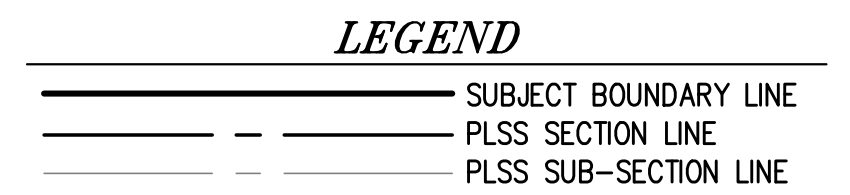
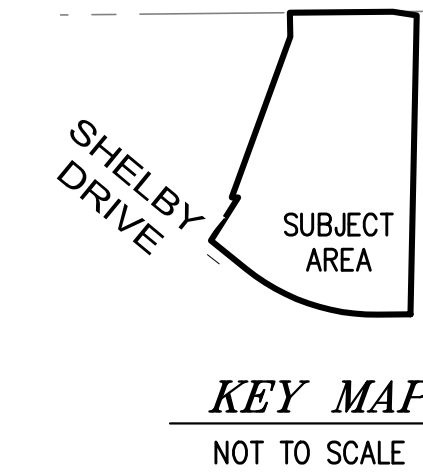
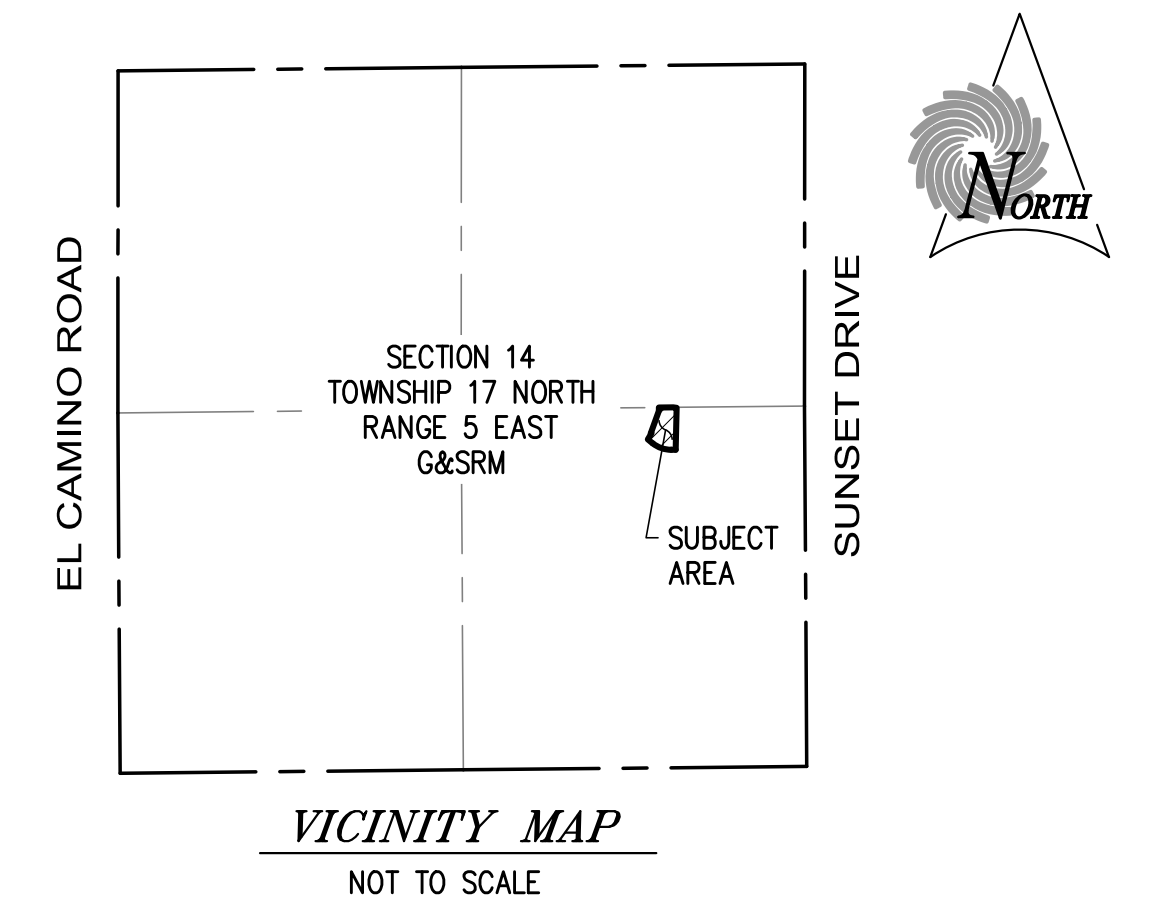


ALTA/NSPS LAND TITLE SURVEY
2250 SHELBY DRIVE BEING LOT 1 OF MINOR PLAT AMENDMENT
AAA INDUSTRIAL PARK
 LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 17 NORTH, RANGE 5 EAST,
 OF THE GILA AND SALT RIVER MERIDIAN, YAVAPAI COUNTY, ARIZONA



OWNER	LAND SURVEYOR
CITY OF SEDONA 102 ROADRUNNER DRIVE SEDONA, ARIZONA 86336-3710	SUNRISE ENGINEERING, LLC 2045 S VINEYARD, STE 101 MESA, ARIZONA 85210 CONTACT: RONNIE E. DORSEY, RLS PHONE: 480-768-8600

SUBJECT AREA

50,665 SQFT OR 1.1631 ACRES MORE OR LESS

BENCHMARK

BENCHMARK:	NGS BENCHMARK
DESIGNATION:	W 492
PID:	ES0654
DESCRIPTION:	2.5" NGS BRASS CAP FLUSH.
ELEVATION:	4378.76 INTERNATIONAL FOOT (NAVD88)

BASIS OF BEARING

SOUTH 89°25'55" WEST ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, BETWEEN A 2.5" CITY OF SEDONA BRASS CAP FLUSH MARKING THE EAST QUARTER CORNER OF SAID SECTION 14 AND A 1/2" REBAR WITH RED CAP "26925" MARKING THE CENTER QUARTER CORNER THEREOF

CERTIFICATION

TO CITY OF SEDONA, A MUNICIPAL CORPORATION, THE VILLAS ON SHELBY, LLC, AN OHIO LIMITED LIABILITY COMPANY, AND COMMONWEALTH LAND TITLE INSURANCE COMPANY, A FLORIDA CORPORATION:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 4, 5, 8, 11 & 13 OF THE TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 3, 2024.

DATE OF PLAT OR MAP: JUNE 18, 2024

	<p>SUNRISE ENGINEERING</p> <p>2045 SOUTH VINEYARD, SUITE 101 MESA, ARIZONA 85210 TEL 480.768.8600 www.sunrise-eng.com</p>
--	--

ALTA/NSPS LAND TITLE SURVEY				
FOR 2250 SHELBY DRIVE				
SET NO. 10425	SURVEYED MDS	DRAWN PG	CHECKED RED	SHEET NO. 1 of 2
				COV

SCHEDULE B, PART II EXCEPTIONS

- | | |
|--|--|
| <p>A. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET.</p> <p>1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE YEAR 2024.</p> <p>2. LIABILITIES AND OBLIGATIONS IMPOSED UPON SAID LAND BY ITS INCLUSION WITHIN ANY DISTRICT FORMED PURSUANT TO TITLE 48, ARIZONA REVISED STATUTES.</p> <p>3. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: UTILITIES
RECORDING DATE: FEBRUARY 9, 1971
RECORDING NO: BOOK 641 OF OFFICIAL RECORDS, PAGE 942 [OUT OF SCOPE]</p> <p>4. TERMS AND CONDITIONS OF INSTRUMENT REGARDING SEWER LINES AS SET FORTH IN INSTRUMENT ENTITLED LETTER OF AGREEMENT RECORDED IN BOOK 651 OF OFFICIAL RECORDS, PAGE 87, AND THEREAFTER RECORDED IN BOOK 3624 OF OFFICIAL RECORDS, PAGE 331. [OUT OF SCOPE]</p> <p>5. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: DRAINAGE
RECORDING DATE: MAY 19, 1972
RECORDING NO: BOOK 746 OF OFFICIAL RECORDS, PAGE 519</p> <p>6. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: INGRESS, EGRESS AND UTILITIES
RECORDING DATE: AUGUST 15, 1973
RECORDING NO: BOOK 862 OF OFFICIAL RECORDS, PAGE 49 [OUT OF SCOPE]</p> <p>7. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: INGRESS, EGRESS AND UTILITIES
RECORDING DATE: AUGUST 15, 1973
RECORDING NO: BOOK 862 OF OFFICIAL RECORDS, PAGE 51 [OUT OF SCOPE]</p> <p>8. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: INGRESS, EGRESS AND UTILITIES
RECORDING DATE: AUGUST 15, 1973
RECORDING NO: BOOK 862 OF OFFICIAL RECORDS, PAGE 55 [OUT OF SCOPE]</p> <p>9. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: USE OF SEWAGE PLANT FACILITIES DATED: NOVEMBER 1, 1973 EXECUTED BY: SUNSET MOBILE HOME PARK, A PARTNERSHIP AND VALLEY SHADOWS DEVELOPMENT COMPANY, INC. RECORDING DATE: NOVEMBER 30, 1973 RECORDING NO: BOOK 882 OF OFFICIAL RECORDS, PAGE 689
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. [BLANKET]</p> <p>10. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: ELECTRIC LINES
RECORDING DATE: AUGUST 21, 1974
RECORDING NO: BOOK 927 OF OFFICIAL RECORDS, PAGE 801</p> <p>11. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: INGRESS, EGRESS AND UTILITIES
RECORDING DATE: NOVEMBER 17, 1976
RECORDING NO: BOOK 982 OF OFFICIAL RECORDS, PAGE 731</p> <p>12. AGREEMENT FOR USE OF SEWAGE PLANT FACILITIES AS SET FORTH IN INSTRUMENT RECORDED IN BOOK 989 OF OFFICIAL RECORDS, PAGE 44 AND IN BOOK 3624 OF OFFICIAL RECORDS, PAGE 331 [BLANKET]</p> <p>13. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: WATER MAINS
RECORDING DATE: NOVEMBER 17, 1976
RECORDING NO: BOOK 1045 OF OFFICIAL RECORDS, PAGE 234</p> <p>14. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: WATER MAINS
RECORDING DATE: MAY 26, 1977
RECORDING NO: BOOK 1076 OF OFFICIAL RECORDS, PAGE 577</p> <p>15. THE EFFECT OF LEASE DATED MAY 20, 1977 EXECUTED BY SUNSET MOBILE HOME PARK, A PARTNERSHIP, LESSOR AND SHELBY C. JOHNSTONE, A MARRIED MAN, RECORDED JUNE 6, 1977 IN BOOK 1078 OF OFFICIAL RECORDS, PAGES 152-159 AND AMENDED IN BOOK 1091 OF OFFICIAL RECORDS, PAGE 232. [NOT SURVEY RELATED]</p> <p>16. COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, INCLUDING BUT NOT LIMITED TO THOSE BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, GENDER, GENDER IDENTITY, GENDER EXPRESSION, MEDICAL CONDITION OR GENETIC INFORMATION, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SET FORTH IN THE DOCUMENT RECORDING NO: BOOK 1099 OF OFFICIAL RECORDS, PAGE 80 [OUT OF SCOPE]</p> | <p>17. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: RIGHT OF WAY AND EASEMENT FOR GAS PIPELINES
RECORDING DATE: SEPTEMBER 4, 1980
RECORDING NO: BOOK 1321 OF OFFICIAL RECORDS, PAGE 695 [OUT OF SCOPE]</p> <p>18. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: ELECTRIC LINES AND POLES
RECORDING DATE: JANUARY 9, 1981
RECORDING NO: BOOK 1351 OF OFFICIAL RECORDS, PAGE 162 [OUT OF SCOPE]</p> <p>19. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: UTILITY AND SEWER LINES
RECORDING DATE: FEBRUARY 19, 1986
RECORDING NO: BOOK 1795 OF OFFICIAL RECORDS, PAGE 539</p> <p>20. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: UTILITY AND SEWER LINES
RECORDING DATE: FEBRUARY 19, 1986
RECORDING NO: BOOK 1795 OF OFFICIAL RECORDS, PAGE 539</p> <p>21. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: ELECTRIC LINES
RECORDING DATE: JANUARY 13, 1986
RECORDING NO: BOOK 1786 OF OFFICIAL RECORDS, PAGE 204 [OUT OF SCOPE]</p> <p>22. EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE PLAT RECORDED IN BOOK 20 OF MAPS, PAGE 18</p> <p>23. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: RIGHT OF ENTRY DATED: APRIL 1, 1991 EXECUTED BY: WARNER CABLE COMMUNICATIONS, INC., AND SUNSET VILLAGE MOBILE HOME PARK APRIL 19, 1991 RECORDING DATE: APRIL 19, 1991 RECORDING NO: BOOK 2348 OF OFFICIAL RECORDS, PAGE 899
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. [OUT OF SCOPE]</p> <p>24. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: CONSTRUCT, OPERATE AND MAINTAIN CABLES, GROUND CONNECTIONS AND OTHER FACILITIES
RECORDING DATE: APRIL 19, 1991
RECORDING NO: BOOK 2348 OF OFFICIAL RECORDS, PAGE 903 [OUT OF SCOPE]</p> <p>25. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED: POSITION STATEMENT DATED: DECEMBER 13, 1991 EXECUTED BY: KEVIN M. DUNLAP, CITY MANAGER CITY OF SEDONA RECORDING DATE: DECEMBER 17, 1991 RECORDING NO: BOOK 2430 OF OFFICIAL RECORDS, PAGE 147
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. [BLANKET IN NATURE]</p> <p>26. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: DRAINAGE
RECORDING DATE: NOVEMBER 23, 1994
RECORDING NO: BOOK 2932 OF OFFICIAL RECORDS, PAGE 989 [OUT OF SCOPE]</p> <p>27. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:
PURPOSE: UTILITIES
RECORDING DATE: JANUARY 22, 1998
RECORDING NO: BOOK 3544 OF OFFICIAL RECORDS, PAGE 146</p> <p>28. MATTERS SHOWN ON RECORD OF SURVEY: RECORDING NO: BOOK 193 OF SURVEYS, PAGE 47
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. [BLANKET]</p> <p>29. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT RECORDING NO: BOOK 194 OF SURVEYS, PAGE 47
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. [OUT OF SCOPE]</p> <p>30. MATTERS SHOWN ON RECORD OF SURVEY: RECORDING NO: 2014-0002130
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. [BLANKET]</p> <p>31. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT RECORDING NO: 2015-0039803
REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. [BLANKET]</p> <p>32. EASEMENTS, RESTRICTIONS, RESERVATIONS, CONDITIONS AND SET-BACK LINES AS SET FORTH ON THE PLAT RECORDED IN INSTRUMENT NO. 2021-0040024 AND RATIFICATIONS IN INSTRUMENT NO. 2021-0040025.</p> |
|--|--|

