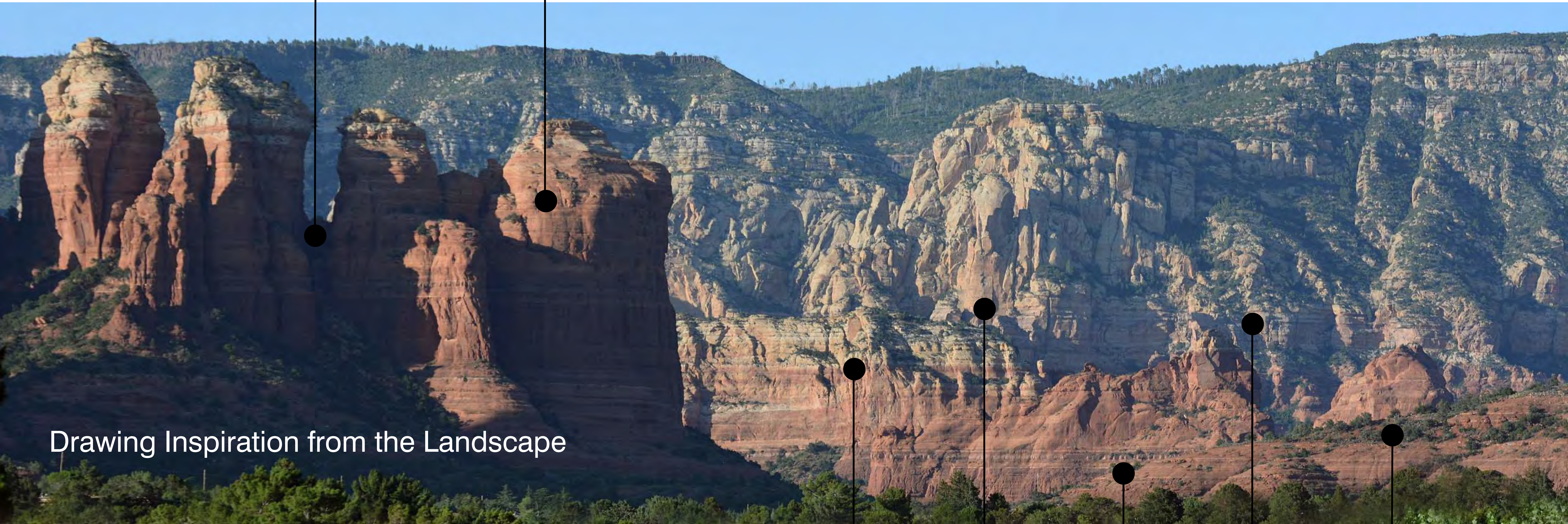


Exposed Steel



Sweeping Metal Facade | Corten Steel



Drawing Inspiration from the Landscape

Principal colors selected for the project are drawn from the surrounding natural environment.

The sweeping metal ribbon screening the south facade reflects the natural color and forms of the neighboring red rock formations. Constructed from durable and eco-friendly weathered steel, the screening material comprises the same iron oxide that gives Sedona's red rock its spectacular red color.

Red rock gabion walls surround the garage and will be formed from rock excavated from the site.

The use of stratified integral-colored concrete visually connects the structure to Sedona's natural geological history. New sustainable manufacturing practices and little to no maintenance throughout its service life makes concrete a good choice for the garage structure.



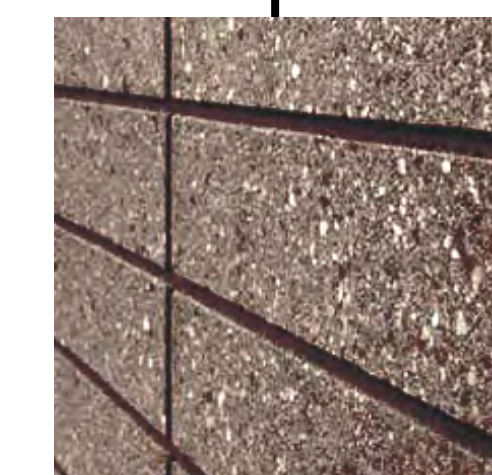
Stratified Concrete



Exterior Painted Surfaces



Rock Gabion Walls



Architectural Masonry



Landscape





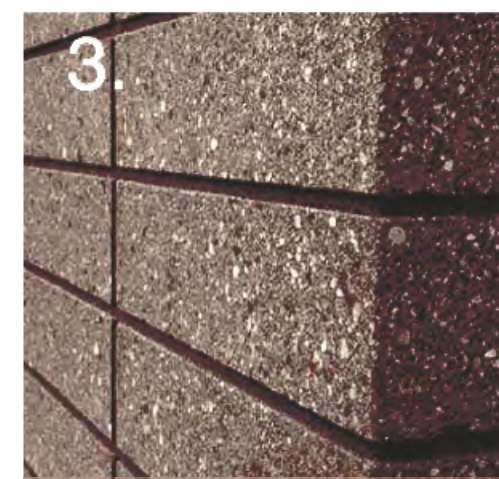
Forest Road



Integral Color Stratified Concrete



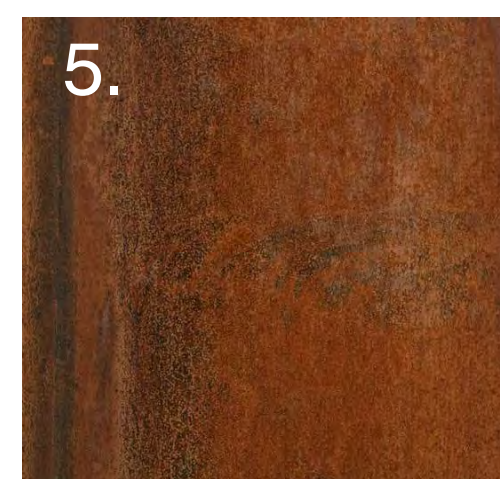
Cable Railing



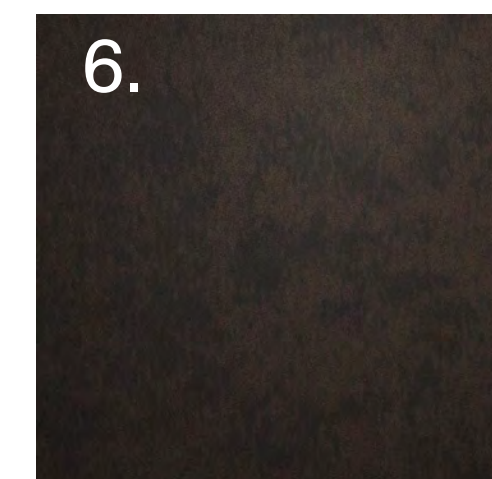
Architectural Masonry
Trendstone "Black Mountain"



Pedestrian Seating
Sandblasted Concrete



Sweeping Metal Facade
Corten Steel



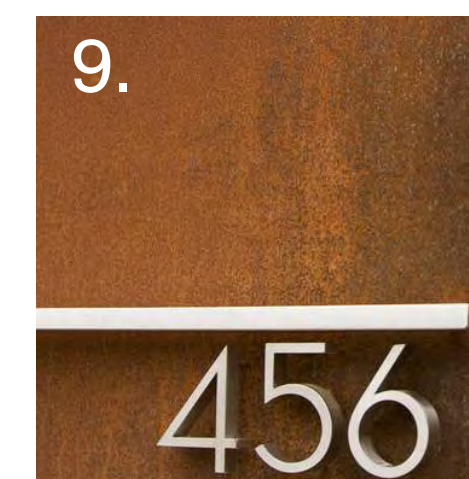
Exposed Steel
Dark Oiled Bronze Finish



Exterior Painted Surfaces
SW 6060 Moroccan Brown



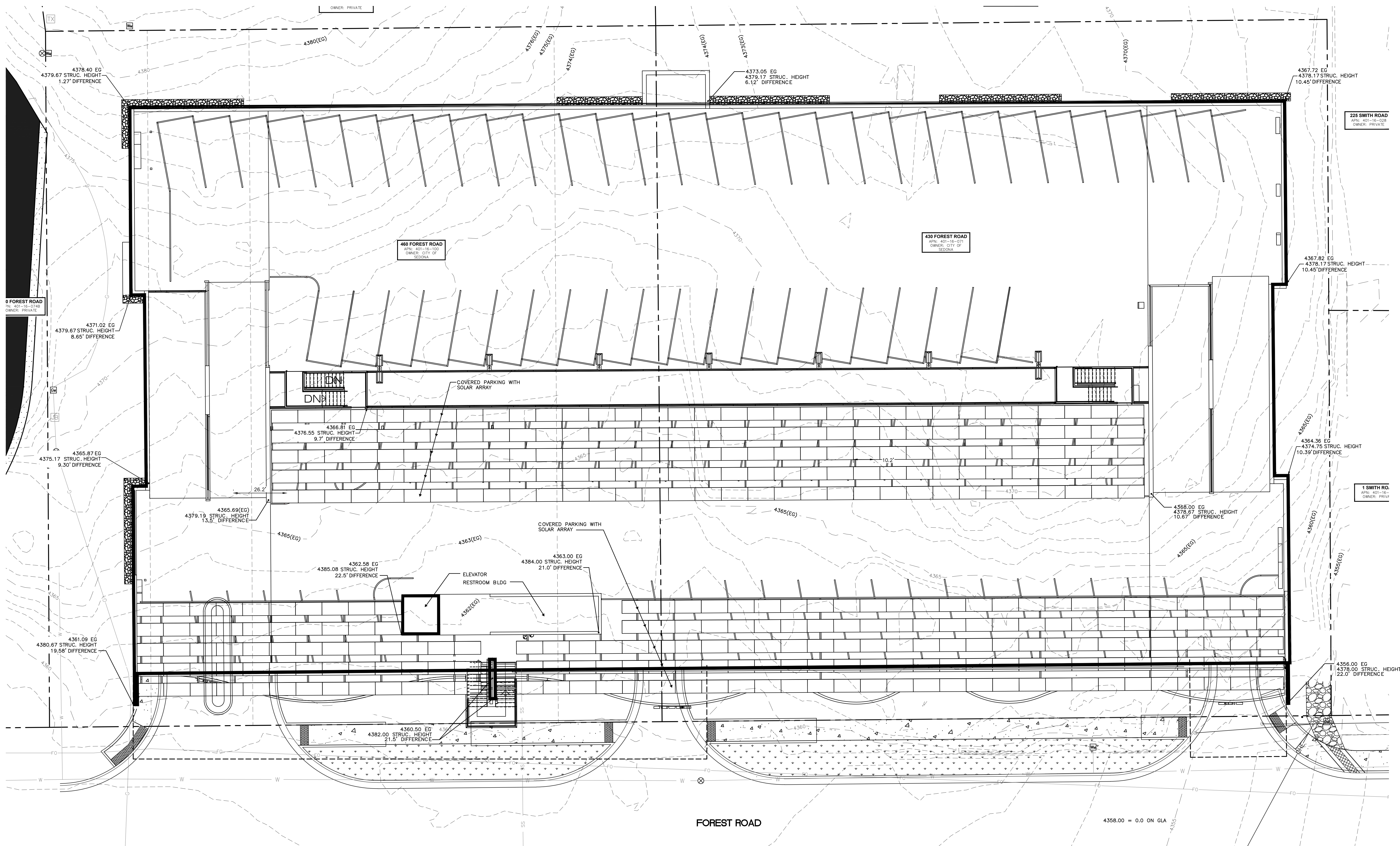
Red Rock Gabion Walls



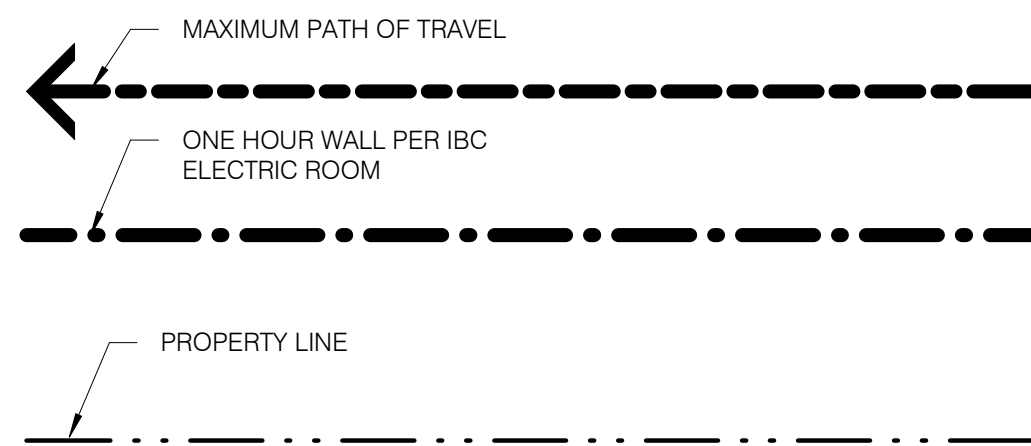
Garage Signage
Brushed Aluminum

- 10. Solar Array
- 11. Satellite Police Station
- 12. Bike Rental
- 13. Restrooms





SYMBOL LEGEND



PARKING COUNTS

BASEMENT LEVEL
97 SPACES

GROUND LEVEL
74 SPACES
7 ACC. SPACES

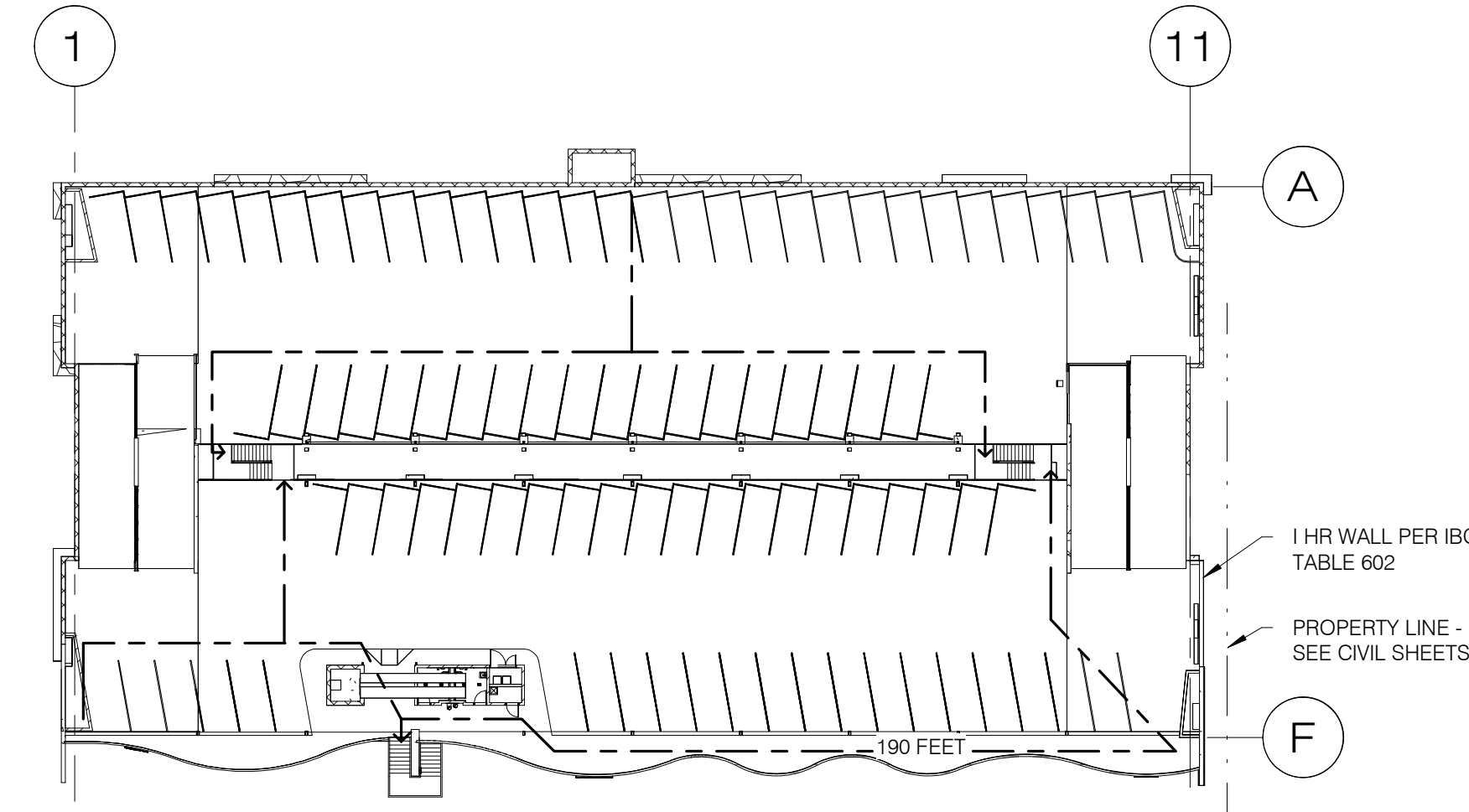
UPPER LEVEL
97 SPACES

TOTAL SPACES: 275

PARKING NOTES:

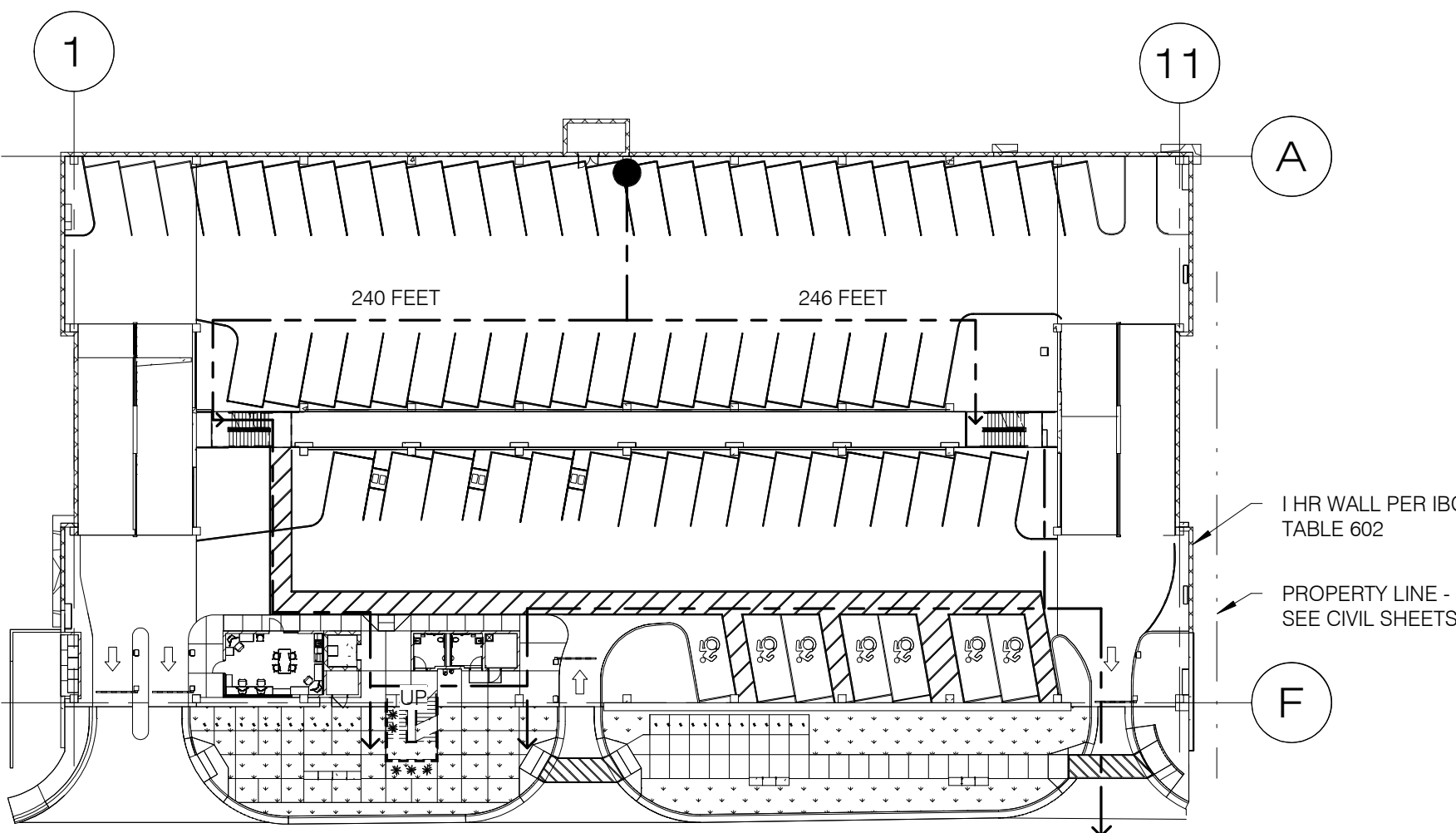
EACH ACCESSIBLE PARKING SPACE SHALL COMPRISE RECTANGULAR AREAS NOT LESS THAN 11 FEET WIDE BY 18 FEET LONG WITH A 5-FOOT MINIMUM WIDTH ACCESS AISLE ON ITS RIGHT SIDE (EXCEPT IN LAYOUTS WHEREIN 2 ACCESSIBLE PARKING SPACES SHARE A SINGLE 5-FOOT-WIDE ACCESS AISLE.

EACH ACCESS AISLE SHALL LEAD DIRECTLY TO AN ACCESSIBLE ROUTE OF TRAVEL.



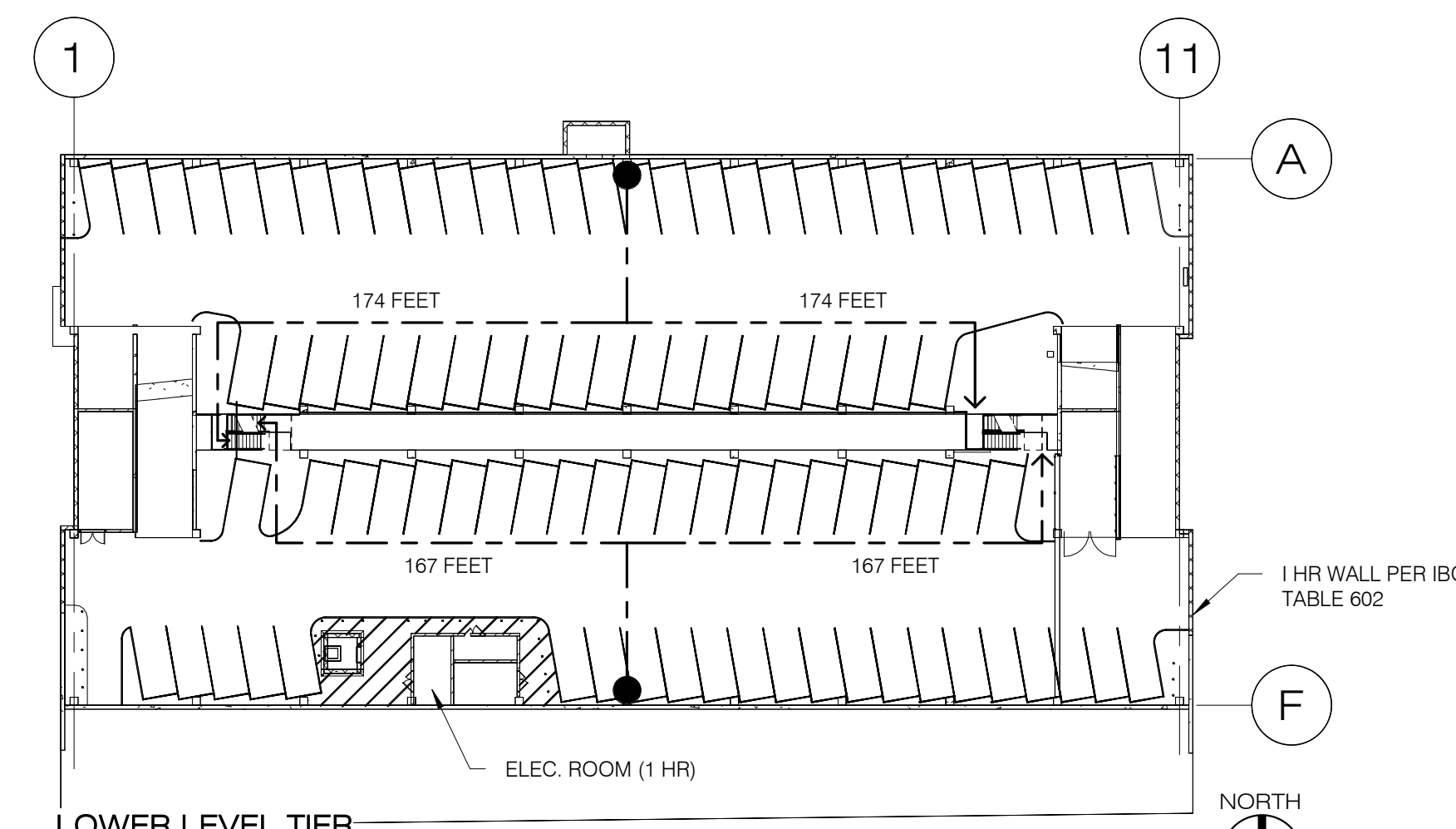
ROOF LEVEL TIER

1" = 40'



GROUND LEVEL TIER

1" = 40'



LOWER LEVEL TIER

1" = 40'

CODE ANALYSIS

GENERAL:		FIRE PROTECTION SYSTEM (CHAPTER 9)
LOCATION:	UPTOWN SEDONA PARKING GARAGE 430 & 460 Forest Road SEDONA, AZ 86336	THE BUILDING SHALL BE EQUIPPED WITH A FULLY AUTOMATIC FIRE SPRINKLER SYSTEM AND A FULLY ADDRESSABLE ALARM SYSTEM PER SECTION 903.
OWNER:	CITY OF SEDONA DEPARTMENT OF PUBLIC WORKS 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 (928) 204-7111	
ZONING:	M-3 Mixed Use APN 401-16-071 & 401-16-100	MEANS OF EGRESS (CHAPTER 10)
SITE AREA:	1.24 ACRES	OCCUPANT LOAD (IBC TABLE 1004.5):
BUILDING SIZE:	117,780 GSF (3 DECK TYPE STRUCTURE APPROXIMATELY 270 PARKING SPACES)	OCCUPANT LOAD FACTOR = 200 GROSS
APPLICABLE CODES:		BASEMENT LEVEL (38,195 SF) = 191 TOTAL OCCUPANTS GROUND LEVEL FLOOR (38,495 SF) = 193 TOTAL OCCUPANTS UPPER LEVEL (40,183 SF) = 201 TOTAL OCCUPANTS
ALL AS AMENDED BY CITY OF SEDONA 2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2017 NATIONAL ELECTRIC CODE (NEC) 2018 UNIFORM PLUMBING CODE (UPC) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2010 AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)		GRAND TOTAL 585 TOTAL
TABLE 601, FIRE RESISTANCE OF BUILDING ELEMENTS		EXITS REQUIRED = 2 (SECTION 1006) EXITS PROVIDED = 2
CONSTRUCTION TYPE IIB		REQUIRED EXIT WIDTH = 165 OCCUPANTS X 2' / OCC. 34' REQUIRED > 9' PROVIDED (IBC 1005.3.1) PER 1011.2, MIN. STAIR WIDTH = 44', 44' MIN. STAIR WIDTH PROVIDED.
PRIMARY STRUCTURE	= 0 HOURS	1005.3.1 EXIT WIDTH: STAIRWAYS: 2 PROVIDED @ EACH PARKING LEVEL 88' COMBINED STAIR WIDTH PROVIDED @ BASEMENT > (0.3' x 191 OCC) = 58' REQUIRED 88' COMBINED STAIR WIDTH PROVIDED @ GROUND LEVEL > (0.3' x 193 OCC) = 58' REQUIRED 88' COMBINED STAIR WIDTH PROVIDED @ UPPER LEVEL > (0.3' x 201 OCC) = 60' REQUIRED
BEARING WALLS - EXTERIOR	= 0 HOURS	EXIT ACCESS STAIRWAYS AREA OF REFUGE EXCEPTION 2 FOR AUTOMATIC SPRINKLER SYSTEM (IBC 1009.3.3)
BEARING WALLS - INTERIOR	= 0 HOURS	EXIT ACCESS
NON-BEARING WALLS - INTERIOR	= 0 HOURS	TRAVEL DISTANCE, TABLE 1017.2
FLOOR CONSTRUCTION	= 0 HOURS	S-2 OCCUPANCY, SPRINKLERED = 400' > 174' ACTUAL MAX.
ROOF CONSTRUCTION	= 0 HOURS	
OCCUPANCY (IBC CHAPTER 3)		MAX. PLUMBING FIXTURE REQUIREMENTS
Section 311.3 (IBC) parking garages enclosed		PUBLIC TOILET FACILITIES ARE NOT REQUIRED FOR PARKING GARAGES WITHOUT PARKING ATTENDANTS (IBC 2902.3)
S-2 OCCUPANCY - Section 404.2 - ENCLOSED PARKING GARAGES, OPEN OR ENCLOSED.		4 UNISEX RESTROOMS PROVIDED: 4 TOILETS 4 URINALS 4 SINKS
ACCESSORY USES - Section 503 - ANY ACCESSORY OCCUPANCIES SHALL NOT EXCEED 10% OF THE BUILDING AREA.		4 DRINKING FOUNTAINS PROVIDED ALONG ACCESSIBLE ROUTE
S-2 MAIN OCCUPANCY		2 SERVICE SINKS PROVIDED
BASEMENT LEVEL PARKING	= 38,195 SF	
GROUND LEVEL PARKING	= 38,495 SF	
UPPER DECK LEVEL PARKING	= 40,183 SF	
TOTAL	116,873 SF	
ELECTRIC ROOM	= 244 SF	
IT CLOSET	= 261 SF	
STORAGE	= 130 SF	
RESTROOMS	= 280 SF	
TOTAL	915 SF	
ACCESSORY USE TOTAL = 915 SF < (10%) X (116,873 SF)		
NO OCCUPANCY SEPARATION REQUIRED		
PER 510.3 CONDITION 5 OFFICE, RESTROOMS & MECH. ROOMS WITH A TOTAL AREA LESS THAN 1,000 SF, BASEMENT LEVEL SHALL BE CONSIDERED A SEPARATE & DISTINCT BUILDING.		
BUILDING AREA / HEIGHT (IBC CHAPTER 5)		
AUTOMATIC FIRE SPRINKLER SYSTEM PROVIDED THROUGHOUT		
TABLE 504.3.		
ALLOWABLE HEIGHT, TYPE IIB CONSTRUCTION W/ SPRINKLERS = 75' 27' MAX ACTUAL HEIGHT < 75' ALLOWED		
TABLE 504.4		
ALLOWABLE NUMBER OF STORIES = 4 1 STORY ABOVE GRADE +1 BELOW = 3 ACTUAL < 4 ALLOWED		
TABLE 506.2, SECTION 506.2.4		
ALLOWABLE BASIC AREA, TYPE IIB CONSTRUCTION W/ SPRINKLERS (SM) = 78,000 SF/STORY > 40,183 (LARGEST FLOOR AREA)		
PER 506.3.2. W = (284' x 1') + (284' X 2/3) + (139' x 2/3) + (139' x 1/6) = 70'		
846'		

NOTICE OF EXTENDED PAYMENT PROVISION

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				RGH	
				Checked by:	Project Code:
				JL/JP	GLA PROJECT NO. 20109

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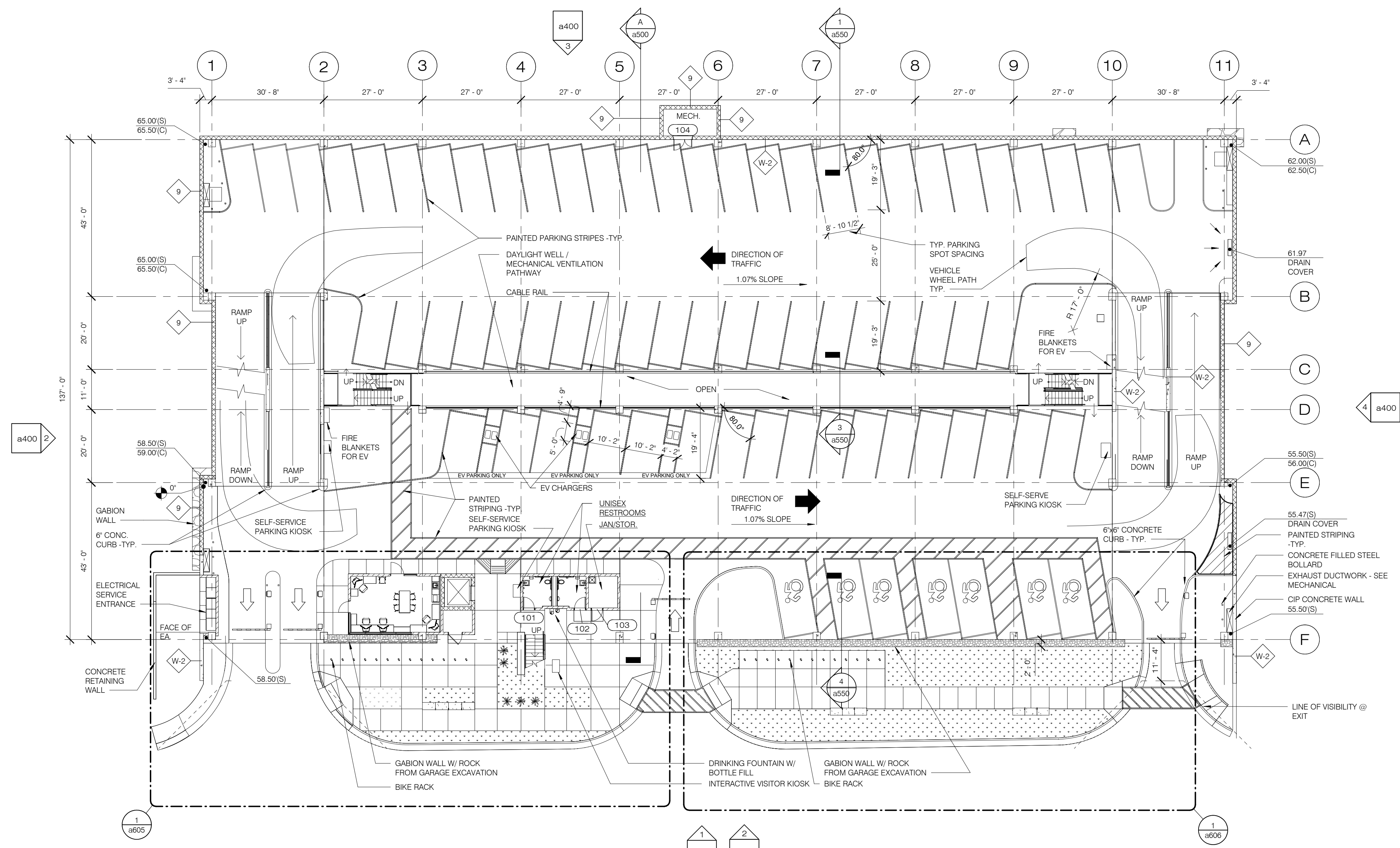


**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Occupancy & Code Analysis

SHEET ID
a001
SHEET NO.
OF

VERIFY SCALES 0 1"
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY



1 GROUND LEVEL TIER PLAN
1/16" = 1'-0"

WALL TYPE	DESCRIPTION
W-1	8" CONCRETE WALL, REINFORCE PER STRUCTURAL DOCUMENTS
W-2	12" CONCRETE WALL, REINFORCE PER STRUCTURAL DOCUMENTS
W-3	12x8x16 CONCRETE MASONRY UNITS, GROUT CELLS W/ REINFORCING PER STRUCTURAL DOCUMENTS.
W-4	8x8x16 CONCRETE MASONRY UNITS, GROUT CELLS W/ REINFORCING PER STRUCTURAL DOCUMENTS.
W-5	PLUMBING WALL, 5/8" CEMENT BOARD ON 3-5/8" METAL STUDS AT 16" O.C. PROVIDE WALL TILE FINISH.
W-6	CORRUGATED CORTEN PANELS OVER STEEL TUBE FRAME.
W-7	WIRE MESH FENCING & GATES OVER STEEL TUBE FRAMING.

