

ALTA/NSPS LAND TITLE SURVEY

PORTION OF THE NW 1/4, SE 1/4 SECTION 7, T 17N, R 6E,
G. & S.R.M., COCONINO COUNTY, ARIZONA

APN 401-38-012

1. THIS SURVEY IS BASED ON A PRELIMINARY MEMORANDUM REPORT ONLY.
FILE NO. 1568466 EFFECTIVE DATE: JANUARY 28, 2022
2. SCHEDULE B ITEMS 1-5 & 12 ARE BEYOND THE REVIEW AND SCOPE OF THIS SURVEY.
3. THE SURVEYOR'S REVIEW OF DOCUMENTS REFERENCED IN THE TITLE REPORT AS SCHEDULE "B" ITEMS IS LIMITED TO THE SURVEYOR'S SCOPE-OF-SERVICES AS IDENTIFIED IN THE CERTIFICATION HEREON. ADDITIONALLY SCHEDULE "B" ITEMS MAY CONTAIN ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY WHICH THE SURVEYOR IS NOT QUALIFIED TO INTERPRET AND/OR ARE NOT WITHIN THE SURVEYOR'S SCOPE-OF-SERVICES. IT IS RECOMMENDED THAT INTERESTED AND AFFECTED PARTIES OBTAIN CONSULTATION WITH QUALIFIED LEGAL COUNSEL RELATIVE TO THE INTERPRETATION OF ALL SCHEDULE "B" DOCUMENT REFERENCED IN THE TITLE REPORT.

SCHEDULE B

Subject to the usual printed conditions, stipulations and exceptions contained in the regular form of a policy, or by a rider attached thereto, and also subject to the following specific encumbrances, reservations and exceptions:

1. Water rights, claims or title to water, whether or not shown by the public records.
2. Reservations or exceptions in Patents, or in Acts authorizing the issuance thereof.
3. Liabilities and Obligations imposed upon said land by reason of its inclusion within water, improvement, fire or other districts or associations, if any.
4. Taxes for the full year of 2022. (The first half is due October 1, 2022 and is delinquent November 1, 2022. The second half is due March 1, 2023 and is delinquent May 1, 2023).
5. Any action by the County Assessor and/or Treasurer, altering the current or prior tax assessment, subsequent to the date of the Policy of Title Insurance.
6. Easement(s) for gas pipeline and incidental purposes, recorded in Docket 317, Page 213 of Official Records. MAP SHOWING LOCATION IS NOT PROVIDED.
7. Easement(s) for cable transmission lines and incidental purposes, recorded in Docket 318, Page 750 of Official Records. MAP SHOWING LOCATION IS NOT PROVIDED.
8. Easement(s) for communication and other facilities and incidental purposes, recorded in Docket 361, Page 537 and in Docket 536, Page 653 of Official Records.
9. Easement(s) for road, utilities and incidental purposes, recorded in Docket 709, Page 303 of Official Records (East 25 feet of Parcel 1). SEE PLAT.
10. Easement(s) for ingress, egress, utilities and incidental purposes, recorded in Docket 753, Page 750 of Official Records. SEE PLAT.
11. Easement(s) for ingress, egress, utilities, television cable and incidental purposes, recorded in Docket 754, Page 4 and in Docket 1506, Page 110 of Official Records (Parcel 4). SEE PLAT.
12. The terms, conditions and provisions contained in the document entitled Road Maintenance Agreement recorded in Docket 1279, Page 331 and in Docket 1443, Page 327 of Official Records.

LEGAL DESCRIPTION

PARCEL NO. 1:

That part of the Northwest quarter of the Southeast quarter of Section 7, Township 17 North, Range 6 East, Gila and Salt River Base and Meridian, Coconino County, Arizona, described as follows:

BEGINNING at a point on the East line of the Northwest quarter of the Southeast quarter of said Section 7 bearing South 1°02'31" East a distance of 300.00 feet from the Northeast corner of the Northwest quarter of the Southeast quarter of said Section 7;

THENCE South 1°02'31" East, along the East line of the Northwest quarter of the Southeast quarter of said Section 7, a distance of 353.32 feet;

THENCE South 89°21'19" West, a distance of 328.17 feet;

THENCE North 1°02'31" West, a distance of 352.86 feet;

THENCE North 89°16'33" East, a distance of 328.18 feet to the POINT OF BEGINNING.

PARCEL NO. 2: DOES NOT REACH SUBJECT PROPERTY.

An easement for roadway and utilities, as created by instrument recorded in Docket 709, page 295, records of Coconino County, Arizona, over that part of the Northeast quarter of the Southeast quarter of Section 7, Township 17 North, Range 6 East, Gila and Salt River Base and Meridian, Coconino County, Arizona, described as follows:

The North 20 feet of the Northwest quarter of the Northeast quarter of the Southeast quarter of Section 7, Township 17 North, Range 6 East, Gila and Salt River Base and Meridian, Coconino County, Arizona;

EXCEPT the East 500 feet thereof.