SURVEYOR NOTES

- PER ARS 32-151 THE USE OF THE WORD "CERTIFY" OR "CERTIFICATION" BY A PERSON OR FIRM THAT IS REGISTERED OR CERTIFIED BY THE BOARD IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING FACTS OR FINDINGS THAT ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.
- BEARING AND DISTANCES NOTED ON THIS SURVEY ARE "MEASURED".
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS SURVEY ARE DERIVED FROM VISIBLE EVIDENCE.
- ALTA/NSPS SURVEY PREPARED IN REFERENCE TO:
ISSUING OFFICE: COMMONWEALTH LAND TITLE INSURANCE COMPANY NCS
2390 E CAMELBACK ROAD, SUITE 230, PHOENIX, AZ 85016
24000739-040-D0
COMMITMENT NO. LEONORA BEACH
TITLE OFFICER: LEONORA BEACH
PROPERTY ADDRESS: 2250 SHELBY DRIVE, SEDONA, AZ
COMMITMENT DATE: MAY 2, 2024 AT 07:30 AM
REVISION NUMBER: AMENDMENT NO. 1, AMENDMENT DATE: JUNE 12, 2024

PROPERTY DESCRIPTION PER: TITLE REPORT

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF YAVAPAI, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT 1, AAA INDUSTRIAL PARK, ACCORDING TO THE PLAT OF RECORD IN BOOK 20 OF MAPS, PAGE 18, RECORDS OF YAVAPAI COUNTY, ARIZONA.

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS:

A PARCEL OF LAND LYING WITHIN A PORTION OF SECTION 14, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

(THE BASIS OF BEARINGS FOR THIS DESCRIPTION IS THE CITY OF SEDONA CONTROL SURVEY AS STATED ON THE RECORD OF SURVEY RECORDED IN BOOK 193 OF LAND SURVEYS, PAGE 47, ON FILE IN THE OFFICE OF THE YAVAPAI COUNTY RECORDER, YAVAPAI COUNTY, ARIZONA.)

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 14, FROM WHICH POINT THE NORTHEAST CORNER OF SAID SECTION 14 BEARS NORTH 00° 03'03" EAST, A DISTANCE OF 2,547.64 FEET;

THENCE SOUTH 89° 26'08" WEST, ALONG THE NORTHERLY LINE OF AAA INDUSTRIAL PARK AS RECORDED IN BOOK 20 OF MAPS AND PLATS, PAGE 18, YAVAPAI COUNTY RECORDER'S OFFICE, A DISTANCE OF 1,323.00 FEET TO THE NORTHWEST CORNER OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SAID SECTION 14;

THENCE CONTINUING SOUTH 89° 26'08" WEST A DISTANCE OF 82.77 FEET TO THE NORTHWEST CORNER OF SMALL TRACTS ACT SURVEY ARIZONA NO. 42 AS RECORDED IN BOOK 16 OF LAND SURVEYS, PAGE 78, YAVAPAI COUNTY RECORDER'S OFFICE;

THENCE SOUTH 00° 02' 23" EAST, A DISTANCE OF 445.81 FEET;

THENCE NORTH 41° 01' 02" EAST, A DISTANCE OF 159.07 FEET;

THENCE NORTH 32° 10' 57" EAST, A DISTANCE OF 136.11 FEET TO A POINT IN THE SOUTHERN BOUNDARY LINE OF LOT 1 OF AAA INDUSTRIAL PARK AS RECORDED IN BOOK 20 OF MAPS AND PLATS, PAGE 18, YAVAPAI COUNTY RECORDER'S OFFICE AND THE TRUE POINT OF BEGINNING;

THENCE NORTH 51° 04' 59" WEST, A DISTANCE OF 30.77 FEET;

THENCE NORTH 89° 14' 01" EAST, A DISTANCE OF 113.89 FEET;

THENCE SOUTH 32° 10' 57" WEST, A DISTANCE OF 73.22 FEET;

THENCE NORTH 51° 04' 59" WEST, A DISTANCE OF 65.45 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:

A PARCEL OF LAND LYING WITHIN A PORTION OF SECTION 14, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, YAVAPAI COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

(THE BASIS OF BEARINGS FOR THIS DESCRIPTION IS THE CITY OF SEDONA CONTROL SURVEY AS STATED ON THE RECORD OF SURVEY RECORDED IN BOOK 193 OF LAND SURVEYS, PAGE 47, ON FILE IN THE OFFICE OF THE YAVAPAI COUNTY RECORDER YAVAPAI COUNTY, ARIZONA.)

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 14, FROM WHICH POINT THE NORTHEAST CORNER OF SAID SECTION 14 BEARS NORTH 00° 03'03" EAST, A DISTANCE OF 2,547.64 FEET;

THENCE SOUTH 89° 26'08" WEST, ALONG THE NORTHERLY LINE OF AAA INDUSTRIAL PARK AS RECORDED IN BOOK 20 OF MAPS AND PLATS, PAGE 18, YAVAPAI COUNTY RECORDER'S OFFICE, A DISTANCE OF 1,323.00 FEET TO THE NORTHWEST CORNER OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SAID SECTION 14;

THENCE CONTINUING SOUTH 89° 26'08" WEST, A DISTANCE OF 82.77 FEET TO THE NORTHWEST CORNER OF SMALL TRACTS ACT SURVEY ARIZONA NO. 42 AS RECORDED IN BOOK 16 OF LAND SURVEYS, PAGE 78, YAVAPAI COUNTY RECORDER'S OFFICE;

THENCE SOUTH 00° 02' 23" EAST, A DISTANCE OF 445.81 FEET;

THENCE NORTH 41° 01' 02" EAST, A DISTANCE OF 159.07 FEET;

THENCE NORTH 32° 10' 57" EAST, A DISTANCE OF 136.11 FEET;

THENCE NORTH 51° 04' 59" WEST, A DISTANCE OF 30.77 FEET;

THENCE NORTH 89° 14' 01" EAST, A DISTANCE OF 107.16 FEET TO THE TRUE POINT OF BEGINNING;

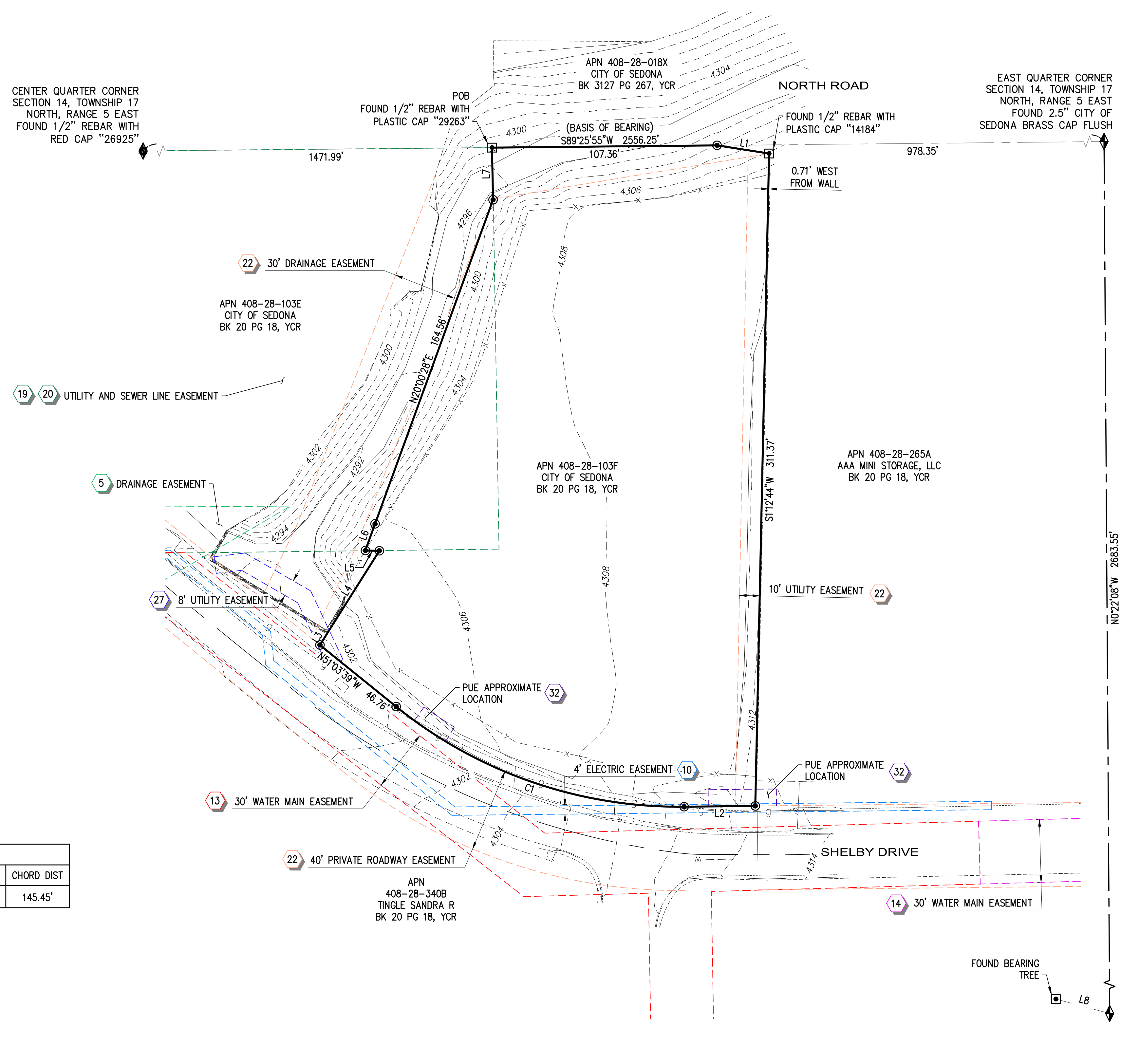
THENCE NORTH 20° 02' 58" EAST, A DISTANCE OF 178.44 FEET TO A POINT IN THE WEST BOUNDARY LINE OF LOT 1 OF AAA INDUSTRIAL PARK AS RECORDED IN BOOK 20 OF MAPS AND PLATS, PAGE 18, YAVAPAI COUNTY RECORDER'S OFFICE;

THENCE SOUTH 00° 59' 59" EAST, A DISTANCE OF 166.80 FEET;

THENCE SOUTH 89° 14' 01" WEST, A DISTANCE OF 64.09 FEET TO THE TRUE POINT OF BEGINNING.

PARCELS 1 AND 2 ABOVE NOW PURPORTEDLY KNOWN AS LOT 1, OF MINOR PLAT AMENDMENT AAA INDUSTRIAL PARK, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF YAVAPAI COUNTY, ARIZONA, RECORDED AS INSTRUMENT NO. 2021-0040024.

U:\Burgess & Niple\10425 Villas on Shelby ALTA\DWG\10425 - SHELBY ALTA.dwg Jun 18, 2024 09:55AM eduardo.bartolini



LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S81°06'42"E	25.15'
L2	S89°23'51"W	33.97'
L3	N32°14'58"E	4.94'
L4	N32°14'58"E	48.21'
L5	N88°49'55"W	6.67'
L6	N19°56'40"E	13.52'
L7	N1°08'10"W	24.91'
L8	S75°00'14"E	26.59'

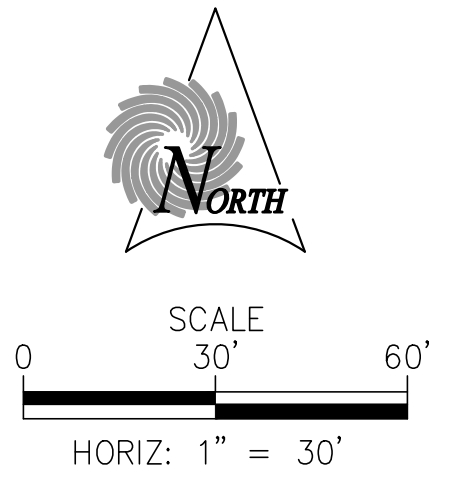
CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST
C1	39°32'30"	215.00	148.38'	N70°49'54"W	145.45'

ABBREVIATIONS

- APN ASSESSOR PARCEL NUMBER
- BK BOOK
- DOC NO. DOCUMENT NUMBER
- E EAST
- G&SRM GLA & SALT RIVER MERIDIAN
- YCR YAVAPAI COUNTY RECORDS
- N NORTH
- PG PAGE
- PL PROPERTY LINE
- PLSS PUBLIC LAND SURVEY SYSTEM
- R RANGE
- RLS REGISTERED LAND SURVEYOR
- R/W RIGHT-OF-WAY
- SQFT SQUARE FEET
- T TOWNSHIP