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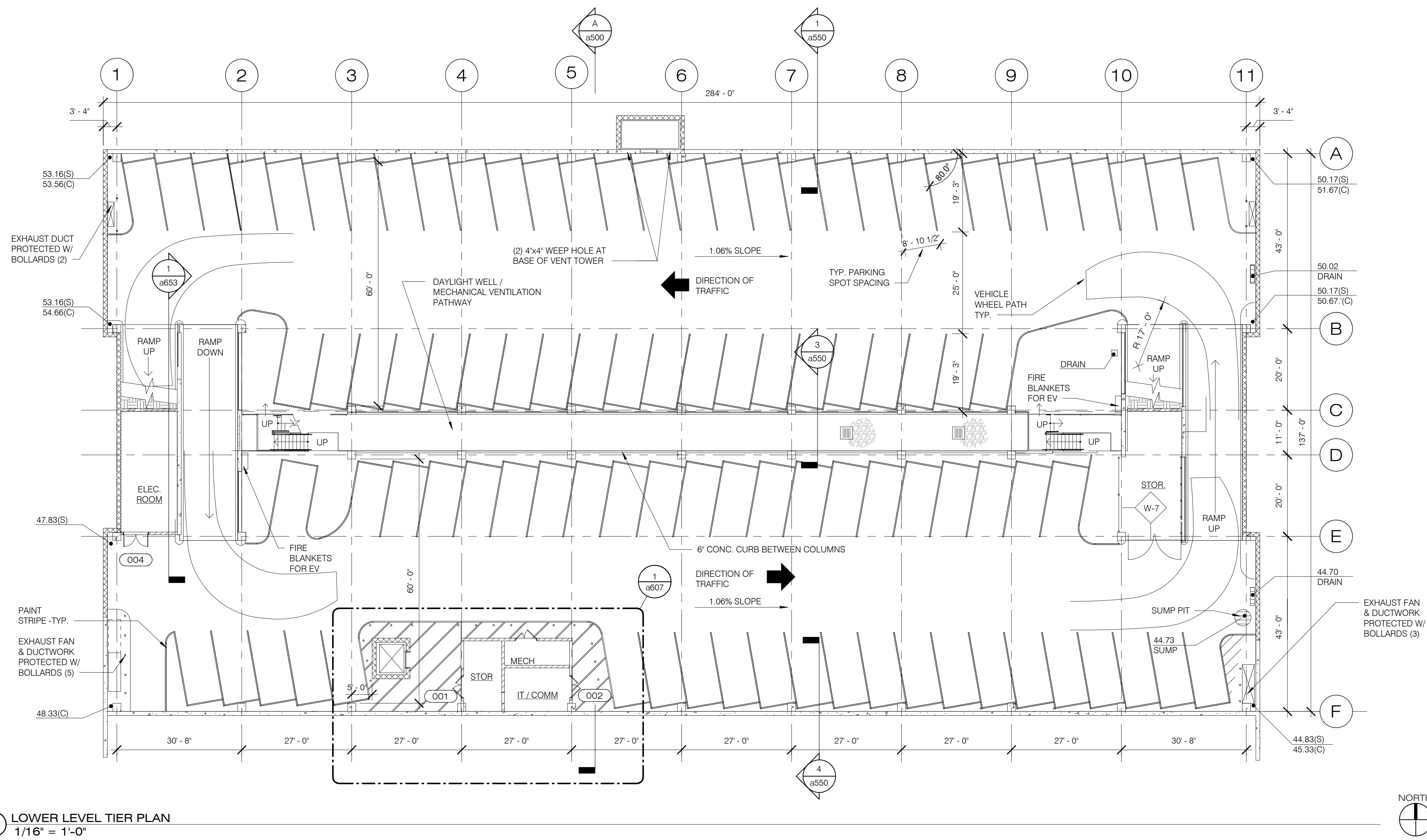
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**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Ground Level Tier Plan

SHEET ID
a101

SHEET NO.
OF



PARKING COUNTS	
BASEMENT LEVEL	93 SPACES
GROUND LEVEL	73 SPACES 7 ACC. SPACES 6 EV SPACES
UPPER LEVEL	94 SPACES
TOTAL SPACES:	260

WALL TYPE	DESCRIPTION
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W-7	WIRE MESH FENCING & GATES OVER STEEL TUBE FRAMING.

2 LOWER LEVEL TIER PLAN
1/16" = 1'-0"

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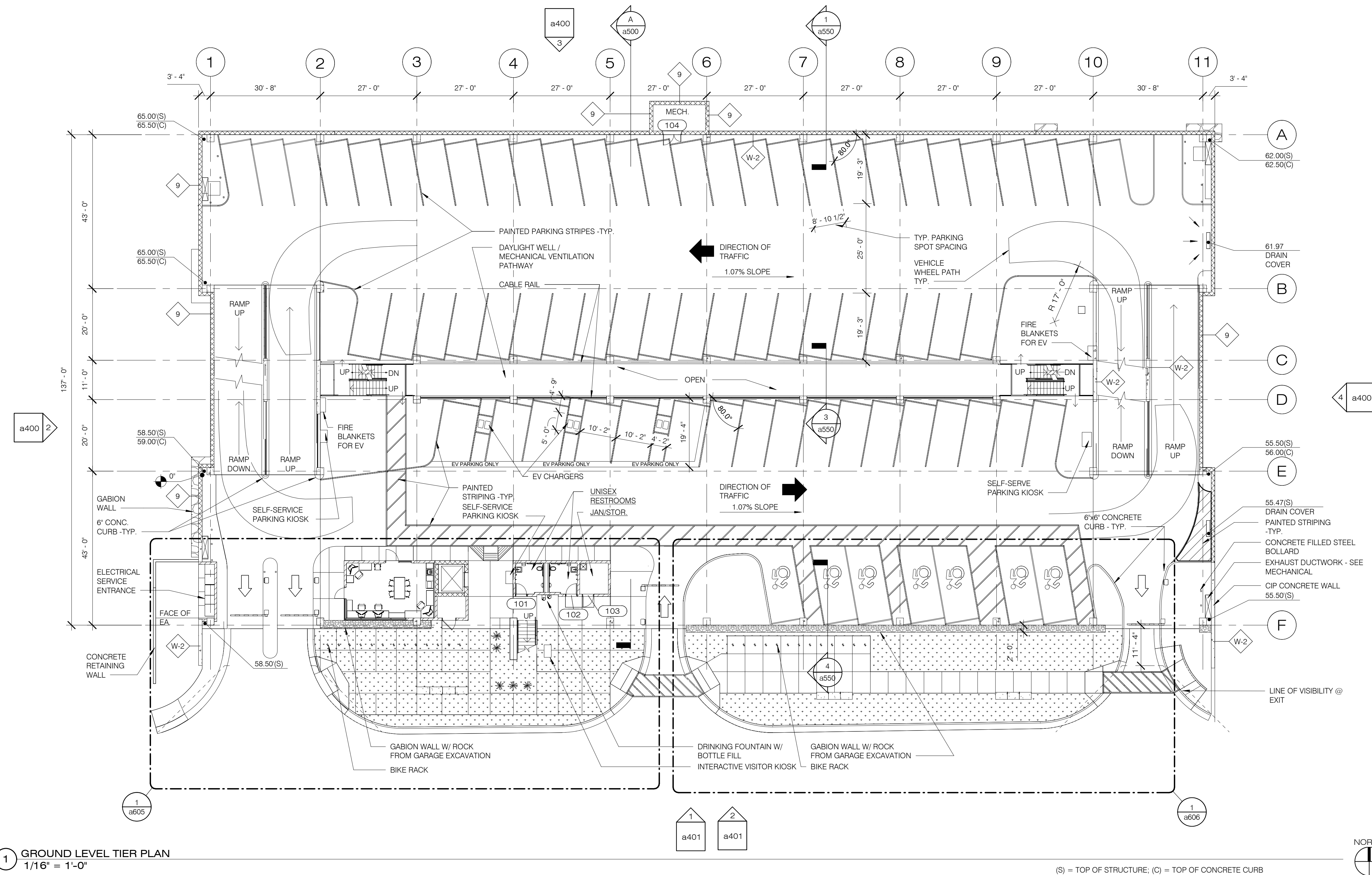
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gaborlorant.com



**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Lower Level Tier Plan

SHEET ID
a100
SHEET NO.
OF



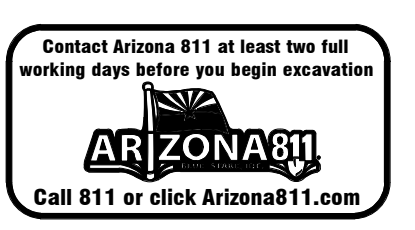
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W-7	WIRE MESH FENCING & GATES OVER STEEL TUBE FRAMING.

1 GROUND LEVEL TIER PLAN
1/16" = 1'-0"

(S) = TOP OF STRUCTURE, (C) = TOP OF CONCRETE CURB



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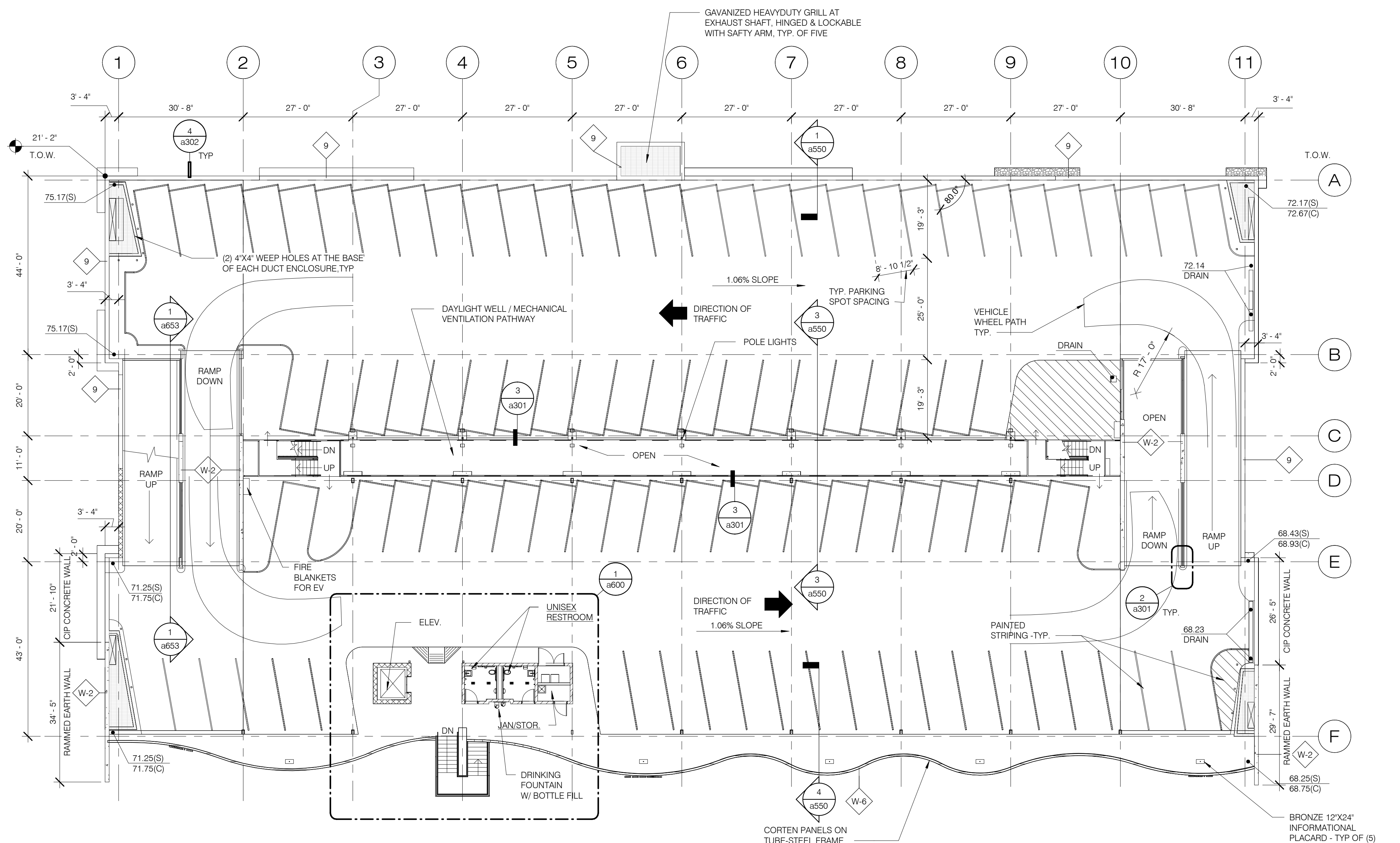
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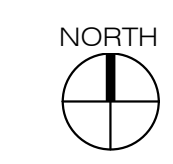
**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Ground Level Tier Plan

SHEET ID
a101
SHEET NO.
OF



1 UPPER LEVELS PLAN
1/16" = 1'-0"



WALL TYPE	DESCRIPTION
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**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Roof Level Tier Plan

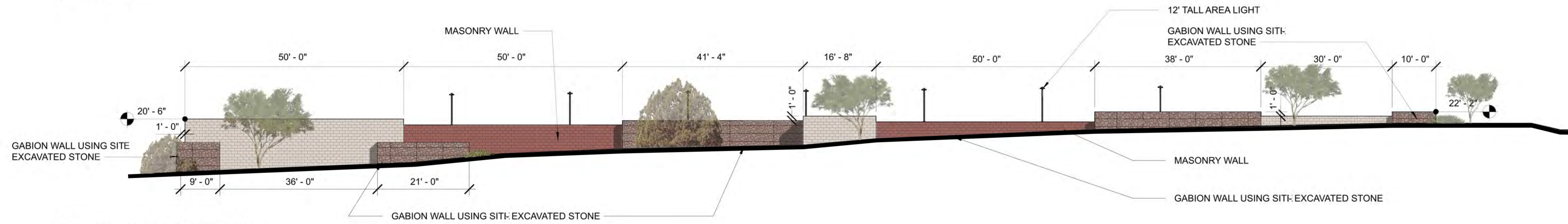
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a102
SHEET NO.
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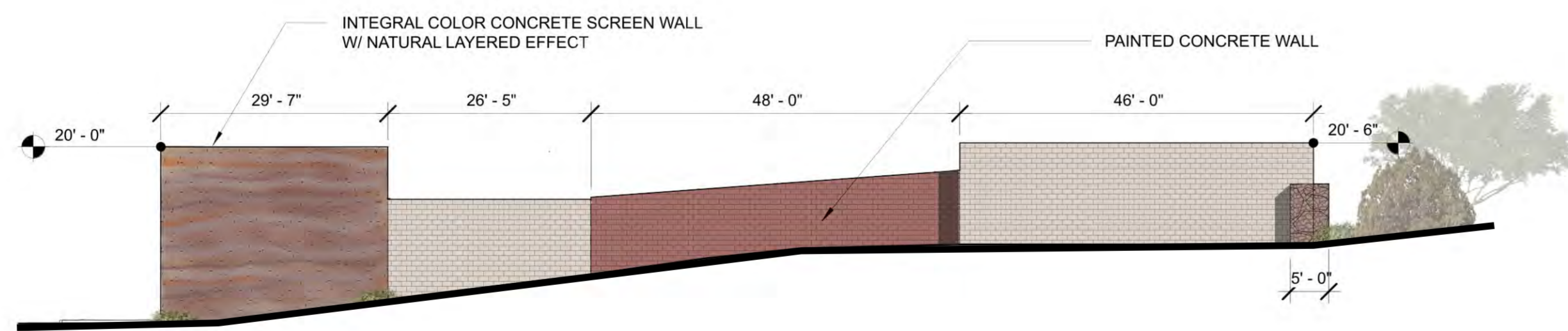
1 SOUTH -BUILDING ELEVATION
1/16" = 1'-0"



2 WEST -BUILDING ELEVATION
1/16" = 1'-0"



3 NORTH -BUILDING ELEVATION
1/16" = 1'-0"



4 EAST -BUILDING ELEVATION
1/16" = 1'-0"

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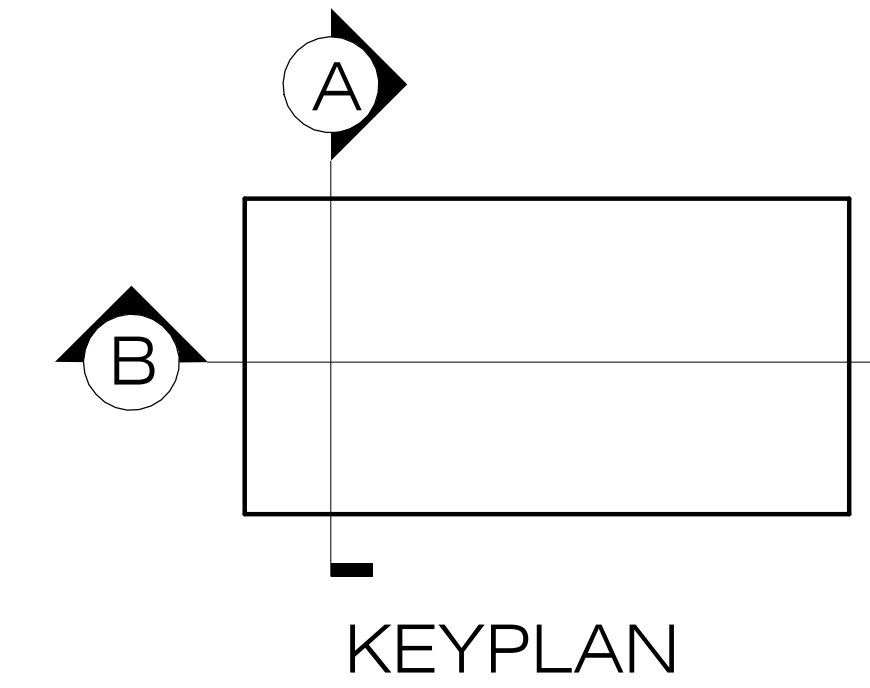
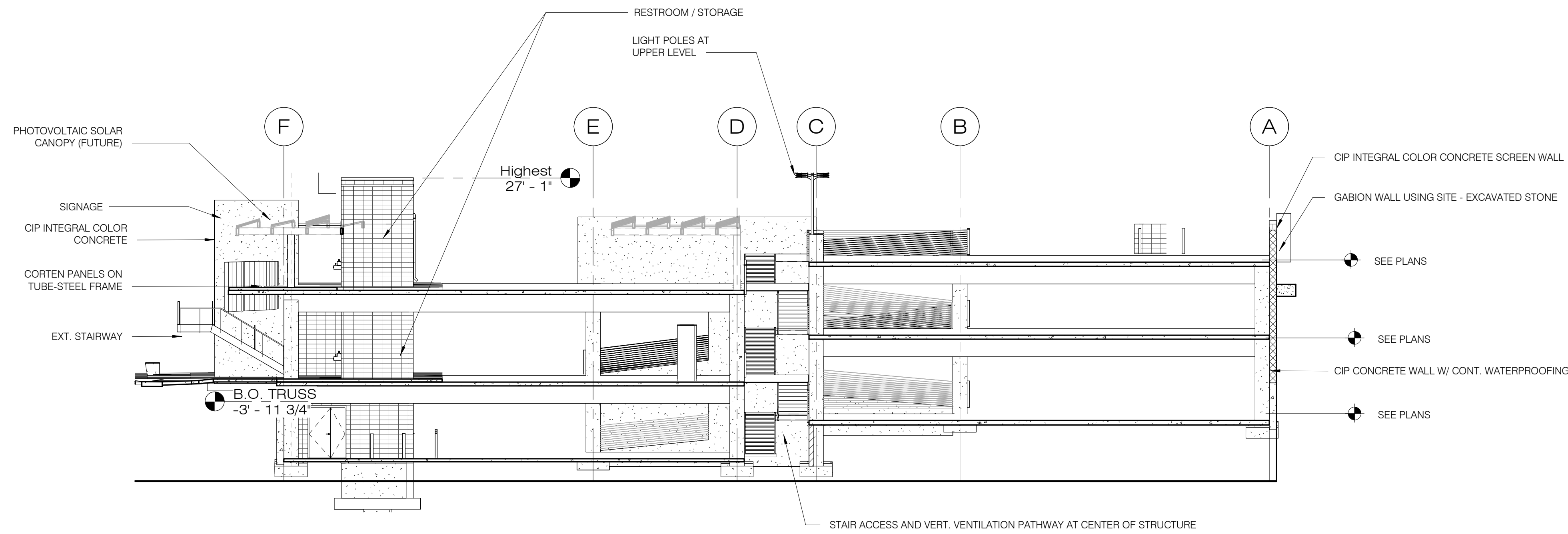
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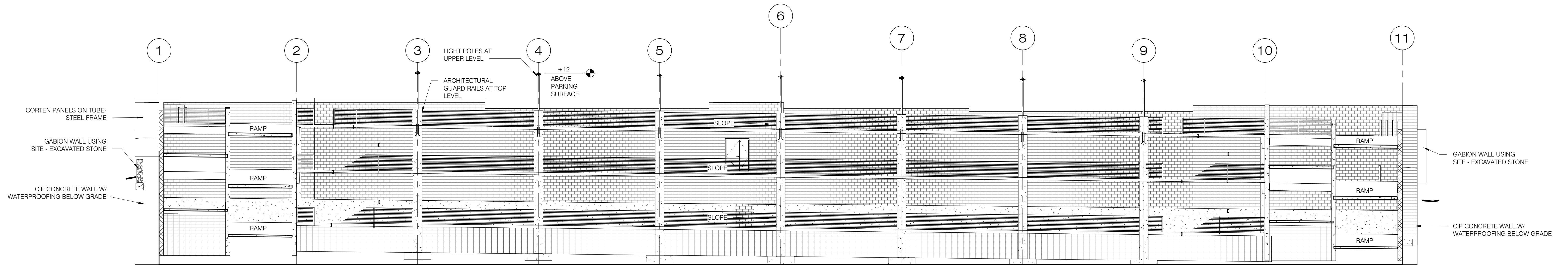
CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Exterior Elevations

SHEET ID
a400
SHEET NO.
OF



Section - A
3/32" = 1'-0"



Section - B
3/32" = 1'-0"

NOTICE OF EXTENDED PAYMENT PROVISION

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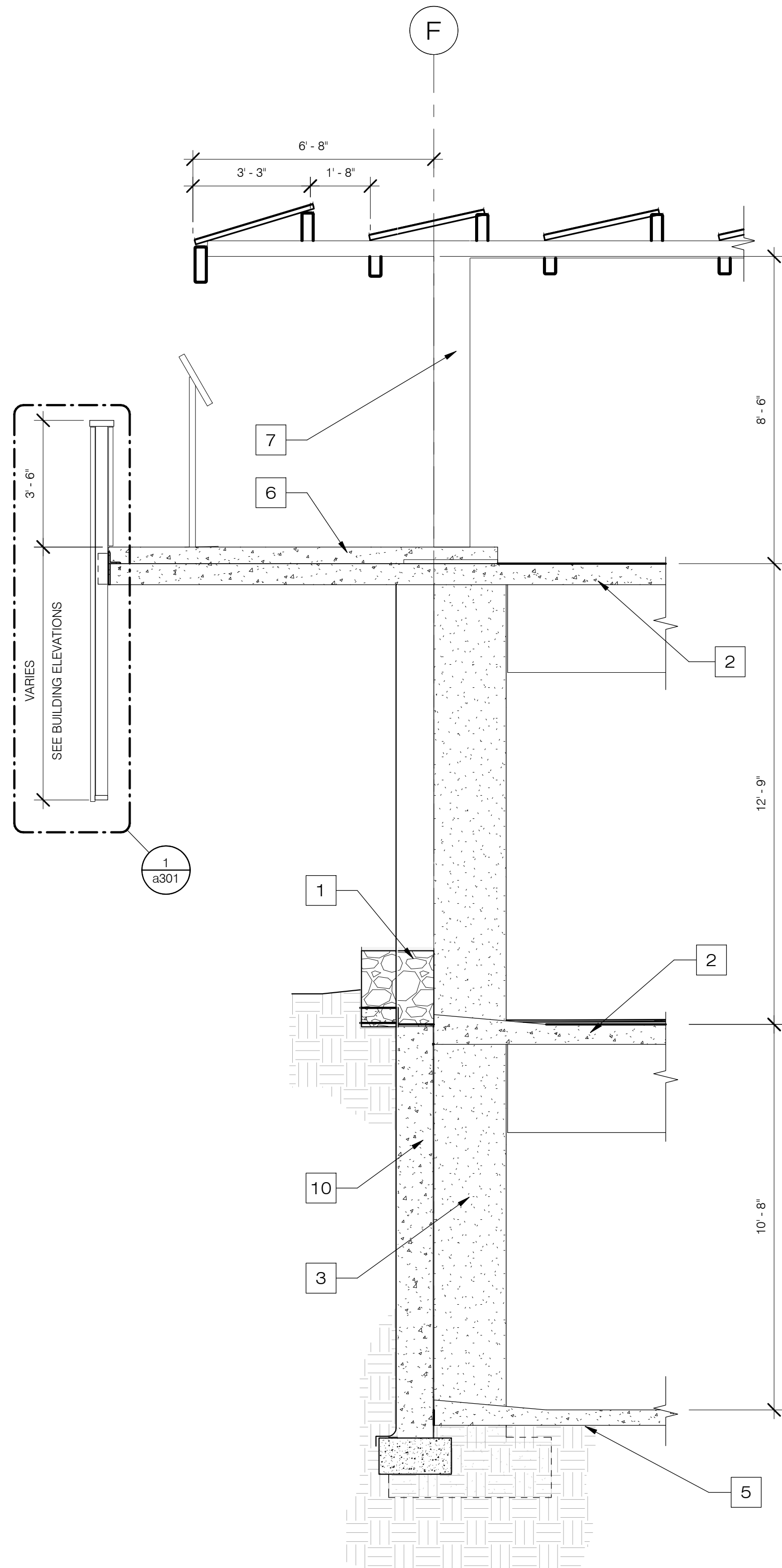
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PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Sections

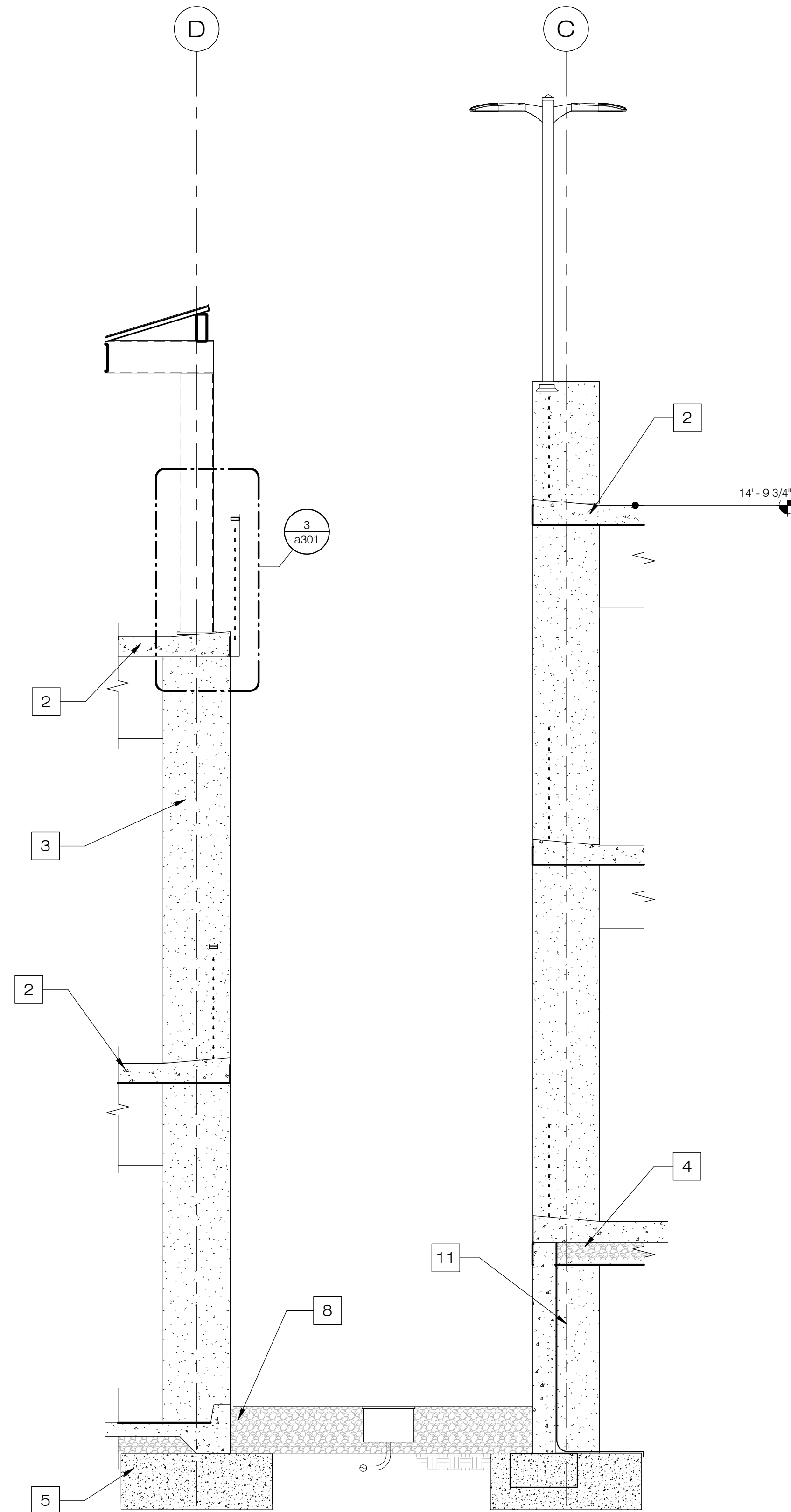
SHEET ID
a500
SHEET NO.
OF

KEYNOTES

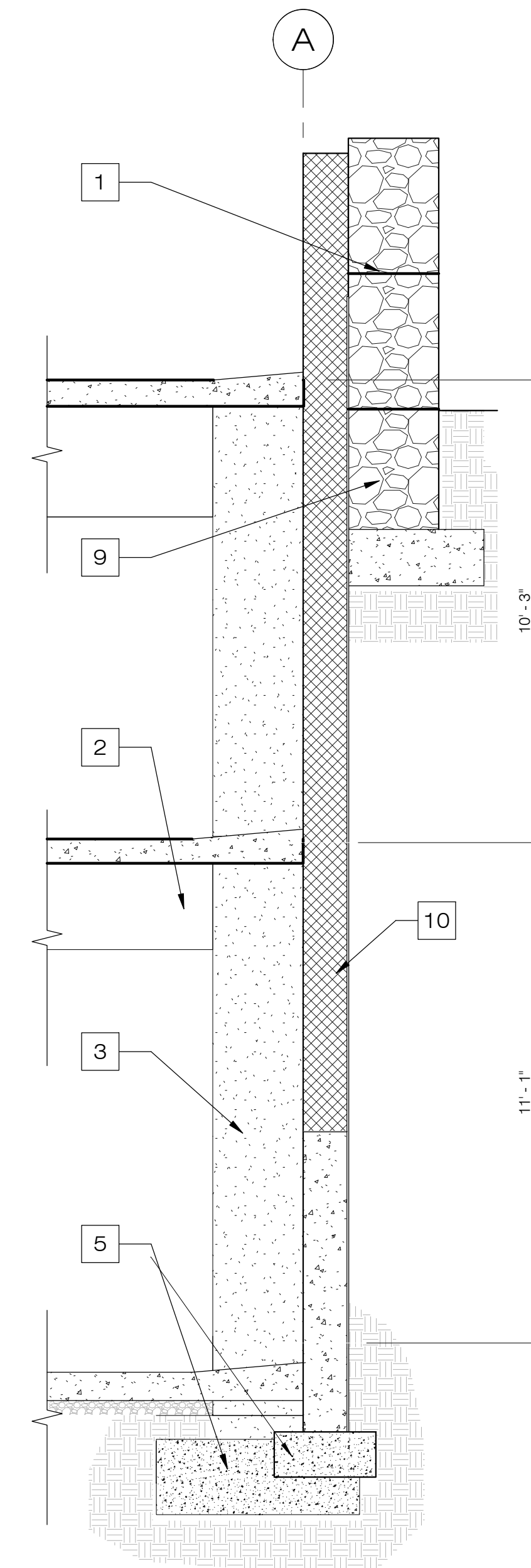
1	24" DEEP GABION ROCK WALL
2	ELEVATED CONCRETE SLAB & BEAMS - SEE STRUCTURAL SHEETS
3	CONCRETE COLUMN - SEE STRUCTURAL SHEETS
4	CONCRETE SLAB ON GRADE - SEE STRUCTURAL SHEETS
5	CONCRETE FOOTING - SEE STRUCTURAL SHEETS
6	CONCRETE TOPPING SLAB, MIN 3-1/2" THICK, SLOPE TO DRAIN
7	SOLAR CANOPY & SUPPORT
8	5" TALL CONCRETE CURB
9	12" THICK X 3' WIDE CONCRETE FOOTING
10	12" THICK CONCRETE WALL
11	8" THICK CONCRETE WALL



4 WALL SECTION
3/8" = 1'-0"



3 WALL SECTION
3/8" = 1'-0"



1 WALL SECTION
3/8" = 1'-0"

NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129 01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.



