND EASEMENT LOCATION

NO.	BEARING	DISTANCE
L.1	S07° 51'16" W	645.77'
L.2	N81° 27'51" W	178.24'
L.3	N37° 33'05" W	127.27'
L.4	N66° 19'30" W	116.34'
L.5	N07° 44'14" W	359.64'
L.6	N85° 26'09" E	149.65'
L.7	N01° 32'12" W	192.10'
L.8	S74° 05'34" E	129.81'
L.9	S12° 21'44" W	34.13'
L.10	S46° 53'48" E	66.02'
L.11	N54° 48'09" E	84.22'
L.12	S74° 05'34" E	82.58'

**RECREATIONAL SPACE NOTES:**

- 1) 400 SQ FT REQUIRED PER CONDO UNIT
- 2) 15 UNITS X 400 SQ FT = 6,000 SQ FT REQUIRED
- 3) 15 BALCONIES X 280 SQ FT = 4,200 SQ FT PROVIDED
- 4) TRACT A RECREATIONAL SPACE = 8,031 SQ FT PROVIDED
- 5) TOTAL RECREATIONAL SPACE PROVIDED = 12,231 SQ FT

NOTES:  
ALL PROPERTY DIMENSIONS ARE PROVIDED BY THE RESULTS OF A FIELD SURVEY BY LYON ENGINEERING ON OCTOBER 11, 2007.  
THERE ARE NO PROPOSED UNSTABILIZED CUT OR FILL SLOPES WITHIN THE PROJECT.  
ALL LANDSCAPING INFORMATION CAN BE FOUND ON THE LANDSCAPING PLAN.  
CENTERLINE CONTROL MONUMENTS SHALL BE PROVIDED FOR SOMBART LANE, PER MAG STD. DET. 120-1.  
THE NORTH PARKING LOT SHALL BE OPEN TO THE PUBLIC DURING DAYLIGHT HOURS FOR THE FOREST TRAILHEAD ACCESS. THERE WILL BE NO OVERNIGHT PARKING AVAILABLE TO NON-RESIDENTS OF THE NIRVANA DEVELOPMENT.

**SYMBOL LEGEND**

	PROPOSED RECREATIONAL SPACE
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	FINISH GRADE ELEVATION
	EXISTING GRADE ELEVATION
	PROPOSED SEWER MANHOLE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	STORM DRAIN PIPE
	STORM DRAIN MANHOLE & INLET
	VALLEY GUTTER
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ROCK WALL AND STAIRS
	EXISTING SEWER MAN
	PROPOSED SEWER MAN
	EXISTING WATER MAN
	PROPOSED WATER MAN
	STOP SIGN
	MONUMENT SIGN

**PROJECT DESCRIPTION**  
TWO STORY MIXED USE COMPLEX COMPRISED OF RETAIL AND RESIDENTIAL CONDO UNITS, AND SPA

**DRAINAGE STATEMENT**  
ONSITE DRAINAGE WILL BE ROUTED TO THREE OUTLET LOCATIONS ALONG THE BOUNDARY ONE IN THE SOUTH AND TWO IN THE NORTHWEST CORNER. ALL FLOWS WILL BE RELEASED FROM THE PROPERTY AT PRE-DEVELOPED FLOW RATES TO ACHIEVE THIS. STORMWATER WILL BE DETAINED IN UNDERGROUND DETENTION PIPES WITH A CAPACITY OF 0.293 ACRE-FEET AS DESCRIBED IN THE PHASE II DRAINAGE REPORT.

**WATER ANALYSIS**  
A TOTAL OF 26.72 GALLONS PER MINUTE WILL BE REQUIRED FOR THE DOMESTIC AND COMMERCIAL DEMAND. WATER SERVICE AND FIRE LINES WILL BE SIZED DURING THE FINAL DESIGN PHASE.

THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE WATER ANALYSIS DATED MAY 19, 2008.

WATER SHALL BE PROVIDED BY ARIZONA WATER COMPANY-SEDONA OFFICE, 65 COFFEE POT DR. SEDONA, AZ 86336 928-282-5555

**SEWAGE ANALYSIS**  
A TOTAL OF 38,477 GALLONS PER DAY WILL BE DISCHARGED IN THE EXISTING SEWER MAN AT THE NORTH WEST CORNER OF THE SITE.

THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE SEWER ANALYSIS DATED MAY 19, 2008.

**OWNER/DEVELOPER**  
NIRVANA DEVELOPMENT LLC  
PO BOX 4312  
SEDONA, AZ 86340-4312  
PHONE: (928) 282-1888

**PROJECT CONTACT:**  
PAUL GALLOWAY

**ENGINEERS/SURVEYORS**  
DRAWN: KDH DESIGN: KDH CHECKED: SAL JOB#: 544-04 (11)  
REVISION: SCOTT A. LYON, P.E.

PREPARED: 9/15/2008

**LE LYON ENGINEERING**  
Civil Engineers • Land Surveyors

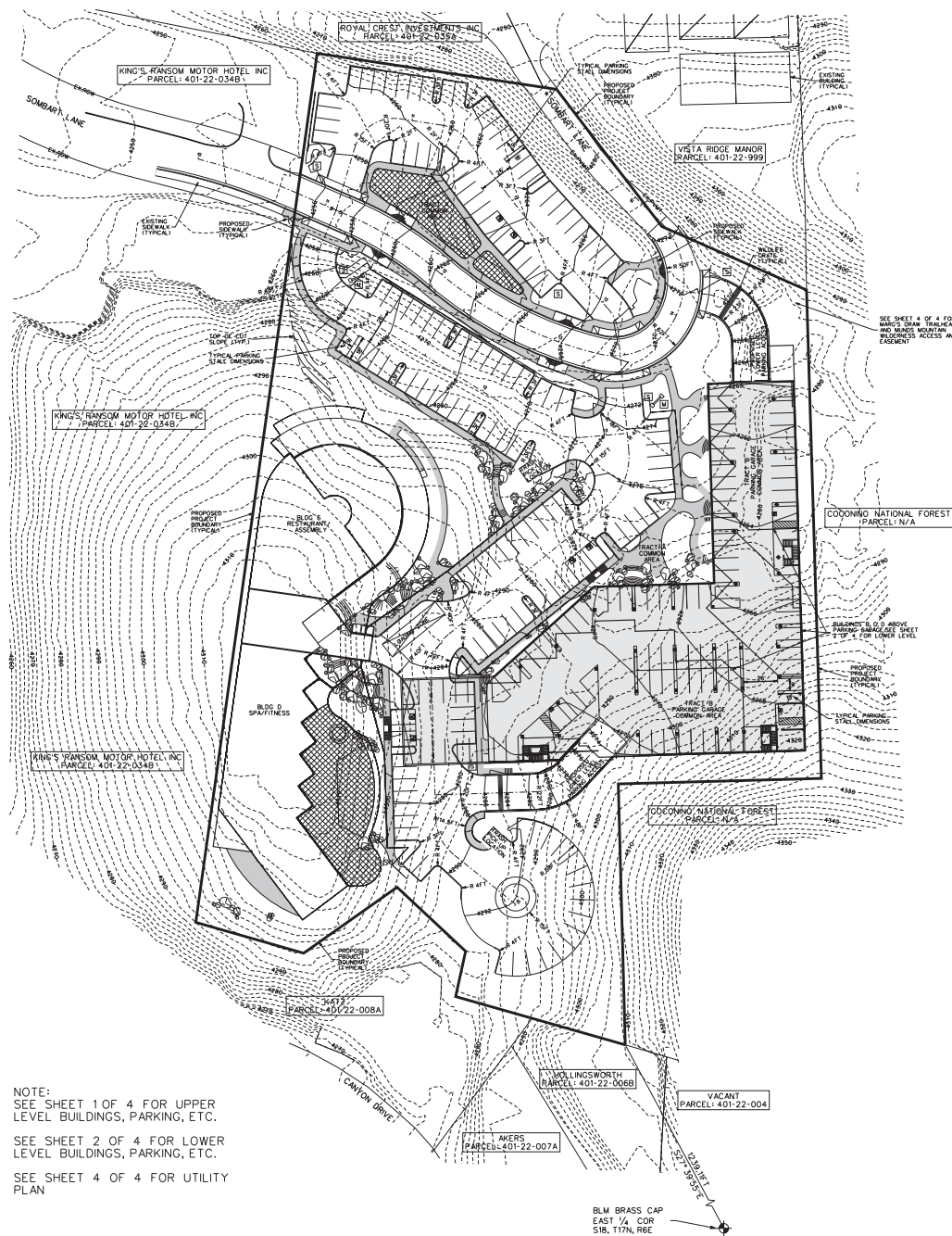
3623 CROSSINGS DRIVE  
PRESCOTT, AZ 86305  
(928) 776-1750  
FAX: (928) 776-0605