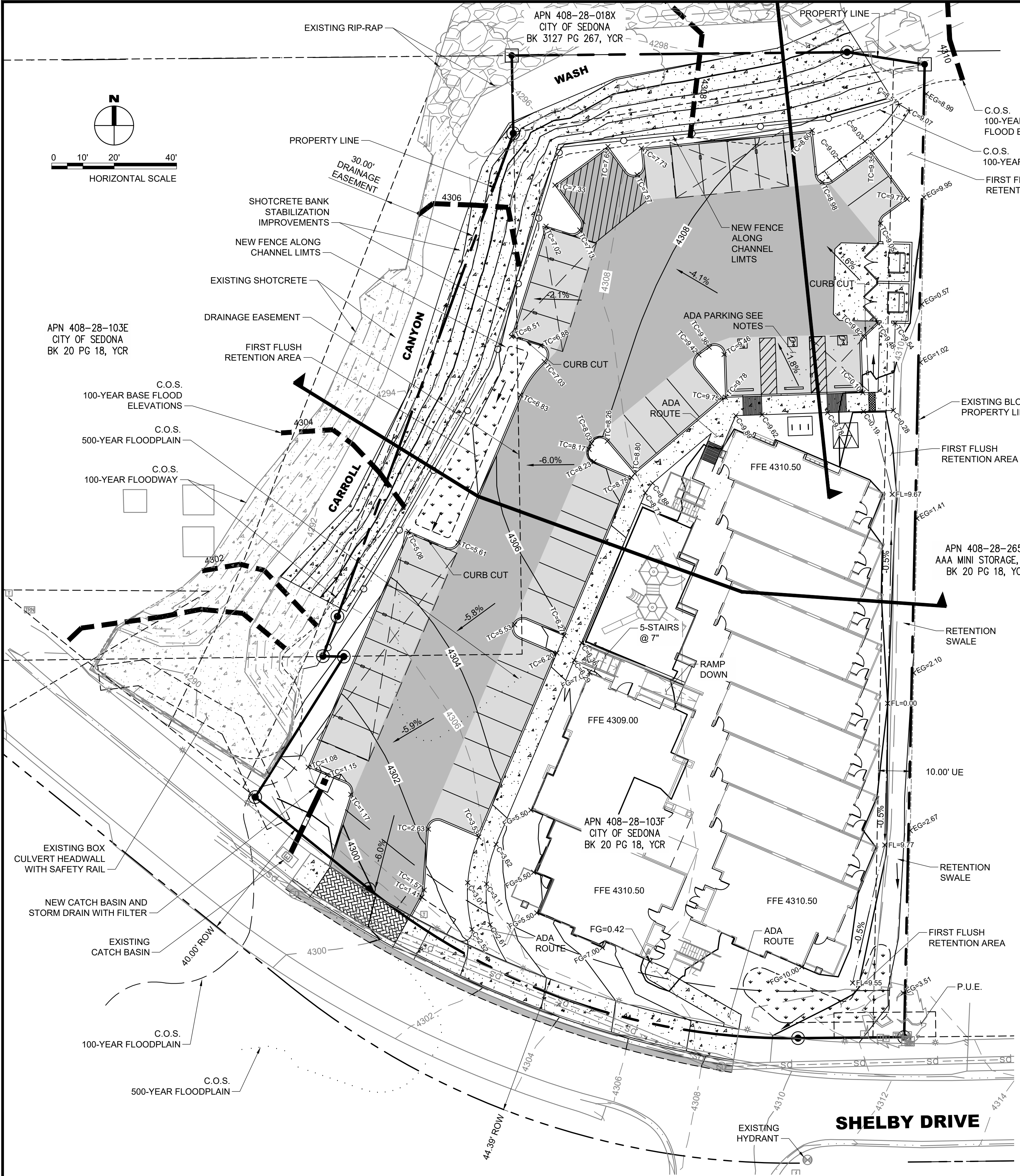
LEGEND

- SUBJECT BOUNDARY LINE
- PLSS SECTION LINE
- PLSS SUB-SECTION LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- OTHER PROPERTY LINE
- EXISTING WALL
- FLOWLINE
- EDGE OF CONCRETE
- ROADWAY CENTERLINE
- LIP OF GUTTER
- BACK OF CURB
- SIDEWALK
- FENCE LINE
- BLUESTAKE GAS LINE
- BLUESTAKE WATER LINE
- TOP
- TOE
- FOUND PLSS SECTION MONUMENT
- SET 5/8" REBAR WITH PLASTIC CAP "RLS 38862"
- ELECTRIC TRANSFORMER
- ELECTRIC JUNCTION BOX
- LIGHT POLE
- TELEPHONE PEDESTAL
- SANITARY SEWER MANHOLE
- STORM DRAINAGE MANHOLE
- FIRE HYDRANT
- WATER METER
- WATER BACKFLOW PREVENTION VALVE
- WATER VALVE
- ELECTRIC VAULT
- VEGETATION/TREES
- PLOTTABLE SCHEDULE B PART II EXCEPTION



	<p>SUNRISE ENGINEERING</p> <p>2045 SOUTH VINEYARD, SUITE 101 MESA, ARIZONA 85210 TEL 480.768.8600 www.sunrise-eng.com</p>				
		<p>ALTA/NSPS LAND TITLE SURVEY</p> <p>FOR 2250 SHELBY DRIVE</p>			
SEI NO. 10425	SURVEYED MDS	DRAWN PG	CHECKED RED	SHEET NO. 2 of 2	ALTA

U:\Burgess & Niple\10425 Villas on Shelby ALTA DWG\10425 - SHELBY ALTA DWG Jun 18, 2024 09:55AM eduardo.bartolini



LEGEND

× TC55.00	TOP OF CURB SPOT GRADE
× P55.00	TOP OF PAVEMENT SPOT GRADE
× FG55.0	FINISHED GROUND SPOT GRADE
× EG55.0	NATURAL GROUND SPOT GRADE
× TW55.0	TOP OF WALL SPOT GRADE
× BW55.0	BOTTOM OF WALL SPOT GRADE
× EB55.0	EXPOSED BEAM SPOT GRADE
FF = 4300.0	FINISHED FLOOR ELEVATION
→	FLOW ARROW
— 555	PROPOSED CONTOURS
- - - 555	EXISTING CONTOURS

CURB NOTE:
PROJECT USES 4" CURB NOT STANDARD 6"

EARTHWORK NOTE:
EARTHWORK VOLUMES SHOWN ABOVE ARE BASED IN IN-PLACE VOLUMES REQUIRED FOR SITE GRADING. QUANTITIES ARE NOT ADJUSTED FOR SHRINKAGE. THESE RESULTS MAY NOT REFLECT THE FINAL CONSTRUCTED QUANTITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN QUANTITY DETERMINATIONS. ADDITIONAL EARTHWORK QUANTITIES SHALL BE CONSIDERED INCIDENTAL TO BUILDING CONSTRUCTION. ANY WASTE MATERIAL SHALL BE INCIDENTAL TO CONSTRUCTION.

CUT= 1000
FILL= 1200

SEE GEOTECHNICAL REPORT FOR REMOVAL OF UNDOCUMENTED FILL REMOVAL NOT ACCOUNTED FOR IN QUANTITIES.

STORMWATER STORAGE NOTE:
THE PROJECT DOES NOT INCREASE RUNOFF LEAVING THE SITE AND WILL NOT PROVIDE ANY DETENTION VOLUME. THE PROJECT WILL PROVIDE THE 1/2" FIRST FLUSH RETENTION VOLUME. RETENTION VOLUME REQUIRED = 1,872 CF
RETENTION VOLUME PROVIDED = 1,900 CF

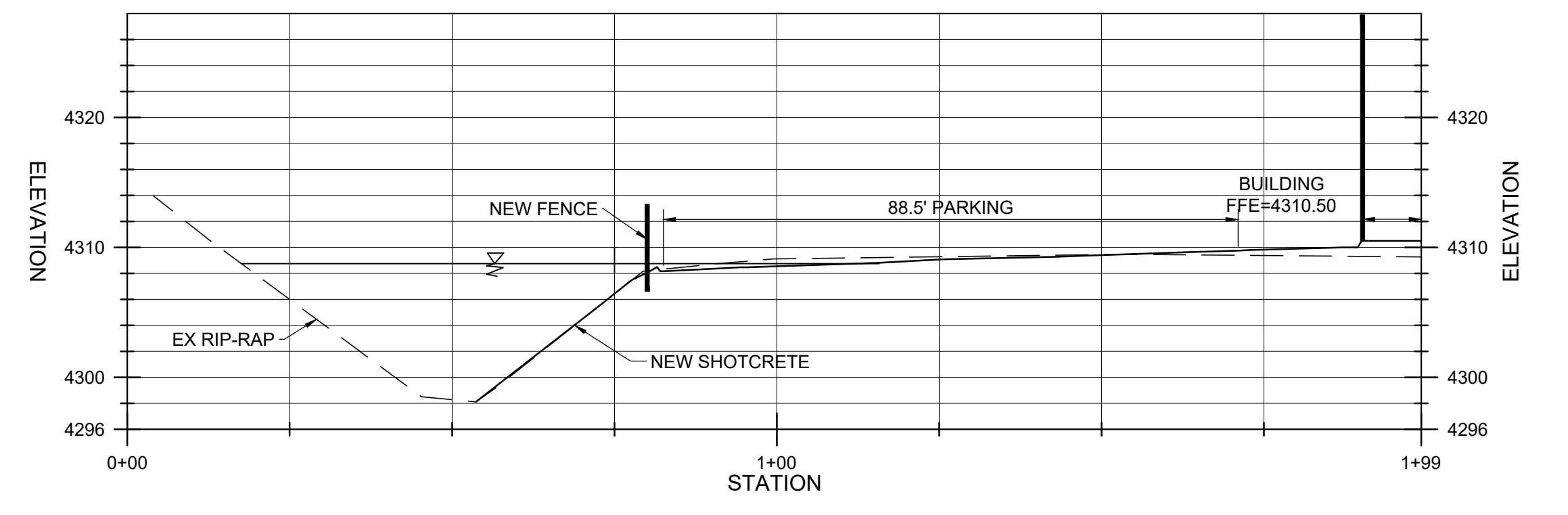
ACCESSIBLE PARKING (ADA) NOTE:
ACCESSIBLE (ADA) PARKING STALLS CONSTRUCTION, SIGNAGE AND STRIPING SHALL CONFORM TO REQUIREMENTS OUTLINED IN CITY OF SEDONA D.R.E.A.M. 3.4 C.

COORDINATE SYSTEM:
NAD83(2011) EPOCH 2010 ARIZONA CENTRAL 0202 INTERNATIONAL FEET.
COMBINED SCALE FACTOR = 1.0003007411

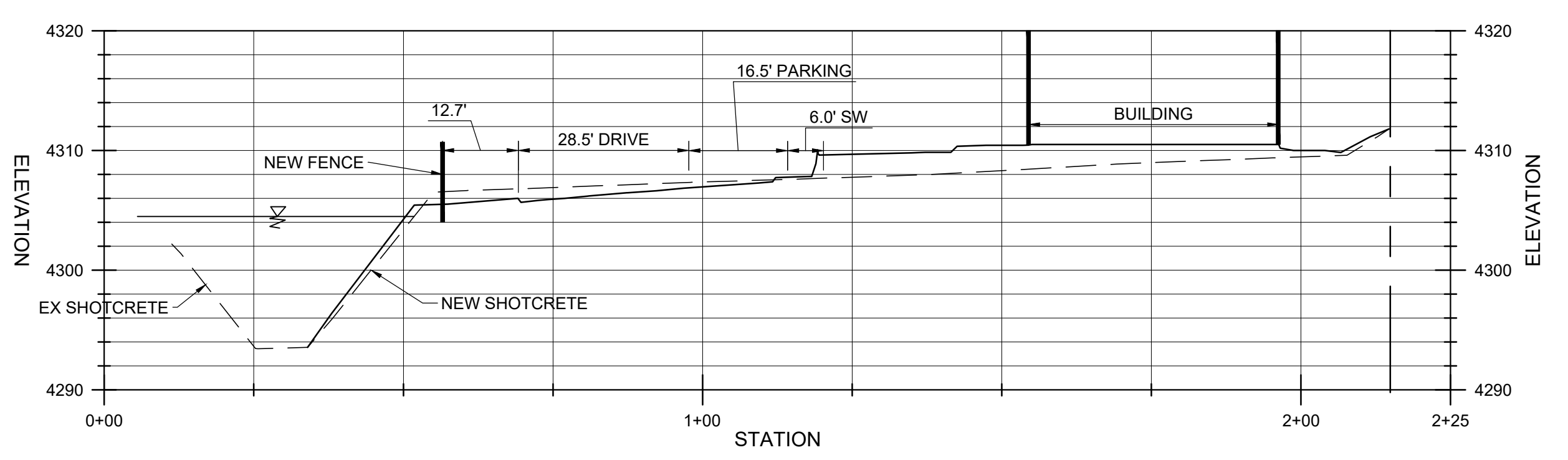
BASIS OF BEARING:
SOUTH 89°25'55" WEST ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 17 NORTH, RANGE 5 EAST OF THE GILA AND SALT RIVER MERIDIAN, YAVAPAI COUNTY, ARIZONA, BETWEEN A 2.5" CITY OF SEDONA BRASS CAP FLUSH MARKING THE EAST QUARTER CORNER OF SAID SECTION 14 AND A 1/2" REBAR WITH RED CAP "26925" MARKING THE CENTER QUARTER CORNER THEREOF.