VERIFY SCALES 0 1" BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JL	11 March 2024
				Drawn by:	
				RGH	
				Checked by:	Project Code:
				JL/JP	GLA PROJECT NO. 20109

gabor lorant architects
3326 n. 3rd avenue suite 200
phoenix, arizona 85013
tel: 602.667.9090
fax: 602.667.9133
gaborlorant.com



**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

Uptown Sedona Parking Facility
420 Forest Road, Sedona, AZ
Wall Sections

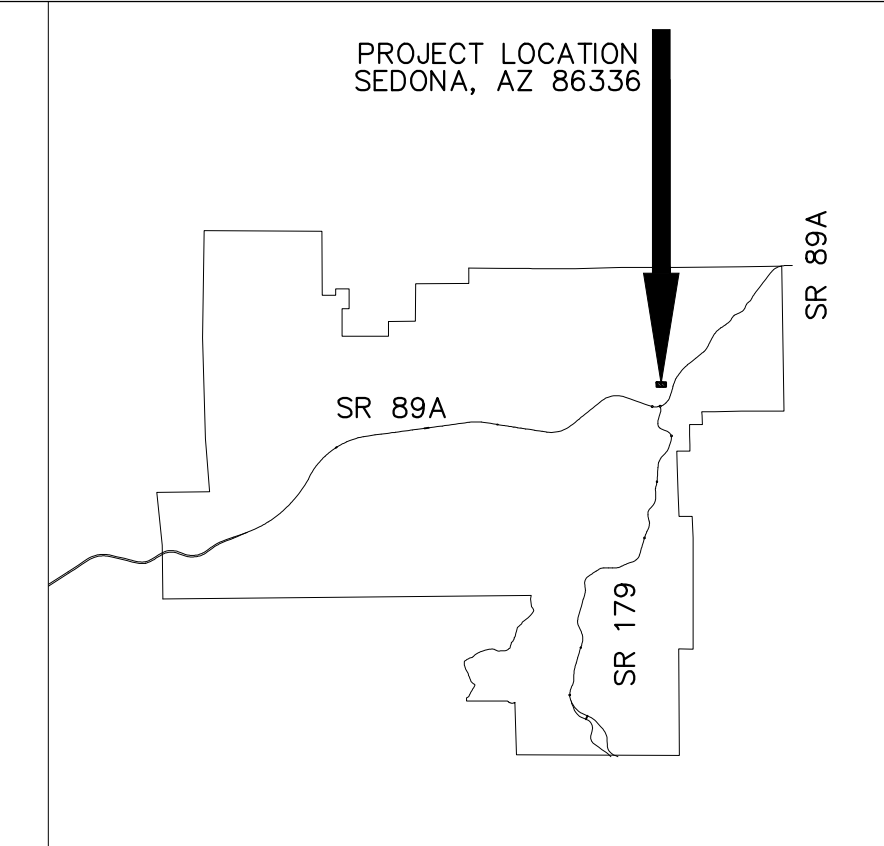
SHEET ID
a550
SHEET NO.
OF

CITY OF SEDONA

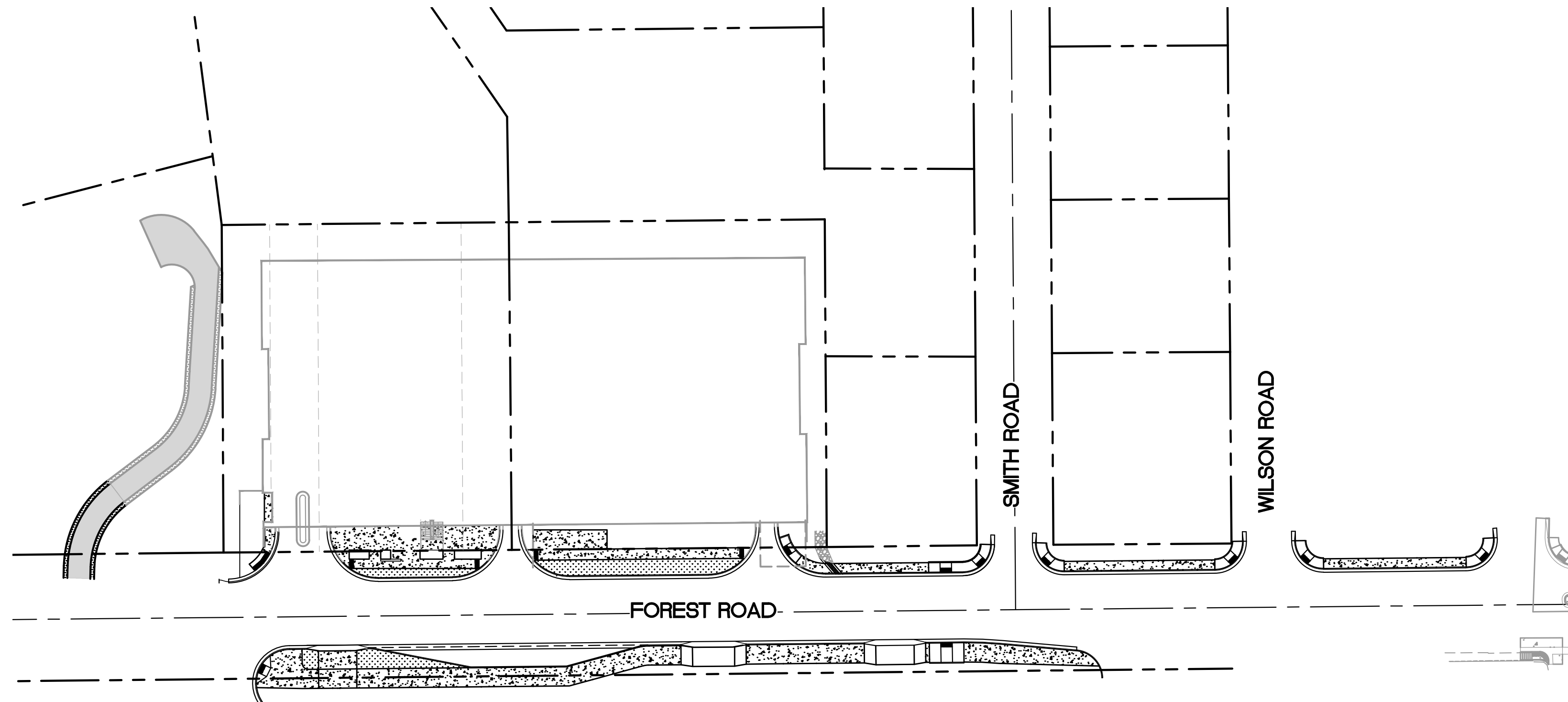
FOREST ROAD AT UPTOWN SEDONA PARKING GARAGE

PROJECT NO. SEDONA IN MOTION (ST-XX)

LOCATED IN A PORTION OF SECTION 07, TOWNSHIP 17 NORTH,
RANGE 6 EAST, GILA AND SALT RIVER MERIDIAN,
COCONINO COUNTY, ARIZONA.



Sheet List Table		
Sheet Number	Sheet Title	Sheet Description
01	COVERSHEET	CV01
02	GENERAL NOTES	GN01
03	TYPICAL SECTIONS	GN02
04	GEOMETRIC CONTROL	GC01
05	DEMOLITION PLAN	DM01
06	GRADING AND DRAINAGE PLAN	GD01
07	STORM DRAIN PLAN	SD01
08	ROADWAY PLAN	RD01
09	ROADWAY PLAN	RD02
10	EROSION CONTROL PLAN	EC01
11	EROSION CONTROL PLAN	EC02



UTILITY COORDINATION BLOCK

<input type="checkbox"/>	ARIZONA PUBLIC SERVICE	KELLIE MCCUNE <small>COMPANY REPRESENTATIVE CONTACTED</small>	RECEIVED: _____
<input type="checkbox"/>	ARIZONA WATER COMPANY	CASEY GOFF <small>COMPANY REPRESENTATIVE CONTACTED</small>	RECEIVED: _____
<input type="checkbox"/>	SUDDEN LINK	JASON QUINLAN <small>COMPANY REPRESENTATIVE CONTACTED</small>	RECEIVED: _____
<input type="checkbox"/>	UNISOURCE	TAYLOR MATHE <small>COMPANY REPRESENTATIVE CONTACTED</small>	RECEIVED: _____
<input type="checkbox"/>	CENTURY LINK	KEVIN WAGNER <small>COMPANY REPRESENTATIVE CONTACTED</small>	RECEIVED: _____
<input type="checkbox"/>	SEDONA SEWER	ROXANNE HOLLAND <small>COMPANY REPRESENTATIVE CONTACTED</small>	RECEIVED: _____



CONTACT INFORMATION

OWNER CITY OF SEDONA
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
(928) 204-7111
KURTIS HARRIS, P.E.
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

MAYOR SCOTT JABLOW

VICE MAYOR HOLLI PLOOG

CITY COUNCIL MELISSA DUNN
BRIAN FULTZ
PETE FURMAN
KATHY KINSELLA
JESSICA WILLIAMSON

CITY MANAGER KAREN OSBURN

ENGINEER KIMLEY-HORN & ASSOCIATES, INC.
ANDREW BAIRD, P.E.
101 W GOODWIN STREET, SUITE 303
PRESCOTT, AZ 86303
(928) 458-7121
ANDREW.BAIRD@KIMLEY-HORN.COM

APPROVALS

APPROVED: _____ DATE _____

KURTIS HARRIS, P.E.
DIRECTOR OF PUBLIC WORKS/CITY ENGINEER

RECORD DRAWING STATEMENT

I, _____, HEREBY STATE, BASED ON MY FIELD OBSERVATION AND INFORMATION PROVIDED BY THE GENERAL CONTRACTOR AND OTHERS, THAT THE WORK ON SHEETS 1 THROUGH 17, MARKED AS "RECORD DRAWING" HAS BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THESE CONSTRUCTION PLANS, SPECIFICATIONS, INCLUDING CHANGES AND REVISIONS.

REGISTERED LAND SURVEYOR/ENGINEER _____ DATE _____

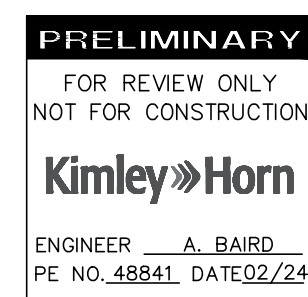
REGISTRATION NUMBER _____ EXPIRATION DATE _____



NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

K:\PRS_Roadway\091885001-Uptown Sedona Parking Garage\CAD\PlanSheets\CV01.dwg

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JRW	02/05/2024
				EKH	N/A
				ACB	091885001



Kimley-Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
101 WEST GOODWIN ST., SUITE 303 PRESCOTT ARIZONA, 86303
PHONE: 928-458-7121
WWW.KIMLEY-HORN.COM



CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

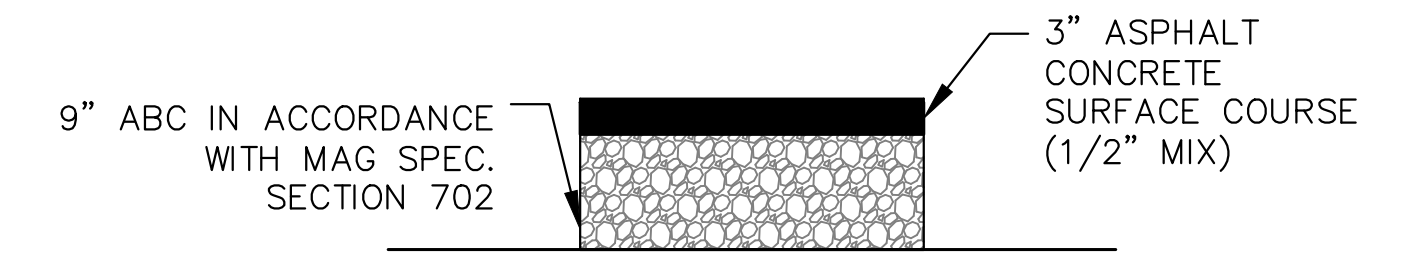
UPTOWN SEDONA
PARKING GARAGE
COVERSHEET

SHEET ID
CV01
SHEET NO.
01 OF 11

SEDONA GENERAL NOTES

A. GENERAL

- ALL STRUCTURES ARE DESIGNED TO ACT AS A STRUCTURAL UNIT UPON COMPLETION. CONTRACTOR SHALL DESIGN AND PROVIDE NECESSARY BRACING, TEMPORARY SUPPORTS, AND SHORING TO RESIST FORCES ON THE STRUCTURE DURING CONSTRUCTION.
- VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO STARTING WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO STARTING WORK.
- CONTRACTOR SHALL EXERCISE EXTREME CARE DURING THE EXCAVATION AND CONSTRUCTION FOR NEW STRUCTURE TO AVOID DAMAGE TO EXISTING STRUCTURES AND EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL MEANS AND METHODS REQUIRED TO FACILITATE CONSTRUCTION OF THE WORK AND ENSURING THE SAFETY, STABILITY AND INTEGRITY OF ADJACENT STRUCTURES AND FACILITIES.
- THE ENGINEER SHALL BE NOTIFIED A MINIMUM OF 24 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
- ANY WORK PERFORMED WITHOUT THE KNOWLEDGE AND APPROVAL BY THE ENGINEER AND/OR ALL WORK MATERIAL NOT IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- NO JOB WILL BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS (NEW AND EXISTING) HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS.
- ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE, ARE NOT VERIFIED BY THE ENGINEER, AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. PAYMENT WILL BE BASED ON BID SCHEDULE ITEMS. THE CONTRACTOR SHALL NOT BE RELIEVED OF HIS RESPONSIBILITY FOR INDEPENDENTLY ESTIMATING WORK QUANTITIES PRIOR TO BIDDING.
- BACKFILL COMPACTION AND SUBGRADE PREPARATION SHALL BE PER MAG STANDARD SPECIFICATION 301, UNLESS OTHERWISE NOTED.
- REMOVAL OF STRUCTURES AND OBSTRUCTIONS AS NECESSARY TO COMPLETE THE WORK, OTHER THAN SPECIALLY SCHEDULED IN THE BID, IS INCIDENTAL TO THE CONTRACT. NO SEPARATE MEASUREMENT OF PAYMENT FOR UNSCHEDULED REMOVAL ITEMS WILL BE MADE.
- CONSTRUCTION STAKING SHALL BE BY THE CONTRACTOR'S SURVEYOR WITH CONTROL PROVIDED BY THE DESIGN ENGINEER WHO STAMPED THE PLANS.
- THE SEDONA CITY MAY ORDER ANY OR ALL WORKMANSHIP AND MATERIALS TO BE TESTED ACCORDING TO APPLICABLE STANDARDS.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL REWORK AND/OR REMOVAL AND REPLACEMENT OF ALL MATERIALS AND/OR WORKMANSHIP REPRESENTED BY A FAILING TEST.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS OF TESTING AND QUALITY ASSURANCE/QUALITY CONTROL AS DELINEATED IN THE CITY'S PROJECT SPECIFICATIONS. THE COST OF TESTING IS INCIDENTAL TO EACH ITEM OF WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COST OF ANY CITY INSPECTION AND CITY INSPECTION TIME IF THE CONTRACTOR'S WORK IS BEING PERFORMED IN OVERTIME, AT NIGHT, OR ON WEEKENDS (FRI, SAT, SUN).
- APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE. TESTING AND EVALUATION MAY CONTINUE UNTIL WRITTEN FINAL ACCEPTANCE OF A COMPLETE AND WORKABLE UNIT.
- THE OWNER MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN ITS JUDGEMENT, PROGRESS IS UNSATISFACTORY, WORK BEING DONE IS UNAUTHORIZED OR DEFECTIVE, WEATHER CONDITIONS ARE UNSUITABLE, OR THERE IS A DANGER TO THE PUBLIC HEALTH OR SAFETY.
- CLEARING AND GRUBBING IS CONSIDERED INCIDENTAL TO THE WORK UNLESS SEPARATELY IDENTIFIED IN THE BID SCHEDULE. NO SEPARATE MEASUREMENT OF OR PAYMENT FOR CLEARING, GRUBBING, AND TREE REMOVAL WILL BE MADE. THE SITE OF ALL EXCAVATION, EMBANKMENTS, AND FILLS SHALL FIRST BE CLEARED OF STUMPS, TRASH, WEEDS, RUBBISH, AND LOOSE BOULDERS WHICH SHALL BE REMOVED AND DISPOSED OF. THE CONTRACTOR MUST SATISFY HIMSELF REGARDING THE CHARACTER AND AMOUNT OF LOAM, CLAY, SAND, QUICKSAND, HARDPAN, GRAVEL, ROCK, WATER, AND ALL OTHER MATERIAL TO BE ENCOUNTERED AND WORK TO BE PERFORMED.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON FIELD DATA AND MAP RECORDS. THE CONTRACTOR SHALL CONTACT 1-800-STAKE-IT PRIOR TO ANY CONSTRUCTION ACTIVITY TO VERIFY THE ACTUAL LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL DETERMINE WHICH UTILITIES DO NOT PARTICIPATE IN 1-800-STAKE-IT AND CONTACT THEM DIRECTLY TO VERIFY THE LOCATION OF THOSE UTILITIES. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR'S OPERATION SHALL BE REPORTED TO THE UTILITY OWNER IMMEDIATELY AND REPAIRED OR REPLACED AT NO COST TO THE CITY. IN CASES WHEN THE EXISTING UTILITIES ARE NOT AS DEPICTED ON THE PLANS SOME MINOR DEVIATION TO THE PROPOSED ALIGNMENT MAY BE ALLOWED TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN UTILITIES. ANY PROPOSED TO MAINTAIN MINIMUM SEPARATION DISTANCES BETWEEN UTILITIES. ANY PROPOSED TO CHANGES TO THE ALIGNMENT MUST BE SUBMITTED TO THE CITY'S REPRESENTATIVE FOR REVIEW. NO CHANGES WILL BE ALLOWED WITHOUT PRIOR APPROVAL.
- THE CONTRACTOR SHALL LIMIT THE WORK AREA TO PUBLIC RIGHT-OF-WAY AND PERMANENT EASEMENTS AS SHOWN FOR CONSTRUCTION OF THE PROJECT. TEMPORARY CONSTRUCTION EASEMENTS EXIST AS SHOWN AND INDICATED IN THE PLANS.
- CONTRACTOR SHALL OBTAIN ANY ADDITIONAL TEMPORARY EASEMENTS OR USE AGREEMENTS THAT ARE DEEMED NECESSARY FOR CONSTRUCTION AT NO ADDITIONAL COST TO THE CITY. COPIES OF ALL CONTRACTOR OBTAINED EASEMENTS AND USE AGREEMENTS SHALL BE PROVIDED TO THE CITY'S REPRESENTATIVE PRIOR TO THE UTILIZATION OF THE SITE.
- THE CONTRACTOR SHALL GRADE, AND RESURFACE ALL AREAS DISTURBED BY CONSTRUCTION, INCLUDING LANDSCAPE ROCK, IN ACCORDANCE WITH THE SPECIFICATIONS AND TO A CONDITION EQUAL TO, OR BETTER THAN, THE PRE-CONSTRUCTION CONDITION.
- THE CONTRACTOR SHALL PROTECT ALL CONCRETE STRUCTURES TO REMAIN. ALL CONCRETE REPLACEMENT SHALL BE FROM JOINT TO JOINT (WALLS, SIDEWALK) AND SHALL BE REPLACED WITH 4000 PSI CONCRETE. ALL DAMAGED CONCRETE PANELS MUST BE REPLACED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE PROTECTION TO PREVENT UNDERMINING OR DAMAGING THE STRUCTURAL INTEGRITY OF ALL FENCES, RETAINING WALLS, STREET SIGNS, OTHER UTILITY POLES, OR OTHER PRIVATE OR PUBLIC IMPROVEMENTS WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNING UTILITY AS NECESSARY TO PROVIDE TEMPORARY SUPPORT, OR PROTECTION DURING CONSTRUCTION WORK, AND SHALL NEATLY REMOVE AND PROMPTLY REPLACE NON UTILITY IMPROVEMENTS WITHOUT UNDUE DISRUPTION. THE COST OF ALL SUCH PROTECTION, REMOVAL, AND REPLACEMENT REQUIRED TO COMPLETE THE PROJECT SHALL BE SUBSIDIARY TO OTHER BID ITEMS.
- THE CONTRACTOR SHALL REMOVE ALL FENCING, ASPHALT AND CONCRETE ROADS AND DRIVEWAYS, CURB AND GUTTER, RIP-RAP, DRAINAGE CULVERTS AND ASSOCIATED APPURTENANCES AS REQUIRED FOR CONSTRUCTION PURPOSES. ALL ITEMS DAMAGED OR REMOVED SHALL BE RESTORED IN ACCORDANCE WITH THE SPECIFICATION TO A CONDITION EQUAL TO, OR BETTER THAN, THEIR CONDITION PRIOR TO THE START OF THE PROJECT. ITEMS OF WORK NOT SPECIFICALLY INCLUDED IN THE MEASUREMENTS AND PAYMENT SECTION OF THE SPECIFICATIONS SHALL BE CONSIDERED SUBSIDIARY TO OTHER BID ITEMS AND SHALL NOT BE PAID FOR SEPARATELY.
- IT IS NOT THE INTENTION OF THE SPECIFICATIONS TO SUPERSEDE ANY FEDERAL, STATE OR LOCAL LAWS, REGULATIONS AND/OR ORDINANCES; THEY SHALL GOVERN IN ALL INSTANCES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SHOW A GOOD FAITH EFFORT AND TO PROTECT ALL EXISTING UTILITY TIES AND STRUCTURES AND TO ABIDE BY ALL FEDERAL, STATE AND LOCAL LAWS AND ORDINANCES IN THIS RESPECT.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS ON PRIVATE PROPERTY. ALL ITEMS DAMAGED OR REMOVED SHALL BE RESTORED IN ACCORDANCE WITH THE SPECIFICATION TO A CONDITION EQUAL TO, OR BETTER THAN, THEIR CONDITION PRIOR TO THE START OF THE PROJECT.
- PROPERTY LINES SHOWN ON DRAWINGS ARE APPROXIMATE.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS AS WELL AS THE LATEST ADDITION OF MAG STANDARDS AND DETAILS AND THE LHC ENGINEERING SPECIFICATIONS.
- ALL WORK SHALL BE PREFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY VANN ENGINEERING INC, DATED MAY 4, 2020.
- UNLESS OTHERWISE INDICATED, CURBING, WALKWAY/SUP SHALL UTILIZE "SEDONA RED" COLORED CONCRETE (SEDONA RED COLORATION AS MANUFACTURED BY HANSEN CONCRETE, COTTONWOOD, AZ).
- PRIOR TO CLEARING AND GRUBBING ACTIVITIES, THE CONTRACTOR SHALL STAKE THE LIMITS OF CUT AND FILL SLOPES (I.E. CONSTRUCTION LIMITS) AND COORDINATE A SITE WALK WITH THE CITY TO IDENTIFY TREE AND OTHER VEGETATION WITHIN CUT AND FILL LIMITS THAT CAN BE REASONABLY PROTECTED IN PLACE. SUCH VEGETATION SHALL BE FLAGGED FOR PRESERVATION.



TOTAL THICKNESS = 12"
PAVEMENT STRUCTURAL SECTION NO. 01

LEGEND

☒	EXISTING WATER METER	ⓔ	EXISTING ELECTRIC RISER
Ⓜ	EXISTING WATER RISER	---	PROPOSED GUTTER LINE
⊗	EXISTING WATER VALVE	---	EXISTING CONTOUR
⊗	EXISTING FIRE HYDRANT	---	PROPOSED CONTOUR
Ⓢ	EXISTING SANITARY SEWER MANHOLE	---	EXISTING STORM DRAIN
Ⓢ	EXISTING STORM DRAIN INLET	---	PROPOSED STORM DRAIN
Ⓢ	EXISTING STORM DRAIN MANHOLE	---	LIMITS OF DISTURBANCE
Ⓢ	EXISTING ELECTRIC POLE	---	FLOW LINE
⊙	EXISTING LIGHT POST	---	EXISTING SANITARY SEWER LINE
⊙	EXISTING SIGN	---	EXISTING COMMUNICATION LINE
Ⓜ	EXISTING TELEPHONE RISER	---	EXISTING GAS LINE
●	SURVEY BENCHMARK	---	EXISTING FIBER OPTIC LINE
Ⓜ	EXISTING ELECTRIC METER	---	EXISTING BUILDING OVERHANG
Ⓜ	EXISTING IRRIGATION VALVE	---	PROPERTY LINE, R.O.W.
		---	EXISTING WATER LINE

	PROPOSED CROSSWALK STRIPING
	PROPOSED SIDEWALK CURB RAMP
	PROPOSED LANDSCAPE AREA
	PROPOSED PAVEMENT
	PROPOSED CONCRETE
	REMOVE CONCRETE SIDEWALK
	EXISTING CONCRETE

ADOT GENERAL NOTES - ADOT ENCROACHMENT PERMITS

- A. THESE ADOT COMPLIANCE STATEMENTS SHALL BE INCLUDED IN YOUR PROJECT PLANS:
 "ALL WORK WITHIN THE ARIZONA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY, HELD EITHER IN EASEMENT, FEE OR DEDICATED, SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ADOT PUBLICATIONS AS CURRENTLY REVISED, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2008 EDITION
 - CONSTRUCTION STANDARD DRAWINGS - MAY 2012 EDITION INCLUDING REVISIONS
 - TRAFFIC ENGINEERING STANDARDS, GUIDELINES AND REFERENCES
 - GUIDELINES AND PROCESSES - JUNE 2015
 - ARIZONA MANUAL OF APPROVED SIGNS (MOAS)
 - SIGNING AND MARKING STANDARD DRAWINGS
 - SIGNALS AND LIGHTING STANDARD DRAWINGS
 - MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES - 2009 EDITION
 - ARIZONA SUPPLEMENT TO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES - 2009 EDITION
 - ANY AND ALL OTHER ADOT TRAFFIC ENGINEERING REFERENCES
 - APPROVED PRODUCTS LIST - CURRENT EDITION
 - EROSION AND POLLUTION CONTROL MANUAL FOR HIGHWAY DESIGN AND CONSTRUCTION - DECEMBER 2012
 - EROSION/SEDIMENT AND WATER QUALITY PROTECTION BEST MANAGEMENT PRACTICES (BMP) DETAILS
- B. IN ADDITION ANY AND ALL MATERIALS UTILIZED IN CONSTRUCTION WITHIN THE RIGHTS-OF-WAY OF THE ARIZONA DEPARTMENT OF TRANSPORTATION SHALL MEET THE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2021 EDITION AND/OR BE AN APPROVED MATERIAL LISTED IN THE CURRENT ADOT APPROVED PRODUCTS LIST ALSO KNOWN AS THE APL.
- C. ADOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2021 EDITION SECTION 106.08 SHALL APPLY WHEN PLANS REQUIRE THE USE OF AN ALTERNATIVE OR A SUBSTITUTION ARTICLE OF EQUIPMENT, MATERIAL OR PROCESS.
- D. ADDITIONALLY, SECTION 106.14 OF THE ADOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2021 EDITION SHALL APPLY WHEN A PRODUCT THAT IS NOT LISTED IN THE CURRENT APL PROPOSED FOR USE.
- E. ALL MATERIALS UTILIZED FOR A PERMITTED ACTIVITY SHALL BE SAMPLED AND TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FOLLOWING UNLESS OTHERWISE APPROVED IN WRITING BY THE ADOT:
- SECTION 106.04 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2008 EDITION
 - THE ADOT MATERIALS TESTING MANUAL
 - THE ADOT MATERIALS POLICY AND PROCEDURES DIRECTIVES MANUAL
 - APPLICABLE FEDERAL, AASHTO OR ASTM SPECIFICATION OR TEST DESIGNATIONS.
 - APPLICABLE SPECIFICATION OR TEST DESIGNATIONS OF OTHER RECOGNIZED ORGANIZATIONS.
- F. THE TERM "ENGINEER" AS STATED IN SECTION 106.08 AND SECTION 106.14 OF THE ADOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION - 2008 EDITION SHALL REFER TO THE ADOT DISTRICT DEVELOPMENT ENGINEER, THE DISTRICT ASSISTANT DISTRICT ENGINEER OR THE DISTRICT ENGINEER.
- G. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING PERMIT FOR CONSTRUCTION IN ADOT R.O.W.