**SCOTT A. LYON**  
P.E.  
3/15/08

SHEET: 2 OF 4

EXPIRES: 03/31/10



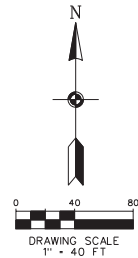


NOTE:  
 SEE SHEET 1 OF 4 FOR UPPER LEVEL BUILDINGS, PARKING, ETC.  
 SEE SHEET 2 OF 4 FOR LOWER LEVEL BUILDINGS, PARKING, ETC.  
 SEE SHEET 4 OF 4 FOR UTILITY PLAN

SEE SHEET 4 OF 4 FOR MARKS DRAIN TRENCHES AND MANHOLE LOCATIONS, ACCESS AND EASEMENT

COCONINO NATIONAL FOREST PARCELS N/A

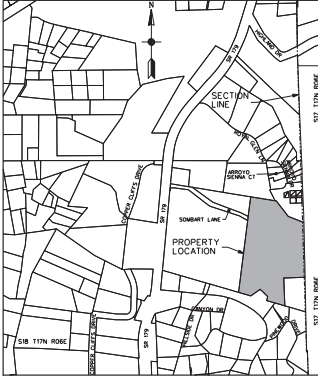
MARKS E.O.P. ABOVE PARCELS SHEET 1 OF 4 FOR LOWER LEVEL



PRELIMINARY PLAT  
 (GARAGE LEVEL)

# NIRVANA

DEV2008-1, SUB2008-1  
 LOCATION MAP  
 1" = 400' (APPROX.)



PARKING GARAGE	
TOTAL PARKING PROVIDED	92 SPACES
ACCESSIBLE PARKING PROVIDED	2 SPACES

SYMBOL LEGEND	
	PROPOSED RECREATIONAL SPACE
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	FINISH GRADE ELEVATION
	EXISTING GRADE ELEVATION
	PROPOSED SEWER MANHOLE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	STORM DRAIN PIPE
	STORM DRAIN MANHOLE & INLET
	VALLEY GUTTER
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ROCK WALL AND STAIRS
	EXISTING SEWER MAN
	PROPOSED SEWER MAN
	EXISTING WATER MAN
	PROPOSED WATER MAN
	STOP SIGN
	MONUMENT SIGN

**WATER ANALYSIS**  
 A TOTAL OF 26.72 GALLONS PER MINUTE WILL BE REQUIRED FOR THE DOMESTIC AND COMMERCIAL DEMAND. WATER SERVICE AND FIRE LINES WILL BE SIZED DURING THE FINAL DESIGN PHASE.

THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE WATER ANALYSIS DATED MAY 19, 2008.

WATER SHALL BE PROVIDED BY ARIZONA WATER COMPANY-SEDONA OFFICE, 65 COFFEE POT DR. SEDONA, AZ 86336 928-282-5555

**SEWAGE ANALYSIS**  
 A TOTAL OF 38,477 GALLONS PER DAY WILL BE DISCHARGED IN THE EXISTING SEWER MAIN AT THE NORTH WEST CORNER OF THE SITE.

THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE SEWER ANALYSIS DATED MAY 19, 2008.