BENCHMARK:
NGS BENCHMARK
DESIGNATION: W 492
PID: ES0654
DESCRIPTION: 2.5" BRASS CAP FLUSH.
ELEVATION: 4378.76 INTERNATIONAL FOOT (NAVD88)

NORTH-SOUTH SECTION PROFILE



WEST-EAST SECTION PROFILE



NO.	REVISIONS	DATE	BY



JOB: PR62219
DATE: AUG 2024
SCALE: NONE
DRAWN: JK/SJV
DESIGNED: JK/SJV
CHECKED: XXX

**PRELIMINARY
NOT FOR
CONSTRUCTION**

BURGESS & NIPLE INC.
2201 N GEMINI DRIVE, SUITE 116
FLAGSTAFF, ARIZONA 86001
PHONE: (928) 395-1988
BURGESSNIPLE.COM

VILLAS ON SHELBY
PRELIMINARY GRADING & DRAINAGE PLAN

SEDONA ARIZONA
SHEET ID:
C1
NUMBER: 1 OF 1

PROJECT DATA

Villas on Shelby
Property Owner City of Sedona
Developer HS Development Partners
 London, Ohio
Architects Athena Studio
 2801 E Camelback Dr #200
 Phoenix, Arizona 85016

Project Address
 2250 Shelby Drive
 Sedona Arizona 86336

Explanatory Statement
 This project includes 30 new Affordable housing units with resident amenities and an office.

Site Data
Parcel Number APN 408-28-103C
Zoning IN
Gross Site Area 55,740 SF 1.28 Acres
Net Site Area 51,037 SF 1.17 Acres

Density
 Provided 30 Dwellings
 1.28 acres
 23.4 dpa

Lot coverage
 Parking Lot 17,166 SF
 Sidewalks 2,814 SF
 Building 13,018 SF
total 32,998 SF Total Coverage
Net Site Area 51,037 SF 0.64655 %

Building Setbacks

	Required	Provided
Front	15 ft	15 ft
Side*	0 ft	10 ft
Rear	0 ft	0 ft

*10ft Public Utility Easement on East side of site

Unit Count

Unit A1 (1-Bed)	21	659 Net SF Each
Unit A2 (1-Bed)	3	697 Net SF Each
Unit B (3-Bed)	6	1190 Net SF Each
Total	30	

Building Area Net Gross

First Floor	13,018 SF	11,861 SF
Second Floor	7,690 SF	11,861 SF
Third Floor	7,690 SF	9,971 SF
Total	28,398 SF	33,693 SF

Building Height
 3 Stories, 40 Feet ANG *Allowed under Development Agreement and Waiver

Occupancy and Use
 Occupancy R-2 Construction Type V-A

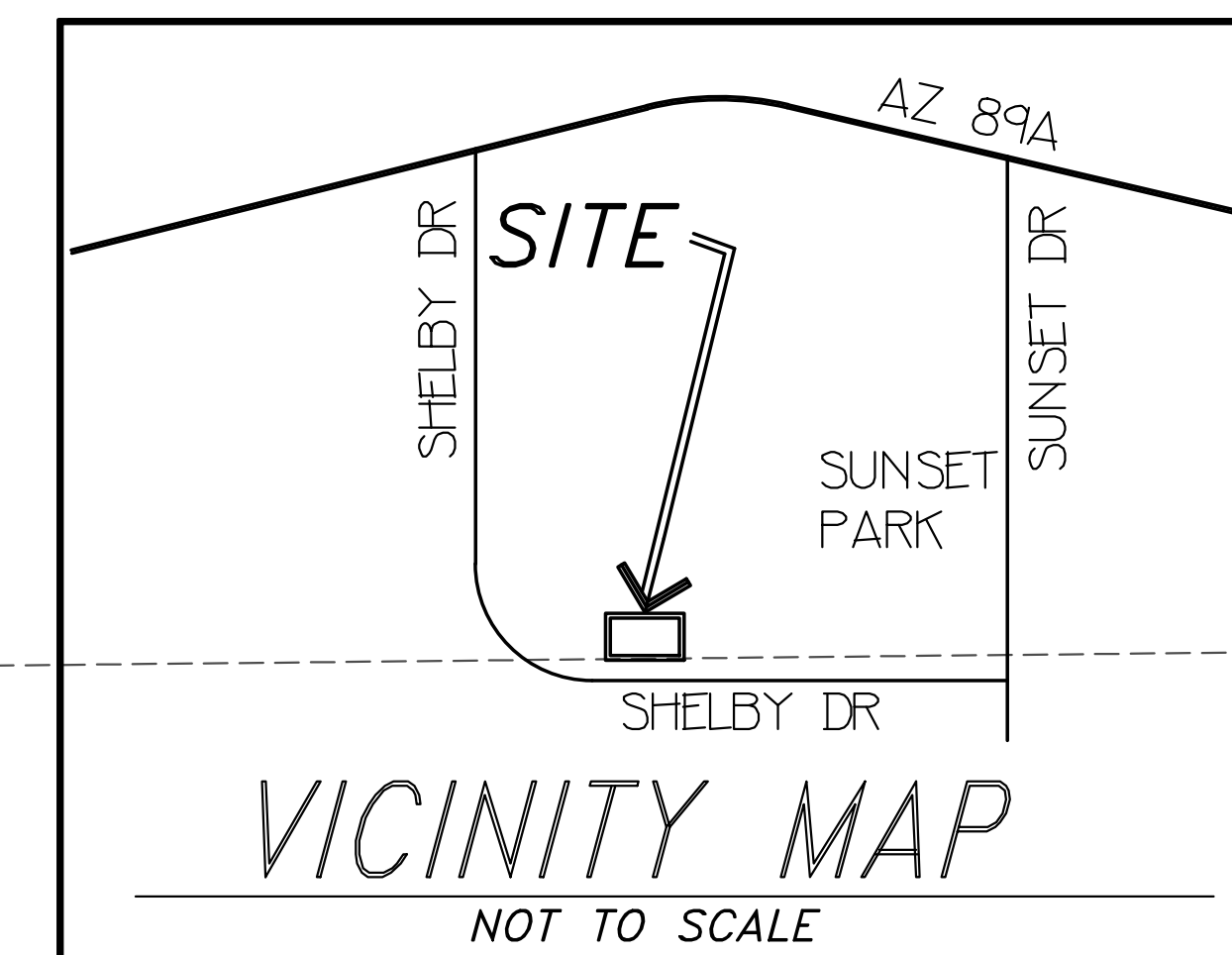
*Project is in Urban Wildlife Interface all construction to be 1-HR (Min) or Non-Combustible

Parking

Required	Provided
Per 1-Bed 1.25 x 24 =	30
Per 3-Bed 1.75 x 6 =	10.5
Required	40.5
Provided	42
Covered Required (.5/unit)	15
Covered Provided	16

Bicycle Parking

Required 1 per 10 parking stalls	
42 / 10 =	4.2
Provided	6



ATHENA STUDIO, LLC
 4700 N. 12th Street
 Suite 205
 Phoenix, AZ 85014
 602-274-5000



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 2250 Shelby Drive
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 HS Development Partners

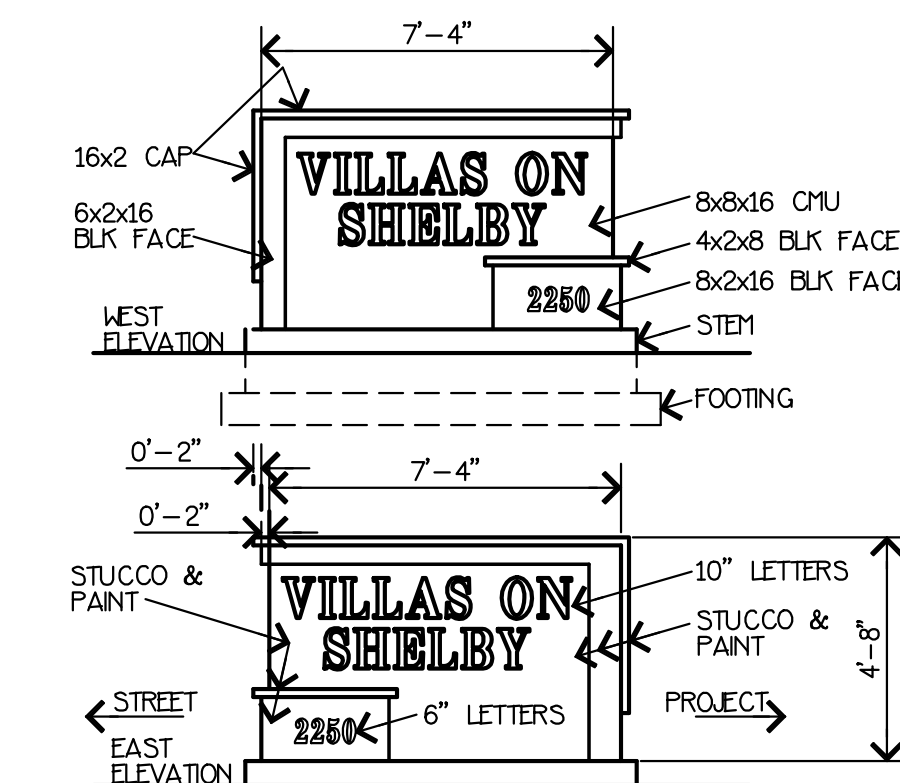
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CONSULTANT NUMBER
DRAWN BY PS
REVIEWED BY PS
START DATE APR 11, 2013
DATE PLOTTED 08/22/24
CADD FILE NAME SITE_NEW

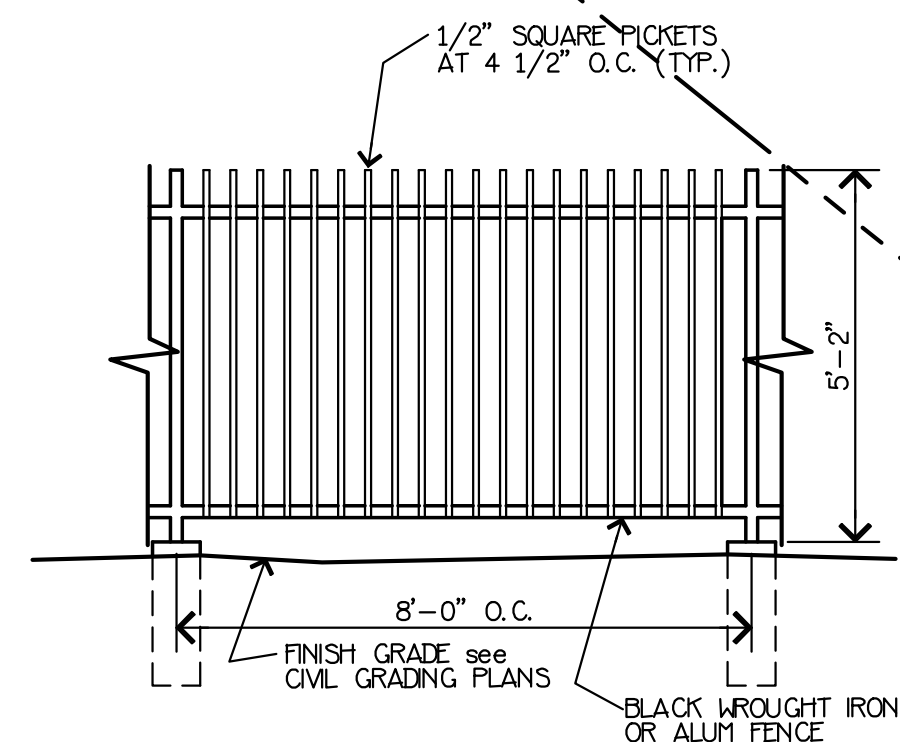
SITE AND SIGNAGE PLAN

S.1
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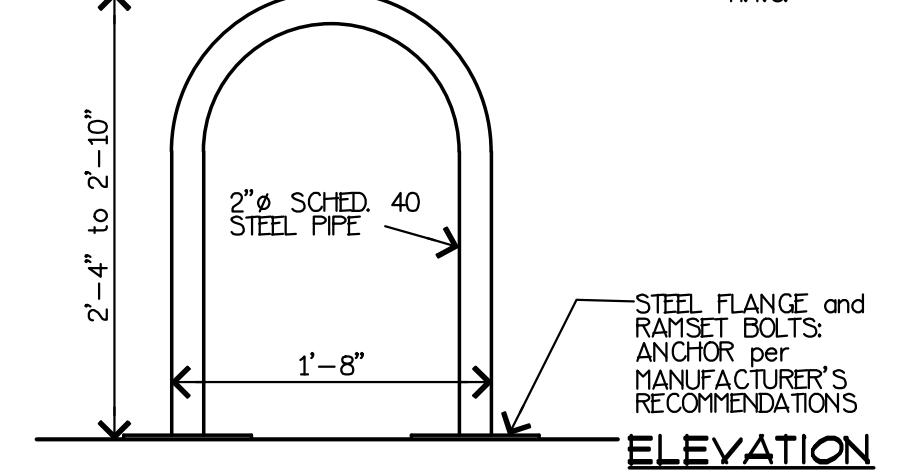
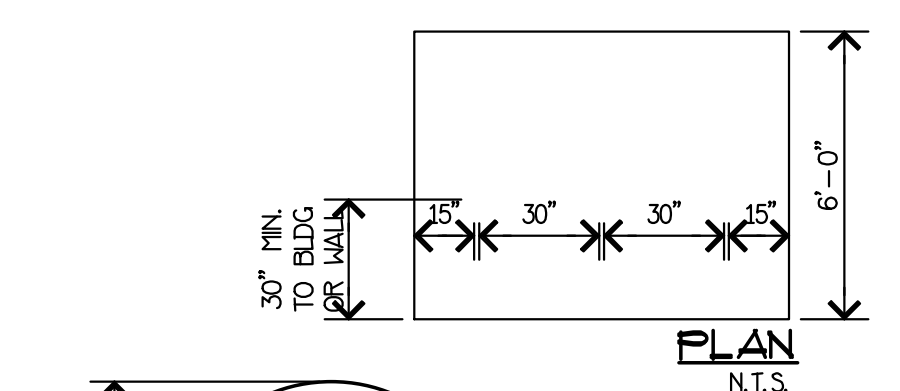
SIGN CONSTRUCTION:
 1. FOUNDATION: 16" WIDE CMU STEP ON 24" x 8" x 9'-0" LONG CONCRETE FOOTING, RE-BAR per CODE.
 2. PAINT COLOR SHALL MATCH THE BUILDINGS.
 3. LETTERING SHALL BE AS ILLUSTRATED BELOW. PROVIDE MIN. 1/4" DEEP LETTERS IN FLAT CUT POLISHED COPPER.