ACRONYM / ABBREVIATION

AB	AGGREGATE BASE	H	HEIGHT	RT	RIGHT
ABC	AGGREGATE BASE COURSE	INV	INVERT	R	RADIUS
AC	ASPHALTIC CONCRETE	LI	LANDSCAPE ISLAND	R/W	RIGHT-OF-WAY
BP	BEGIN PROJECT	LT	LEFT	RDWY	ROADWAY
ϵ	CENTERLINE	LF	LINEAR FEET	SHT	SHEET
CONC	CONCRETE	M.A.G.	MARICOPA ASSOCIATION	SM	SURVEY MARKER
CONST	CONSTRUCTION		OF GOVERNMENTS	SS	SANITARY SEWER
COMM	COMMUNICATION	MH	MANHOLE	ST	STREET
DET	DETAIL	MIN	MINIMUM	STA	STATION
DP	DRIVE PATH	N	NORTHING	STD	STANDARD
E	EASTING	NO	NUMBER	STRUCT	STRUCTURAL
EA	EACH	P	PAVEMENT	SW	SIDEWALK
ELEC	ELECTRIC	PC	POINT OF CURVE	TBC	TOP BACK OF CURB
ELEV	ELEVATION	PCC	PORTLAND CEMENT CONCRETE	TEL	TELEPHONE
EP	END PROJECT	PI	POINT OF INTERSECTION	TEMP	TEMPORARY
EXIST	EXISTING	POB	POINT OF BEGINNING	TOP	TOP OF PIPE
FC	FACE OF CURB	POE	POINT OF ENDING	TYP	TYPICAL
FH	FIRE HYDRANT	PT	POINT OF TANGENT		
FL	FLOWLINE	QC	QUAD CITY		
FT.	FEET				

NOTICE OF EXTENDED PAYMENT PROVISION
 (PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

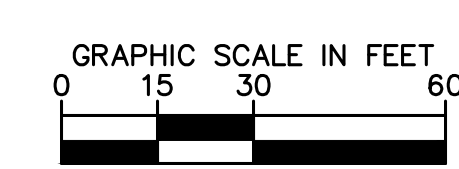
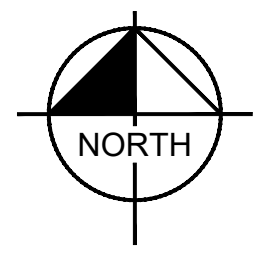
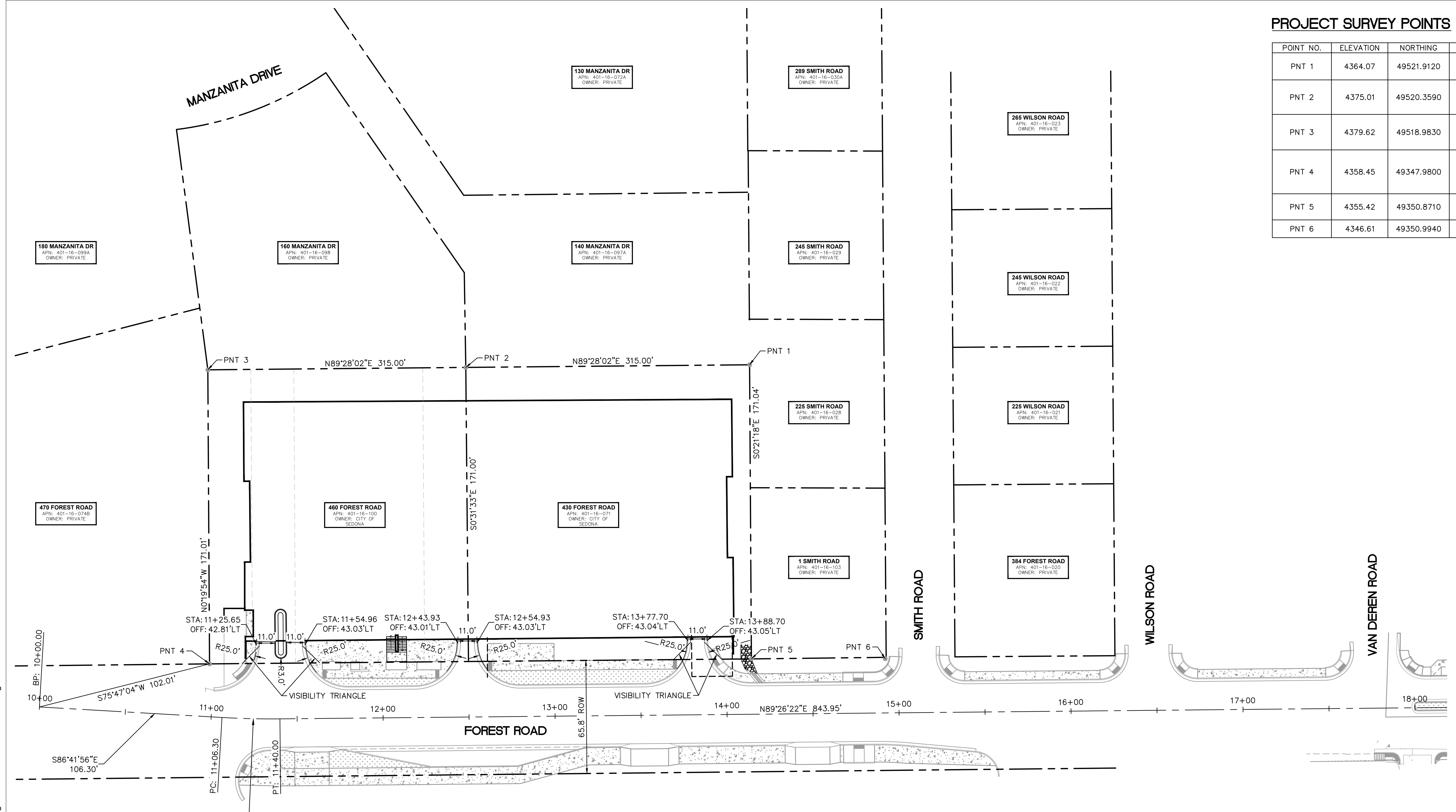


K:\IPRS_Roadway\091885001-Uptown Sedona Parking Garage\CAD\PlanSheets\GN01.dwg

Symbol	Revisions	Date	Appr.	Designed by: JRW	Date: 02/05/2024		<p>2024 KIMLEY-HORN AND ASSOCIATES, INC. 101 WEST GOODWIN ST, SUITE 303 PRESCOTT ARIZONA, 86303 PHONE: 928-458-7121 WWW.KIMLEY-HORN.COM</p>	<p>CITY OF SEDONA PUBLIC WORKS DEPARTMENT 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336 928-204-7111</p>	<p>UPTOWN SEDONA PARKING GARAGE</p> <p>GENERAL NOTES</p>	SHEET ID GN01
			Drawn by: EKH	Scale: N/A	SHEET NO. 02 OF 17					
			Checked by: ACB	Project Code: 091885001						

PROJECT SURVEY POINTS

POINT NO.	ELEVATION	NORTHING	EASTING	DESCRIPTION
PNT 1	4364.07	49521.9120	61030.5320	RB FD. 1/2 IN. W/ PL. CAP MKD. LS 16536
PNT 2	4375.01	49520.3590	60865.5290	RB FD. 1/2 IN. W/ WIRED TAG MKD. FOUND MON. RLS 32224
PNT 3	4379.62	49518.9830	60715.5460	RB FD. 1/2 IN. W/ WIRED TAG MKD. FOUND MON. RLS 32224
PNT 4	4358.45	49347.9800	60716.5360	RB FD 1/2 IN. UP 5 INS. W/ TAG WIRED ON MKD. FNDMON 32224
PNT 5	4355.42	49350.8710	61031.5920	RB FD. 1/2 IN UP 6 INS. NO CAP
PNT 6	4346.61	49350.9940	61109.3980	OP FD. 3/4 IN. W/ NO MARKS



Call at least two full working days before you begin excavation.

ARIZONA 811

Arizona Blue State, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-8348)
In Maricopa County: (602) 263-1100

NOTICE OF EXTENDED PAYMENT PROVISION

(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JRW	02/05/2024
				Drawn by:	Scale:
				EKH	1"=30'
				Checked by:	Project Code:
				ACB	091885001

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Kimley»Horn

ENGINEER A. BAIRD
PE NO. 48841 DATE 02/24

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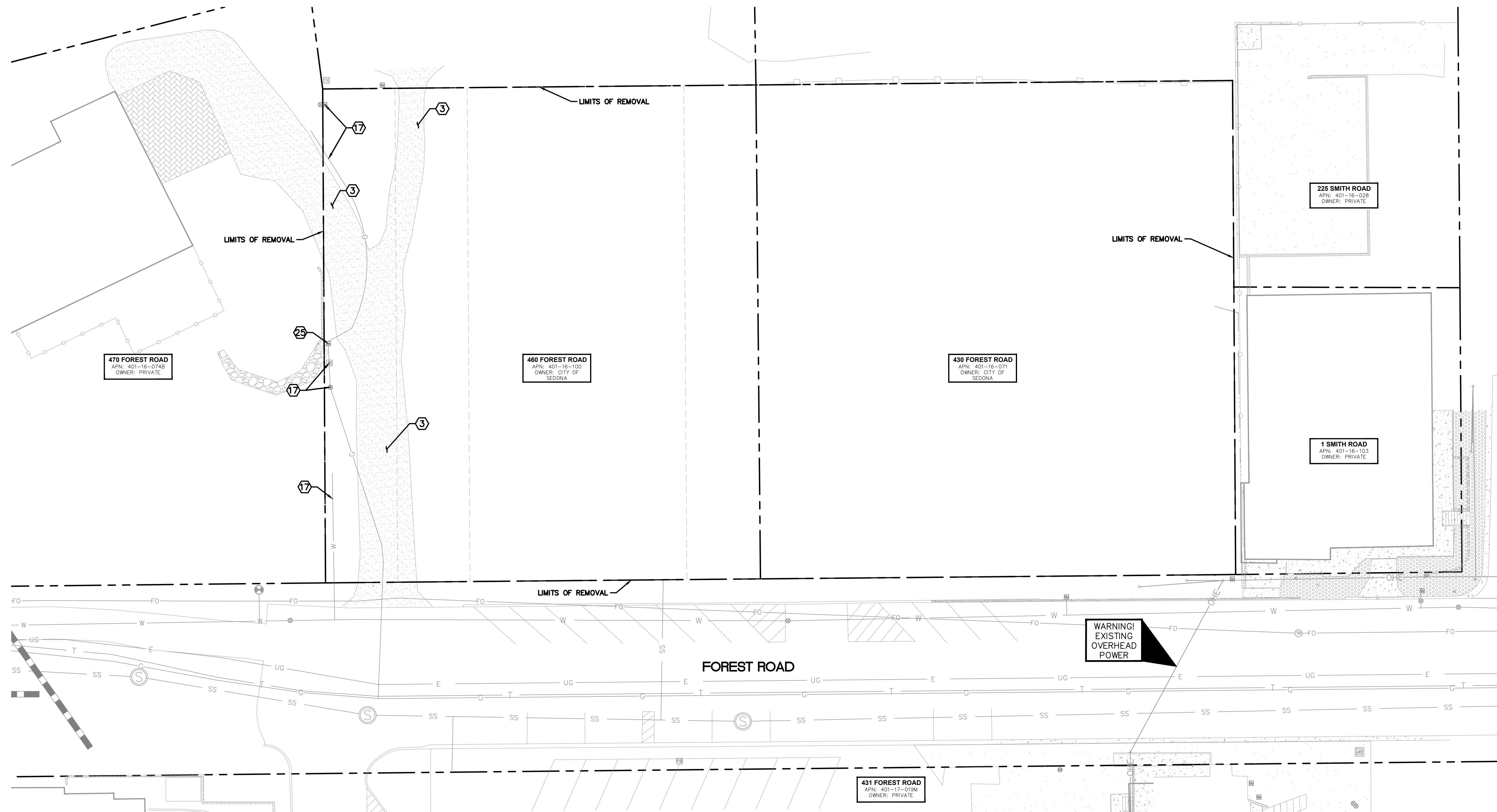
CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

UPTOWN SEDONA
PARKING GARAGE
GEOMETRIC CONTROL

SHEET ID
GC01

SHEET NO.
03 OF 17

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REMOVAL NOTES	
NO.	DESCRIPTION
③	REMOVE AND DISPOSE OF AGGREGATE SURFACING.
⑰	PROTECT IN PLACE EXISTING PRIVATE UTILITIES.
⑳	RELOCATE EXISTING GAS METER.

GENERAL NOTE

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON PLANS.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED IN THE PLANS.
- ANY EXISTING FEATURE THAT IS DAMAGED DURING CONSTRUCTION OR DEMOLITION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY AND LOCATED ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND PROTECT THEM IN PLACE UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL WATER, SEWER, AND STORM DRAIN PIPE AND STRUCTURES TO REMAIN IN PLACE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE DRY UTILITY COMPANY PLANS FOR THE EXTENT AND LIMITS OF DEMOLITION OF THE EXISTING DRY UTILITIES. CONTRACTOR SHALL COORDINATE ALL ASSOCIATED WORK WITH EACH UTILITY COMPANY.

SHEET NOTES

- REFER TO SHEET 13 AND 15 FOR ADDITIONAL INFORMATION ON LANDSCAPE AND IRRIGATION REMOVALS.

GRAPHIC SCALE IN FEET
0 10 20 40

NORTH

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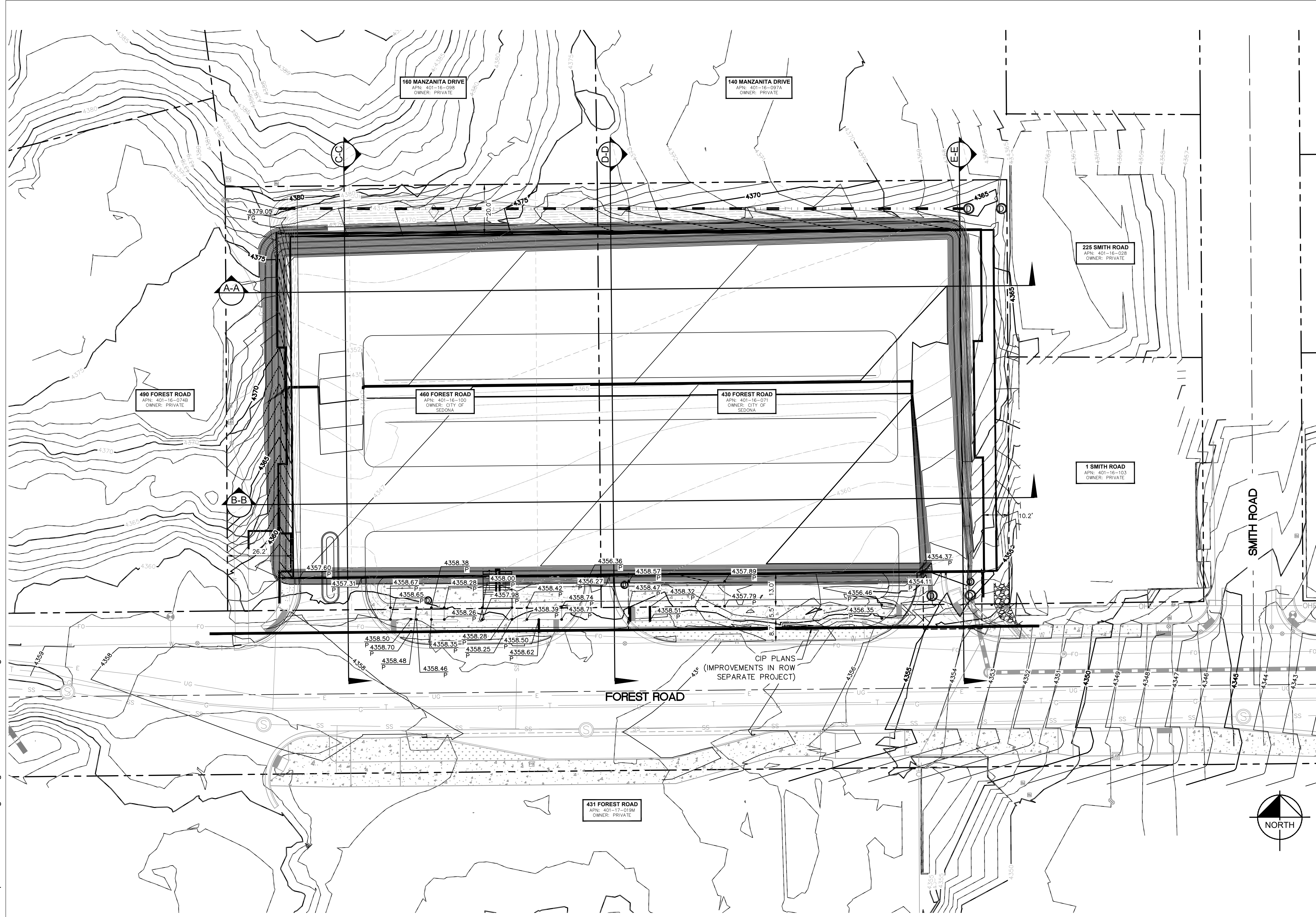
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928-204-7111

UPTOWN SEDONA
PARKING GARAGE
DEMOLITION PLAN

SHEET ID
DM01

SHEET NO.
04 OF 17

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EARTHWORK:

CUT: 21,515 CY
 FILL: 0 CY
 NET: 21,515 CY (EXPORT)

NOTE:
 THE QUANTITIES LISTED ABOVE ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE HIS OWN ESTIMATION OF THE QUANTITIES INVOLVED AND BASE HIS ESTIMATE ON HIS OWN QUANTITIES.

THE QUANTITY SHOWN ABOVE IS A SURFACE TO SURFACE COMPARISON. SEPARATE QUANTITIES WERE NOT CALCULATED FOR OVERBURDEN AND ROCK EXCAVATION. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL REPORT INCLUDED IN THE SPECIAL PROVISION.

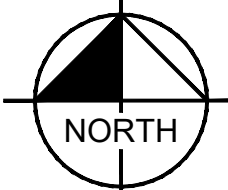
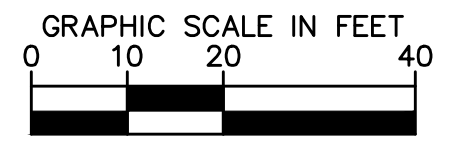
CONSTRUCTION WILL DISTURB MORE THAN 1 ACRE AND IS THEREFORE REQUIRED TO OBTAIN AN AZPDES PERMIT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FILING NOI, NOT, AND FOR DEVELOPING, FILING, AND UPDATING THE STORM WATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT.

GENERAL NOTE

1. ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRATE (G), FINISHED FLOOR (FF), TOP OF FOOTING (TF), BOTTOM OF WALL (BW), TOP OF WALL (TW), OR SIDEWALK (SW) UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL USE SPOT ELEVATIONS, PROPOSED CONTOURS, AND SLOPES TO ESTABLISH GRADES.
3. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.
4. ALL FILL SLOPES SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
5. ALL STATION AND OFFSET LABELS ARE BASED ON THE FOREST ROAD CENTERLINE ALIGNMENT.

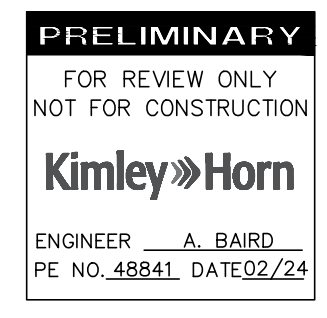
SHEET NOTES

1. REFER TO SHEET 04 FOR DEMOLITION PLANS.
2. REFER TO SHEET 03 FOR GEOMETRIC CONTROL.
3. REFER TO SHEETS 06 & 07 FOR STORM DRAIN PLAN AND PROFILES.
4. REFER TO SHEET 13 FOR LANDSCAPE PLANS.



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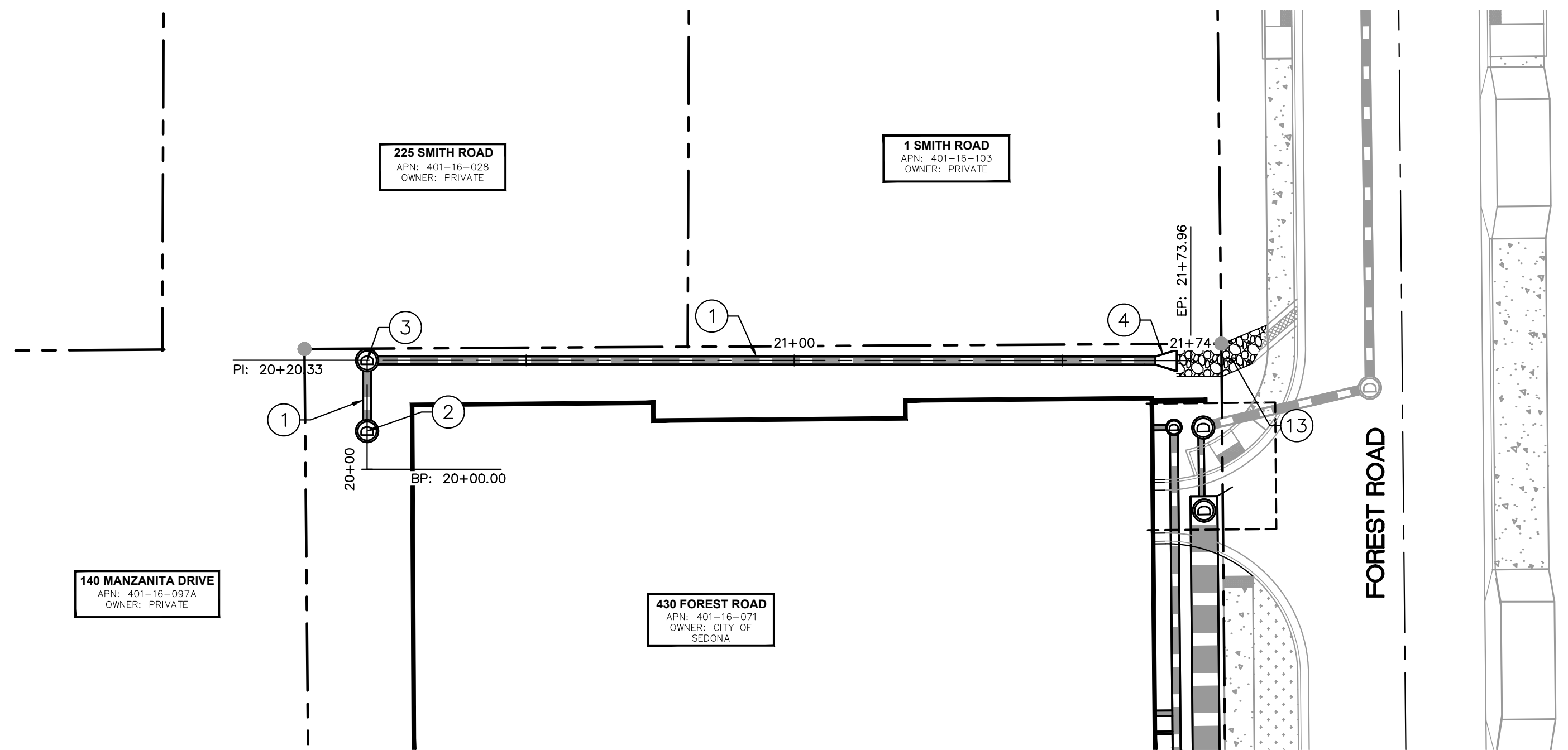


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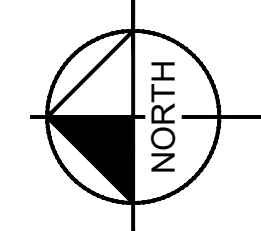
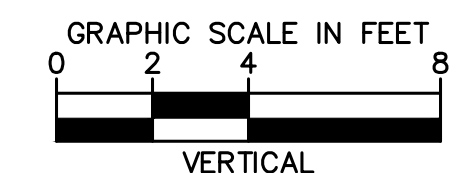
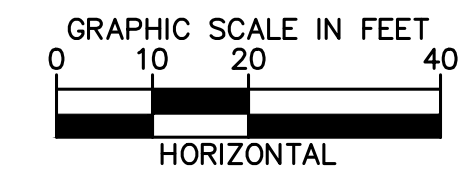
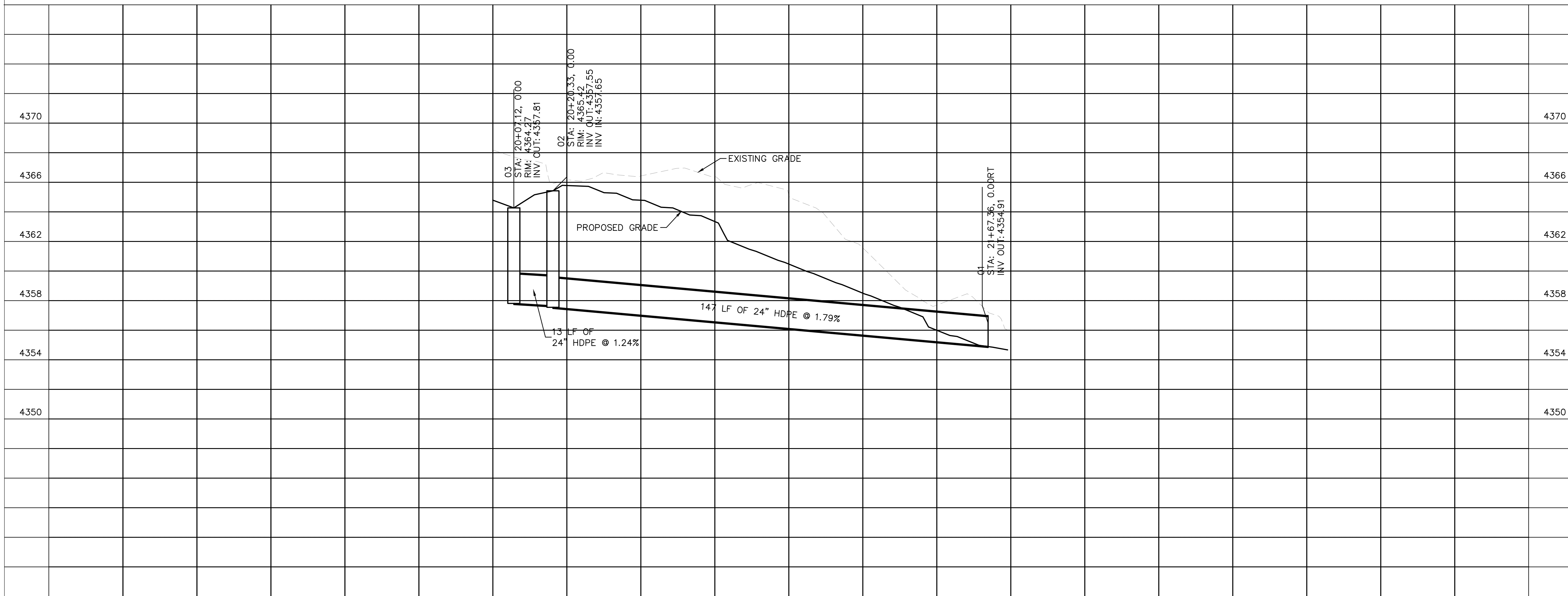
UPTOWN SEDONA
PARKING GARAGE
 GRADING AND DRAINAGE
 PLAN

SHEET ID
 GD01
SHEET NO.
 05 OF 17

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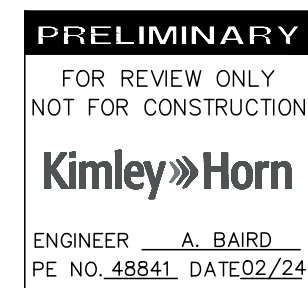
DRAINAGE NOTES	
NO.	DESCRIPTION
①	24" HDPE STORM DRAIN PIPE.
②	NYLOPLAST MANHOLE WITH GRATE INLET.
③	NYLOPLAST MANHOLE WITH SOLID COVER PER UPDATE.
④	24" HDPE FLARED END SECTION.
⑬	INSTALL RIPRAP DRAINAGE SWALE D50=9" 18" THICK OVER EROSION FABRIC PER MAG SPECIFICATIONS 220 AND 703.



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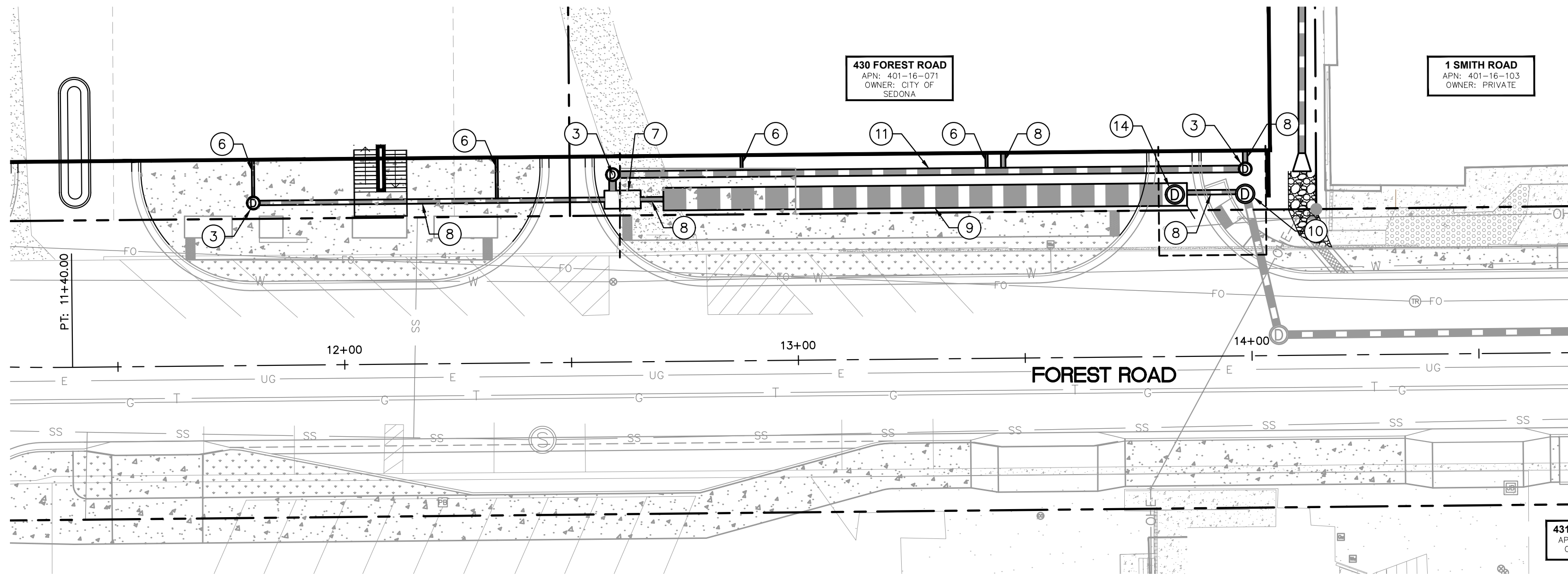
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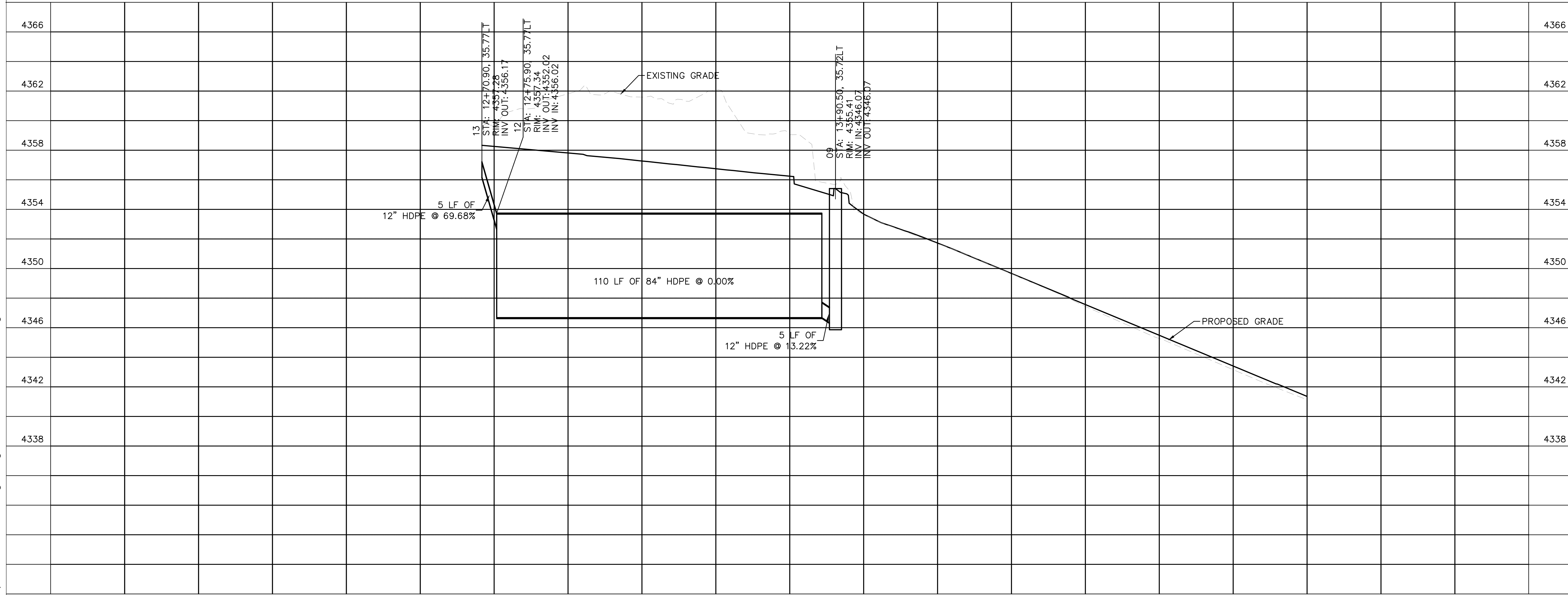
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PUBLIC WORKS DEPARTMENT
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UPTOWN SEDONA
PARKING GARAGE
STORM DRAIN PLAN

SHEET ID
 SD01
SHEET NO.
 06 OF 17



DRAINAGE NOTES	
NO.	DESCRIPTION
③	NYLOPLAST MANHOLE WITH SOLID COVER PER UPDATE.
⑥	6" HDPE STORM DRAION PIPE.
⑦	SAND OIL SEPARATOR PER MANUFACTURER'S RECOMMENDATIONS.
⑧	12" HDPE STORM DRAION PIPE.
⑨	84" HDPE STORM DRAION PIPE.
⑩	NYLOPLAST MANHOLE WITH WEIR STRUCTURE PER DETAIL.
⑪	18" HDPE STORM DRAION PIPE.
⑭	INSTALL MANHOLE RISER WITH LIFT GATE FOR MAINTENANCE ACCESS.