**OWNER/DEVELOPER**  
 NIRVANA DEVELOPMENT LLC  
 PO BOX 4312  
 SEDONA, AZ 86340-4312  
 PHONE: (928) 282-1888

**PROJECT CONTACT:**  
 PAUL GALLOWAY

**ENGINEERS/SURVEYORS**  
 DRAWN: KDH DESIGN: KDH CHECKED: SAL JOB#: 544-04 (1)

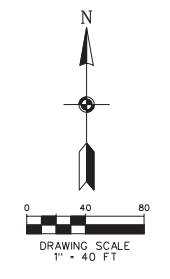
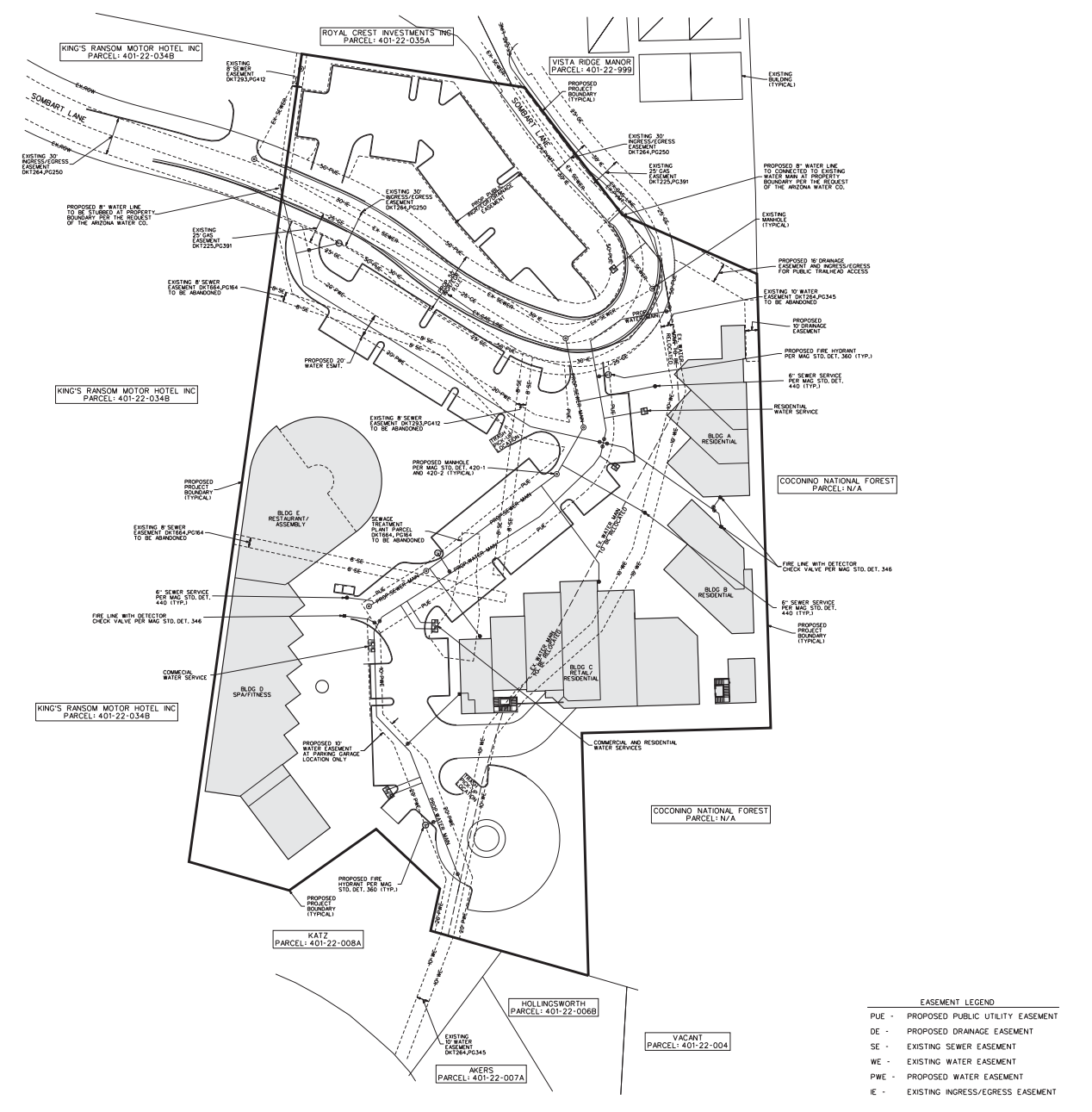
PREPARED: 9/15/2008 REVISED:  
 SCOTT A. LYON, P.E.