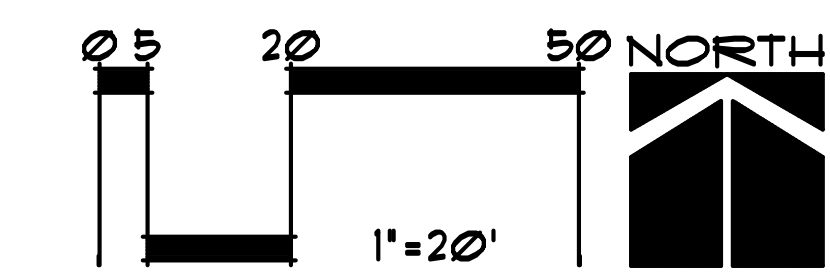
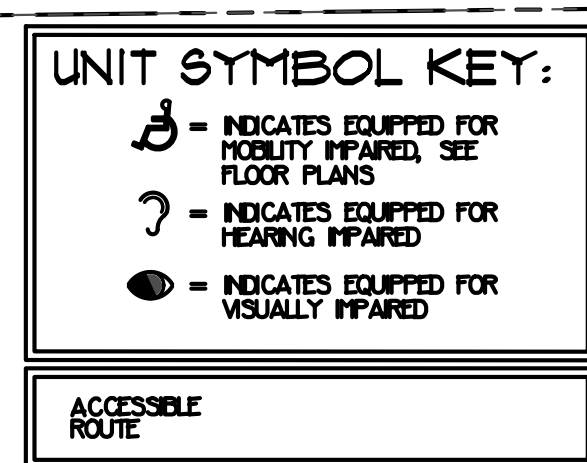
32 STUCCOED CMU STREET SIGNAGE
 SCALE: 1/4" = 1'-0" 4-13-03C

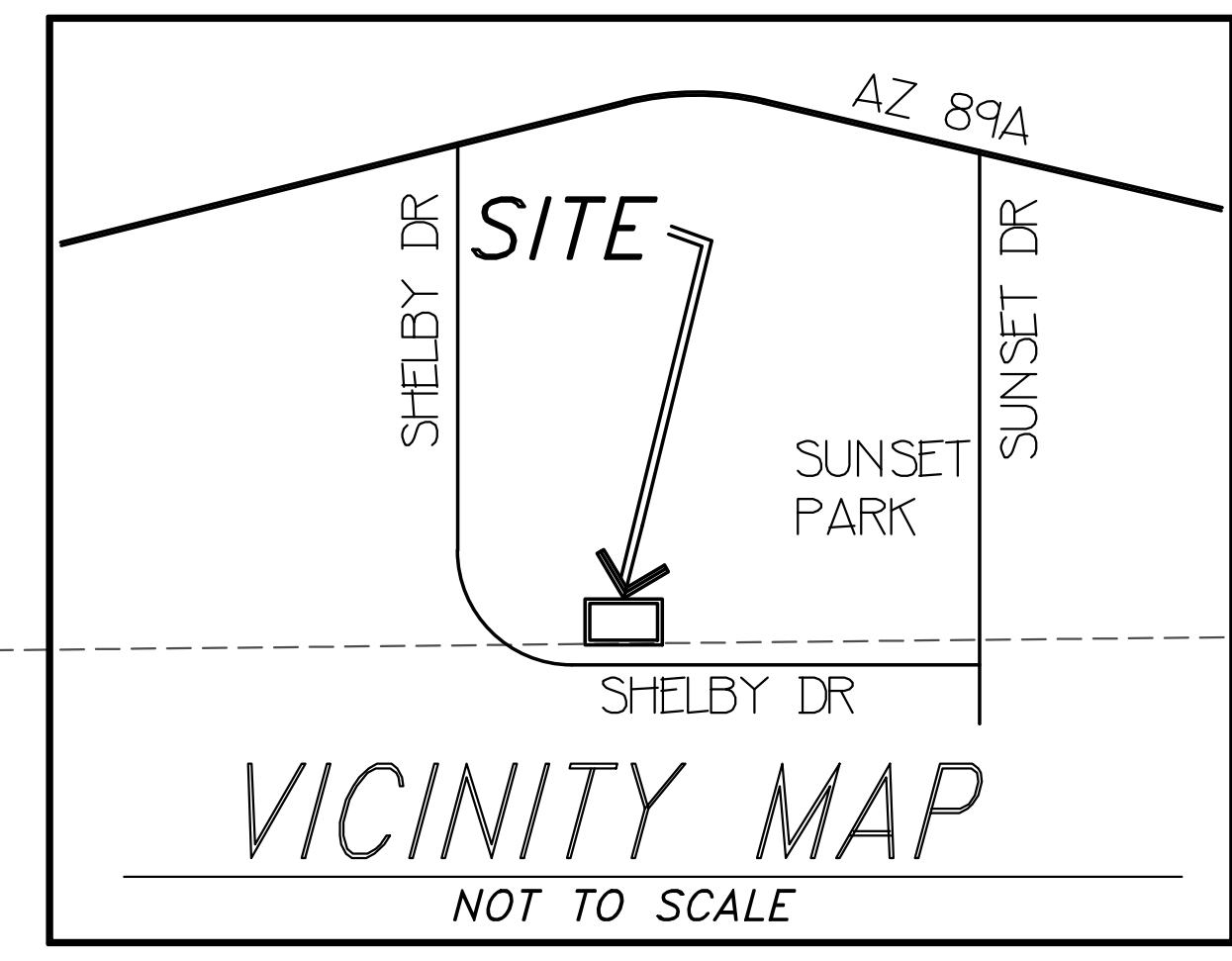
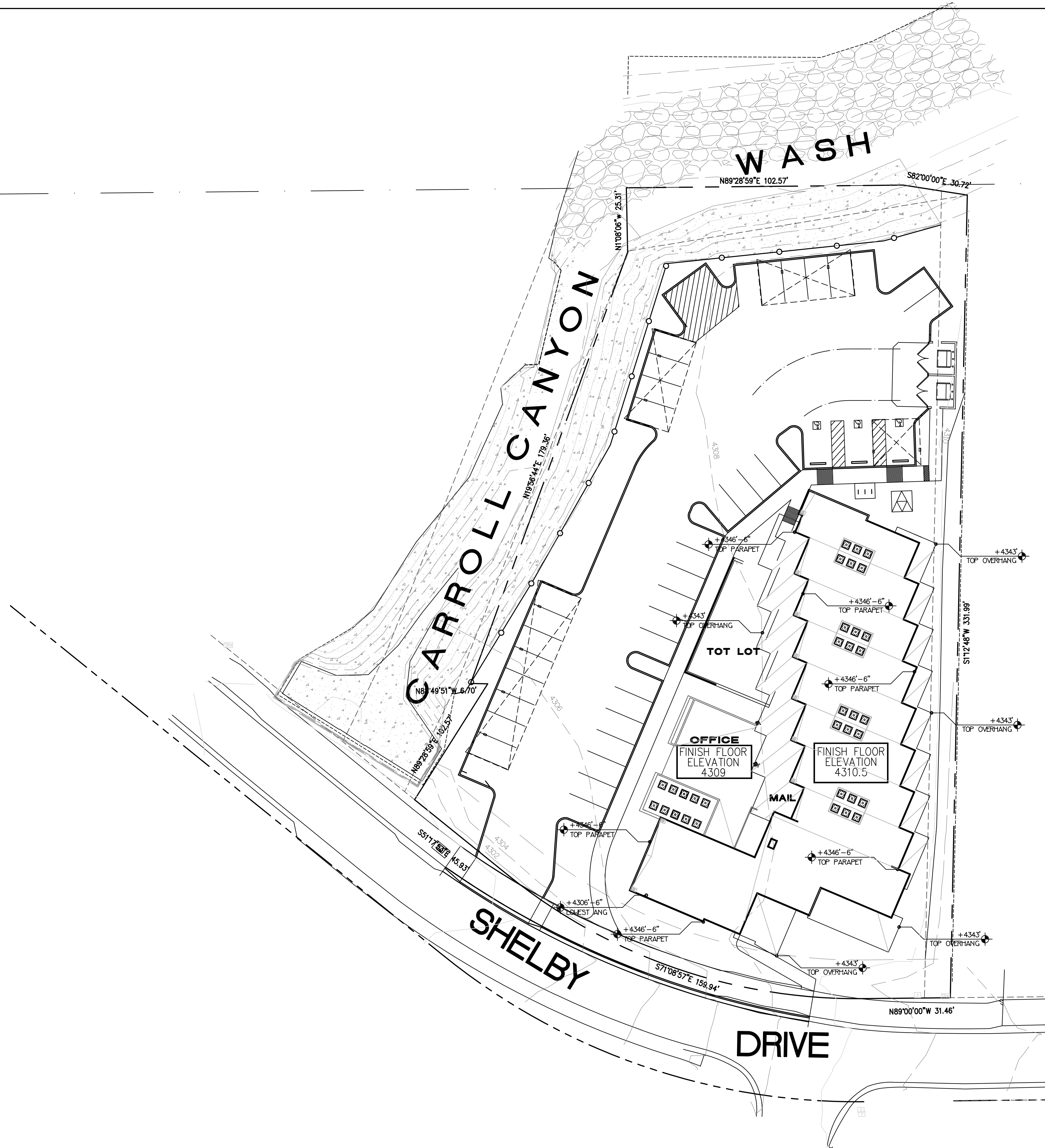
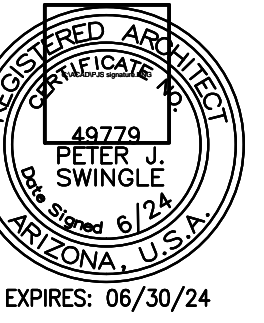


33 PROPERTY LINE FENCE
 SCALE: 3/8" = 1'-0" 4-06-34



34 STEEL BIKE RACK
 SCALE: 1" = 1'-0" 4-16-02D





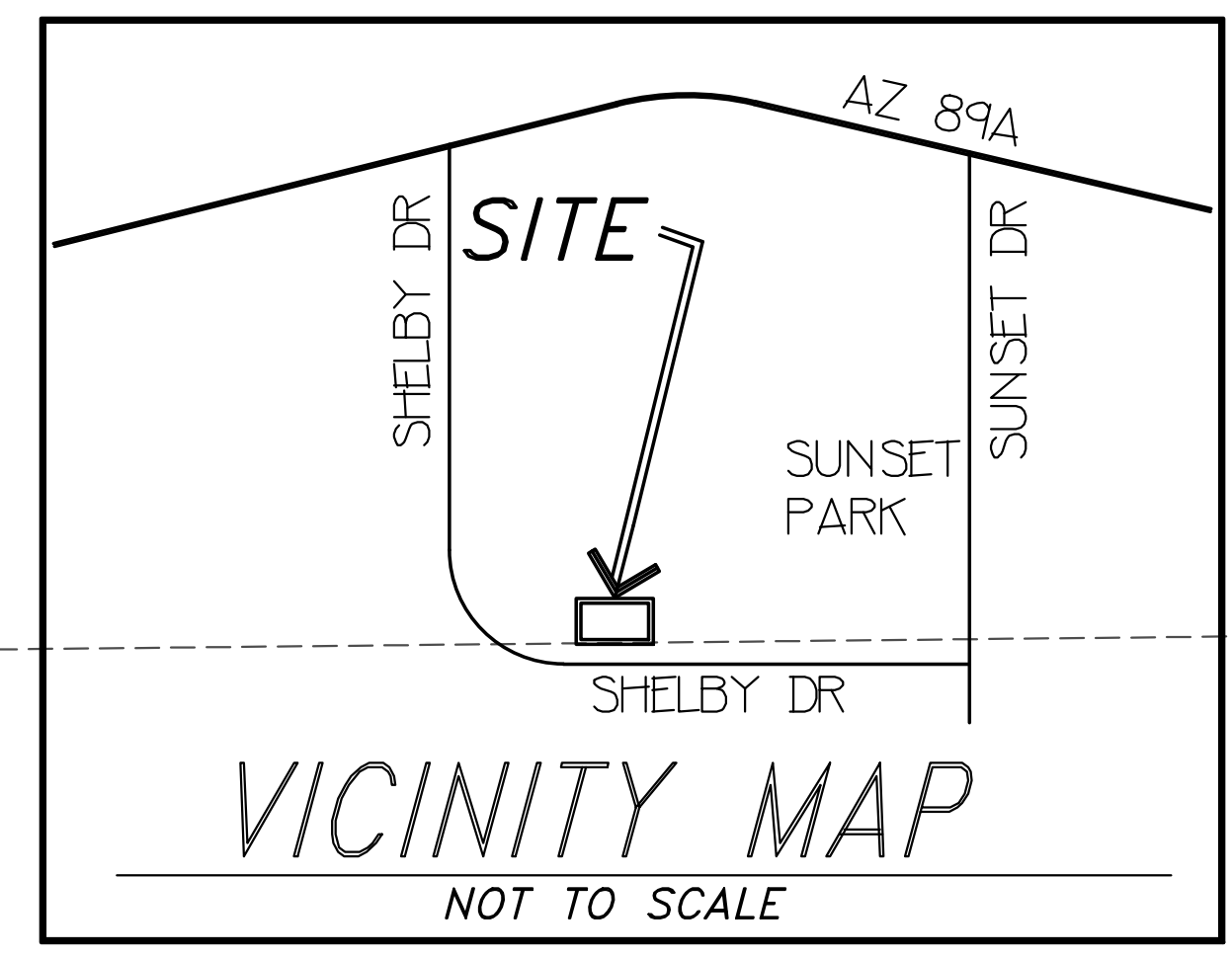
ROOF HIEGHTPLAN
SCALE: 1" = 20'-0"