GRAPHIC SCALE IN FEET
 HORIZONTAL: 0 10 20 40
 VERTICAL: 0 2 4 8

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 ENGINEER A. BAIRD
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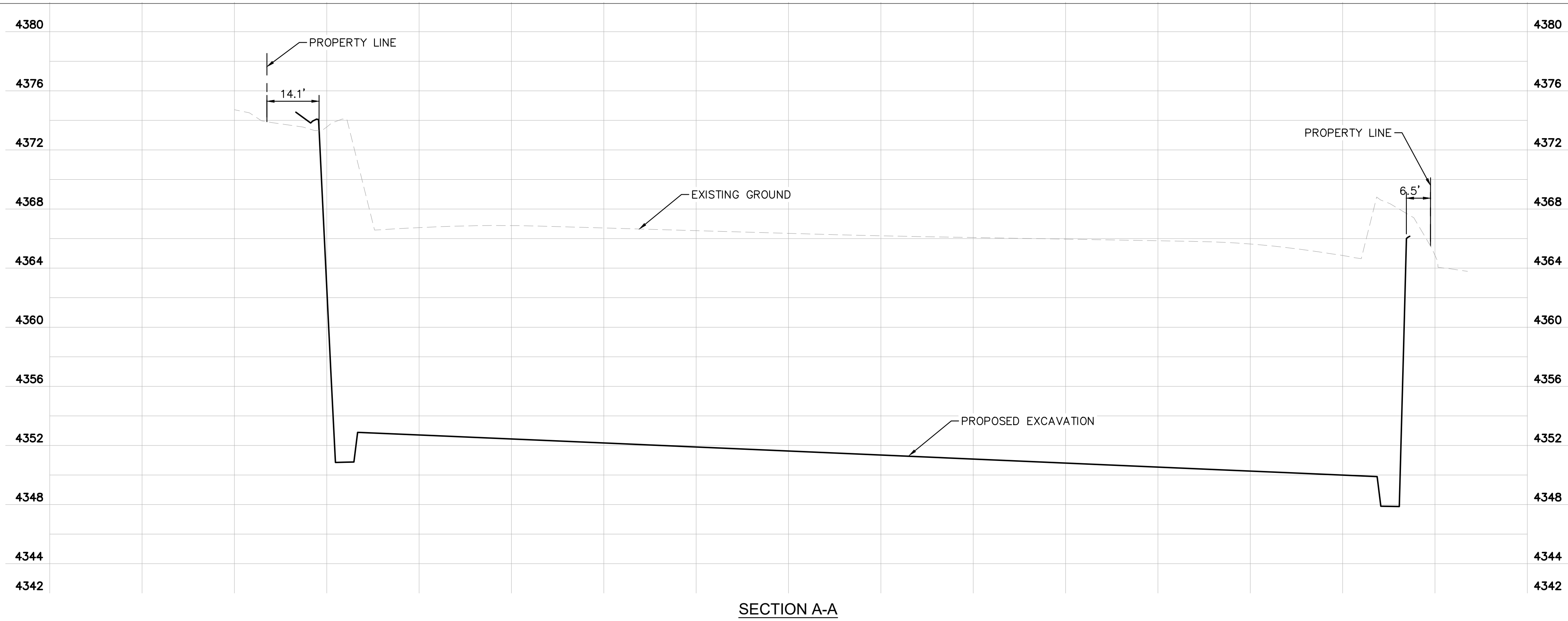


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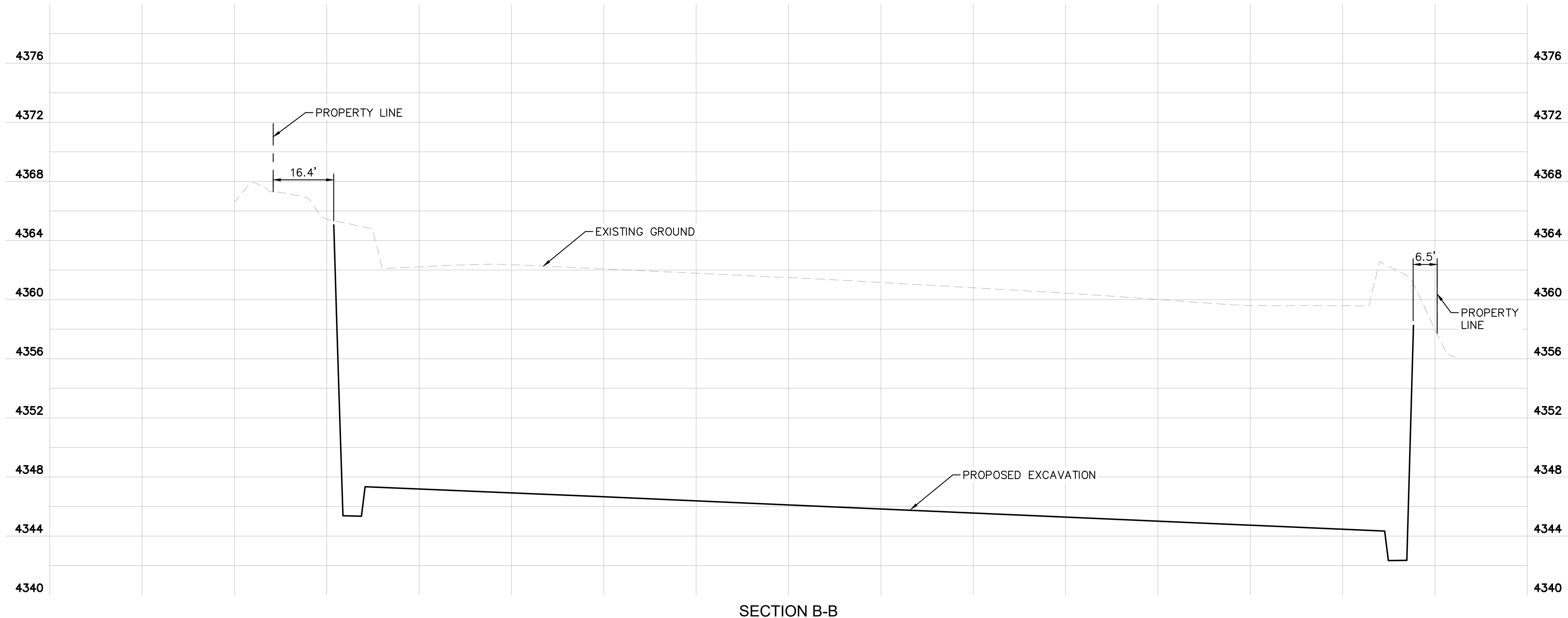
UPTOWN SEDONA
PARKING GARAGE
STORM DRAIN PLAN

SHEET ID
 SD02
SHEET NO.
 07 OF 17

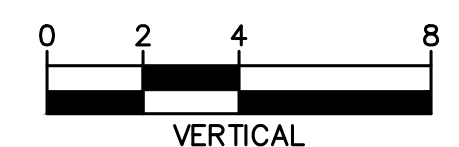
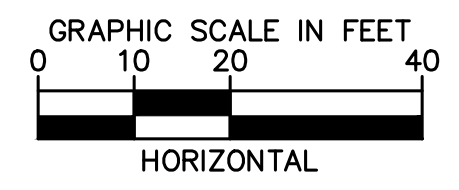
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SECTION A-A

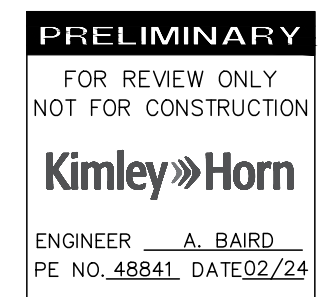


SECTION B-B



NOTICE OF EXTENDED PAYMENT PROVISION
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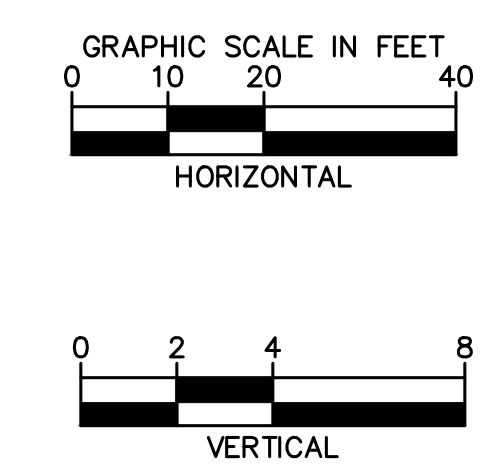
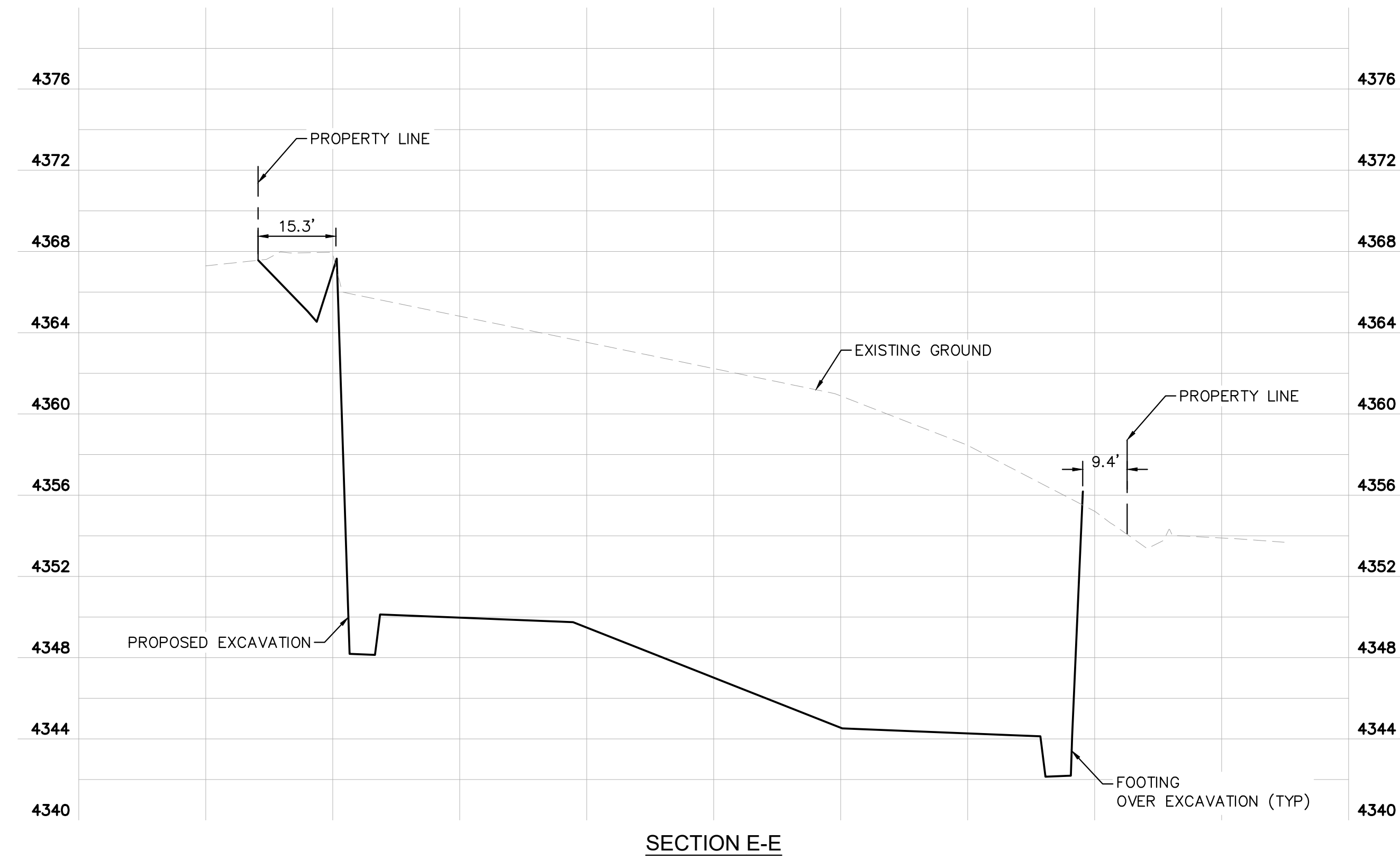
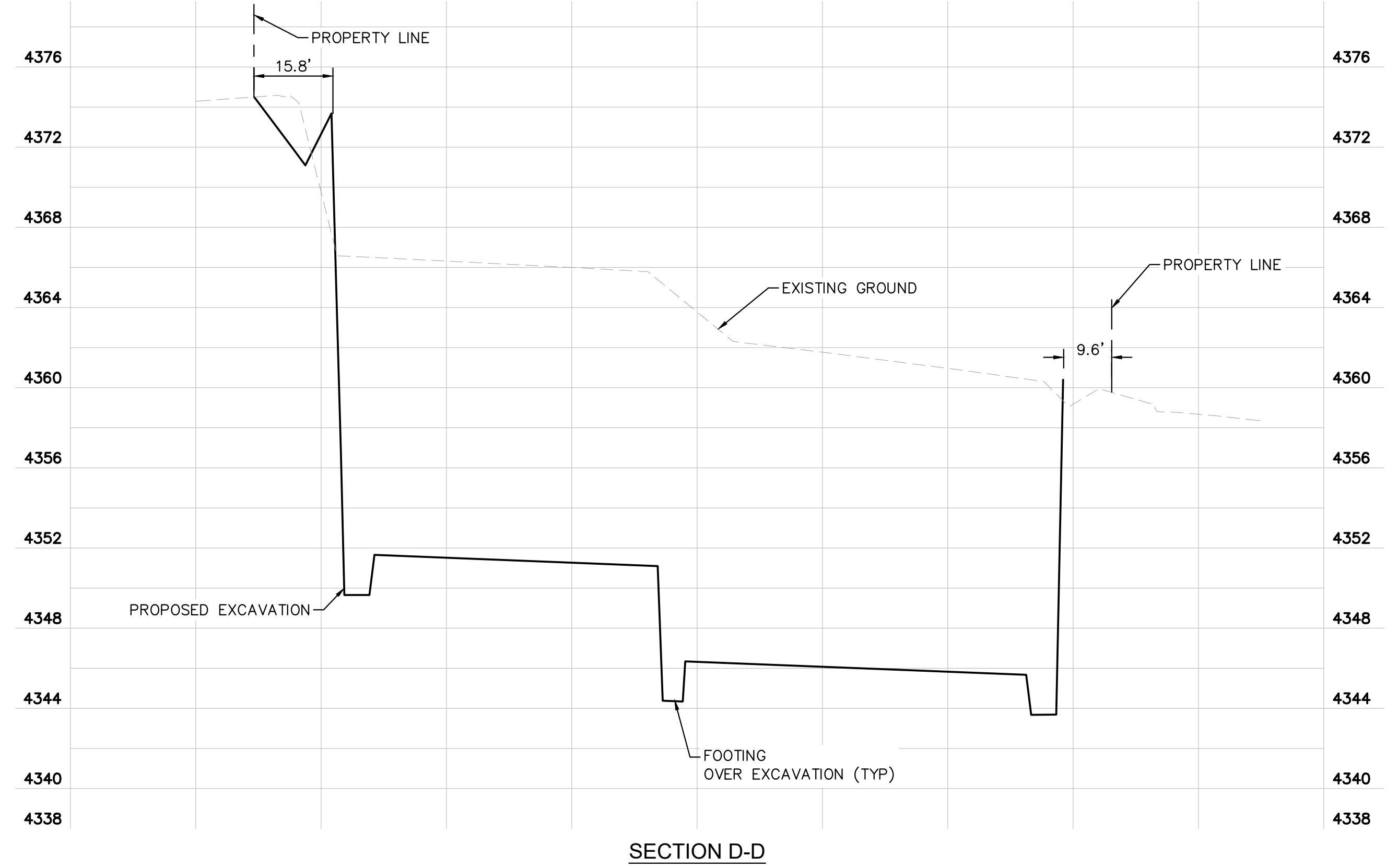
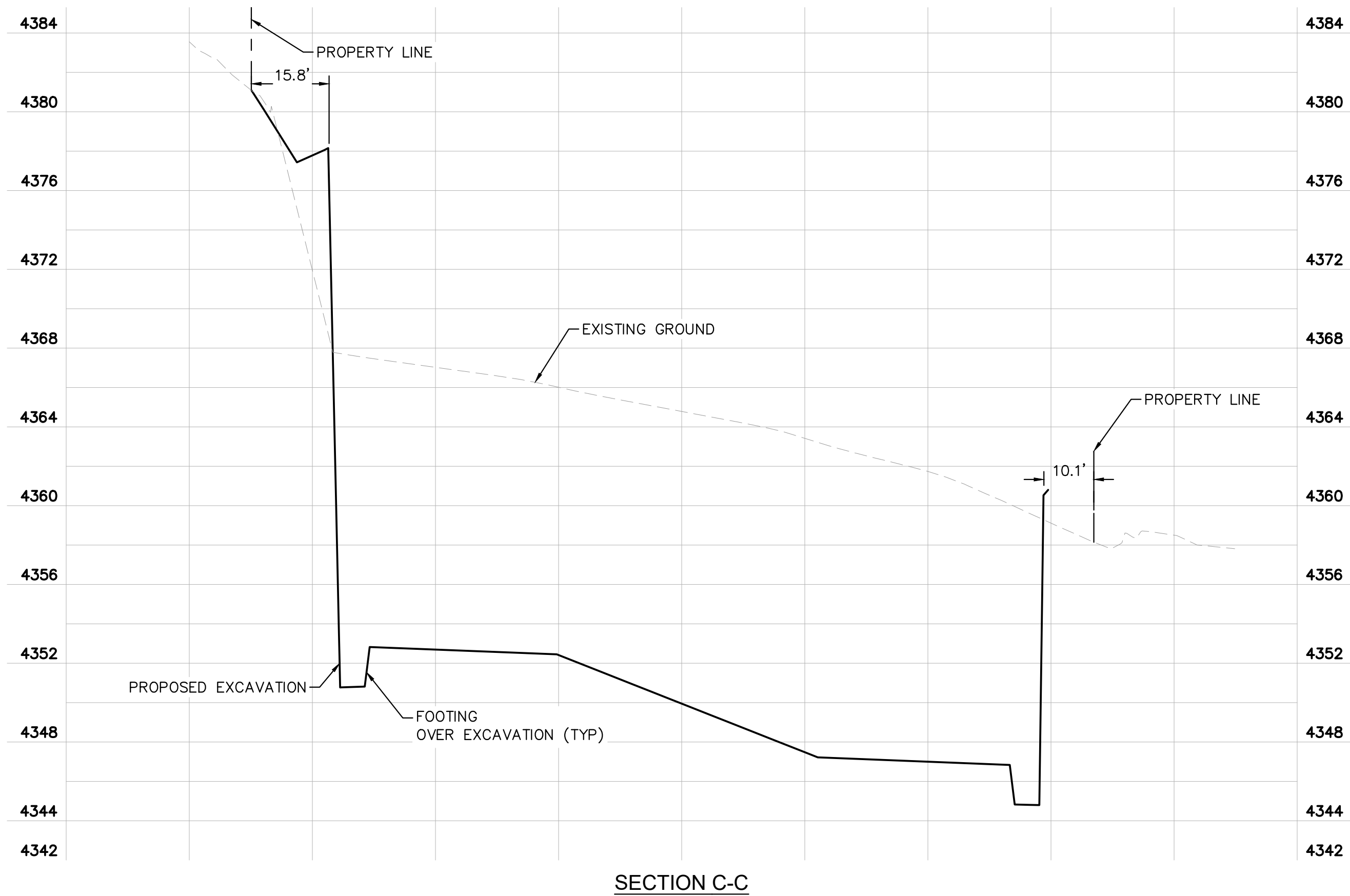


CITY OF SEDONA
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UPTOWN SEDONA
PARKING GARAGE
SECTION VIEWS

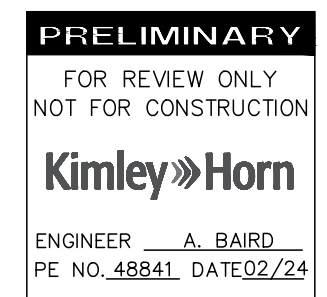
SHEET ID
SC01
SHEET NO.
08 OF 17

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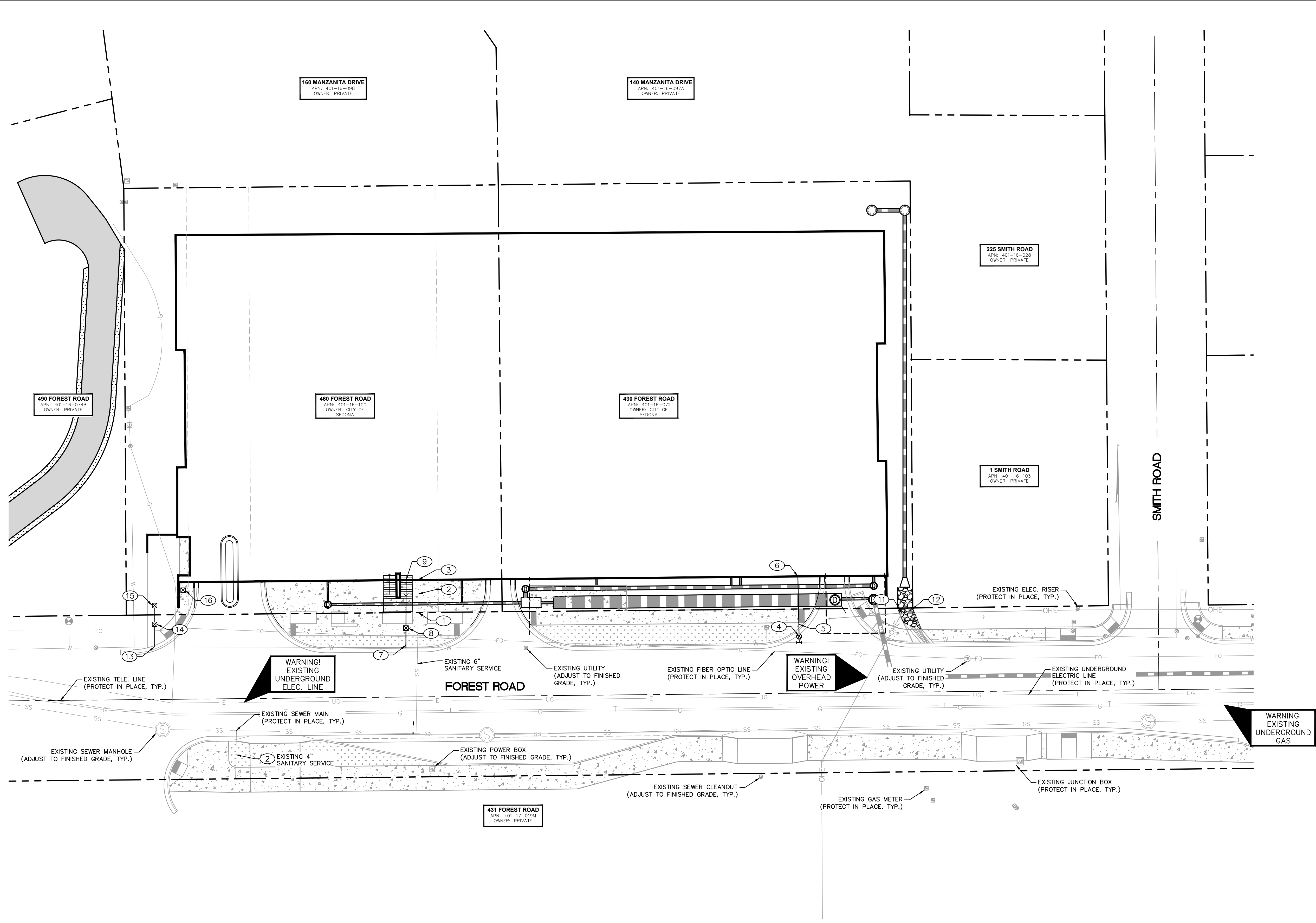


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UPTOWN SEDONA
PARKING GARAGE
 SECTION VIEWS

SHEET ID
 SC02
SHEET NO.
 09 OF 17

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UTILITY NOTES	
NO.	DESCRIPTION
①	CONNECT TO EXISTING SANITARY SEWER SERVICE.
②	SANITARY SEWER SERVICE PER MAG STD DTL 440-1, SIZE PER PLANS.
③	CONNECT TO BUILDING SANITARY SEWER, REFER TO PLUMBING PLANS.
④	6" TAPPING SLEEVE, VALVE, VALVE BOX AND COVER PER ARIZONA WATER COMPANY REQUIREMENTS.
⑤	6" CLASS 350 DIP FIRE LINE PER ARIZONA WATER COMPANY REQUIREMENTS.
⑥	CONNECT TO BUILDING FIRE LINE, REFER TO PLUMBING PLANS.
⑦	2" WATER SERVICE CONNECTION PER ARIZONA WATER COMPANY REQUIREMENTS.
⑧	2" WATER METER AND BOX PER ARIZONA WATER COMPANY REQUIREMENTS.
⑨	CONNECT TO BUILDING WATER SERVICE LINE, REFER TO PLUMBING PLANS.
⑩	RELOCATE EXISTING FIRE HYDRANT PER MAG STD DTL 362 AND ARIZONA WATER COMPANY REQUIREMENTS.
⑪	RELOCATE EXISTING POWER POLE. COORDINATE WITH UTILITY OWNER.
⑫	RELOCATE EXISTING GAS METER. COORDINATE WITH UTILITY OWNER.
⑬	CONNECT TO EXISTING WATER LINE, REFER TO IRRIGATION PLANS.
⑭	INSTALL WATER METER PER IRRIGATION PLANS.
⑮	INSTALL BACKFLOW PREVENTER PER IRRIGATION PLANS.
⑯	INSTALL CONTROLLER PER IRRIGATION PLANS.

PRIVATE UTILITY NOTES

1. PRIVATE UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED. PROPOSED UTILITY ROUTING ARE SHOWN FOR TRENCHING, CONDUIT, AND BACKFILL ESTIMATION. COORDINATE WITH UTILITY OWNER ON EXACT LOCATIONS AND CONSTRUCTION INFORMATION.

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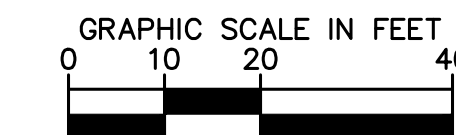
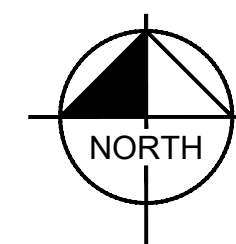
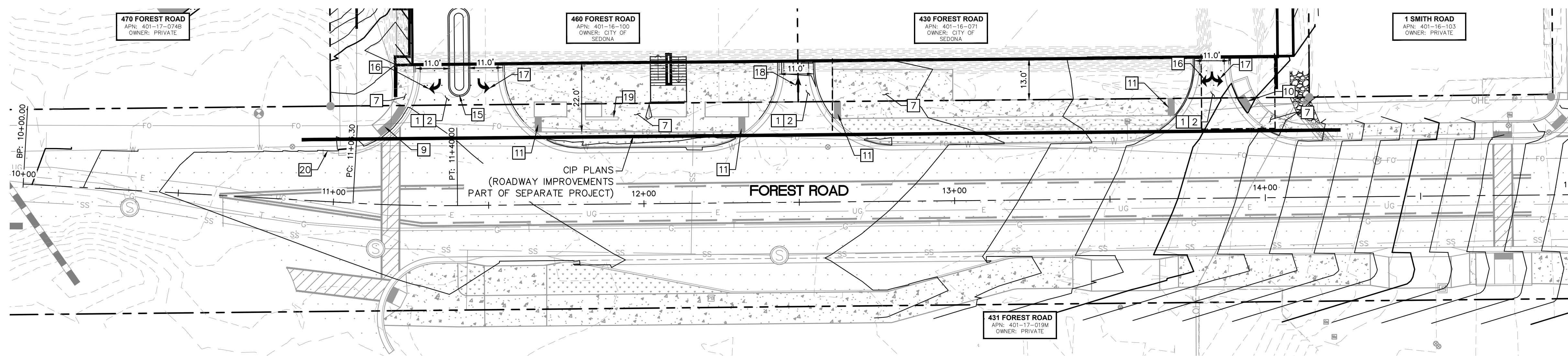
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PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
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928-204-7111

UPTOWN SEDONA
PARKING GARAGE
UTILITY PLAN

SHEET ID
UT01
SHEET NO.
10 OF 17

ROADWAY NOTES

NO.	DESCRIPTION
1	AC PAVEMENT PER STRUCTURAL SECTION NO. 1 ON SHEET 02.
2	AGGREGATE SURFACE COURSE, 4" THICK.
7	CONCRETE SIDEWALK PER MAG STD DTL 230, WIDTH SHOWN ON PLANS.
9	CONCRETE RADIAL CURB RAMP PER MAG STD DTL 236-3.
10	CONCRETE RADIAL PARALLEL CURB RAMP PER MAG STD DTL 236-5.
11	CONCRETE PERPENDICULAR CURB RAMP PER MAG STD DTL 238-1.
15	CONCRETE ROLL CURB AND GUTTER PER MAD STD DTL 220-1, TYPE 'D'.
16	RIGHT ARROW PER ADOT STD DTL M-10 AND M-11.
17	LEFT ARROW PER ADOT STD DTL M-10 AND M-11.
18	PAINTED ARROW PER ADOT STD DTL M-10 AND M-11.
19	CONCRETE BENCH PER ARCHITECTURAL PLANS.
20	CURB TRANSITION PER MAG STD DTL 221.