PARCEL NO. 3: DOES NOT REACH SUBJECT PROPERTY.

An easement for ingress, egress and public utilities, as created by instrument recorded in Docket 1506, page 116, records of Coconino County, Arizona, over that part of the Northeast quarter of the Southeast quarter of Section 7, Township 17 North, Range 6 East, Gila and Salt River Base and Meridian, Coconino County, Arizona, described as follows:

A strip of ground lying 8 feet East of and coincident with the following line:

BEGINNING at the Northwest corner of the Northeast quarter of the Southeast quarter of said Section 7;

THENCE South 01°02'31" East (Basis of Bearings is a deed recorded in 753, records of Coconino County, Arizona), a distance of 300.00 feet to the Northeast corner of a parcel as described in deed recorded in Docket 753, page 744-746, records of Coconino County, Arizona and the terminus of this line.

PARCEL NO. 4:

An easement for road and utility purposes, as reserved in instrument recorded in Docket 709, page 308, records of Coconino County, Arizona, over that part of the Northwest quarter of the Southeast quarter of Section 7, Township 17 North, Range 6 East, Gila and Salt River Base and Meridian, Coconino County, Arizona, described as follows:

The East 25 feet of the North 300 feet of the following described property:

BEGINNING at the Southeast corner of the Northeast quarter of the Northwest quarter of the Southeast quarter of said Section 7;

THENCE along the South line of said Northeast quarter of the Northwest quarter of the Southeast quarter and the East half of the Northwest quarter of the Northwest quarter of the Southeast quarter, South 89°21'19" West a distance of 669.81 feet to the Northerly right-of-way line, 200 feet wide, of State Highway 89A;

THENCE along said right-of-way line, North 70°57'51" West (Highway bearing North 70°50'00" West), a distance of 317.85 feet to the West line of the East half of the Northwest quarter of the Northwest quarter of the Southeast quarter;

THENCE along said West line, North 0°49'37" West, a distance of 544.92 feet to the Southwest corner of Manzanita Hills Unit II;


THENCE along the South line of the said Manzanita Hills Units I and II, North 89°16'33" East, a distance of 966.30 feet to the Northeast corner of the Northeast quarter of the Northwest quarter of the Southeast quarter;

THENCE along the East line of the Northeast quarter of the Northwest quarter of the Southeast quarter, South 1°02'31" East, a distance of 653.32 feet to the POINT OF BEGINNING;

EXCEPT that part of said easement which was abandoned by instrument recorded in Docket 1506, page 110, records of Coconino County, Arizona

CERTIFICATION:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,4,8,11(b) AND 13 of Table A thereof. The fieldwork was completed on 04/11/2023.
Date of Plat or Map: 04/13/2023


TIMOTHY L. HAMMES, R.L.S. #29263

SURVEYOR'S NOTES:

1. THE WORD CERTIFY AS SHOWN OR USED HEREON MEANS AN EXPRESSION OR PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
2. THE INTENT OF THIS SURVEY IS TO VERIFY THE BOUNDARIES OF THE REFERENCED PROPERTY.
3. DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THIS SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
4. THERE ARE NO BUILDINGS ON SUBJECT PROPERTY.

SURVEYOR'S CERTIFICATE:

THIS RESULTS OF SURVEY MAP AND THE FIELD SURVEY ON WHICH IT IS BASED WERE CONDUCTED DURING THE MONTH OF OCTOBER & NOVEMBER, 2018, UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE STANDARDS GOVERNING THE CREATION OF LAND SURVEY BOUNDARIES WITHIN THE STATE OF ARIZONA AND IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THIS MAP WAS PREPARED FOR A SPECIFIC PURPOSE PURSUANT TO AN AGREEMENT WITH THE CLIENT. ONLY THOSE EASEMENTS INDICATED IN PRELIMINARY MEMORANDUM REPORT, FILE # 1568466, DATED JANUARY 28, 2022 AT 7:30 AM ARE INDICATED ON THIS PLAT. NO ATTEMPT WAS MADE BY THIS SURVEYOR OR HAMMES SURVEYING LLC, TO DETERMINE IF ANY ADDITIONAL EASEMENTS OR ENCUMBRANCES EXIST. THEREFORE, A TITLE SEARCH WOULD BE NECESSARY TO DETERMINE IF ADDITIONAL EASEMENTS AND ENCUMBRANCES, IF ANY, MAY AFFECT THE SUBJECT PROPERTY. THIS SURVEYOR AND HAMMES SURVEYING LLC WILL NOT ACCEPT ANY LIABILITY FOR LOSS OR DAMAGES DUE TO ANY EASEMENTS, ENCUMBRANCES, SUBSURFACE CONDITIONS, STRUCTURES AND OR UTILITIES NOT INDICATED ON THIS PLAT.