Issue Date:	
ATHENA NUMBER	1431.1
CONSULTANT NUMBER	
DRAWN BY	PS
REVIEWED BY	PS
START DATE	APR 11, 2013
DATE PLOTTED	08/22/24
CADD FILE NAME	SITE NEW
SITE HEIGHT PLAN	

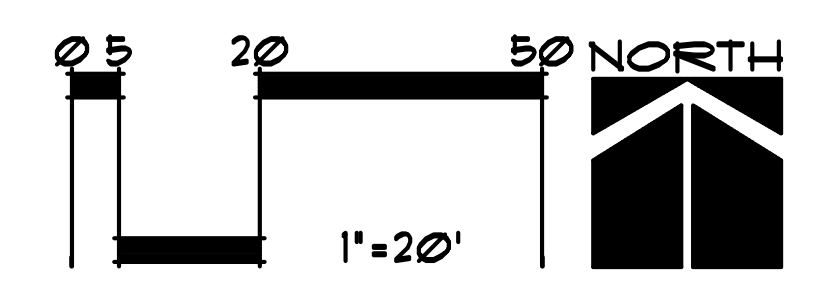


LIGHTING SCHEDULE

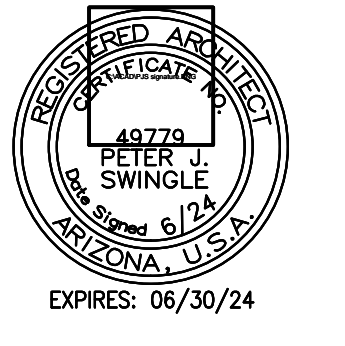
A	+	PATIO WALL INVUE
B	□	CARPOROT TOP TIER RECTANGULAR WIDE
C	—	POLE LIGHT INVUE ARM MOUNT
D	⊞	CEILING MOUNT HALO
E	+	WALL MOUNT TOP TIER MEDIUM
F	▷	LANDSCAPE SIGN SPOT LIGHT LUMARK TRACER FLOOD LIGHT



SITE LIGHTING PLAN
SCALE: 1" = 20'-0"



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Suite 205
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602-274-5000



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HS Development Partners

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SITE LIGHTING PLAN



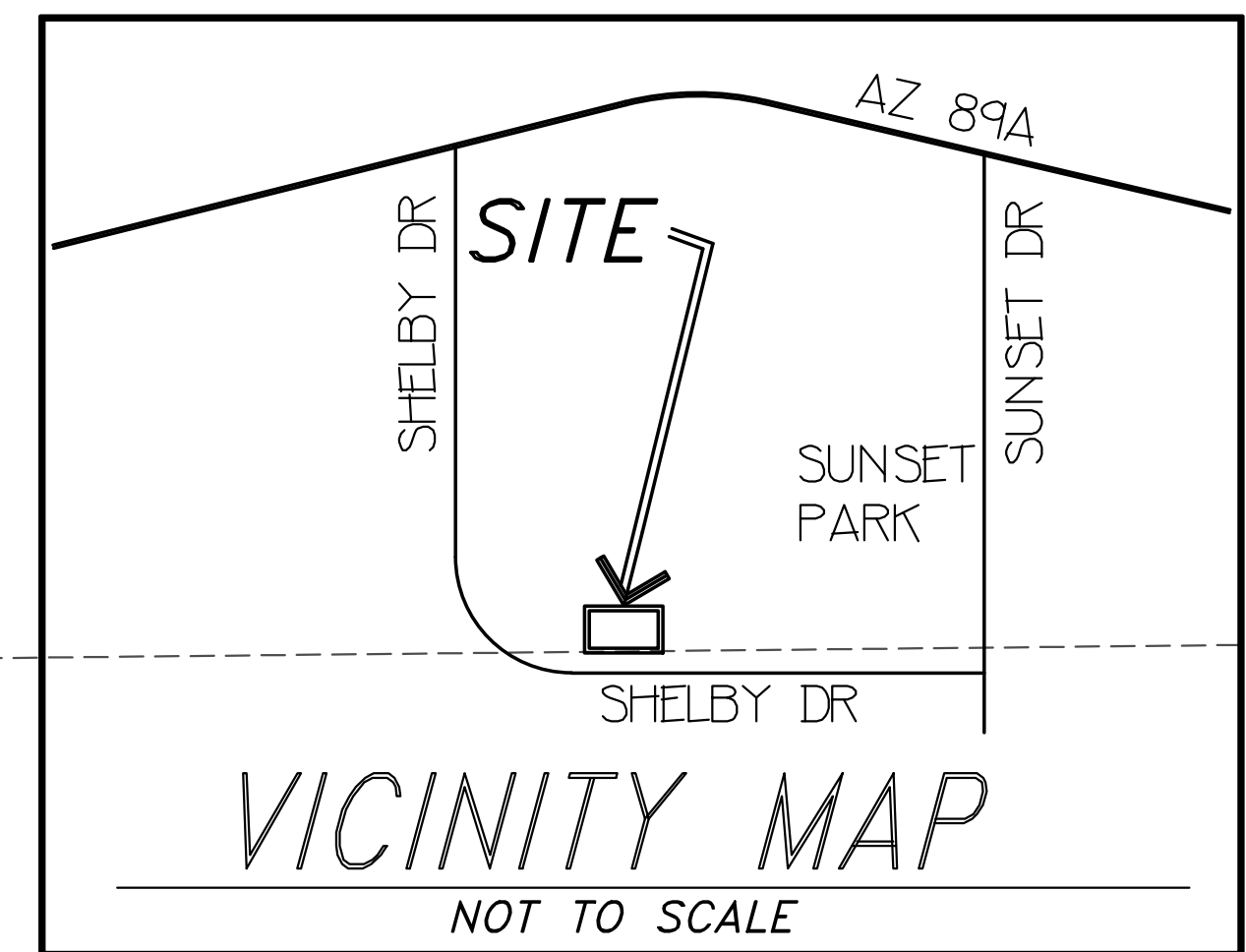
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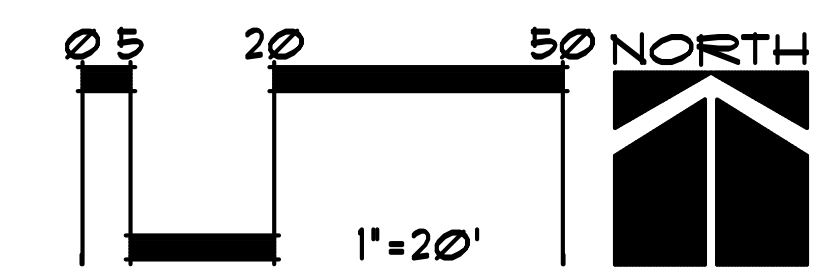
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SITE_NEW

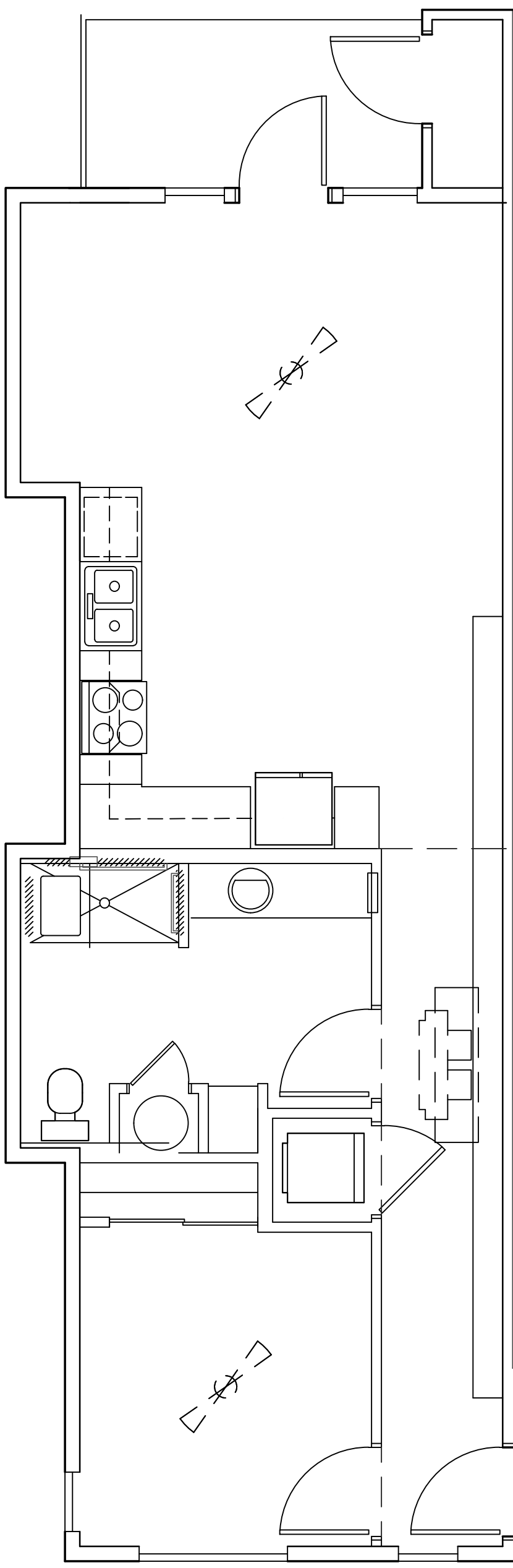
FIRE ACCESS
PLAN

S.4
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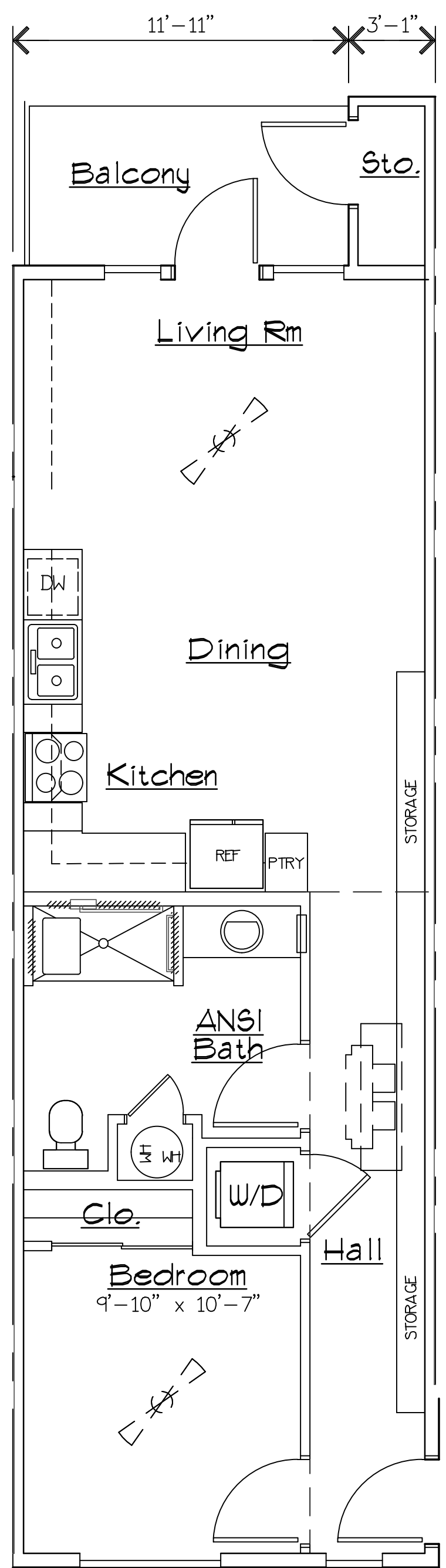


- FIRE PROTECTION NOTES**
1. PROVIDE A KNOX BOX AT EACH FIRE RISER ROOM
 2. PROVIDE LOCKING KNOX CAPS AT ALL FDC CONNECTIONS
 3. PROVIDE FIRE EXTINGUISHERS AT MAX 75' SPACING (SEE PLAN ABOVE for LOCATIONS)

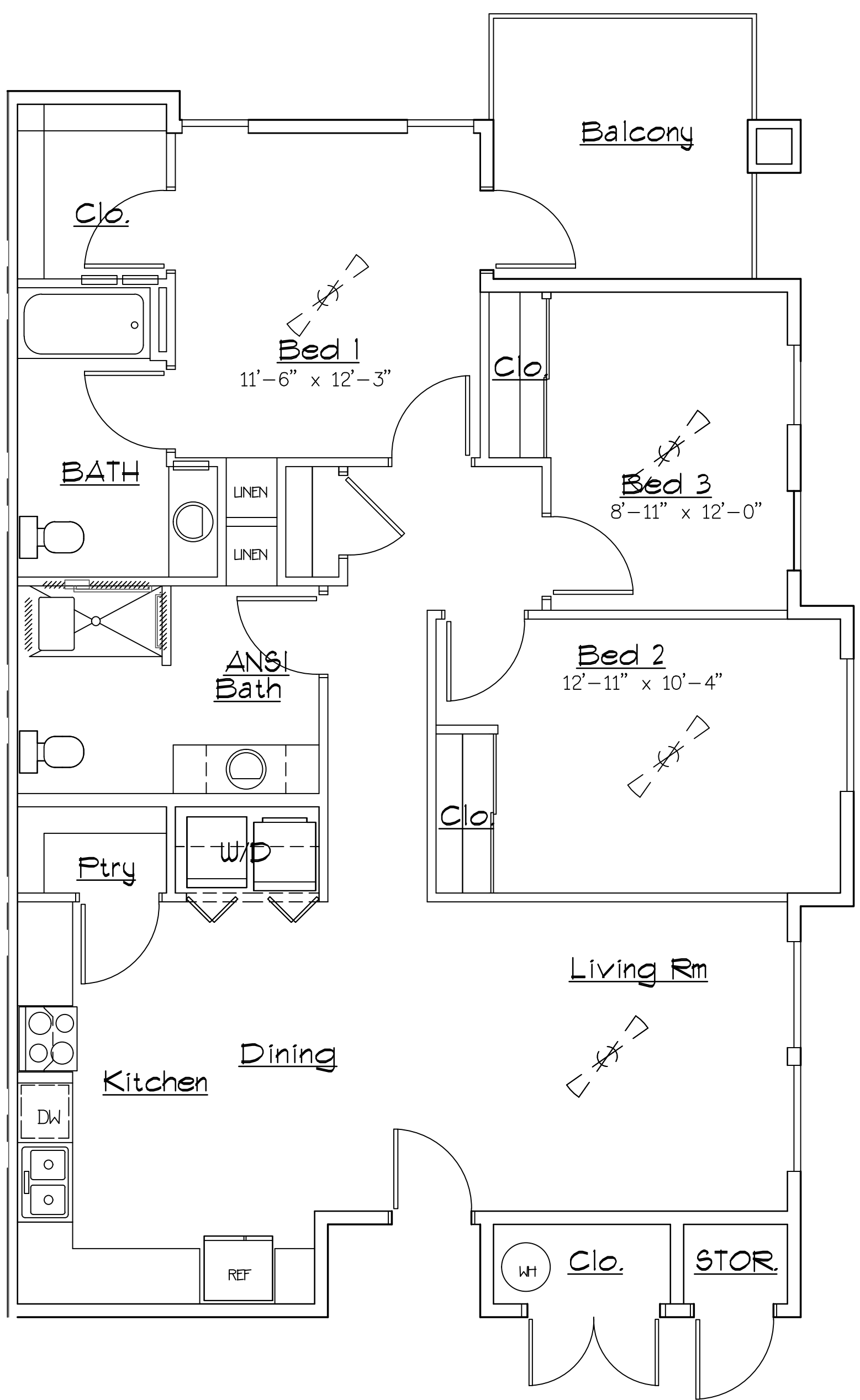




A2 - One Bedroom
SCALE: 1/4"=1'-0"