NOTICE OF EXTENDED PAYMENT PROVISION
 (PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JRW	02/05/2024
				Drawn by:	Scale:
				EKH	1"=20'
				Checked by:	Project Code:
				ACB	091885001

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 ENGINEER A. BAIRD
 PE NO. 48841, DATE 02/24

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 PHONE: 928-458-7121
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CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
 102 ROADRUNNER DRIVE
 SEDONA, ARIZONA 86336
 928-204-7111

UPTOWN SEDONA
PARKING GARAGE
 SITE PLAN

SHEET ID
 RD01
SHEET NO.
 11 OF 17

GENERAL LANDSCAPE NOTES

- ALL WORK SHALL BE CONFINED TO LIMITS OF CONSTRUCTION AS SHOWN ON PLANS.
- SITE GRADING NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS SHALL BE CONSIDERED INCIDENTAL WORK.
- CONTRACTOR SHALL COORDINATE AND BE IN COMPLIANCE WITH ALL STATE AND LOCAL MUNICIPALITIES AS WARRANTED.
- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND EXISTING SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER, OR THE LANDSCAPE ARCHITECT, MAY BE CAUSE FOR THE WORK TO BE DESIGNATED UNACCEPTABLE.
- THE CONTRACTOR ACKNOWLEDGES & AGREES THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SITE IS ACCEPTED, AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS AND HUBS DURING THE CONSTRUCTION OF HIS WORK, AND SHALL BEAR THE COST OF REPLACING SAME.
- THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC AND PRIVATE UTILITIES WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC., DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- ANY FOREIGN ITEM FOUND DURING CONSTRUCTION IS THE PROPERTY OF THE OWNER. THIS INCLUDES, BUT IS NOT LIMITED TO, PRECIOUS METALS, COINS, PAPER CURRENCY, ARTIFACTS AND ANTIQUITIES.
- ALL SURPLUS EXCAVATION SHALL BE TAKEN TO A SITE DESIGNATED BY OWNER, AT NO ADDITIONAL COST TO THE OWNER. IF OWNER CHOOSES, THE CONTRACTOR MAY TAKE POSSESSION OF SURPLUS EXCAVATION MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND/OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS TO MAINTAIN CONTROLLED PEDESTRIAN AND ADA ACCESS THROUGH ALL AREAS OF THE SITE THROUGHOUT CONSTRUCTION PERIOD.
- MAINTAIN THE SITE IN A NEAT AND ORDERLY CONDITION AT ALL TIMES. DAILY, AND MORE OFTEN IF NECESSARY, INSPECT & AND PICK UP ALL SCRAP, DEBRIS, & WASTE MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL MUD, DIRT, ROCK MULCH AND OTHER MATERIALS TRACKED ONTO ANY PRIVATE OR PUBLIC STREETS OR SIDEWALKS. THE CONTRACTOR MUST CLEAN THESE DAILY, IF NECESSARY. THE CONTRACTOR MUST USE WATER OR OTHER ACCEPTABLE METHODS TO KEEP AIRBORNE DUST TO A REQUIRED MINIMUM.
- PROVIDE PROTECTION TO ALL FINISHED WORK. MAINTAIN SURFACES CLEAN, UNMARRED, AND SUITABLY PROTECTED UNTIL ACCEPTANCE BY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE RESULTING FROM CONSTRUCTION ACTIVITY TO EXISTING ELEMENTS THAT ARE TO REMAIN.
- EROSION CONTROL MEASURES (IE: SILT FENCING AND SEDIMENT CONTROL) SHALL BE MAINTAINED BY THE CONTRACTOR PER CIVIL SPECIFICATIONS. ANY EROSION CONTROL MEASURES DAMAGED BY THE CONTRACTOR SHALL BE REPLACED PER CIVIL SPECIFICATIONS.
- PLANT QUANTITIES LISTED IN THE PLANT LEGEND ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL DO THEIR OWN TAKE-OFFS AND BASE BID ACCORDINGLY.
- ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN-LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL DEVELOPED STANDARDS, AND FREE OF ANY BRUISES, CUTS OR OTHER ABNORMALITIES. PLANT MATERIAL SHALL BE SIZED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMAN.
- OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL DEEMED UNACCEPTABLE.
- LANDSCAPE CONTRACTOR TO TAG AND HOLD ALL PLANT MATERIAL A MINIMUM OF 30 DAYS PRIOR TO DATE OF INSTALLATION. ALL PLANT MATERIAL SUBSTITUTIONS MADE WITHIN THE 30 DAYS PRIOR TO INSTALLATION TO BE THE NEXT SIZE LARGER AT NO ADDITIONAL COST TO THE CLIENT.
- INSTALL ALL CANOPY TREES WITH A MINIMUM OF 5 FT. SEPARATION FROM ALL UTILITIES, UNLESS A ROOT BARRIER IS UTILIZED.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE ROOT BALLS WHICH SETTLE BELOW GRADE, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTING FREE OF INSECTS AND DISEASES, FERTILIZING, WEEDING, MOVING, EDGING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. MAINTENANCE PERIOD SHALL BE TWO (2) YEARS BEGINNING FROM DATE OF ACCEPTED FINAL COMPLETION.
- ROCK MULCH: ALL AREAS LABELED ROCK MULCH ON THE PLANS ARE TO BE APPROVED BY OWNER. 2" MINIMUM DEPTH THROUGHOUT ENTIRE PROJECT. FINISH GRADE IN ALL AREAS TO BE SMOOTH AND EVEN AND 1" BELOW TOP OF CURB OR SIDEWALK.

MAINTENANCE REQUIREMENTS

- THE LANDSCAPE MAINTENANCE AND WARRANTY PERIOD SHALL BE SEVEN HUNDRED AND THIRTY (730) CONSECUTIVE CALENDAR DAYS. THE TIME PERIOD SHALL BEGIN AFTER WRITTEN NOTICE FROM THE PROJECT ENGINEER OF SUBSTANTIAL COMPLETION OF THE LANDSCAPE PORTION OF THE PROJECT AND WHEN THE ENGINEER IS ASSURED THAT THE WORK CAN BE PERFORMED IN A CONTINUOUS AND CONSISTENT MANNER WITHOUT RESTRICTING THE USE OF ANY FACILITIES BY THE TRAVELING PUBLIC.
- THE CONTRACTOR SHALL SUBMIT A WORK SCHEDULE OF OPERATIONS FOR APPROVAL BY THE ENGINEER AND CITY OF SEDONA STAFF. THE WORK SCHEDULE SHALL INCLUDE CONTACT INFORMATION FOR THOSE RESPONSIBLE FOR MAINTENANCE.
- PLANT MATERIALS NOT SURVIVING SHALL BE REPLACED WITHIN 30 DAYS OF ITS DEMISE.

PLANT LEGEND

DECIDUOUS TREES			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	CHILOPSIS LINEARIS 'HOPE'* HOPE DESERT WILLOW	6	2" CAL MIN.
EVERGREEN TREES			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	JUNIPERUS ARIZONICA* REDBERRY JUNIPER	25	8' HT MIN.
	JUNIPERUS SCOPULORUM* ROCKY MOUNTAIN JUNIPER	10	8' HT MIN.
SHRUBS/GROUNDCOVERS			
SYMBOL	BOTANICAL NAME COMMON NAME	QUANTITY	SIZE
	ASCLEPIAS TUBEROSA BUTTERFLY MILKWEED	32	5 GAL.**
	BOUTELOUA GRACILIS 'BLONDE AMBITION' 'BLONDE AMBITION' BLUE GRAMA	43	1 GAL.
	GUTIERREZIA SAROTHRAE* SNAKEWEED	58	5 GAL.**
	MELAMPODIUM LEUCANTHUM BLACKFOOT DAISY	18	1 GAL.
	NOLINA MICROCARPA* BEAR GRASS	18	5 GAL.**
	RHUS TRILOBATA* THREE-LEAF SUMAC	14	5 GAL.**
SITE			
SYMBOL	NAME	QUANTITY	
	1"-3" ROCK MULCH, COLOR TBD	15,913 SQ FT	

*NATIVE PLANT FROM THE CITY OF SEDONA APPROVED PLANT LIST.
**SHRUBS SHALL BE 2' HEIGHT, MINIMUM, AT TIME OF INSTALLATION.

PLANTING REQUIREMENTS

TOTAL LANDSCAPE AREA:
16,094 SQ FT

NATIVE SPECIES REQUIREMENTS:
A MINIMUM OF 50% OF THE SPECIES SHALL BE NATIVE.

TREE REQUIREMENTS:
1 TREE REQUIRED PER 400 SQ FT
TREES REQUIRED: 41
TREES PROVIDED: 41

PERCENT OF NATIVE PLANTS PROVIDED:
52% NATIVE PLANTS PROVIDED

SHRUB REQUIREMENTS:
3 SHRUBS REQUIRED PER 400 SQ FT
SHRUBS REQUIRED: 120
SHRUBS PROVIDED: 183

IRRIGATION NOTES

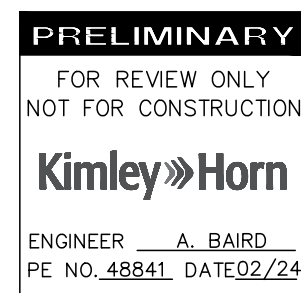
- CONTRACTOR SHALL REVIEW AND FIELD VERIFY LAYOUT OF ALL IRRIGATION SYSTEM COMPONENTS AND HAVE THE LAYOUT AND COMPONENTS APPROVED BY CITY OF SEDONA STAFF PRIOR TO STARTING INSTALLATION.
- ALL PIPING AND WIRING PLACED UNDER PAVED AREAS SHALL BE SLEEVED PER PLAN DETAILS. SLEEVE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE START OF ANY PAVING OPERATIONS (SEE ENGINEERING PLANS).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, TESTING, MAINTAINING, REPAIRING, AND OPERATING A COMPLETE AND FULLY FUNCTIONAL IRRIGATION SYSTEM INCLUDING ALL LATERAL PIPING AND FITTINGS AS SPECIFIED AND AS DETAILED, WHETHER OR NOT PIPING IS SHOWN ON THE PLANS.
- ANY SUBSTITUTIONS OR OMISSIONS OF IRRIGATION COMPONENTS AND EQUIPMENT MUST BE APPROVED IN WRITING BY CITY OF SEDONA STAFF PRIOR TO STARTING INSTALLATION.
- CONTRACTOR TO FIELD VERIFY ALL WATER PRESSURE AND FLOWS PRIOR TO INSTALLATION OF SYSTEM. IF INSUFFICIENT PRESSURE IS ENCOUNTERED, NOTIFY OWNER IMMEDIATELY.
- ALL EXISTING IRRIGATION COMPONENTS SHALL BE MAINTAINED IN CURRENT WORKING CONDITION. ALL EXISTING PLANTS SHALL CONTINUE RECEIVING IRRIGATION DURING CONSTRUCTION ACTIVITIES.

IRRIGATION LEGEND

SYMBOL	EQUIPMENT	SIZE	PRODUCT
	WATER METER – POTABLE	1"	REFER TO CIVIL PLANS
	CONTROLLER	8 STA	CALSENSE CS3000–8–S
	BACKFLOW PREVENTER	1"	FEBCO 825Y
	PRESSURE REGULATOR	1"	SENNINGER PMR–35MF
	REMOTE CONTROL VALVE ASSEMBLY – DRIP ZONES	1"	RAINBIRD–100–PESB
	MAINLINE	1"	PVC SCH 40
	TREE LATERAL LINE	3/4"	PVC SCH 40
	SHRUB LATERAL LINE	3/4"	PVC SCH 40
	SLEEVE UNDER STREET & PATHWAY	4"	PVC SCH 40
	END CAP AUTOMATIC FLUSHING COMPRESSION END PLUG		
NOT SHOWN	EMITTER ASSEMBLY MULTI–PORT; (1 GPH & 2 GPH)		RAINBIRD XBT–10–6, XBT–20–6; 1 PER TREE; SHRUBS WITH SAME FLOW RATE TO SHARE

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Symbol	Revisions	Date	Appr.	Designed by: MMP	Date: 02/05/2024
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				Checked by: RVF	Project Code: 091885001



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**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

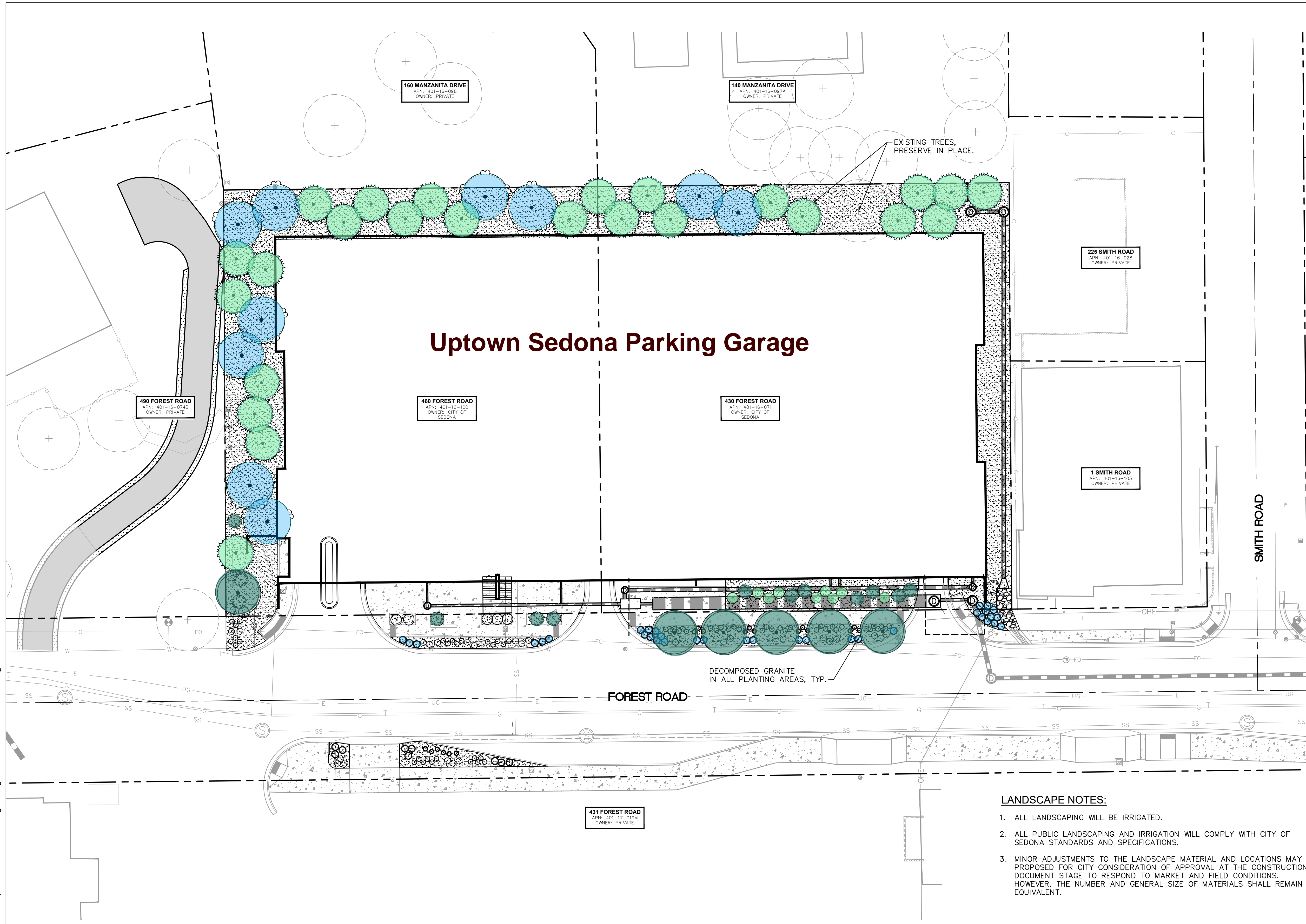
**UPTOWN SEDONA
PARKING GARAGE
LANDSCAPE NOTES**

SHEET ID LS01
SHEET NO. 12 OF 17



NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

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PLANTING LEGEND

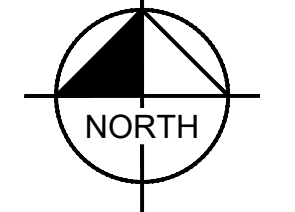
DECIDUOUS TREES	
SYMBOL	BOTANICAL NAME COMMON NAME
	CHILOPSIS LINEARIS 'HOPE'* HOPE DESERT WILLOW
EVERGREEN TREES	
SYMBOL	BOTANICAL NAME COMMON NAME
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	NOLINA MICROCARPA* BEAR GRASS
	RHUS TRILOBATA* THREE-LEAF SUMAC
SITE	
SYMBOL	NAME

	1"-3" ROCK MULCH, COLOR TBD
--	--------------------------------

*NATIVE PLANT FROM THE CITY OF SEDONA APPROVED PLANT LIST

LEGEND

	PROPERTY LINE
	PROPOSED FLOW LINE
	ROADWAY CENTERLINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MAJOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR



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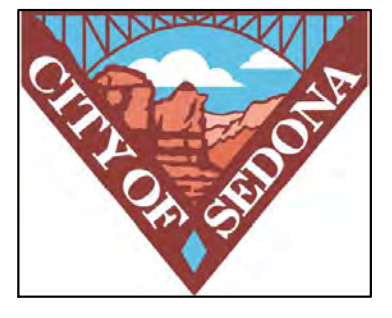
- LANDSCAPE NOTES:**
- ALL LANDSCAPING WILL BE IRRIGATED.
 - ALL PUBLIC LANDSCAPING AND IRRIGATION WILL COMPLY WITH CITY OF SEDONA STANDARDS AND SPECIFICATIONS.
 - MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION OF APPROVAL AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THE NUMBER AND GENERAL SIZE OF MATERIALS SHALL REMAIN EQUIVALENT.

NOTICE OF EXTENDED PAYMENT PROVISION
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				RVF	091885001

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PE NO. 48841 DATE 02/24

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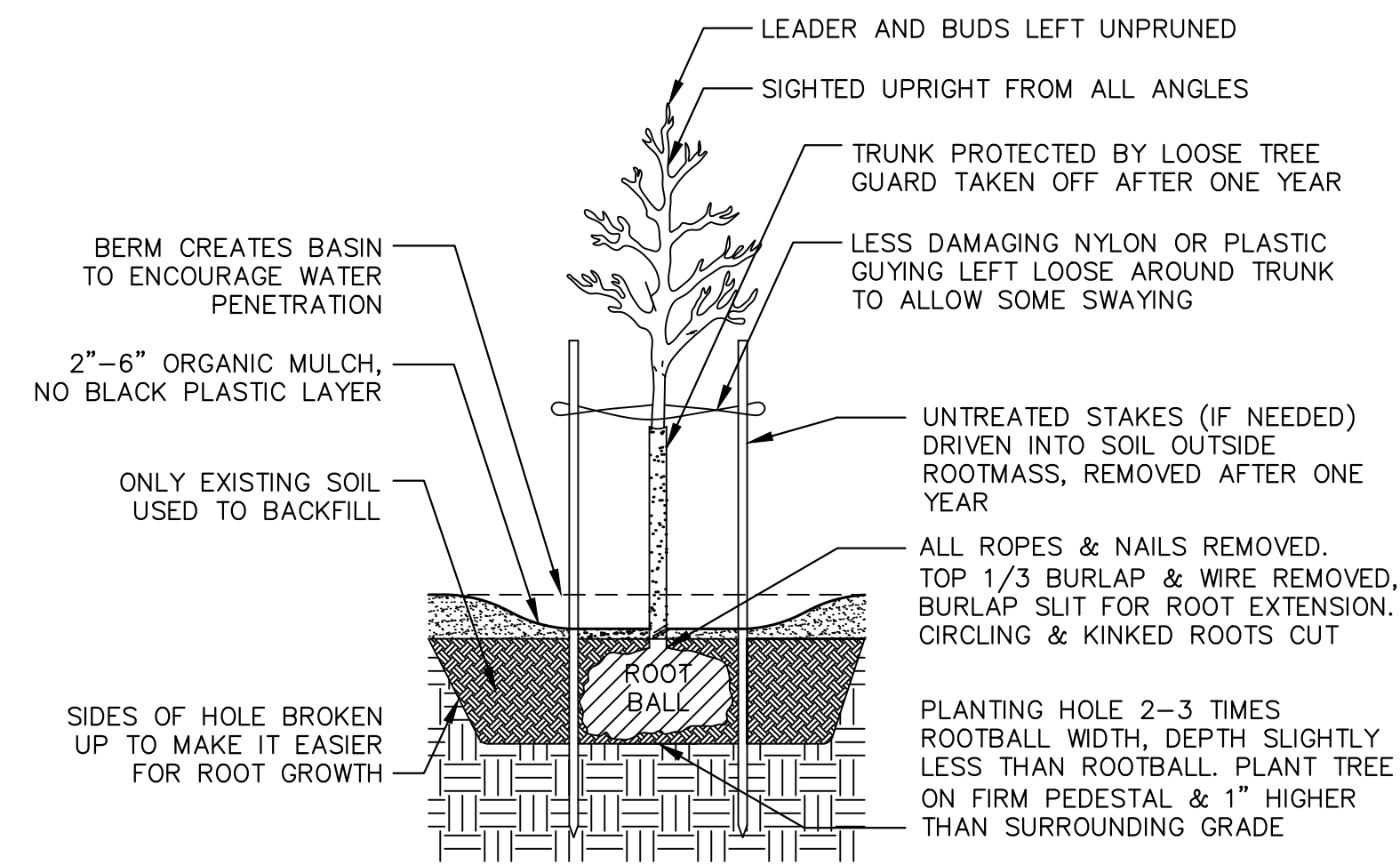


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UPTOWN SEDONA
PARKING GARAGE

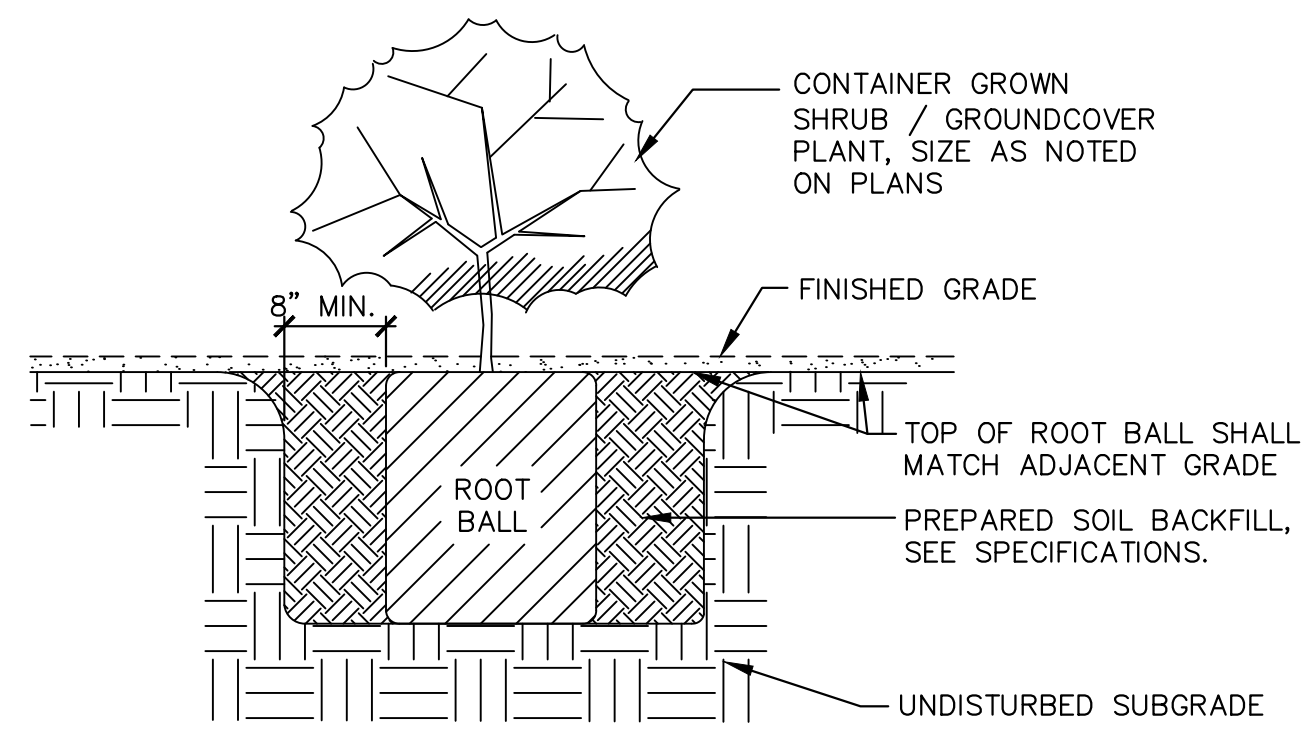
LANDSCAPE PLAN

SHEET ID
LS02
SHEET NO.
13 OF 17

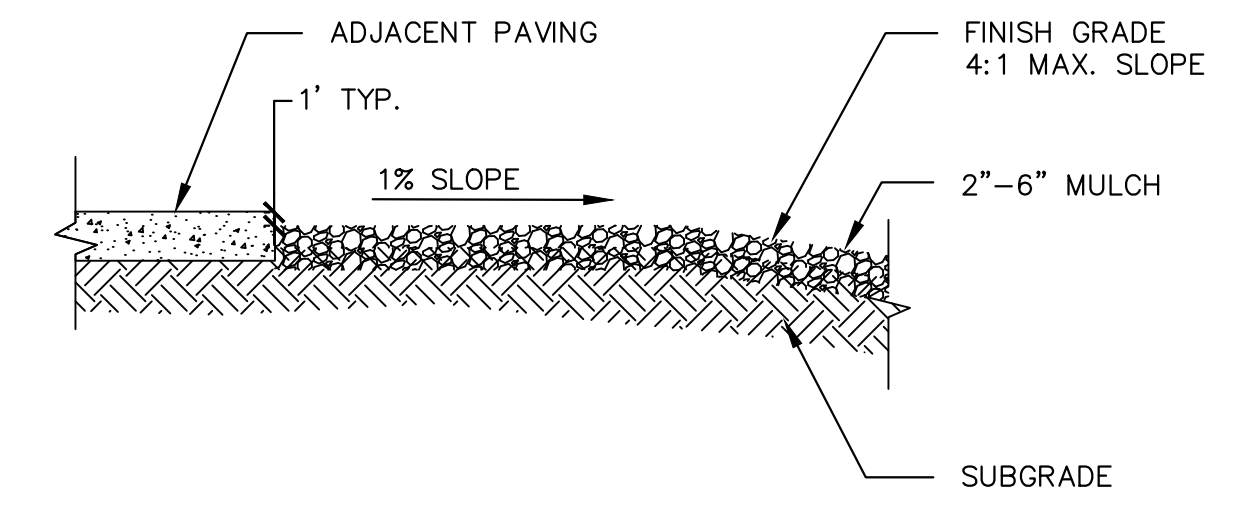


- NOTES:**
1. PRUNE ONLY DEAD, DAMAGED OR CROSSING BRANCHES THAT RUB.
 2. IN AREAS OF HARD DIGGING CONDITIONS THE PLANTING HOLE SHALL BE OVEREXCAVATED TO MINIMUM DEPTH OF 36 INCHES AND A MINIMUM WIDTH OF 48 INCHES. TWENTY POUNDS OF GYPSUM SHALL BE EVENLY ADDED TO THE BOTTOM OF THE PIT, AND THE PIT COMPLETELY BACKFILLED WITH PREPARED SOIL AND COMPACTED TO A MINIMUM DENSITY OF 85 PERCENT AND A MAXIMUM DENSITY OF 90 PERCENT. AFTER THE PIT HAS BEEN BACKFILLED AND COMPACTED, THE PLANTING PIT SHALL BE AUGURED. ONCE AUGURING HAS BEEN COMPLETED, THE PIT SHALL BE FILLED WITH WATER AND ALLOWED TO DRAIN. ONCE DRAINED, THE PIT SHALL BE FILLED A SECOND TIME AND AGAIN ALLOWED TO DRAIN PRIOR TO INSTALLATION OF THE PLANT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY PIT THAT DOES NOT DRAIN WITHIN 48 HOURS. ANY PIT WHICH HAS NOT FULLY DRAINED AFTER EACH FILLING WITHIN A TWELVE HOUR PERIOD SHALL BE DEEPENED UNTIL PROPER DRAINAGE IS ACHIEVED. IF PROPER DRAINAGE CANNOT BE ACHIEVED, THE PIT SHALL BE MOVED OR DELETED, AS DETERMINED BY THE ENGINEER. IF REQUIRED, THIS WORK SHALL BE PAID FOR AS PART OF THE UNIT PRICE BID.

1 TREE PLANTING NTS



2 SHRUB/GROUND COVER
PLANTING - 1, 5 & 15 GAL. SIZE NTS



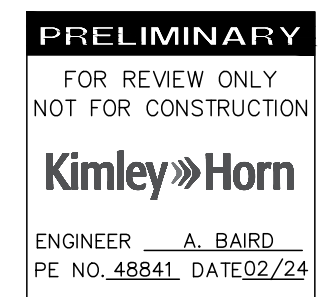
3 FINISH GRADE AT CURB AND PAVING NTS



NOTICE OF EXTENDED PAYMENT PROVISION
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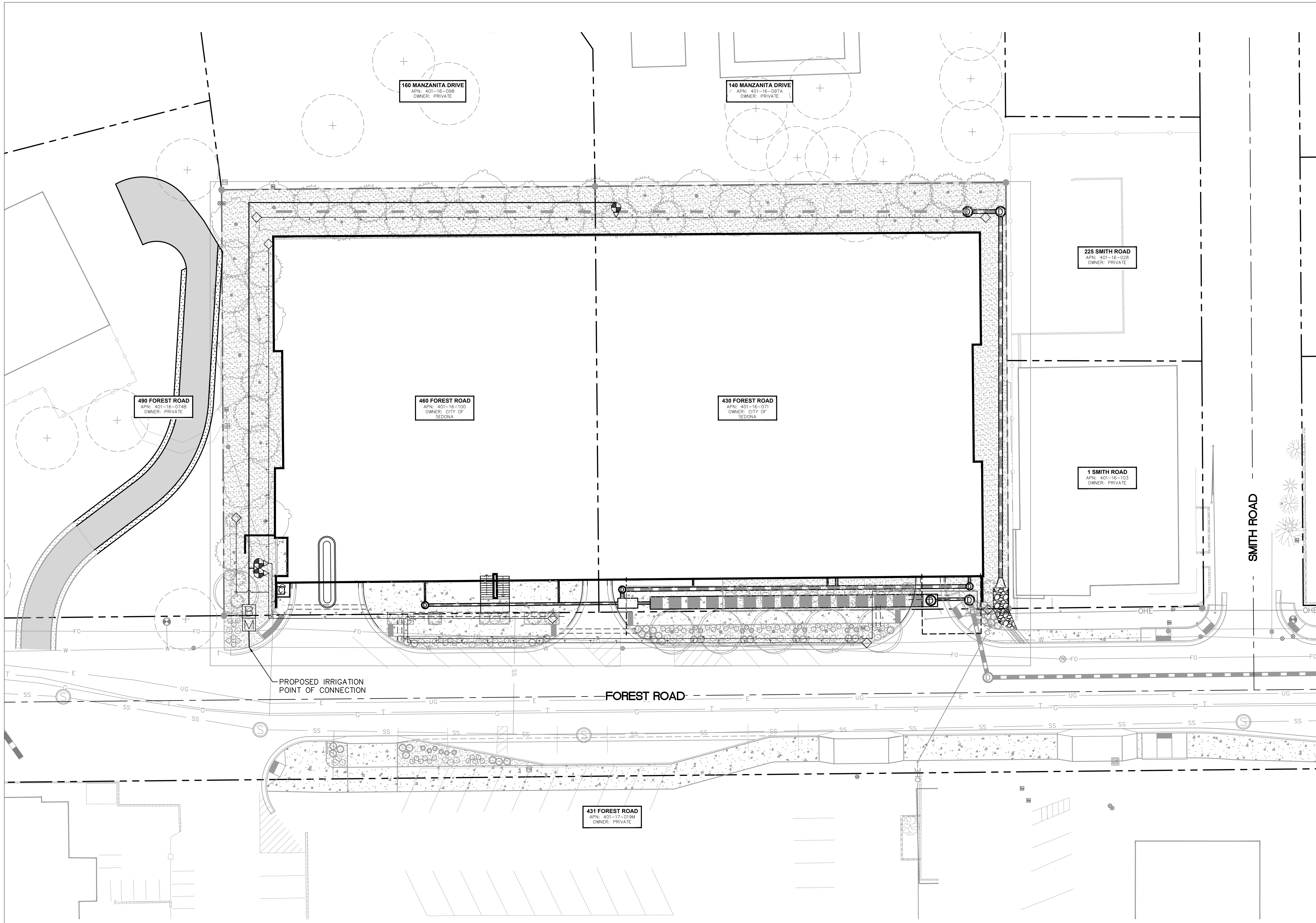


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UPTOWN SEDONA
PARKING GARAGE
LANDSCAPE DETAILS

SHEET ID	LS03
SHEET NO.	14 OF 17

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IRRIGATION LEGEND	
SYMBOL	EQUIPMENT
	WATER METER – POTABLE
	CONTROLLER
	BACKFLOW PREVENTER
	PRESSURE REGULATOR
	REMOTE CONTROL VALVE ASSEMBLY – DRIP ZONES
	MAINLINE
	TREE LATERAL LINE
	SHRUB LATERAL LINE
	SLEEVE UNDER STREET & PATHWAY
	END CAP AUTOMATIC FLUSHING COMPRESSION END PLUG
NOT SHOWN	EMITTER ASSEMBLY MULTI-PORT; (1 GPH & 2 GPH)

LEGEND:	
	PROPERTY LINE
	PROPOSED FLOW LINE
	ROADWAY CENTERLINE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR

NORTH

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ENGINEER A. BAIRD
PE NO. 48841 DATE 02/24