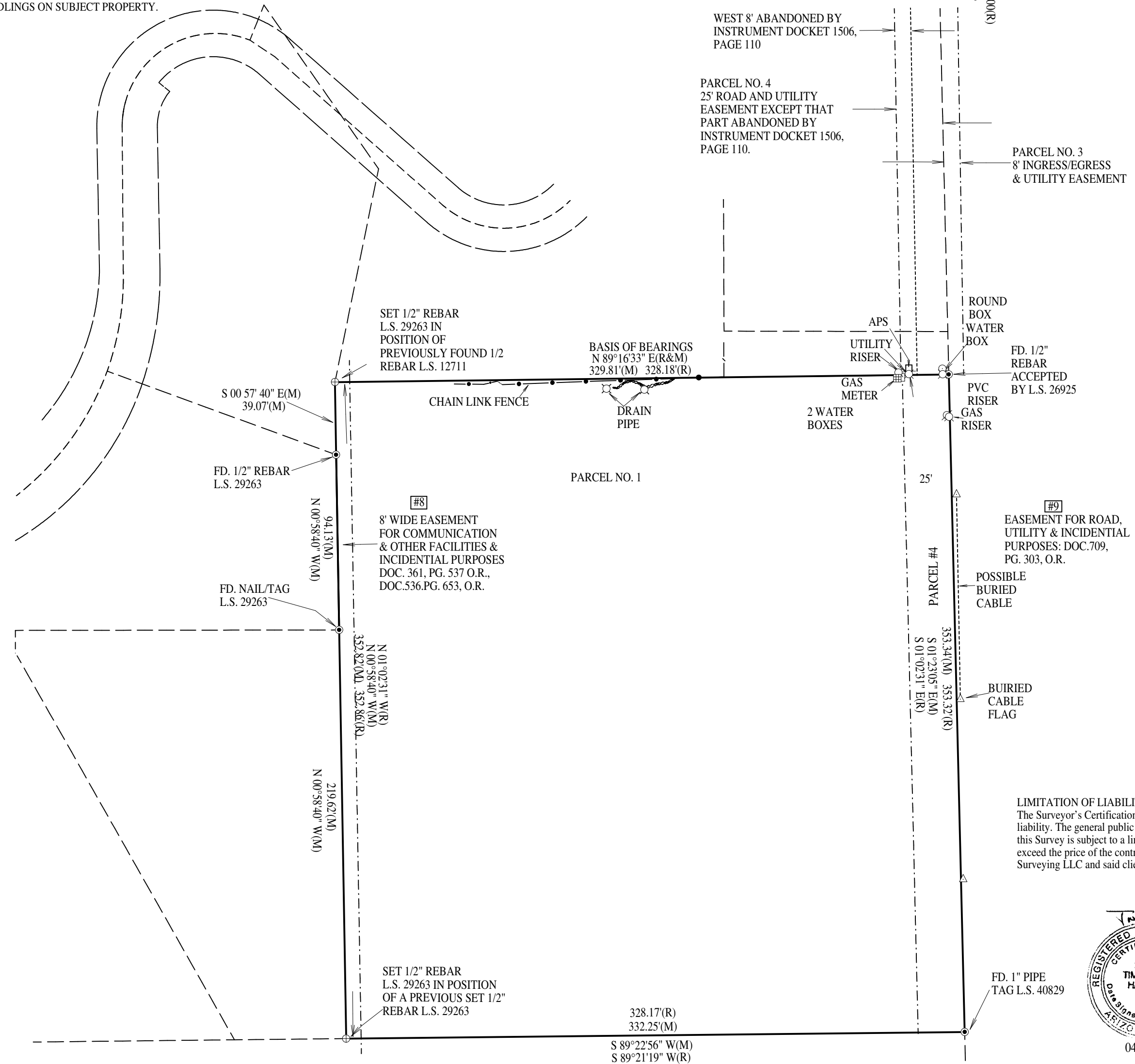
SCALE: 1"=50'
DATE: 04/13/2023

(R)=INSTRUMENT NO. 3764195
(M)=MEASURED

THIS PLAT IS SUBJECT TO ALL CONDITIONS, RESERVATIONS, AND OTHER ITEMS OF PUBLIC RECORD ON THIS 13th DAY OF APRIL, 2023.

GENERAL NOTES:
RECORDED LAND SURVEYS REVIEWED:
BK. 19, PG. 2
BK. 21, PGS. 54 & 54D.

THIS PLAT DOES NOT PURPORT TO VERIFY THE OWNERSHIP OF ANY PROPERTY SHOWN OR INVOLVED IN THIS SURVEY. ANY EASEMENTS OR OTHER INCUMBRANCES SHOULD BE DETERMINED BY A TITLE SEARCH.



LIMITATION OF LIABILITY:
The Surveyor's Certification is subject to a limitation of liability. The general public and client are on notice that this Survey is subject to a limitation of liability not to exceed the price of the contract between Hammes Surveying LLC and said client.



04/13/2023

HAMMES SURVEYING LLC
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