A1 - One Bedroom
SCALE: 1/4"=1'-0"

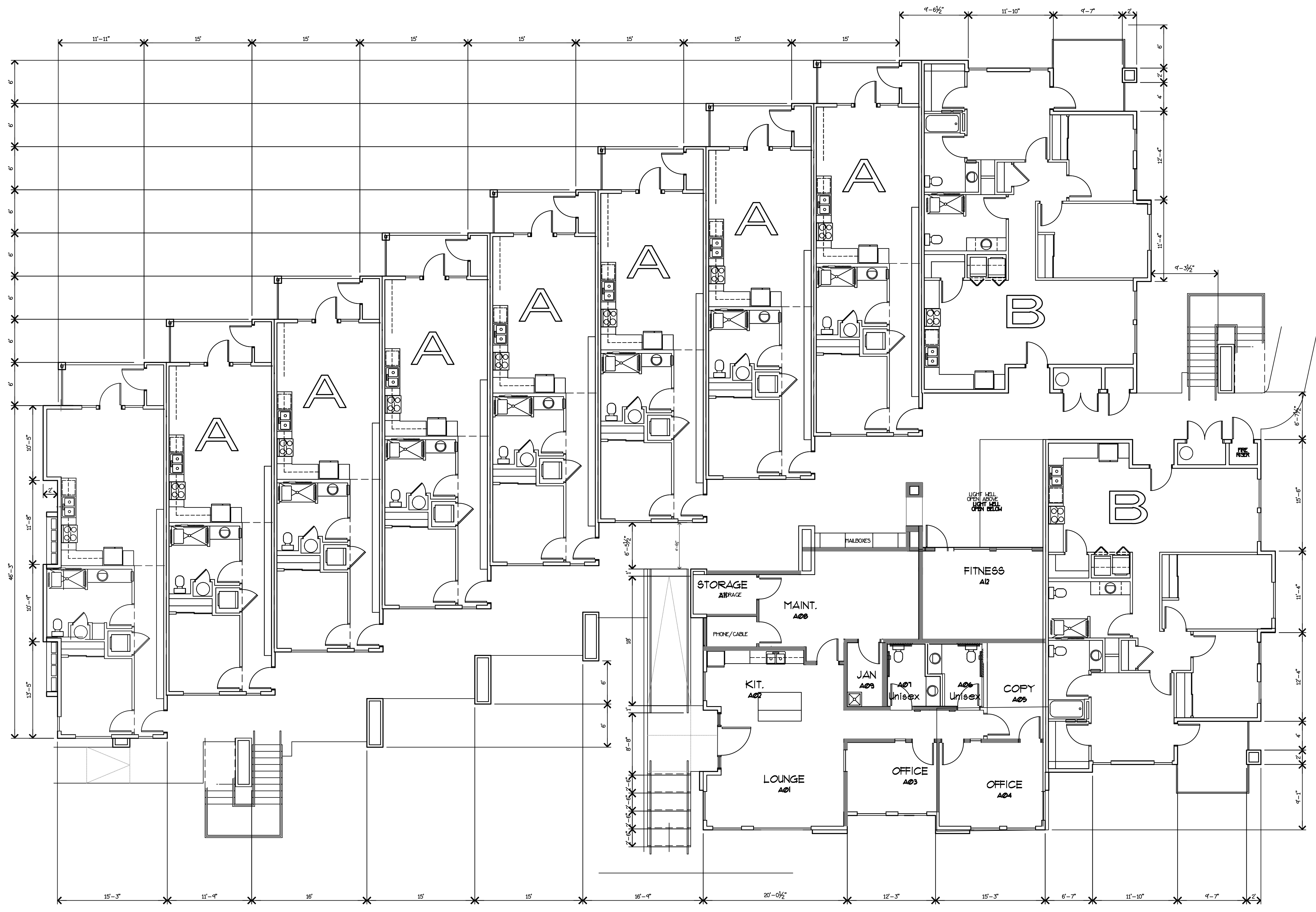
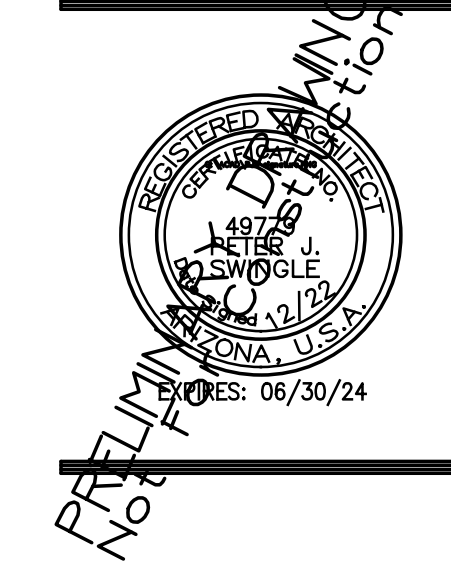


B - Three Bedroom
SCALE: 1/4"=1'-0"

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Unit Floor Plans
SCALE: 1/4"=1'-0"

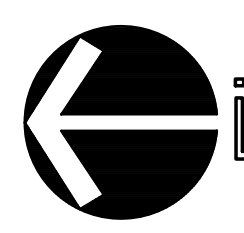
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CONSULTANT NUMBER	-
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CADD FILE NAME	2315.1-FLP
UNIT FLOOR PLANS, A-E	



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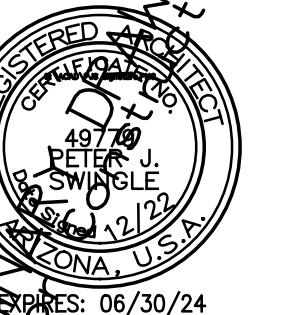
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START DATE	APR 11, 2013
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CADD FILE NAME	2315.1-FLP
FIRST FLOOR PLAN	

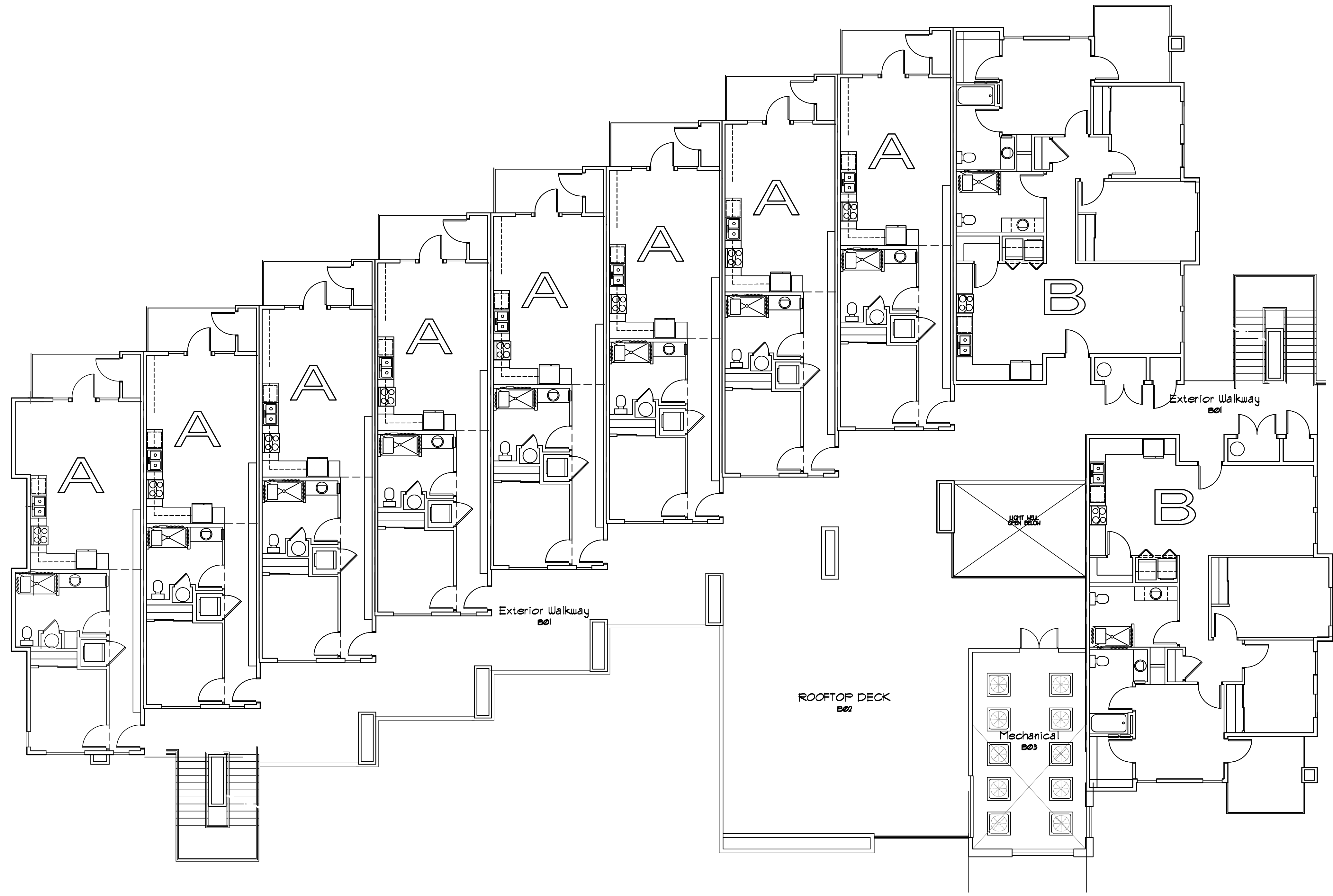


First Floor Plan
SCALE: 1/8" = 1'

A1.1
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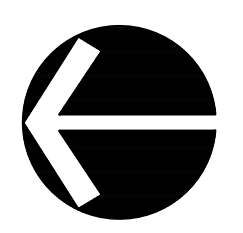


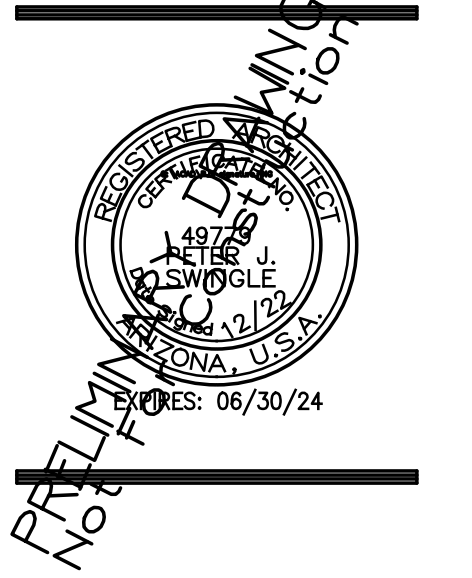
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Second Floor Plan
SCALE: 1/8" = 12'