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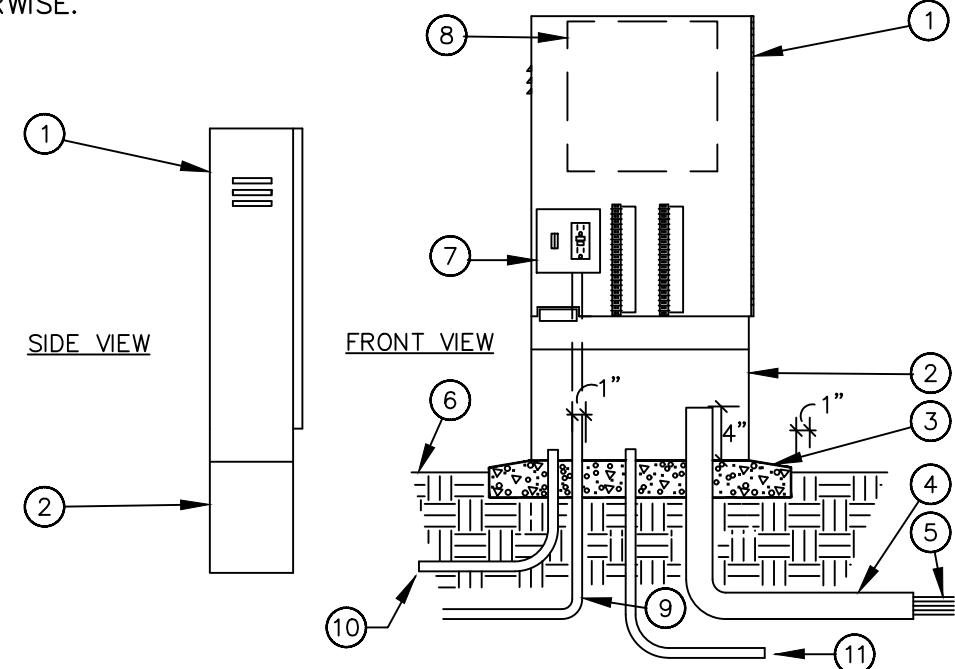
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UPTOWN SEDONA
PARKING GARAGE
IRRIGATION PLAN

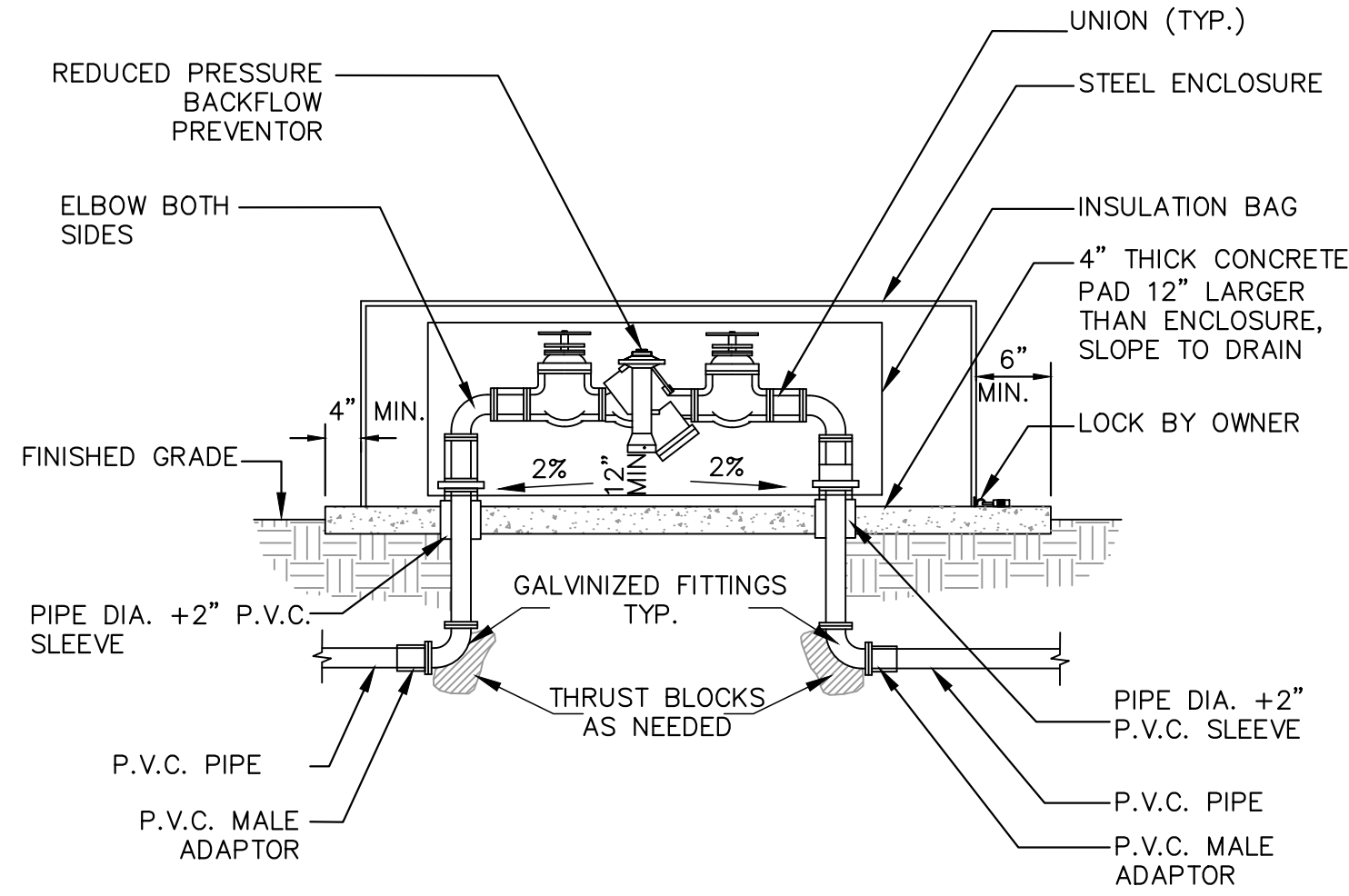
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IR01
SHEET NO.
15 OF 17

LEGEND

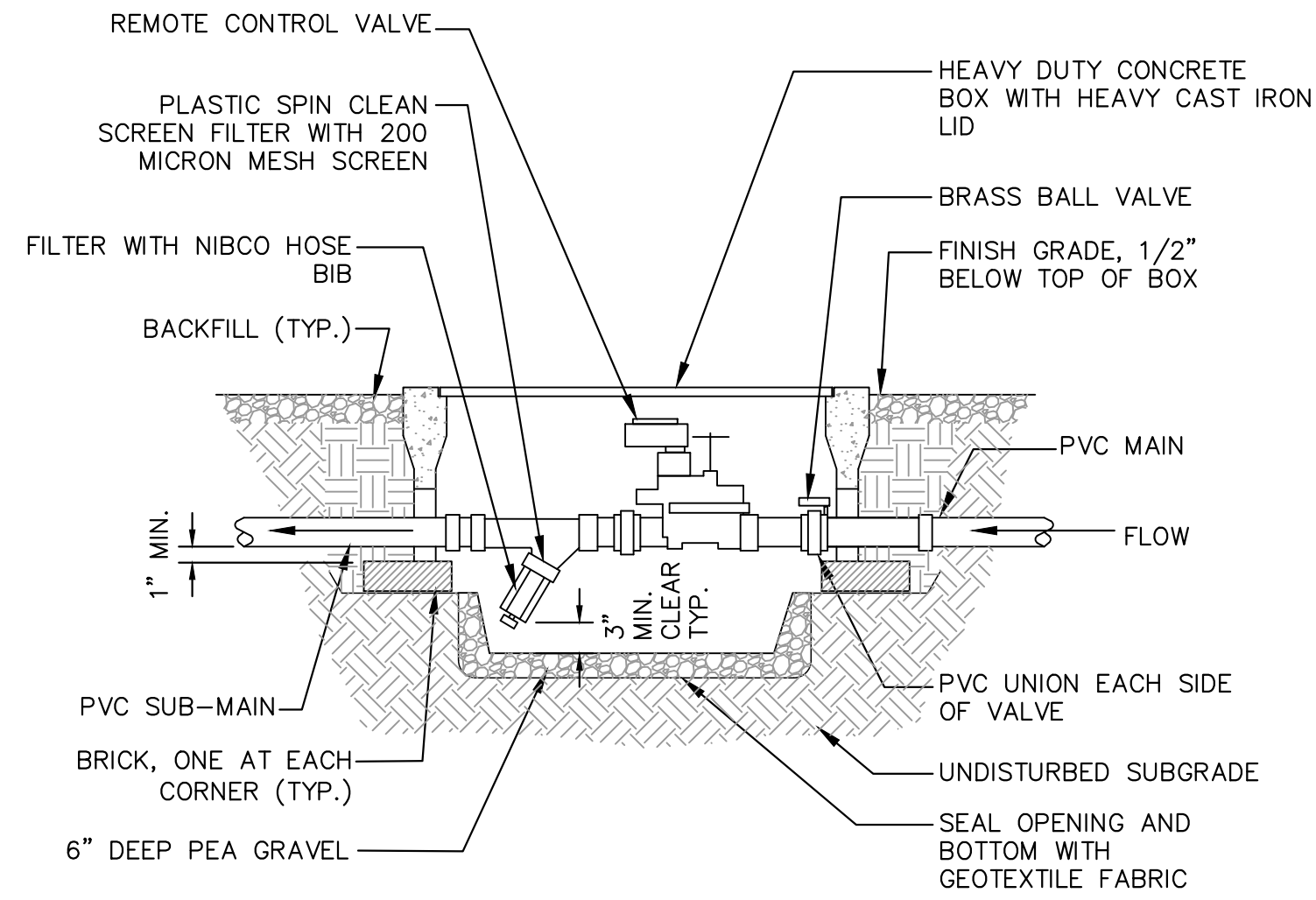
1. CONTROLLER ENCLOSURE.
2. PEDESTAL.
3. POURED CONCRETE BASE - 6" MIN. THICKNESS - EXTEND 6" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE WITH 1/2% SLOPE FOR DRAINAGE.
4. 2" PVC LONG SWEEP ELL FOR CONTROL WIRES - USE ONE SWEEP ELL PER 18 STATIONS.
5. DIRECT BURIAL CONTROL WIRES TO CONTROL VALVES.
6. FINISH GRADE
7. CONTROLLER SUB-ASSEMBLY (CSA) INCLUDES GFI & TERMINAL STRIPS WITH PLACARDS.
8. AUTOMATIC CONTROLLER.
9. 120-VOLT DEDICATED SERVICE POWER SUPPLY IN CONDUIT (3/4" MIN.)
10. 1 1/2" PVC LONG SWEEP ELL FOR GROUNDING WIRE.
11. 1" PVC LONG SWEEP ELL FOR COMMUNICATION WIRE, UNLESS SPECIFIED OTHERWISE.



1 PEDESTAL MOUNTED CONTROLLER NTS

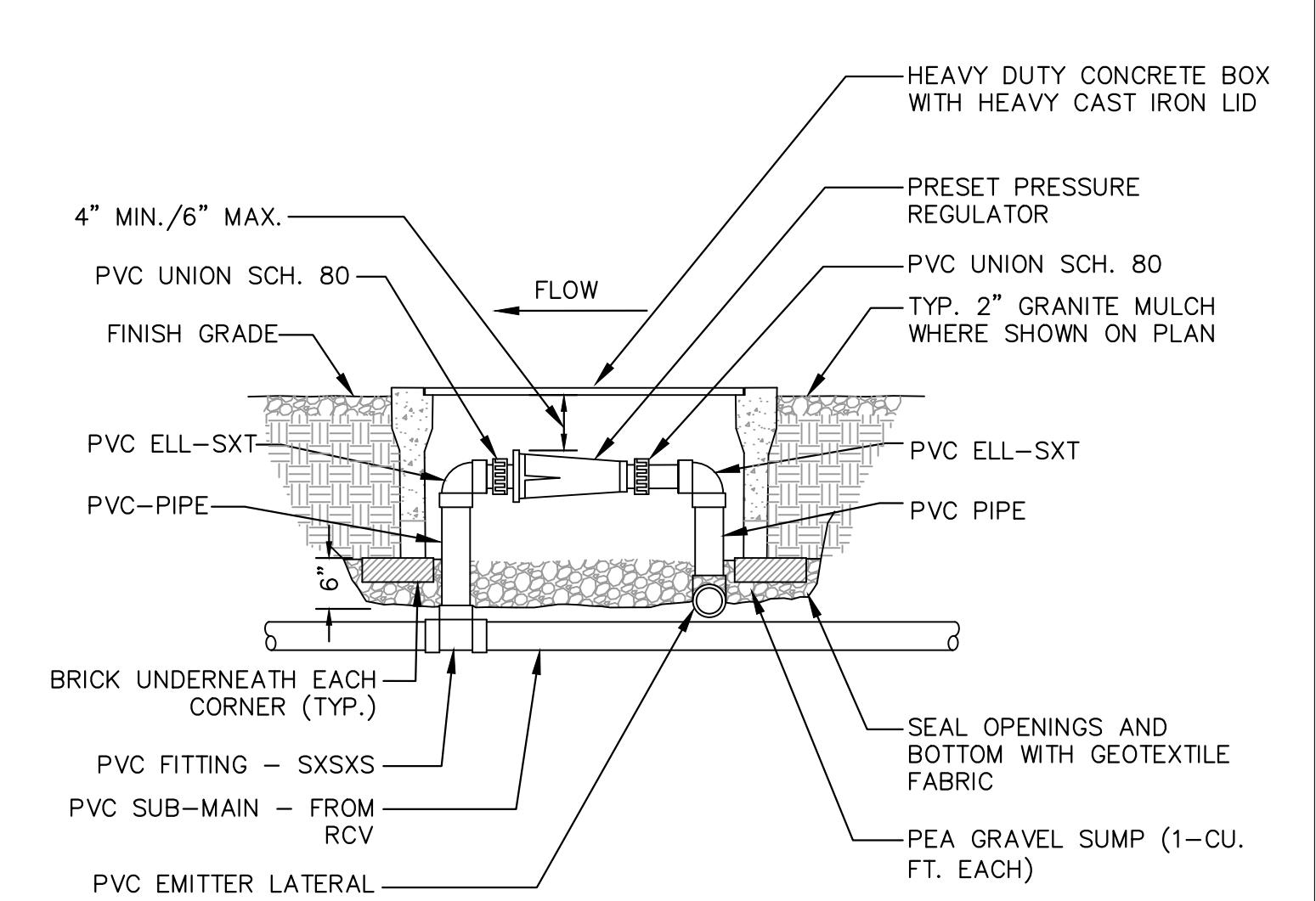


2 BACKFLOW PREVENTION UNIT - 1" NTS



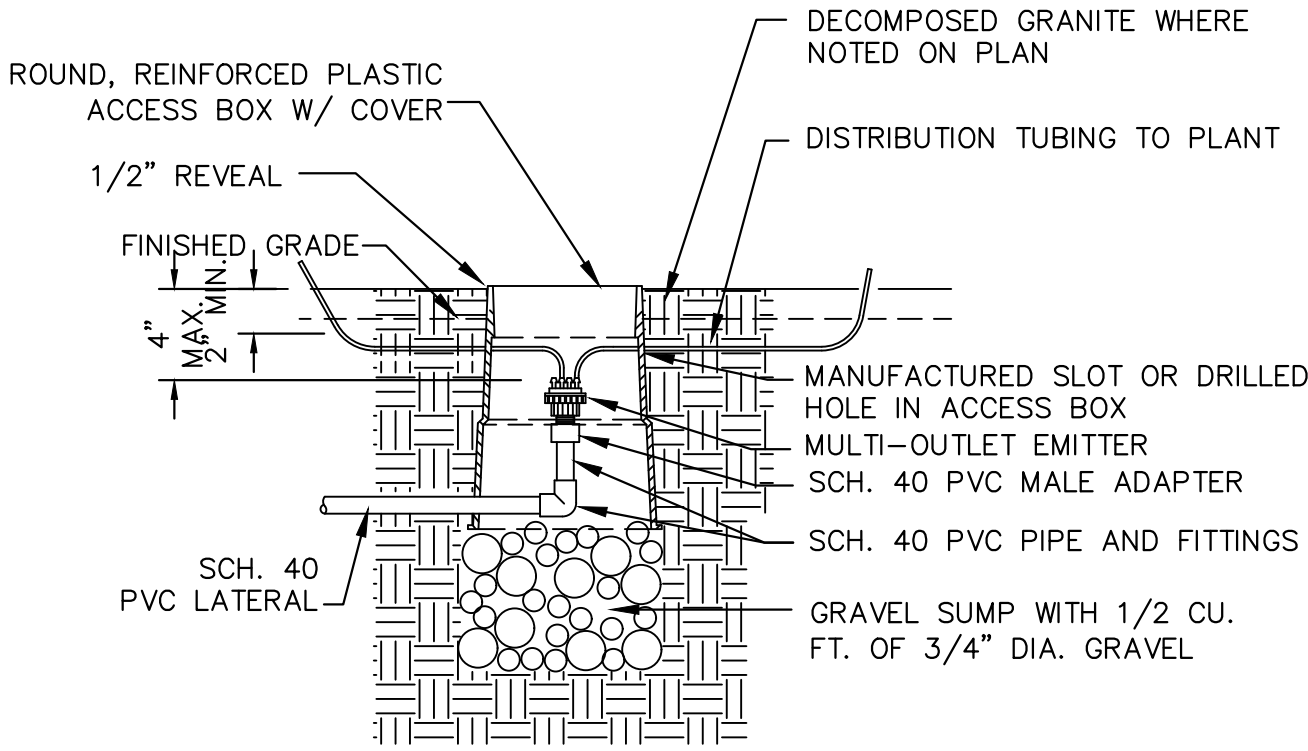
NOTES:
1. PROVIDE 2' FLEXIBLE HOSE WITH FILTER. INSTALL FILTER ON SIDE AT A SLIGHT DOWNWARD ANGLE.

3 REMOTE CONTROL VALVE WITH FILTER NTS

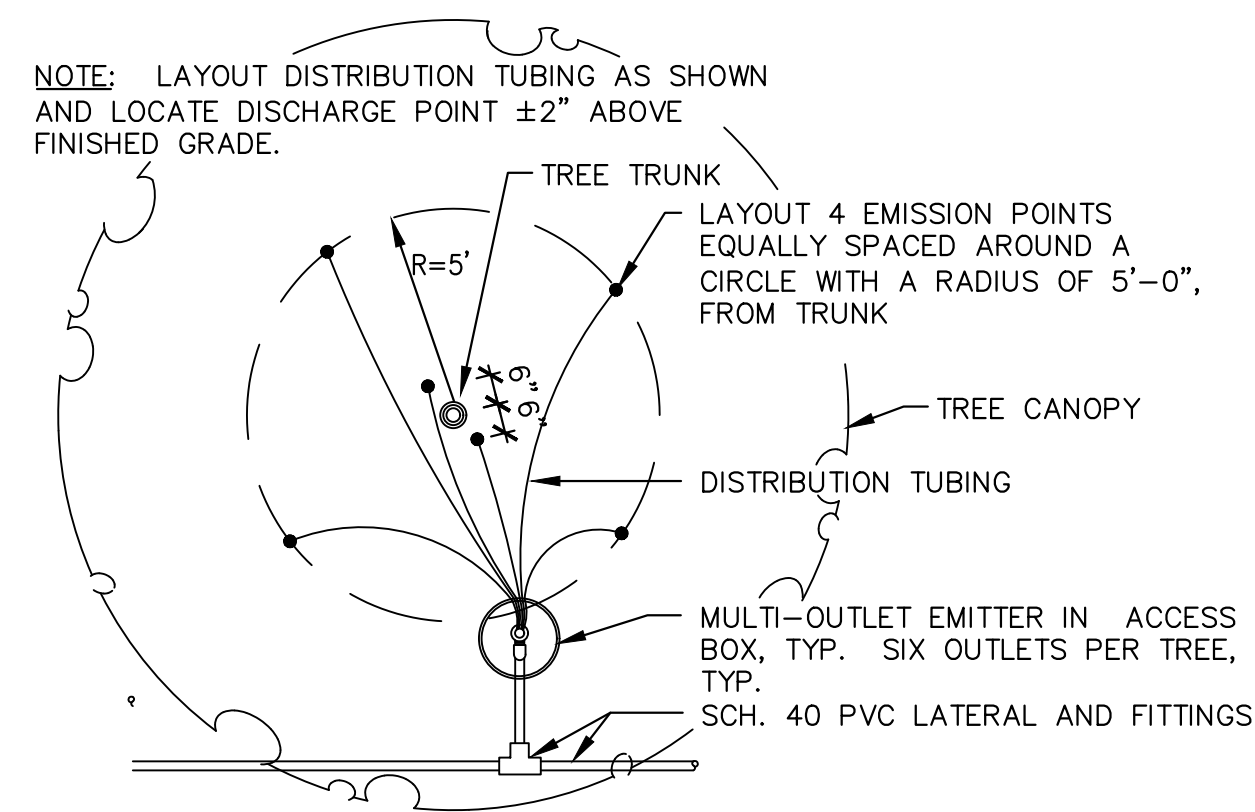


NOTES:
1. ALL PIPE SCH. 40 EXCEPT SCH. 80 UNIONS

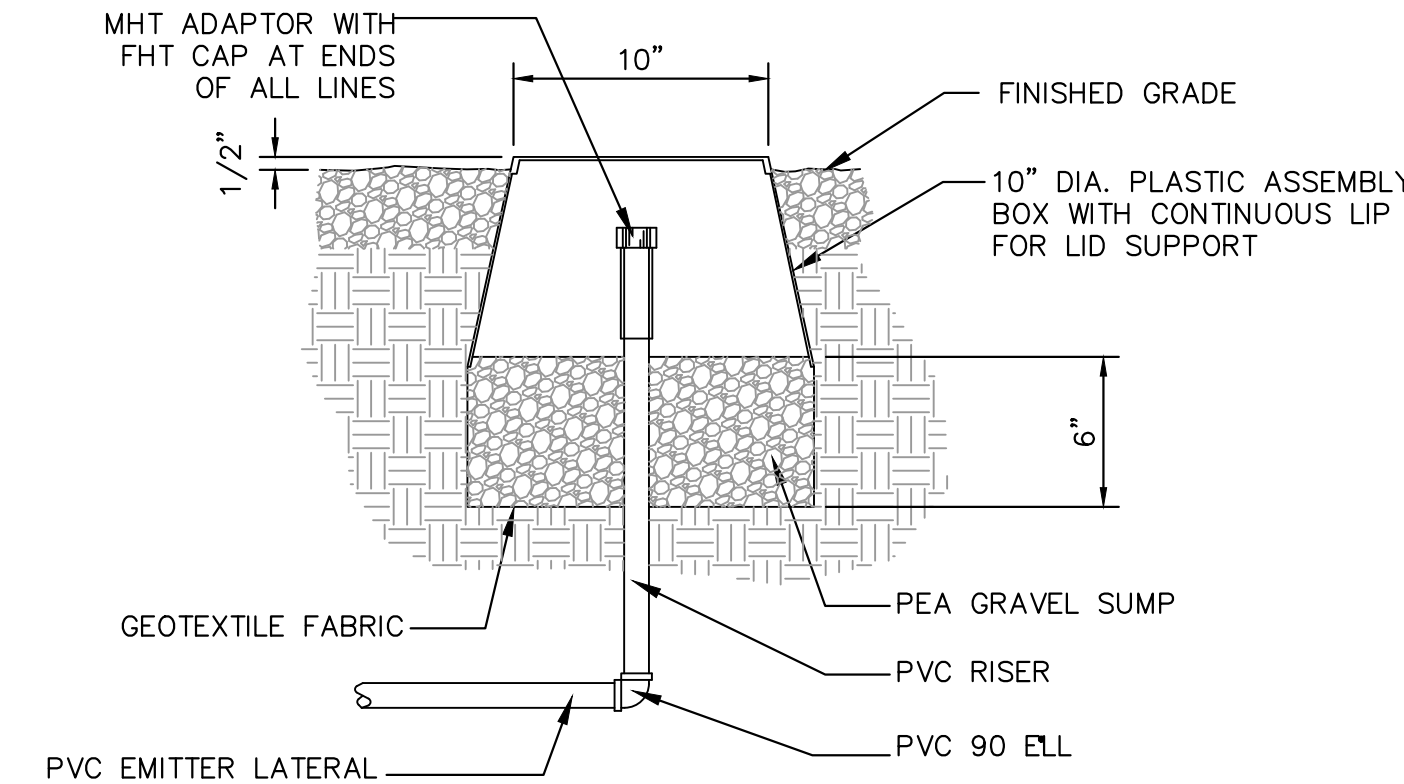
4 PRESSURE REGULATOR RISER NTS



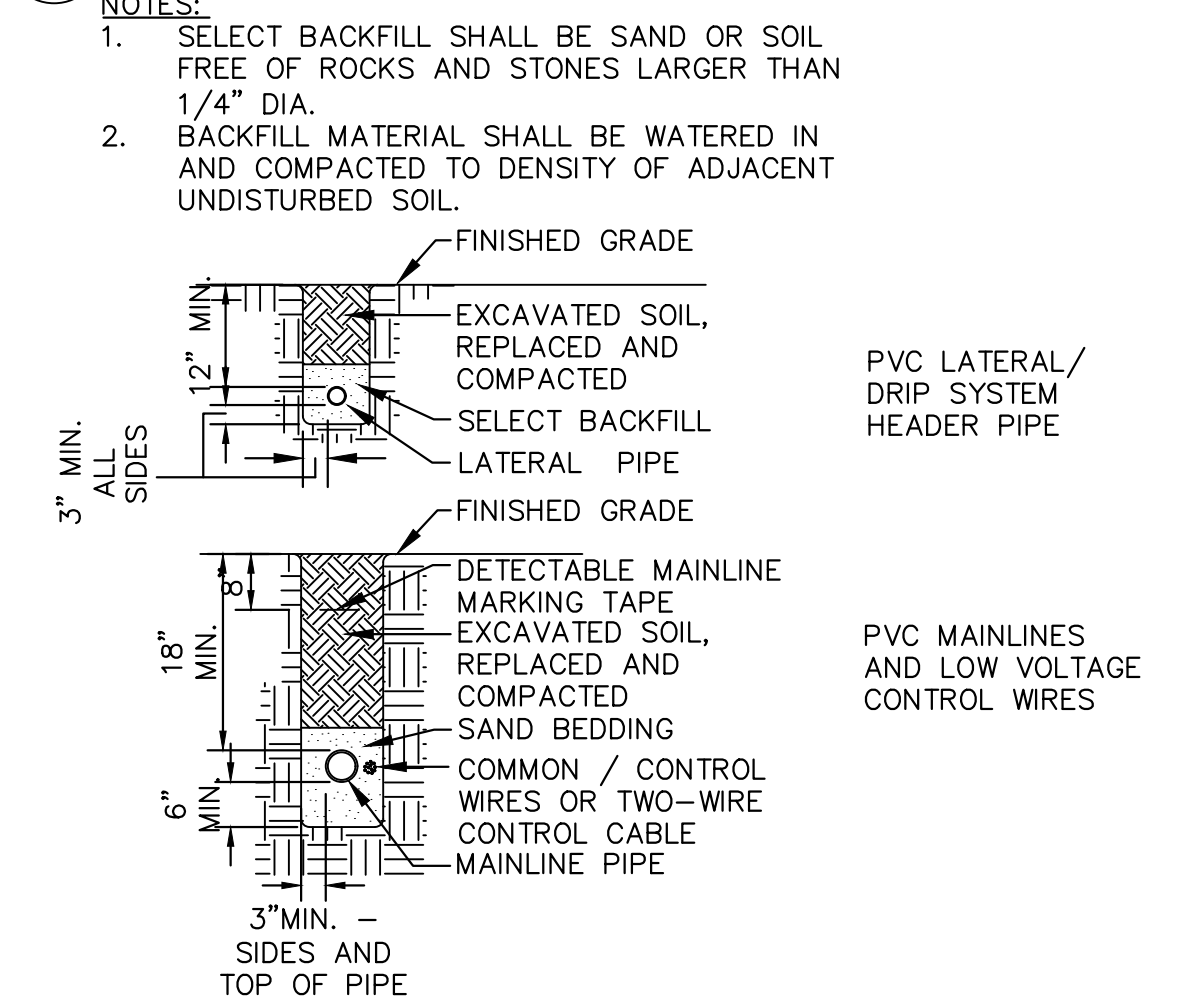
5 MULTI OUTLET EMITTER - SIX OUTLET NTS



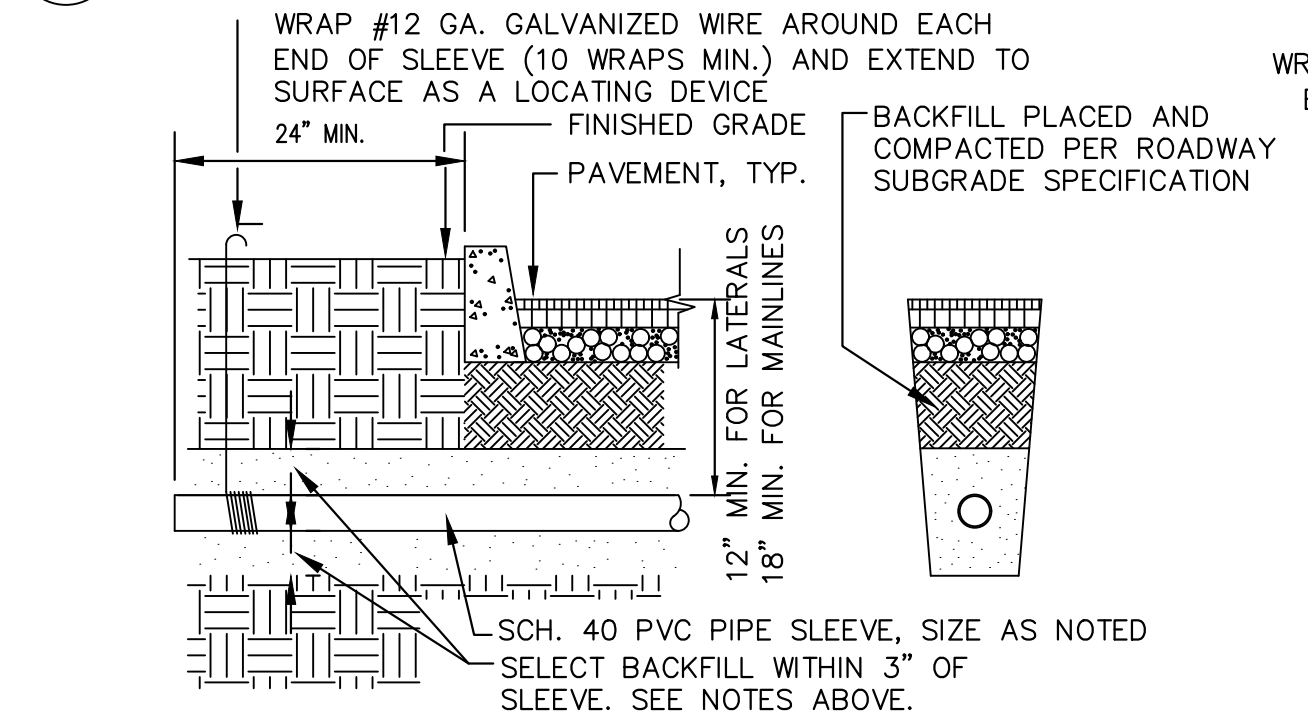
6 EMITTER DISTRIBUTION TUBING LAYOUT AND TREE - SIX OUTLET NTS



7 FLUSH END CAP (PVC LATERAL END CAP) NTS

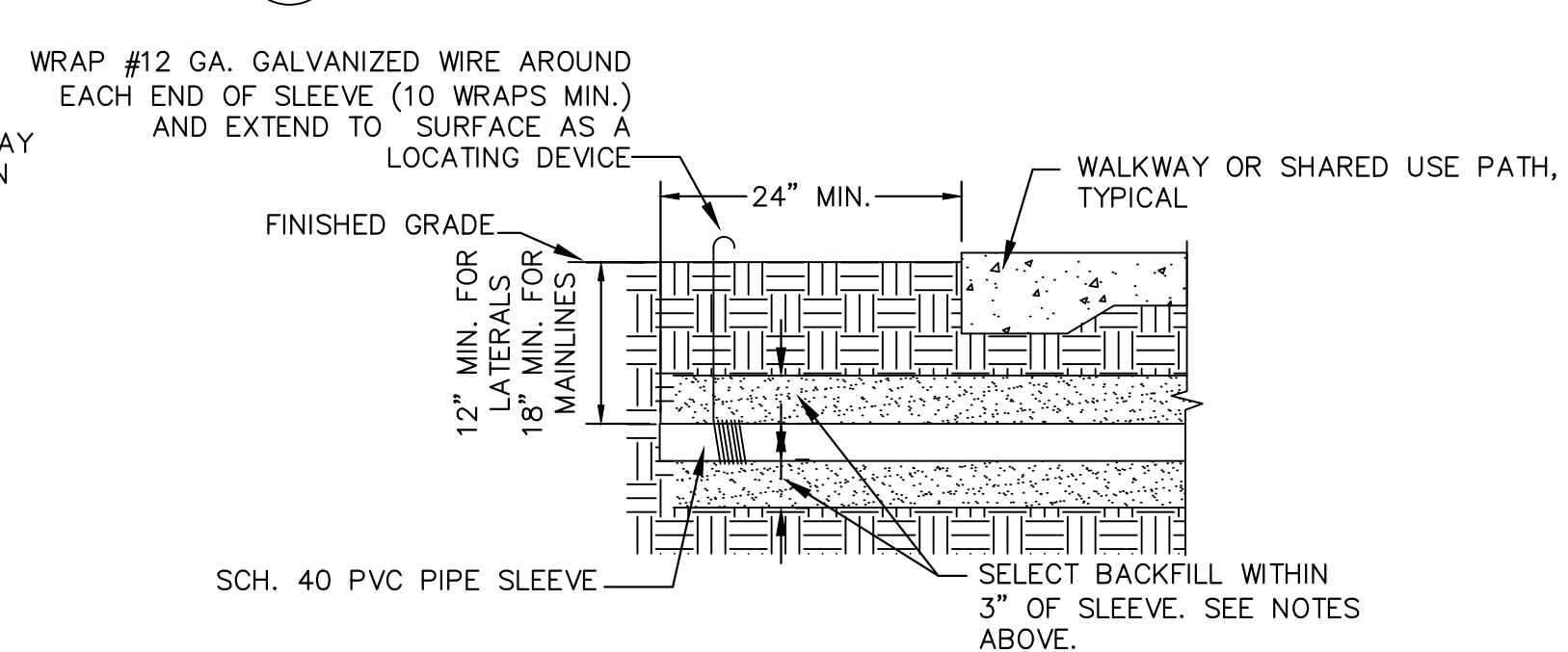


8 PIPE TRENCHING AND BACKFILL MAINLINES, LATERALS, & MARKING TAPE NTS



NOTE: BACKFILL WITHIN 3" OF SLEEVE SHALL BE FREE OF ROCKS AND STONES LARGER THAN 1/4" Ø. IF ROCK CANNOT BE REMOVED FROM EXCAVATED SOIL, PROVIDE CLEAN SAND BEDDING.