**LE Lyon Engineering**  
 Civil Engineers • Land Surveyors

3623 CROSSINGS DRIVE  
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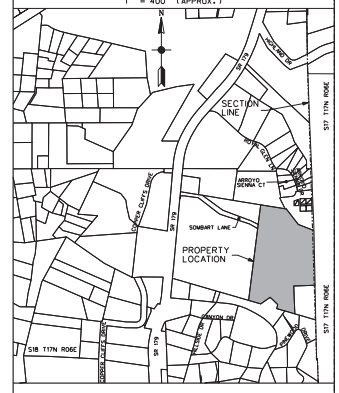




PRELIMINARY PLAT  
(UTILITY EXHIBIT)

# NIRVANA

DEV2008-1, SUB2008-1  
LOCATION MAP



**SYMBOL LEGEND**

	PROPOSED RECREATIONAL SPACE
	PROPOSED SIDEWALK
	PROPOSED BUILDING
	FINISH GRADE ELEVATION
	EXISTING GRADE ELEVATION
	PROPOSED SEWER MANHOLE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	STORM DRAIN PIPE
	STORM DRAIN MANHOLE & INLET
	VALLEY GUTTER
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ROCK WALL AND STAIRS
	EXISTING SEWER MAIN
	PROPOSED SEWER MAIN
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	STOP SIGN
	MONUMENT SIGN

**OWNER/DEVELOPER**  
 NIRVANA DEVELOPMENT LLC  
 PO BOX 4312  
 SEDONA, AZ 86340-4312  
 PHONE: (928) 282-1888

**PROJECT CONTACT:**  
 PAUL GALLOWAY

**ENGINEERS/SURVEYORS**  
 DRAWN: KDH DESIGN: KDH CHECKED: SAL JOB#: 544-04 (11)

PREPARED: 9/15/2008 REVISED:  
 SCOTT A. LYON, P.E.

**LE LYON ENGINEERING**  
*Civil Engineers • Land Surveyors*

3623 CROSSINGS DRIVE  
 PRESCOTT, AZ 86305  
 (928) 776-1750  
 FAX: (928) 776-0605

**SCOTT A. LYON**  
 1700  
 3/15/08  
 EXPIRES: 03/15/10

**WATER ANALYSIS**  
 A TOTAL OF 26.72 GALLONS PER MINUTE WILL BE REQUIRED FOR THE DOMESTIC AND COMMERCIAL DEMAND. WATER SERVICE AND FIRE LINES WILL BE SIZED DURING THE FINAL DESIGN PHASE.

THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE WATER ANALYSIS DATED MAY 19, 2008.

WATER SHALL BE PROVIDED BY ARIZONA WATER COMPANY-SEDONA OFFICE, 65 COFFEE POT DR, SEDONA, AZ 86336 928-282-5555

**SEWAGE ANALYSIS**  
 A TOTAL OF 38,477 GALLONS PER DAY WILL BE DISCHARGED IN THE EXISTING SEWER MAIN AT THE NORTH WEST CORNER OF THE SITE.

THESE RESULTS WERE CALCULATED BY LYON ENGINEERING IN THE SEWER ANALYSIS DATED MAY 19, 2008.

**EASEMENT LEGEND**

PUE	PROPOSED PUBLIC UTILITY EASEMENT
DE	PROPOSED DRAINAGE EASEMENT
SE	EXISTING SEWER EASEMENT
WE	EXISTING WATER EASEMENT
PWE	PROPOSED WATER EASEMENT
IE	EXISTING INGRESS/EGRESS EASEMENT

KATZ PARCEL: 401-22-008A

HOLLINGSWORTH PARCEL: 401-22-008B

VACANT PARCEL: 401-22-004

AKERS PARCEL: 401-22-007A