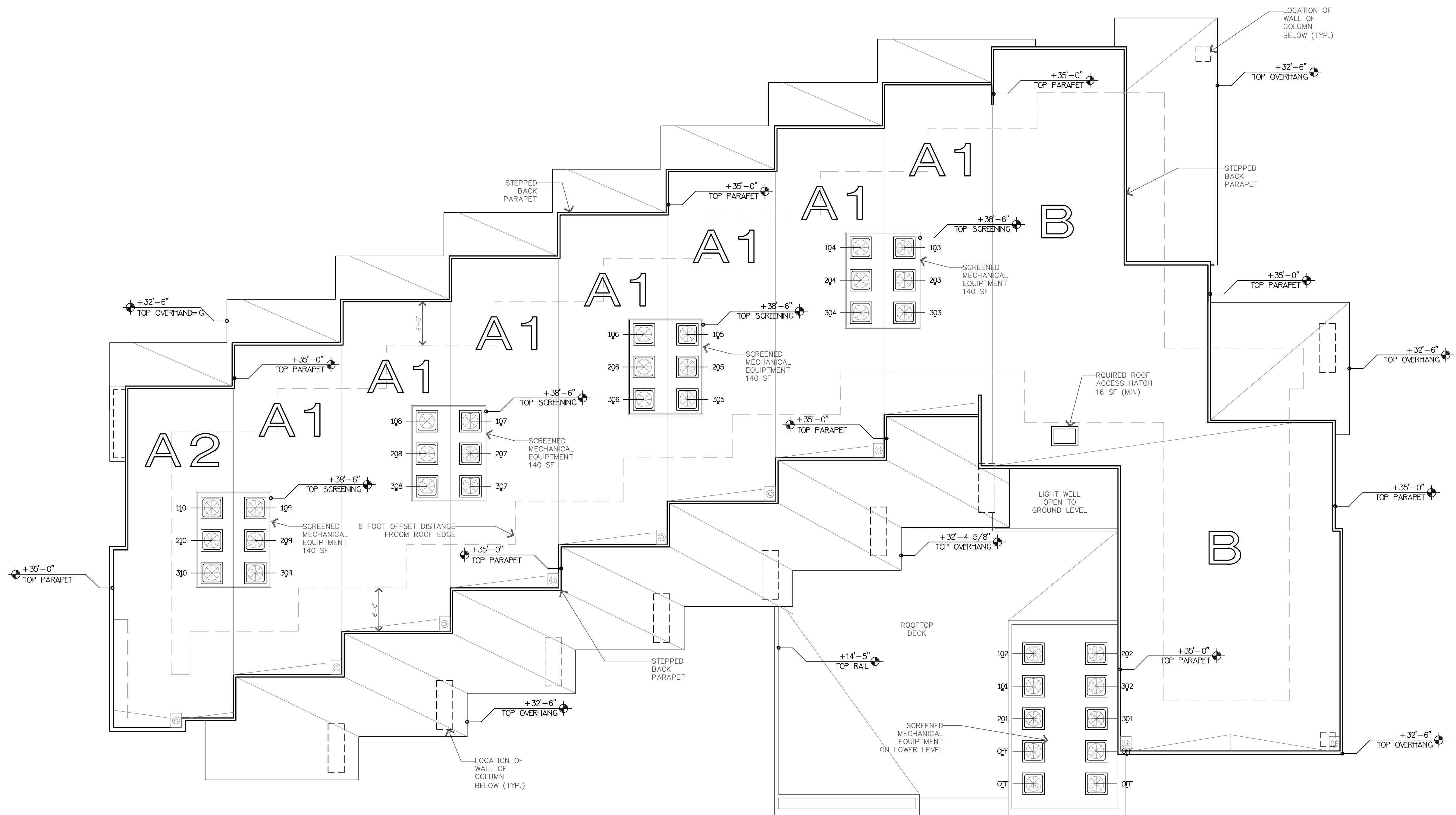
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DRAWN BY	PS
REVIEWED BY	PS
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CADD FILE NAME	2315.1-FLP
SECOND FLOOR PLAN	

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NOTE: LOWEST ADJACENT NATURAL GRADE IS -5'-0". MAX BUILDING HEIGHT IS +35'-0"

Screened Equipment	
Units 103-304	140 SF
Units 105-306	140 SF
Units 107-308	140 SF
Units 109-310	140 SF
Total	560 SF

Third Level Roof Area	
Total	11,566 SF

Screened Roof Percentage	
	560 SF
	/ 11,566 SF
Total	4.84%

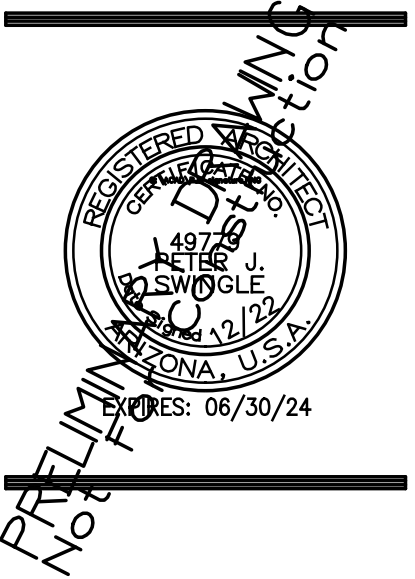
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CONSULTANT NUMBER	
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START DATE	APR 11, 2013
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Roof Plan
SCALE: 1/8" = 12"

ROOF PLAN

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Third Floor Area

Windows	Area	CT	Total Area
3ft x 6ft 8in Door	20 SF	2	40 SF
4ft x 5 ft Window	20 SF	4	80 SF
6ftX5 ft Windows	30 SF	2	60 SF
3ft x 5ft Windows	15 SF	4	60 SF
Total			240 SF

Wall Area

Floor Height	9 SF
Wall Length	97 SF
Total	873 SF

240 / 873 = 27%

First Floor Area

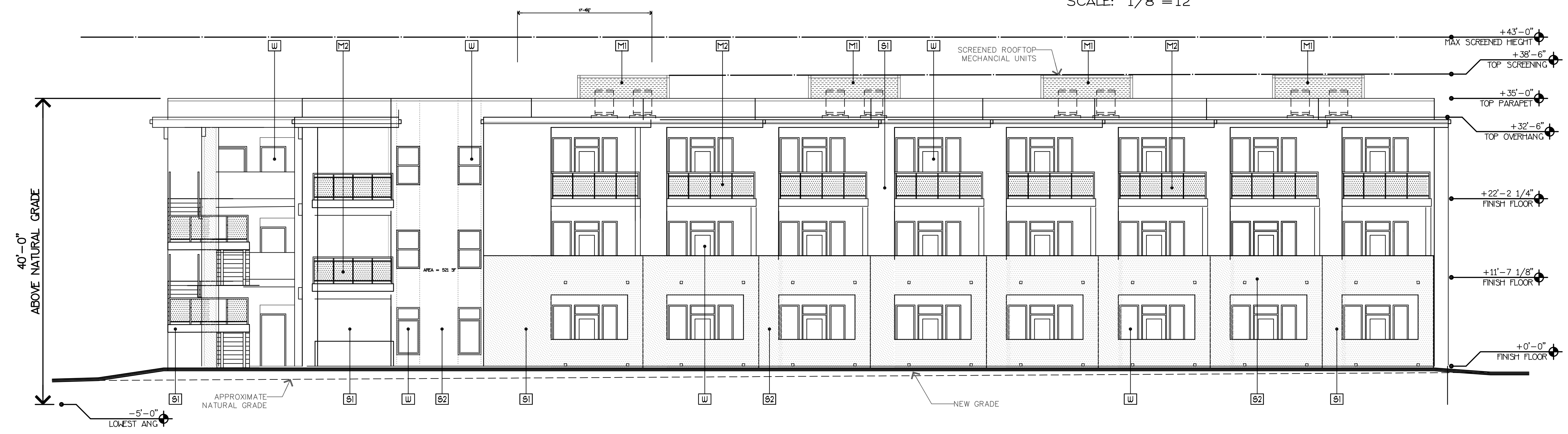
Windows	Area	CT	Total Area
3ft x 8 ft Door	24 SF	2	48 SF
4ft x 6 ft Window	24 SF	4	96 SF
6ft X 6 ft Window	36 SF	2	72 SF
3ft x 6 ft Window	18 SF	4	72 SF
Total			288 SF

Wall Area

Floor Height	9 SF
Wall Length	97 SF
Total	873 SF

288 / 873 = 33%

SOUTH ELEVATION
SCALE: 1/8" = 12"



EAST ELEVATION
SCALE: 1/8" = 12"

COLOR SCHEDULE

EXPOSED CONC.
PRIMARY STUCCO COLOR S4 7024 VERDE HARBOR LRY 18
SECONDARY STUCCO COLOR S4 7041 VAN DYKE BROWN LRY 7
PAINTEd METAL S4 7018 DEEP SEA DYE LRY 10
PAINTEd METAL S4 7018 DEEP SEA DYE LRY 10
METALS UNPAINTED VINYL BRONZE ANODIZED

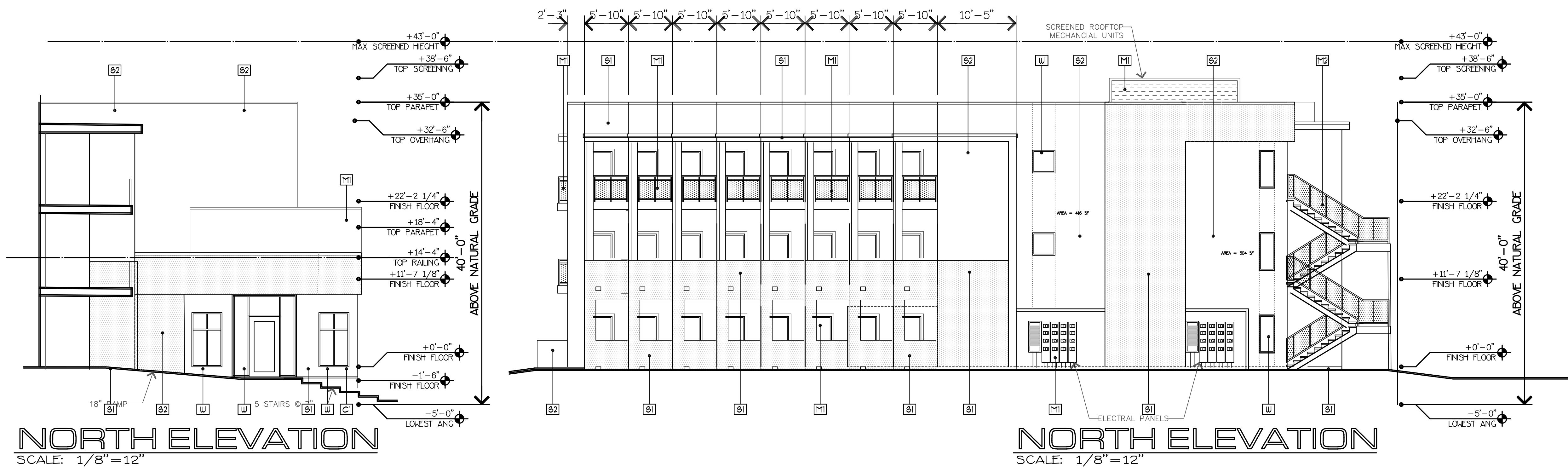
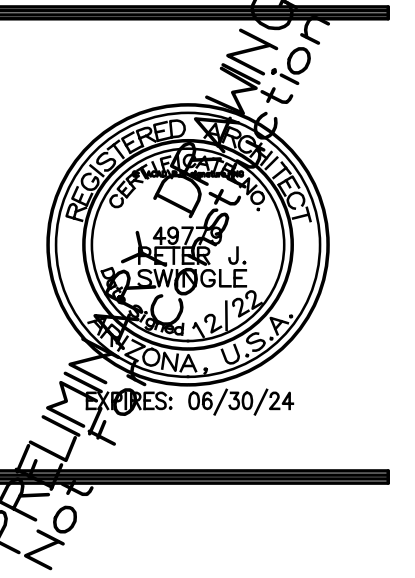
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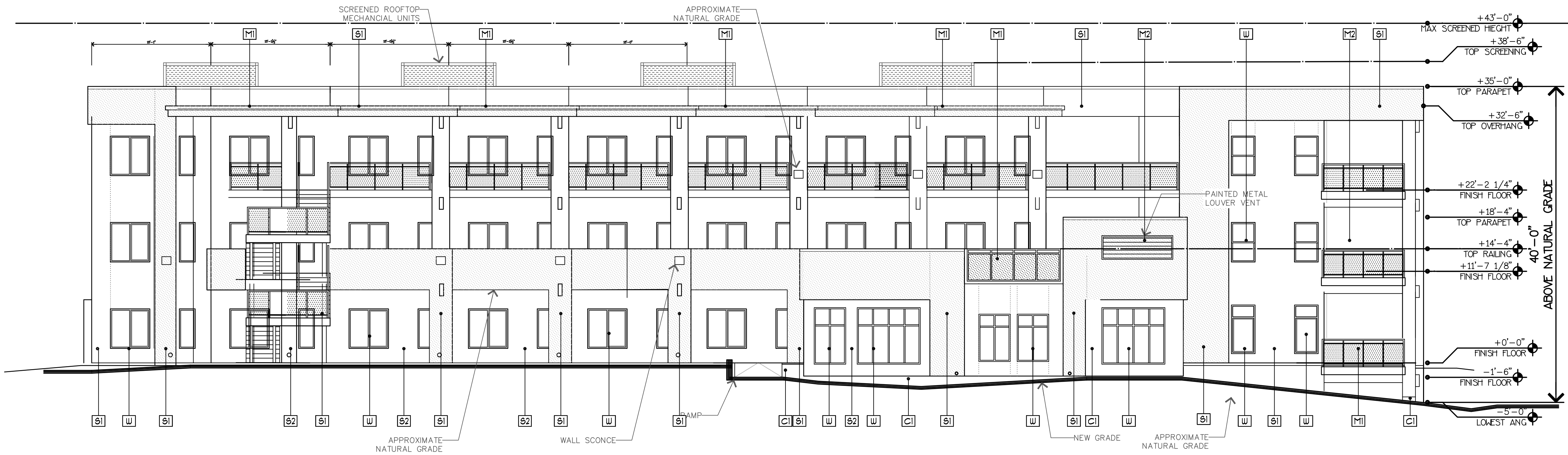
**THIRD FLOOR
PLAN**

A3.1



NORTH ELEVATION
SCALE: 1/8"=12"

NORTH ELEVATION
SCALE: 1/8"=12"



WEST ELEVATION
SCALE: 1/8"=12"

COLOR SCHEDULE	
EXPOSED CONC.	
PRIMARY STUCCO COLOR	S4 7024 VESPE HARRON
SECONDARY STUCCO COLOR	S4 7041 VAN DYKE DRUM
PAINTED METAL	S4 7028 DEEP SEA DYE
PAINTED METAL	S4 7028 DEEP SEA DYE
PAINTED METAL	S4 7028 DEEP SEA DYE
PAINTED METAL	S4 7028 DEEP SEA DYE
UNPAINTED VINYL	PROXED ANNOXED

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THIRD FLOOR PLAN

A3.2