9 SLEEVE UNDER STREET OR PARKING LOT NTS

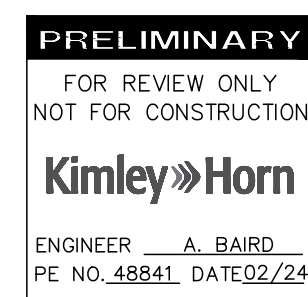


NOTES:
1. SLEEVES UNDER WALKWAYS SHALL BE SCHEDULE 40 PVC PIPE. SIZE SHALL BE AS NOTED ON PLANS.
2. BACKFILL WITHIN 3" OF SLEEVE SHALL BE FREE OF ROCKS AND STONES LARGER THAN 1/4" DIA. IF ROCK CANNOT BE REMOVED FROM EXCAVATED SOIL, PROVIDE CLEAN SAND BEDDING.

10 SLEEVE UNDER WALKWAY NTS

K:\PRS_Roadway\091885001-Uptown Sedona Parking Garage\CAD\PlanSheets\IR01.dwg

Symbol	Revisions	Date	Appr.	Designed by:	Date:
				MMP	02/05/2024
				Drawn by:	Scale:
				MMP	N/A
				Checked by:	Project Code:
				RVF	091885001



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101 WEST GOODWIN ST, SUITE 303 PRESCOTT ARIZONA, 86303
PHONE: 928-458-7121
WWW.KIMLEY-HORN.COM



**CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111**

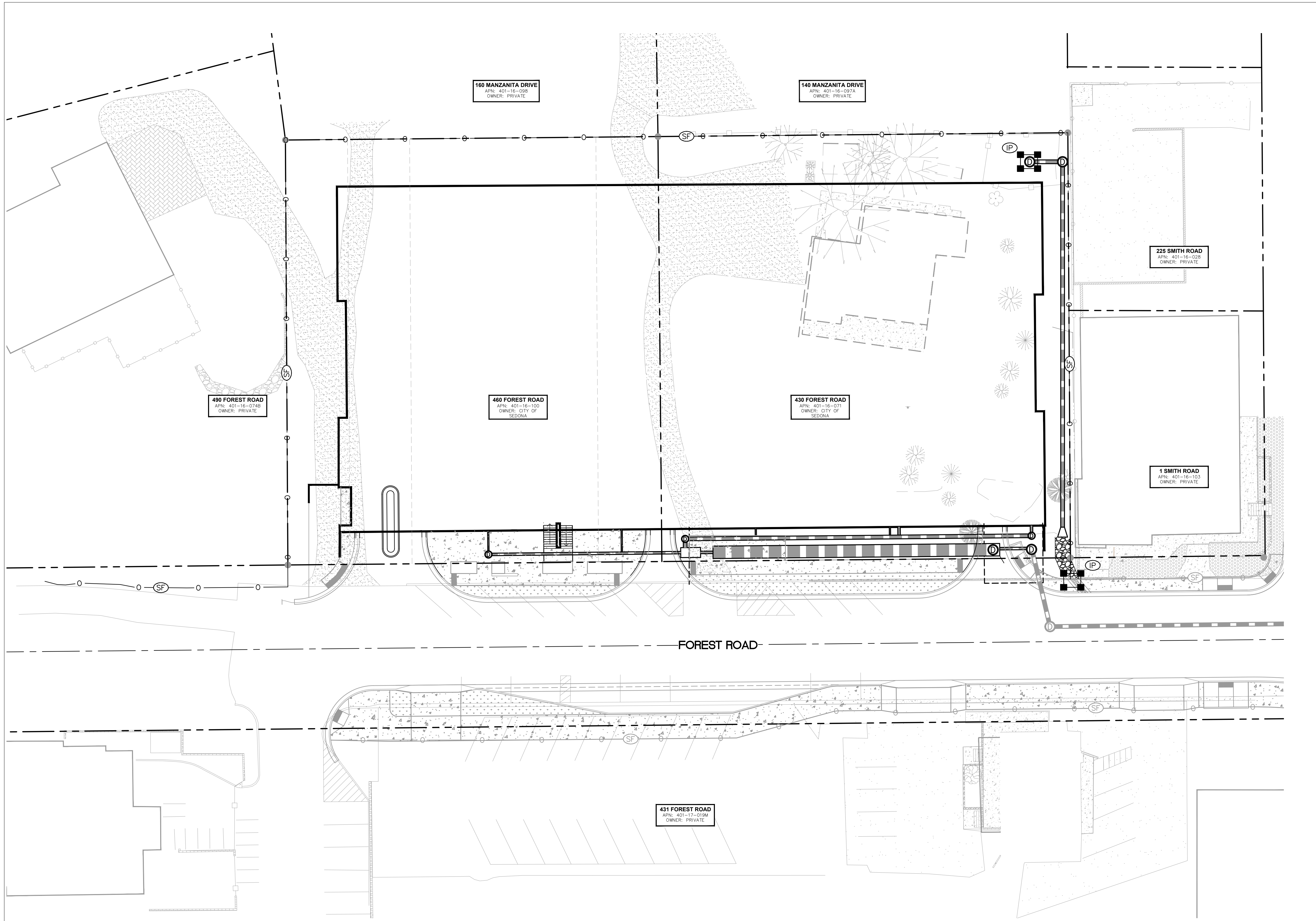
**UPTOWN SEDONA
PARKING GARAGE
IRRIGATION DETAILS**

SHEET ID	IR02
SHEET NO.	16 OF 17

NOTICE OF EXTENDED PAYMENT PROVISION
(PER ARS 32-1129.01) THIS CONTRACT ALLOWS THE OWNER TO MAKE PAYMENT WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR PROGRESS PAYMENTS WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVALS OF BILLINGS AND ESTIMATES FOR RELEASE OF RETENTION AND WITHIN 15 DAYS AFTER CERTIFICATION AND APPROVAL OF BILLINGS AND ESTIMATES FOR FINAL PAYMENT.

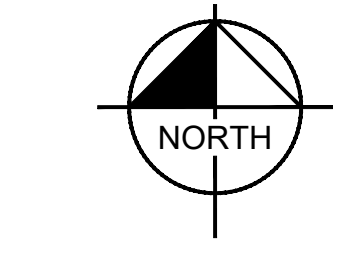
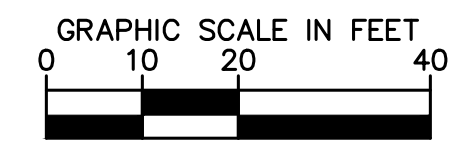


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LEGEND

	INLET PROTECTION PER BMP SPC-7
	SILT FENCE PER BMP SPC-5



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Symbol	Revisions	Date	Appr.	Designed by:	Date:
				JRW	02/05/2024
				Drawn by:	Scale:
				EKH	1"=20'
				Checked by:	Project Code:
				ACB	091885001

PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
Kimley»Horn
 ENGINEER A. BAIRD
 PE NO. 48841 DATE 02/24

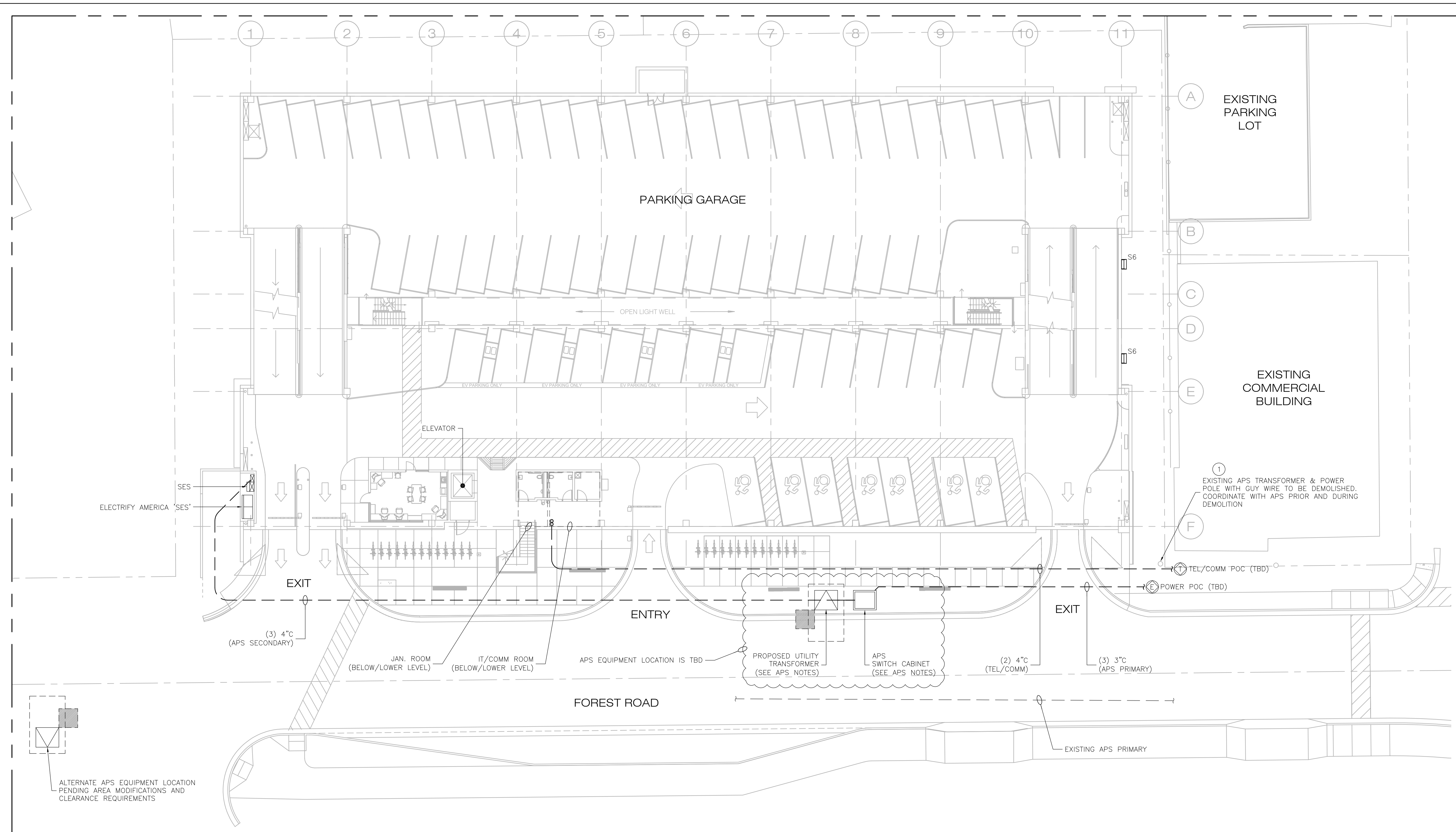
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 101 WEST GOODWIN ST, SUITE 303 PRESCOTT ARIZONA, 86303
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CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
 102 ROADRUNNER DRIVE
 SEDONA, ARIZONA 86336
 928-204-7111

UPTOWN SEDONA
PARKING GARAGE
EROSION CONTROL PLAN

SHEET ID
 ER01
SHEET NO.
 17 OF 17



- GENERAL NOTES**
- REFER TO ELECTRICAL LEGEND AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - UTILITY SERVICE (TELEPHONE/CABLE) - COORDINATE ALL SERVICE REQUIREMENTS WITH UTILITY. PROVIDE AND INSTALL ALL NECESSARY TRENCHING CONDUITS, JUNCTION BOXES, AND ALL ELSE AS REQUIRED PER UTILITY SPECIFICATIONS.
 - EXTERIOR RECEPTACLES SHALL BE IN-USE WEATHERPROOF COVER, NEMA 3R, SINGLE GANG, VERTICAL DEEP WITH METAL COVER & IDENTIFY AS "EXTRA DUTY" PER NEC ART. 406.9. SEE E0.1 FOR SPECS.
 - PROVIDE DETECTABLE UNDERGROUND LOCATION DEVICE (MIN. #18 COPPER TRACER ATTACHED AT 8FT INTERVALS) IN ALL NON-METALLIC UNDERGROUND CONDUITS PER A.R.S. 40-360.22M.
 - CONTRACTOR SHALL ARRANGE AND ATTEND A NIGHTTIME INSPECTION OF THE ENERGIZED LIGHTING BY OWNER'S STAFF AND SHALL CORRECT ALL NON-CONFORMING ITEMS IDENTIFIED DURING THE INSPECTION PRIOR TO THE CITY ISSUING THE FINAL CERTIFICATE OF OCCUPANCY/COMPLETION.

- KEYED NOTES - SITE PLAN**
- ESTIMATED POINT OF CONNECTION POWER, EXISTING UTILITY PRIMARY.
 - ESTIMATED POINT OF CONNECTION (DATA/TEL). EXISTING DATA/TELEPHONE UTILITIES AT ROADWAYS.

- KEYED NOTES**
- COORDINATE RELOCATION OF EXISTING POLE(S), GUY WIRES WITH APS. REFER TO APS DESIGN FOR COMPLETE REQUIREMENTS.

- APS NOTES**
- COORDINATE WITH APS (SEE COVER SHEET FOR CONTACT) AND APS DESIGN FOR THE REWORK / REPLACEMENT OF EXISTING POLE AND GUYS WIRE.
- PRELIMINARY DESIGN CONSIDERATIONS INCLUDE:
- * SELF SUPPORTING POLE OPTION (TO AVOID GUY WIRE). NOTE LEAD TIME.
 - * CONFIRM APS REQUIRED CLEARANCE FROM OVERHEAD LINES TO STRUCTURE
 - * APS TO CONFIRM PRIMARY CONNECTION VIA EXISTING UNDERGROUND PRIMARY
 - * ALONG FOREST ROAD (AS COORDINATED WITH OTHER FOREST ROAD IMPROVEMENTS), INCLUDING THE LOCATION OF TRANSFORMER, SWITCHING CABINET AND NEW UTILITY POLE.
 - * BLUE STAKE TO CONFIRM EXACT LOCATION UNDER FOREST ROAD.
 - * APS TO CONFIRM METER ROOM LOCATION WITH APS METER SHOP
 - * A SWITCHING CABINET AND PAD MOUNTED TRANSFORMER SHALL BE REQUIRED BY APS AND THE REQUIRED CLEARANCES PER APS ESRM GOVERN.

1 ELECTRICAL SITE PLAN
SCALE: 1/16"=1'-0"

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Contact Arizona 811 at least two full working days before you begin excavation

APPLIED ENGINEERING
2800 S. RURAL RD. SUITE 101
TEMPE, AZ 85282 (480)968 3070
JOB NUMBER 21-020

VOLTA
1730 E. Northern Avenue, Ste. 120, Phoenix, AZ 85020
Tel: (480) 659-0511, VoltaUS.com

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VERIFY SCALES 0 1"
BAR IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

Symbol	Revisions	Date	Appr.

Designed by:	Date:
WB	08 February 2024
Drawn by:	
ES	
Checked by:	Project Code:
WB	GLA PROJECT NO. 20109

GMP PROGRESS SET
NOT FOR CONSTRUCTION
OR RECORDING

gabor lorant architects

3326 n. 3rd avenue suite 200
phoenix, arizona 85013
tel: 602.667.9090
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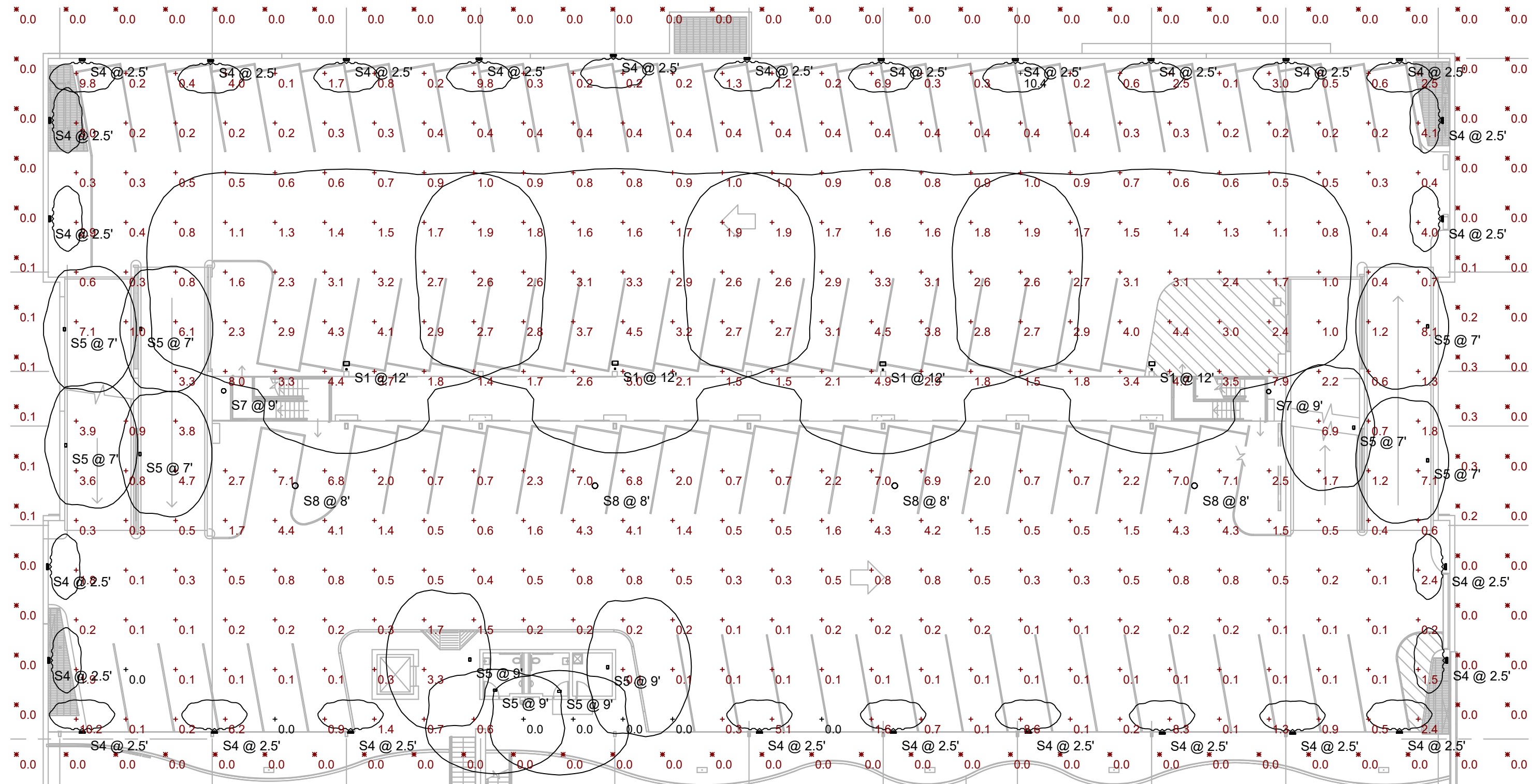
gla

CITY OF SEDONA
PUBLIC WORKS DEPARTMENT
102 ROADRUNNER DRIVE
SEDONA, ARIZONA 86336
928-204-7111

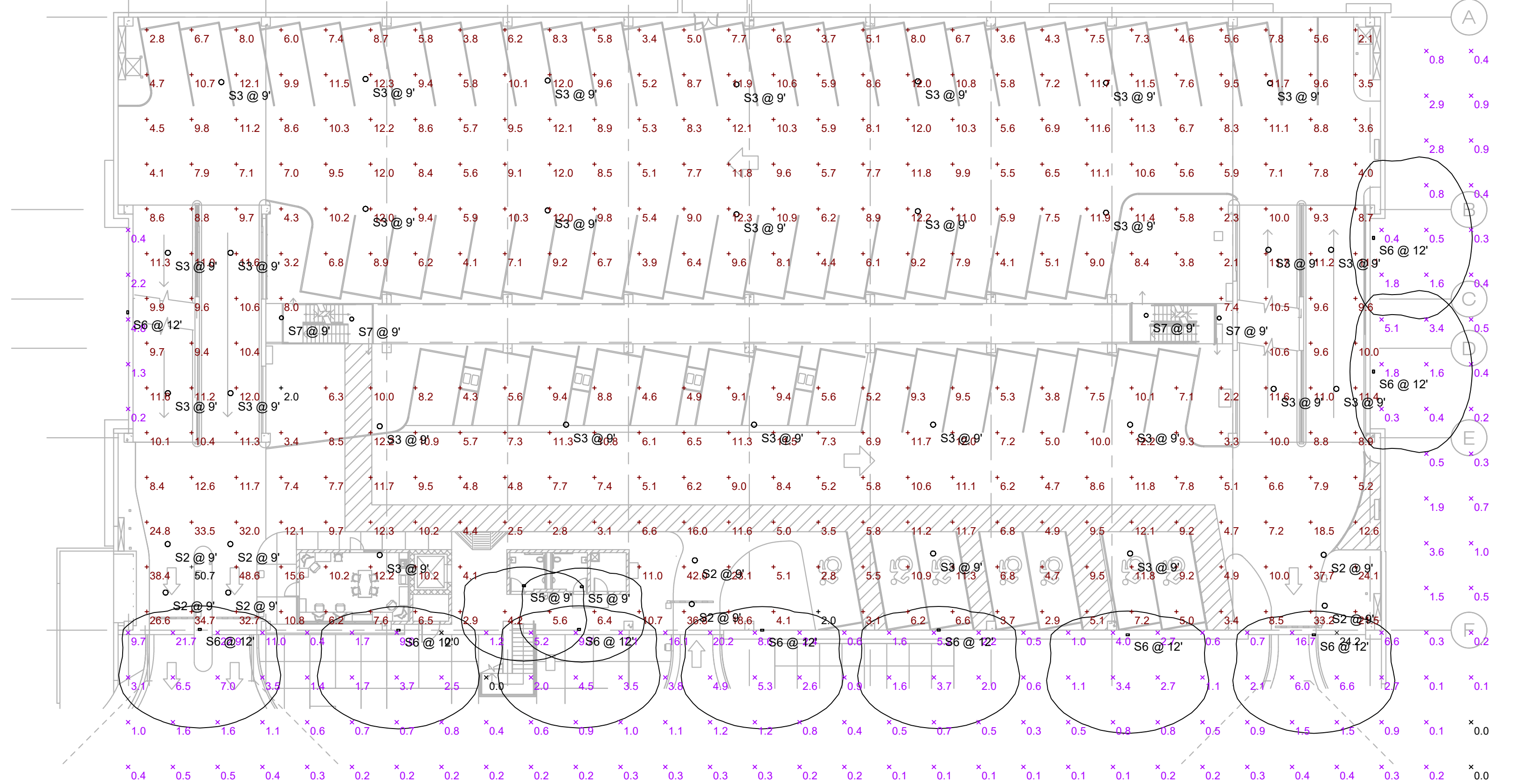
Uptown Sedona Parking Facility
Electrical Site Plan

SHEET ID
e1.0

SHEET NO.
- OF



3 UPPER DECK - PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"



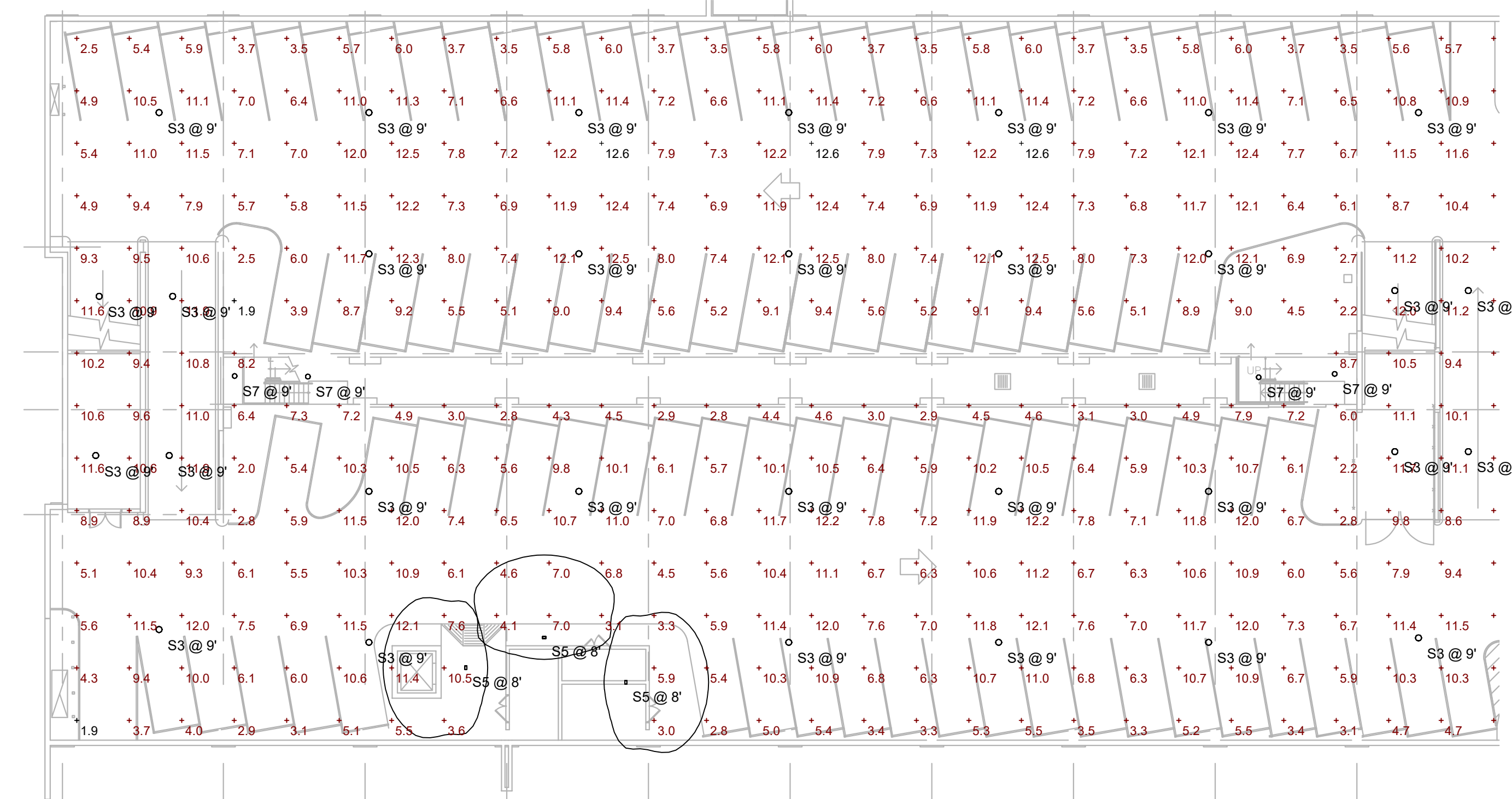
2 GROUND LEVEL PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage
□	S1	4	LITHONIA	DSX0 LED P3 27K 80CRI T4m MVOLT SPA NLTAIR2 FINISH / SSS 10'	D-SERIES SIZE 0 AREA LUMINAIRE P3 PERFORMANCE PACKAGE 3000K CCT 80 CRI TYPE 4 MEDIUM	LED - 2700K COLOR TEMP	7776	0.91	68.95
○	S2	8	LITHONIA	VCPG LED P6 27K T5E MVOLT PM SPD10KV LDS36 NLTAIR2 FINISH	VCPG LED WITH P6 - PERFORMANCE PACKAGE, 2700K, T5E OPTIC TYPE	LED - 2700K COLOR TEMP	12877	0.91	107.69
○	S3	59	LITHONIA	VCPG LED P6 27K T5W MVOLT PM SPD10KV LDS36 NLTAIR2 FINISH	VCPG LED WITH P6 - PERFORMANCE PACKAGE, 2700K, T5W OPTIC TYPE	LED - 2700K COLOR TEMP	12916	0.91	107.69
□	S4	28	C.W.COLE	SL612W-AL-HO-15DEG-27K	3-3/4"L X 14"W X 4"H LED STEPLIGHT 1 MODULE WITH 24 2700K LEDS WITH CLEAR TEMPERED GLASS LENS	LED - 2700K COLOR TEMP	300	0.91	19.54
□	S5	16	LITHONIA	WDGE2 LED P1 27K 80CRI VW VOLTAGE SRM NLTAIR2 PIR FINISH	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 2700K, 80CRI, VISUAL COMFORT WIDE OPTIC	LED - 2700K COLOR TEMP	1197	0.91	9.81
□	S6	13	LITHONIA	WDGE2 LED P2 27K 80CRI VW VOLTAGE SRM NLTAIR2 PIR FINISH	WDGE2 LED WITH P2 - PERFORMANCE PACKAGE, 2700K, 80CRI, VISUAL COMFORT WIDE OPTIC	LED - 2700K COLOR TEMP	1927	0.91	14.53
○	S7	10	LUMINAIRE LED	APX13 NODIM 25W 27K VOLTAGE FCL FINISH SHCAB	13" ROUND SURFACE MOUNT LUMINAIRE WITH FLAT FULL CUTOFF VANDAL RESISTANCE LENSE.	LED - 2700K COLOR TEMP	2523	0.91	25.3
○	S8	4	LITHONIA	VCPG LED P2 27K T5R MVOLT PM SPD10KV LDS36 NLTAIR2 FINISH	VCPG LED WITH P2 - PERFORMANCE PACKAGE, 3000K, T5R OPTIC TYPE	LED - 2700K COLOR TEMP	4426	0.91	33.96

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BASEMENT	+	7.8 fc	12.6 fc	1.9 fc	6.6:1	4.1:1
GROUND FLR	+	9.3 fc	50.7 fc	2.0 fc	25.4:1	4.7:1
GROUND FLR SITE FC AFG	×	2.2 fc	24.2 fc	0.0 fc	N/A	N/A
TOP DECK	+	1.7 fc	10.4 fc	0.0 fc	N/A	N/A
SPILL AT GRADE FROM UPPER DECK LIGHTS	×	0.0 fc	0.3 fc	0.0 fc	N/A	N/A

PHOTOMETRIC NOTES

A. THE PHOTOMETRIC DATA ON THIS SHEET HAS BEEN REVIEWED BY THE ENGINEER FOR COMPLIANCE WITH APPLICABLE LIGHTING CODES. THE CALCULATIONS ARE PERFORMED BY LIGHTING SUPPLIER AND THE ENGINEER'S REVIEW IS NOT A GUARANTEE OF PERFORMANCE. SUBSTITUTIONS TO ANY FIXTURE WILL REQUIRE UPDATED PHOTOMETRICS WHICH WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE FIXTURE SCHEDULE SHOWN ON THIS SHEET IS FOR CALCULATION PURPOSES ONLY. DO NOT USE AS A BILL-OF-MATERIAL. REFER TO THE PROJECT FIXTURE SCHEDULE.



1 LOWER LEVEL PHOTOMETRIC SITE PLAN
SCALE: 1"=20'-0"

VERIFY SCALES
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				WB	08 February 2024
				Drawn by:	
				ES	
				Checked by:	Project Code:
				WB	GLA PROJECT NO. 20109

gabor lorant architects
3326 n. 3rd avenue suite 200
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fax: 602.667.9133
gaborlorant.com

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928-204-7111

Uptown Sedona Parking Facility
Photometric Site Plan

SHEET ID
e1.1

SHEET NO.
- OF